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26-11-191.611-2010

CONSTRUCTION PLANS FOR PASEO DEL NORTE & VENTURA STREET DEVELOPMENT ONSITE PUBLIC UTILITY ALBUQUERQUE, NEW MEXICO

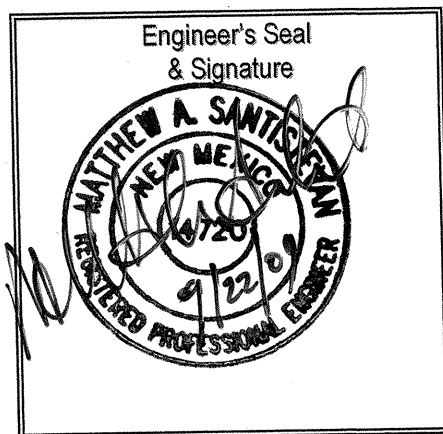
INDEX

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5	OVERALL UTILITY PLAN
6	WATER & SANITARY SEWER PLAN & PROFILE
7	WATERLINE PLAN & PROFILE

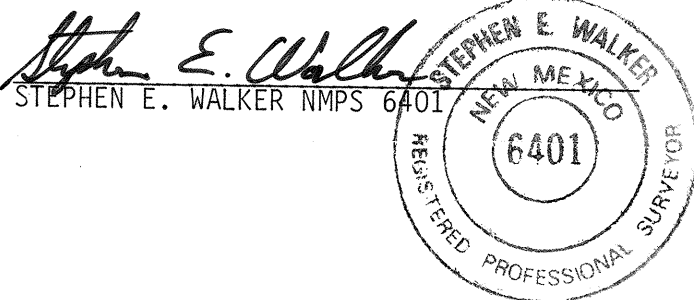
RECORD DRAWING

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Matthew A. Santistevan of the firm of Bohannon Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Paseo del Norte & Ventura Street Development Onsite Public Utility) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the contractor, TLC Plumbing & Utilities, and their surveyor, Stephen E. Walker, NMPS 6401.



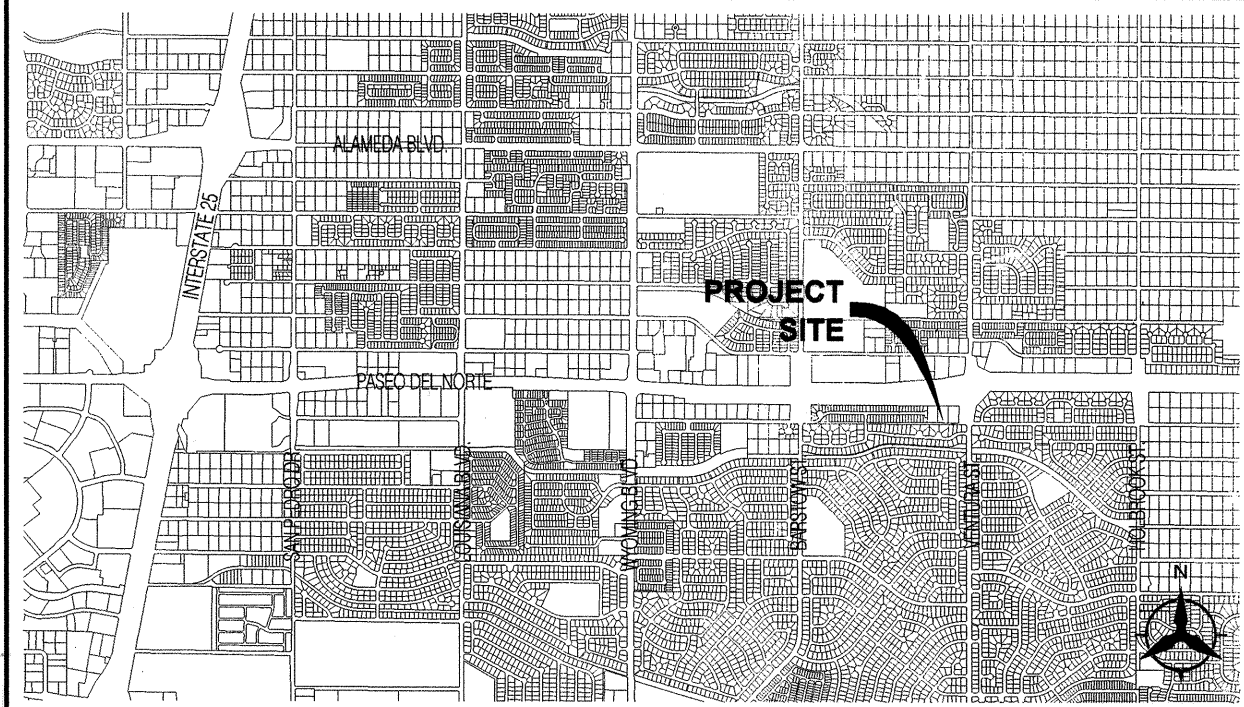
I, STEPHEN E. WALKER, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. WALKER SURVEYING COMPANY IS NOT RESPONSIBLE FOR ANY DESIGN CONCEPTS, CALCULATIONS, ENGINEERING OR INTENT OF THE RECORD DRAWINGS.



APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE: 06/24/10

Bohannon Huston

courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



VICINITY MAP: NOT TO SCALE ZONE MAP NO. D-20-Z

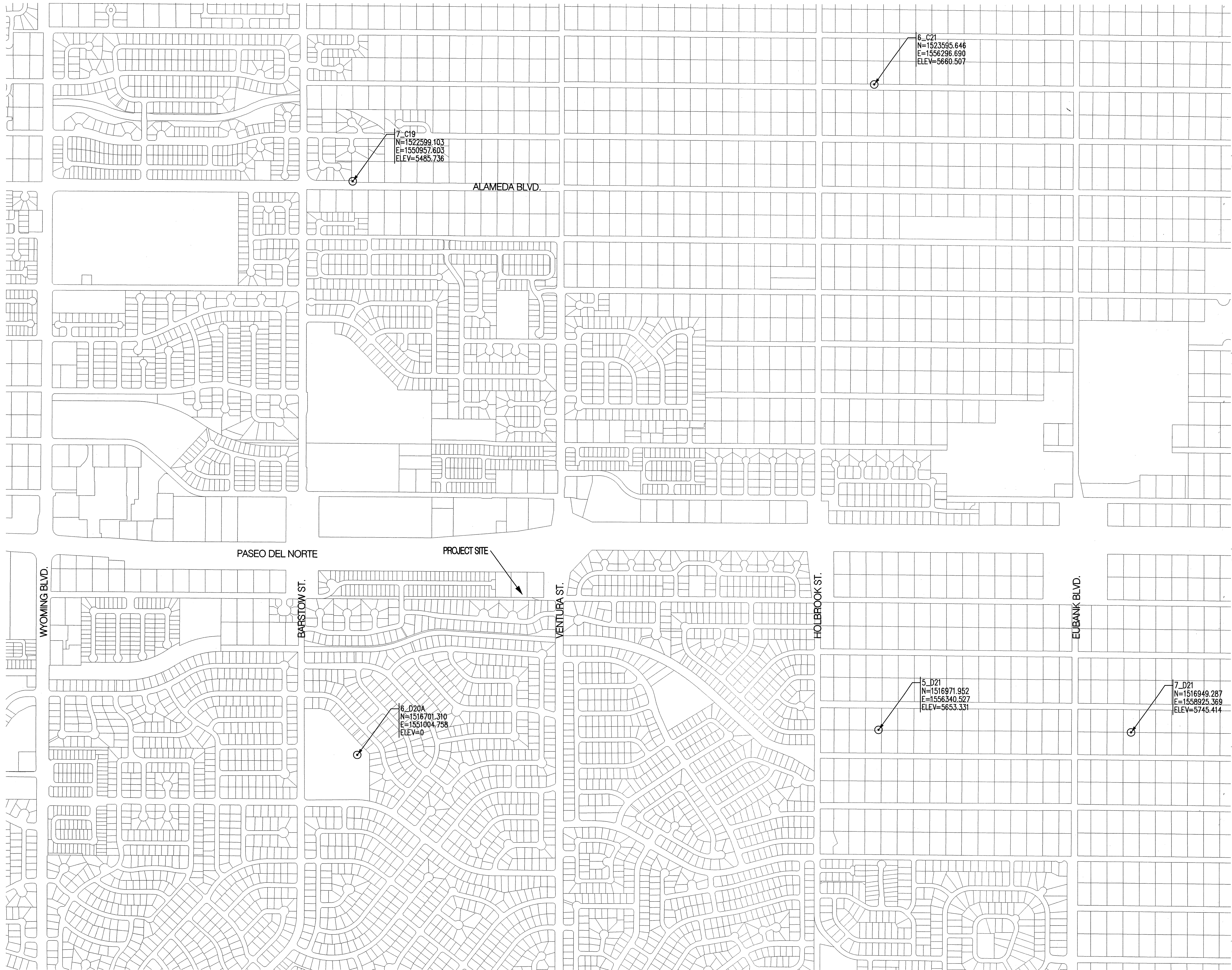
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE NO. 7, INCLUDING AMENDMENT NO. 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINE AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL COORDINATE WITH THE ABQWA WATER AUTHORITY (857-8200) SEVEN WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY WATER PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER AUTHORITY SEVEN(7) DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

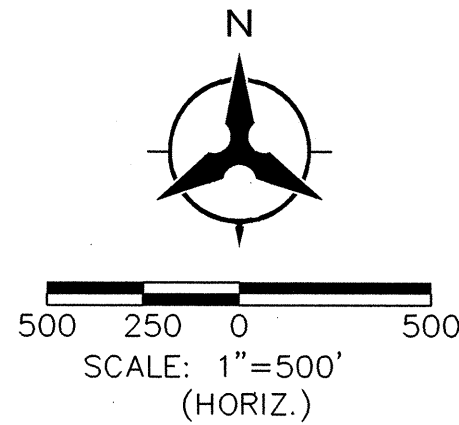
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMP WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DERESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND CUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****	*****	*****	*****
	DRC Chairman	<i>[Signature]</i>	2/24/09	APPROVED FOR CONSTRUCTION			
	Transportation	<i>[Signature]</i>	12/18/08				
	Water/Wastewater	<i>[Signature]</i>	12/18/08				
	Hydrology	<i>[Signature]</i>	12/18/08				
	CIP						
	Const. Mngmt.						
	Const. Coord.						
	AMAFCA						
DRB CASE NUMBER	CITY PROJECT NO.			SHEET	1	OF	7
1006602	719961						



1. THE HORIZONTAL COORDINATE SYSTEM IS LOCAL, GROUND MODIFIED FROM NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983. ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE COMBINED SCALE FACTOR FOR GROUND TO GRID TRANSFORMATION OF THE HORIZONTAL COORDINATES IS 0.999651528.
2. THIS CONTROL IS BASED UPON THE CITY OF ALBUQUERQUE CONTROL SYSTEM. CONTROL MONUMENTS USED INCLUDE: 5_D21, 6_C21, 7_C19, 7_D21, 6_D20A.
3. THE OVERALL RELATIVE HORIZONTAL ERROR IN THE CALIBRATION TO ACS MONUMENTATION WAS 0.58 FEET. THE OVERALL RELATIVE VERTICAL ERROR IN THE CALIBRATION DOES NOT EXCEED 0.01 FEET.
4. A CONTROL REPORT CONFORMING TO THE 2007 MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO IS AVAILABLE FROM THE SURVEYOR OF RECORD.

RECORD DRAWING



Bohannon & Huston
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT
PASEO DEL NORTE & VENTURA STREET DEVELOPMENT
ONSITE PUBLIC UTILITY
SURVEY CONTROL SHEET / OVERALL SITE PLAN

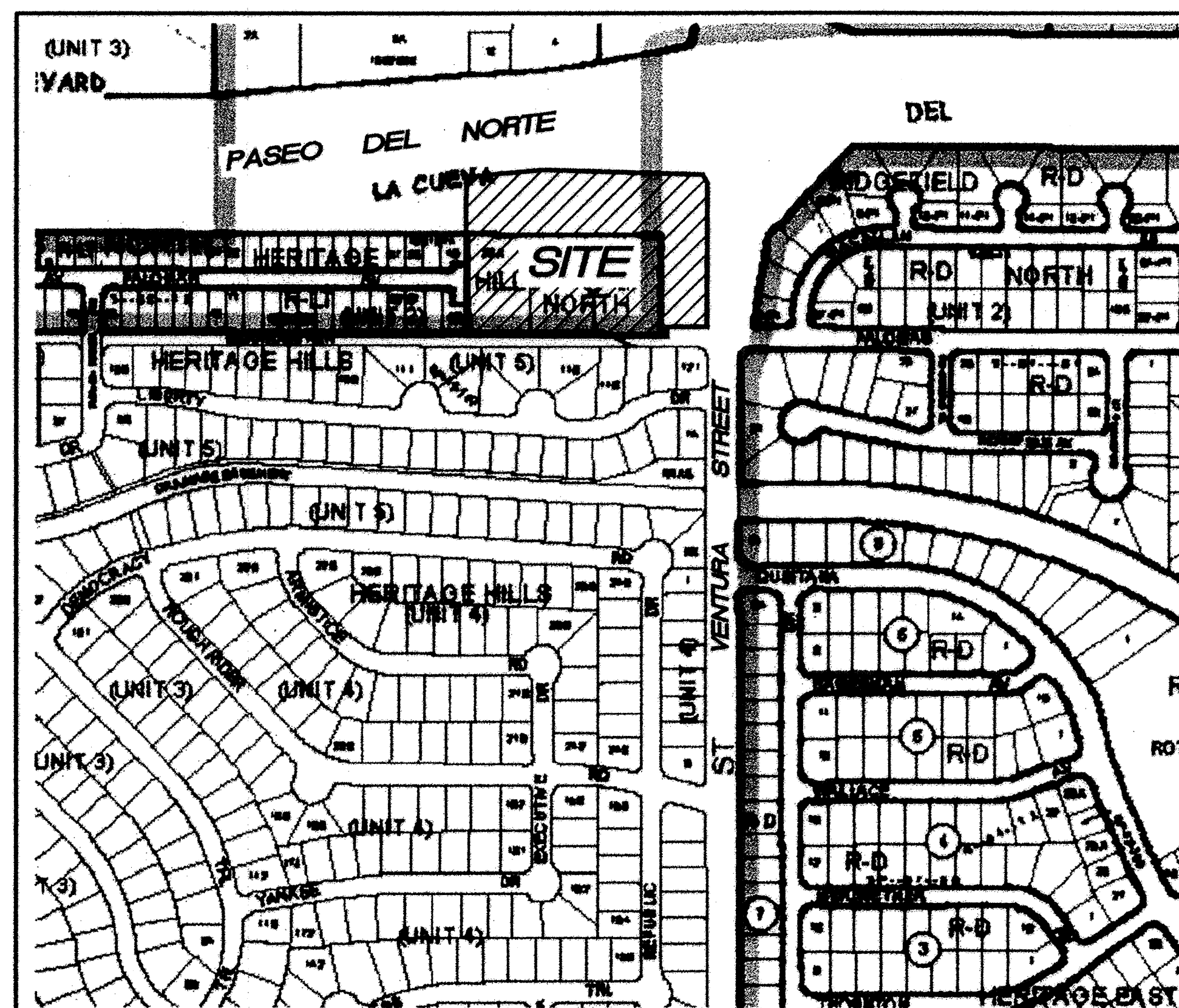
DESIGN REVIEW COMMITTEE APPROVED FEB 20 2009 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED APR 09 2009 CITY ENGINEER	MO./DAY/YR. NO./DAY/YR.
CITY PROJECT NO. 719961		SHEET 2 OF 7

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	FIELD NOTES	ALUMINUM DISC STAMPED "7_C19"	GEOGRAPHIC POSITION (NAD 83)	CONTRACTOR	DATE
	BY				
			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	WORKED BY	DATE
				INSPECTOR'S ACCEPTANCE BY	DATE
				REVISIONS	DATE
				CORRECTED BY	DATE
				RECORDED BY	DATE
				NO.	DATE

REMARKS
REVISIONS
DESIGN

DESIGNED BY YPM / BCP
DRAWN BY ARR / SAR
CHECKED BY YPM

DATE 09/2008
DATE 09/2008
DATE 09/2008



VICINITY MAP

Not to Scale

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone (NAD 83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2007483512
- City of Albuquerque Zone Atlas Page D-20.
- The subject property is currently zoned SU-2/C-1 as shown on City of Albuquerque Zone Atlas Page D-20, dated May 17, 2007

PURPOSE OF PLAT

The purpose of this plat is to

- Eliminate the existing interior tract/lot lines and subdivide into three (3) new Tracts as shown hereon.
- Show the Vacation of Private Access and Drainage Easement Vacated by 08DRB-70028
- Show the Vacation of Public Drainage Easements and Public right of way Vacated by 08DRB-70053 and DRB08-70054.
- Grant the new easements as shown hereon.
- Dedicate the additional public right of way as shown hereon.

SUBDIVISION DATA

- Total number of existing Lots: 8
- Total number of existing Tracts: 1
- Total number of Tracts created: 3
- Gross Subdivision acreage: 5.8906 acres.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

102006320651020594
ALM LLC
Capital Trust Co
Bernalillo County Treasurer
Date 4/3/08

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

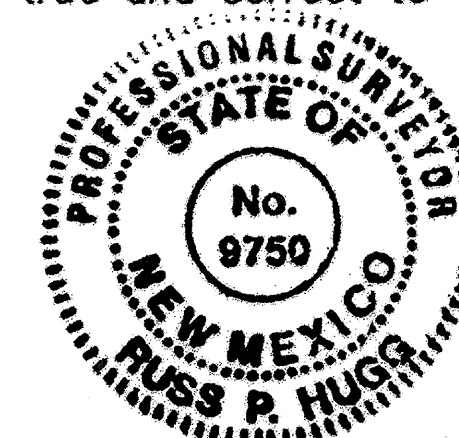
DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
December 3, 2007



PLAT OF PARCELS A, B AND C VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN

PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

RECORD DRAWING

PROJECT NUMBER: 1006602

Application Number: 08DRB-70028

PLAT APPROVAL

Utility Approvals

PNM Electric Services
Date 2/19/2008

PNM Gas Services
Date 2/19/2008

QWest Corporation
Date 2/19/08

Comcast
Date 1-15-08

City Approvals

City Surveyor
Date 1-15-08

Real Property Division
Date 4-2-08

Environmental Health Department

Public Engineering, Transportation Division
Date 2/27/08

Utilities Development
Date 3-18-08

Christina Sandoval
Parks and Recreation Department
Date 2/27/08

Bradley L. Bingham
AMAFCA
Date 2/27/08

Anthony C. Chen
City Engineer
Date 2-27-08

Jack Clark
DRB Chairperson, Planning Department
Date 04-03-08

DOCH 2008038110
04/03/2008 03:17 PM Page: 1 of 4
PLAT 6:522.00 B: 2008C P: 0063 M. Toulouse, Bernalillo County

SHEET 1 OF 4

SURV TEK, INC.

Consulting Surveyors

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366

Fax: 505-897-3377

PLAT OF
PARCELS A, B AND C
VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A,
19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION
OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

RECORD DRAWING

LEGAL DESCRIPTION

That certain tract of land lying and situate within the Elena Gallegos Grant in projected Section 20, Township 11 North, Range 4 East, City of Albuquerque, Bernalillo County, New Mexico, being and comprising the following:

All of Lots numbered 18A, 19A and 20A in Block numbered 31 of North Albuquerque Acres, Tract A, Unit A, Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431.

TOGETHER WITH:

An Easterly portion of Tract B, Heritage Hills North as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, page 431 and a portion of Palomas Avenue NE as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Volume D, Folio 129, Both parcels having been Vacated by City of Albuquerque Vacation action 08DRB-70053 and 08DRB-70053.

TOGETHER WITH:

The remaining Southerly portions of Lots numbered Thirteen (13) through Seventeen (17), Block 31, North Albuquerque Acres, Tract A, Unit A, as the same are shown and designated on the plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, said remaining portions acquired by the New Mexico State Highway and Transportation Department as Right of Way under New Mexico Project Number TPU-4054(2), with said tracts to be possibly sold as excess right of way, said tract being more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 13 (a concrete nail and brass disc stamped "L.S. 9750" set) said point also being the Northwest corner of said Lot 20A and a point on the South present day right of way line of Paseo Del Norte, New Mexico Project TPU-4054(2) whence the Albuquerque Control Survey Monument "5-D21" bears S 57° 47' 43" E, 3993.32 feet distant; Thence,

N 00° 16' 38" E, 133.02 feet to the Northwest corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

N 84° 43' 40" E, 187.12 feet to an angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 88° 15' 21" E, 394.94 feet to the Northeast corner of the tract herein described (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 28° 06' 31" E, 23.91 feet to and angle point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 02' 47" W, 120.76 feet a point (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 00° 14' 02" W, 233.96 feet to an angle point on the Southerly line of said Lot 17 (a 1/2" rebar and cap stamped "PS 11993" found in place); Thence,

S 02° 47' 51" W, 54.07 feet to a point on the Northerly line of Heritage Hills Unit 5 as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico April 14, 1980 in Plat Book C16, page 137; Thence,

N 89° 39' 44" W, 590.47 feet along said Northerly line of Heritage Hills Unit 5 to the Southwest corner of the tract herein described; Thence,

N 00° 13' 28" E, 29.29 feet to the Southwest corner of said Lot 20A (a concrete nail and brass disc stamped "LS 9750" set); Thence,

N 00° 13' 48" E, 258.84 feet to the point of beginning of the tract herein described.

Said tract contains 5.8906 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising PLAT OF VENTURA PLAZA (BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.) WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant all private and public easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

ALM, L.L.C.
a New Mexico limited liability company

Adil Rizvi
By: Adil Rizvi, Managing Member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 14th day

of FEBRUARY, 2008, by Adil Rizvi.

Douglas H. Peterson
Notary Public

11/28/11
My commission expires

OFFICIAL SEAL
DOUGLAS H. PETERSON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 11/28/11

Documents used in the preparation of this survey are as follows:

- Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 43.
- Plat entitled "LOTS 112-A & 113-A, Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1981, in Plat Book C12, Page 65.
- Plat entitled "38, 39, 40, 59, 60 and 61, Heritage Hills North Unit II", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003 in Plat Book 2003C, Page 272.
- Plat entitled "TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on March 17, 1937, in Plat Book D, Page 137.
- Plat entitled "Heritage Hills Unit 5", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 14, 1980, in Plat Book C16, Page 137.
- Plat entitled "Heritage Hills North Unit 2", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 5, 2003, in Plat Book 2003C, Page 272.
- Plat entitled "Heritage Hills North Unit 1", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- Plat entitled "Lots 18A, 19A and 20A, Block 31, TRACT A- UNIT A, NORTH ALBUQUERQUE ACRES", filed in the Office of the County Clerk of Bernalillo County, New Mexico, on October 11, 1996, in Plat Book 96C, Page 431.
- New Mexico State Highway Commission Right of Way Map, New Mexico Project No. TPU-4054(2). Final Map dated May 7, 1993.
- Title Reports prepared for this property by LandAmerica Albuquerque Title, and underwritten by Commonwealth Land Title Insurance Company, Commitment for Title Insurance No. 6216000368 and 6216000368A, dated July 13, 2006.

SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of requested final action shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision"

DOCH 2008038110
04/03/2008 03:17 PM Page: 2 of 4
PLAT R: 522 00 B: 2008C P: 0063 M: Toulouse, Bernalillo County

SHEET 2 OF 4

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Rhône: 505-897-3366
Fax: 505-897-3377

PLAT OF PARCELS A, B AND C VENTURA PLAZA

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

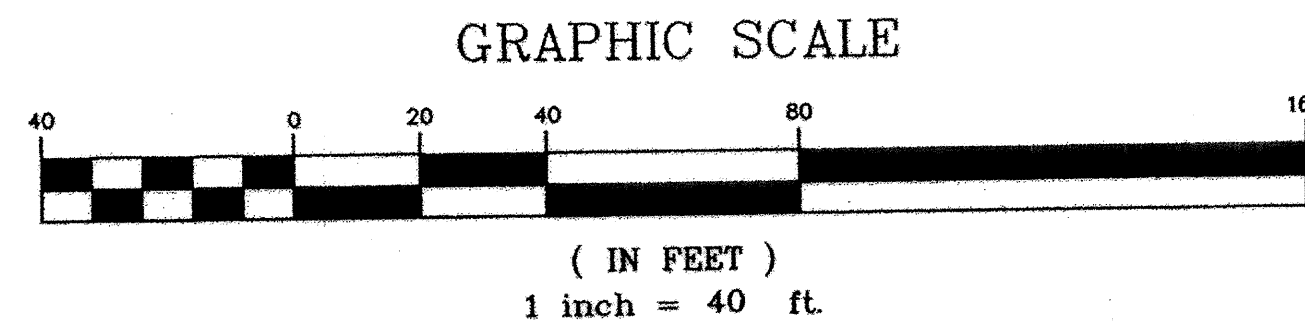
WITHIN
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PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

DECEMBER, 2007

PASEO DEL NORTE
(NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
Variable Width Right of Way



LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L2	25.03'	S01°05'11"W
L3	31.33'	N00°00'00"E

DOCM 2008038110

04/03/2008 03:17 PM Page: 3 of 4
PLAT R: \$22.00 B: 20080 P: 0083 M: Toulouse, Bernalillo County

RECORD DRAWING

(5-1-G)
NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)
Final Right of Way Map dated May 7, 1993

LOT 12
BLOCK 31
TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
Filed March 17, 1937 in Volume D, Folio 129

(5-1-H)
LOT 13

(6-1)
LOT 14

BLOCK 31
TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
Filed March 17, 1937 in Volume D, Folio 129

(6-1-A)
LOT 15

(6-1-B)
LOT 16

HERITAGE HILLS NORTH UNIT II
Filed September 5, 2003 in Plot Book 2003C, Page 272

38 39 40

PALOMAR AVENUE N.E.
Dedicated 46' Public Right of Way

HERITAGE HILLS NORTH UNIT II
Filed September 5, 2003 in Plot Book 2003C, Page 272

Vacated Public Street Right of Way
Per V 96-30, Retained by the City
of Albuquerque as Public Drainage
Right of Way by plot filed 10-11-96
Volume 96C, Folio 431

N00°13'48"E
29.29'

HERITAGE HILLS UNIT 5
Filed May 5, 1981 in Volume C12, Folio 65

112-A

113-A

HERITAGE HILLS UNIT 5
Filed April 14, 1980 in Volume C15, Folio 137

115

116

118

119

120

121

HERITAGE HILLS UNIT 5
Filed April 14, 1980 in Volume 96C, Folio 137

PALOMAS AVENUE NE
VACATED By 08DRB-70054

Vacated Public Street Right of Way
Per V 96-30, Retained by the City
of Albuquerque as Public Drainage
Right of Way by plot filed 10-11-96
Volume 96C, Folio 431

Temporary Pending Easement per
Agreement and Covenant filed
September 29, 2003 in Book A65,
Page 8235.
VACATED By 08DRB-70053

TRACT B
HERITAGE HILLS NORTH
Filed October 11, 1996 in Volume 96C, Folio 431

Public Drainage right of way
VACATED By 08DRB-70053

Existing interior Tract line
hereby eliminated by this plat.

20' Public Waterline Easement
filed September 29, 2003 in
Book A65, page 8236.
VACATED By 08DRB-70053

Albuquerque Control Survey Monument "S-D21"
New Mexico State Plane Coordinates, Central
Zone (NAD 83) as published:
N= 1,516,443.330
E= 1,555,798.186
Elevation= 5653.331 (NAVD 1988)
Ground to grid factor= 0.999841651
Mapping Angle= -00°09'47.09"

Lots 18A, 19A and 20A are subject to a "Blanket"
Private Access and Temporary Drainage Easement
granted by plat filed October 11, 1996 in Plot
Book 96C, page 431
Said Easement VACATED by 08DRB-70028

NE
STREET
VENTURA
Variable Width Right of Way

NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)
Final Right of Way Map dated May 7, 1993



SHEET 3 OF 4

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

LINE TABLE		
LINE	LENGTH	BEARING
L1	23.91'	S28°06'31"E
L3	31.33'	N00°00'00"E
L4	20.00'	N90°00'00"E
L5	12.68'	N90°00'00"E
L6	21.19'	N00°00'00"E
L7	20.01'	N90°00'00"E
L8	21.31'	S00°00'00"W
L9	72.24'	S89°39'44"E
L10	30.03'	N02°47'51"E
L11	20.00'	N00°00'00"E
L12	10.00'	N00°00'00"W
L13	28.53'	N90°00'00"W
L14	5.27'	N00°00'00"E
L16	20.00'	N89°57'09"E

LINE TABLE		
LINE	LENGTH	BEARING
L17	10.26'	N00°00'00"E
L18	15.74'	N00°00'00"W
L19	20.00'	N90°00'00"W
L20	15.74'	S00°00'00"E
L21	38.00'	N90°00'00"W
L22	10.27'	N00°00'00"E
L23	20.00'	N90°00'00"W
L24	10.27'	S00°00'00"E
L25	1.23'	N00°00'00"E
L26	20.00'	N90°00'00"E
L27	1.23'	S00°00'00"E
L28	14.19'	S00°00'00"E
L29	20.00'	S90°00'00"E
L30	14.19'	N00°00'00"W

NOTE

Parcels A, B and C, Ventura Plaza are subject to that certain "DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND CROSS EASEMENTS" filed in the office of the County Clerk of Bernalillo County, New Mexico on the 3rd day of April, 2008, as Doc. No. 2008038110

DOCH 2008038110

04/03/2008 03:17 PM Page: 4 of 4
PLAT R: \$22.00 B: 2008C P: 0063 M: Toulouse, Bernalillo County

PASEO DEL NORTE
(NEW MEXICO STATE HIGHWAY PROJECT TPU-4054(2))
Variable Width Right of Way

**PLAT OF
PARCELS A, B AND C
VENTURA PLAZA**

(BEING A REPLAT OF PORTIONS OF LOTS 13 THRU 17 AND ALL OF LOTS 18A, 19A AND 20A, BLOCK 31, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES; A PORTION OF TRACT B, HERITAGE HILLS NORTH AND VACATED PORTION OF PALOMAS AVENUE N.E.)

WITHIN
THE ELENA GALLEGOS GRANT
IN
PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2007

RECORD DRAWING

5-1-G
NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)
Final Right of Way Map dated May 7, 1993

LOT 12
BLOCK 31
TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
Filed March 17, 1937 in Volume D, Folio 129

HERITAGE HILLS NORTH UNIT II
Filed September 5, 2003 in Plot Book 2003C, Page 272

PALOMAR AVENUE N.E.
Dedicated 46' Public Right of Way

HERITAGE HILLS NORTH UNIT II
Filed September 5, 2003 in Plot Book 2003C, Page 272

Vacated Public Street Right of Way
Per V 96-30, Retained by the City of Albuquerque as Public Drainage
Right of Way by plat filed 10-11-96
Volume 96C, Folio 431

070231_SHT4

HERITAGE HILLS UNIT 5
Filed May 5, 1981 in Volume C12, Folio 65

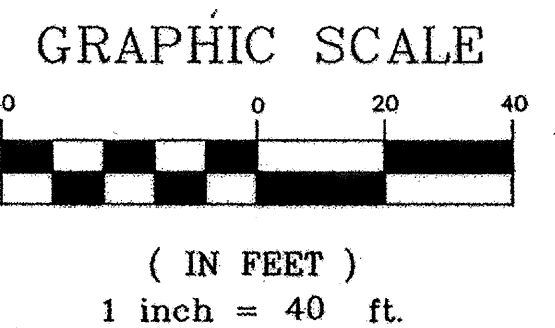
HERITAGE HILLS UNIT 5
Filed April 14, 1980 in Volume C16, Folio 137

HERITAGE HILLS UNIT 5
Filed April 14, 1980 in Volume C16, Folio 137

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	53.94'	35.00'	33.98'	48.76'	N44°06'17"W	88°18'09"

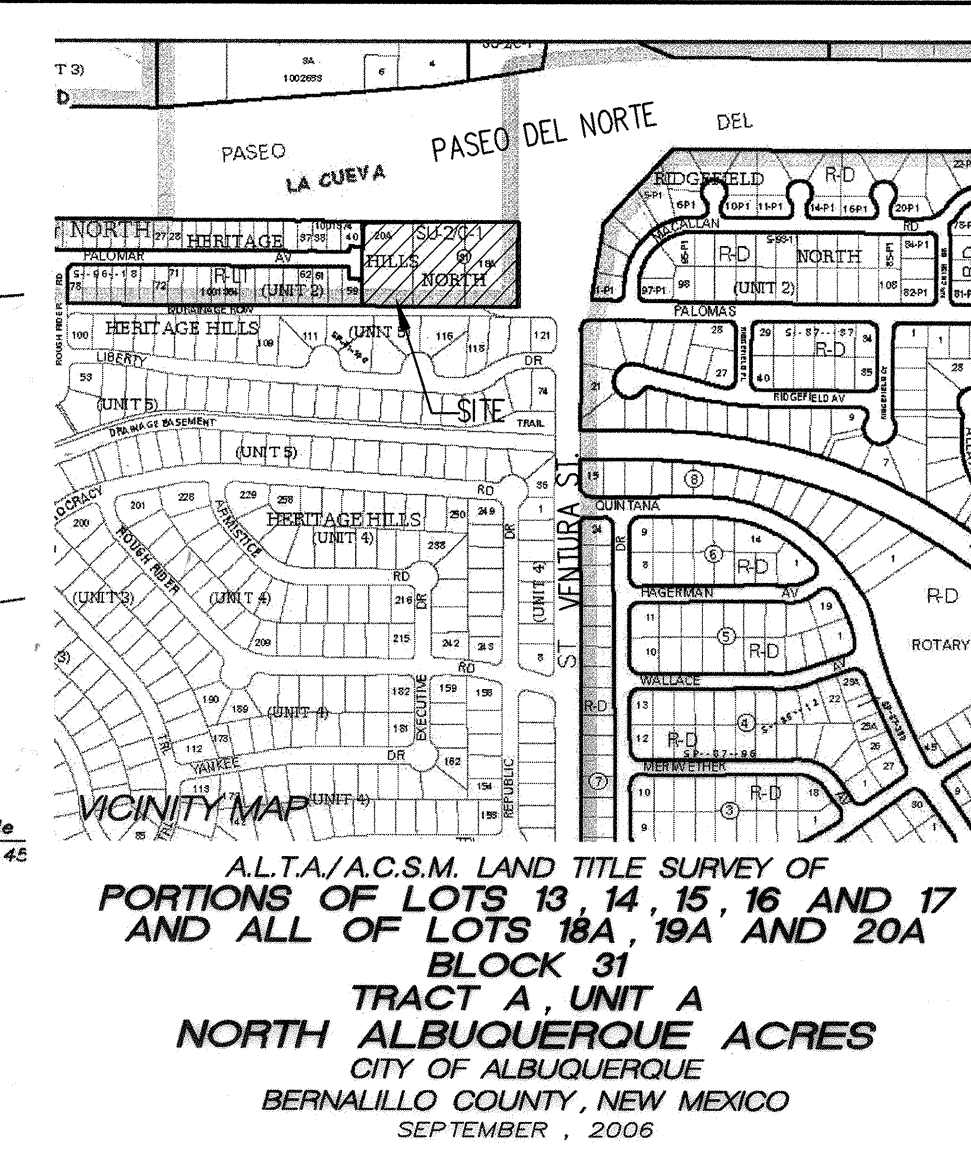
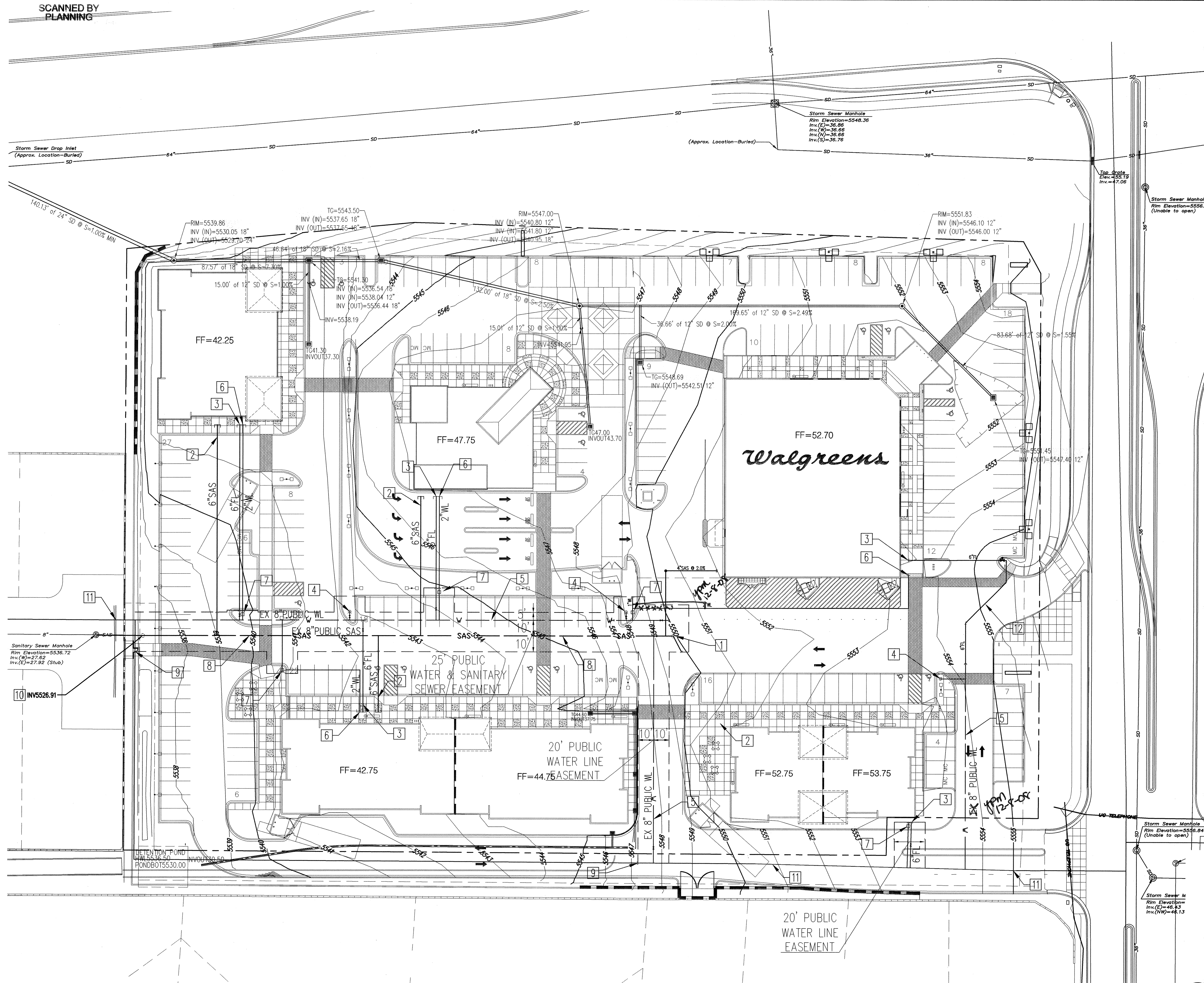
SURV TEK, INC.
Consulting Surveyors

9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



SHEET 4 OF 4

NEW MEXICO STATE HIGHWAY COMMISSION
NEW MEXICO PROJECT TPU-4054(2)
Final Right of Way Map dated May 7, 1993



BENCHMARK:
ALUMINUM DISC STAMPED "7.219" GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N=1522068.520 E=1550417.138
GROUND TO GRID = 0.99650745 DELTA ALPHA = 0.01025"
NAVD 1988 ELEVATION = 5485.736

ELEVATIONS ARE IN NAVD 88

RECORD DRAWING

UTILITY KEYED NOTES

1. SAS MANHOLE
2. 6" SAS SERVICE
3. 6" FIRE SPRINKLER SERVICE LINE
4. 6" FIRE SERVICE LINE & HYDRANT
5. EX 8" PUBLIC WATERLINE
6. DOMESTIC WATER SERVICE LINE
7. WATER METER BOX
8. EX 8" PUBLIC SANITARY SEWER
9. ABANDON WATER LINE
10. CONNECT TO EXISTING SAS STUBOUT
11. EXISTING PUBLIC WATERLINE TO REMAIN
12. PRIVATE FIRE LINE

LEGEND

- PROPERTY LINE
- SAS --- EX SANITARY SEWER & MANHOLE
- SS --- EX STORM DRAIN & MANHOLE
- W --- EX WATER LINE
- R --- RELOCATED PUBLIC FIRE HYDRANT
- F --- EX FIRE HYDRANT
- P --- PRIVATE FIRE HYDRANT
- C --- PROPOSED CLEANOUT
- S --- PROPOSED SANITARY SEWER MAN HOLE
- 8"SAS --- PROPOSED SANITARY SEWER
- 2"WL --- PROPOSED WATERLINE
- 6"FL --- PROPOSED FIRELINE
- M --- WATER METER VAULT

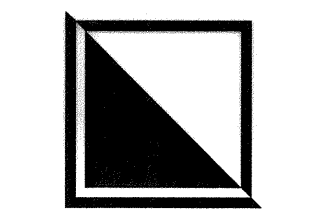
Bohannon & Huston
Courtney | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CONCEPTUAL UTILITY PLAN



SCALE: 1" = 30'-0"

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

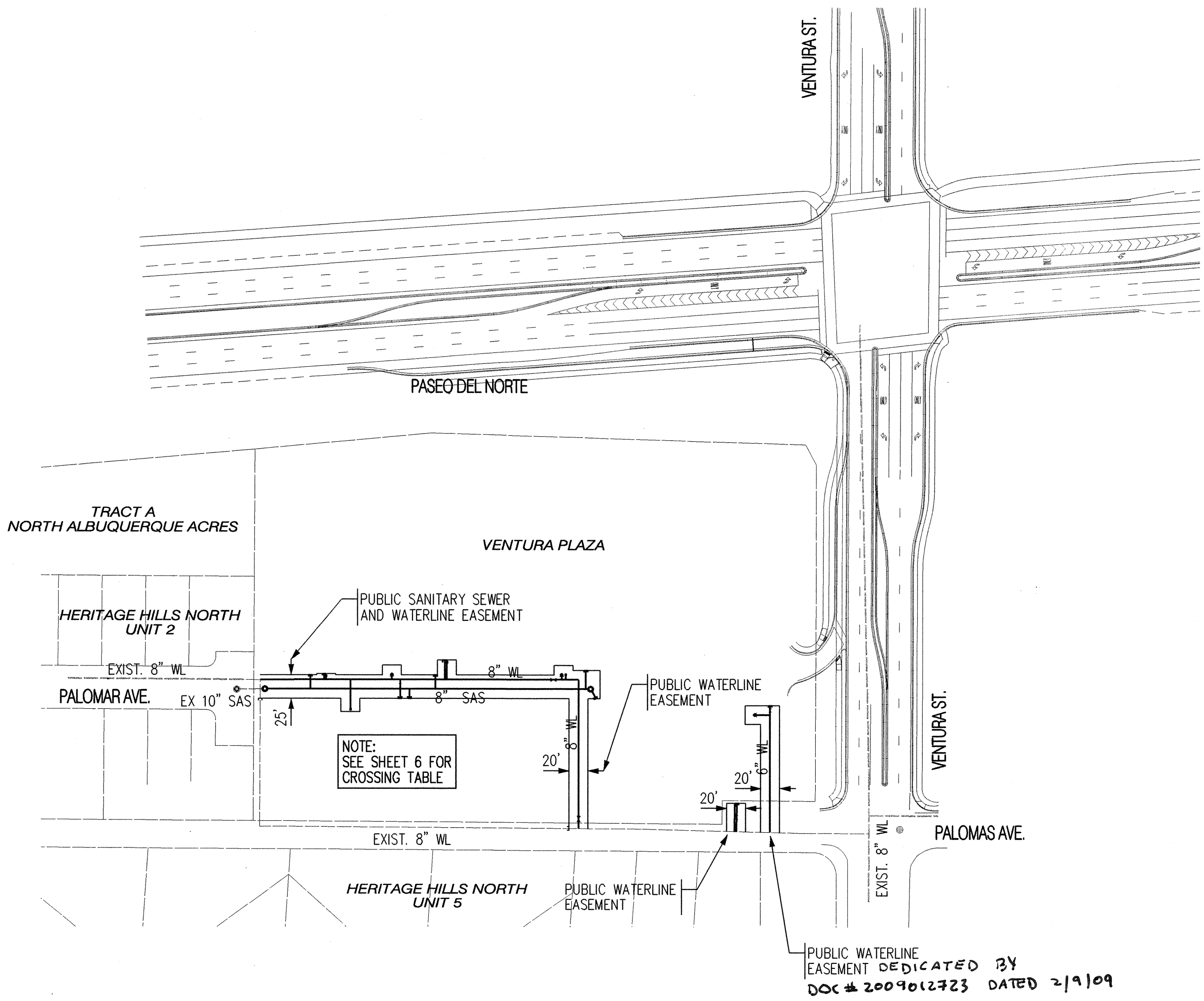


GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

FOR
INFORMATION
ONLY

PROJECT TITLE PASEO DEL NORTE & VENTURA	DRAWN BY: JDS
PROJECT LOCATION PASEO DEL NORTE AND VENTURA ALBUQUERQUE, NM	JOB NO.
PROJECT MANAGER	SHEET TITLE CONCEPTUAL UTILITY PLAN

DATE: 05.30.08	sheet- C200
SCALE: AS NOTED	of.

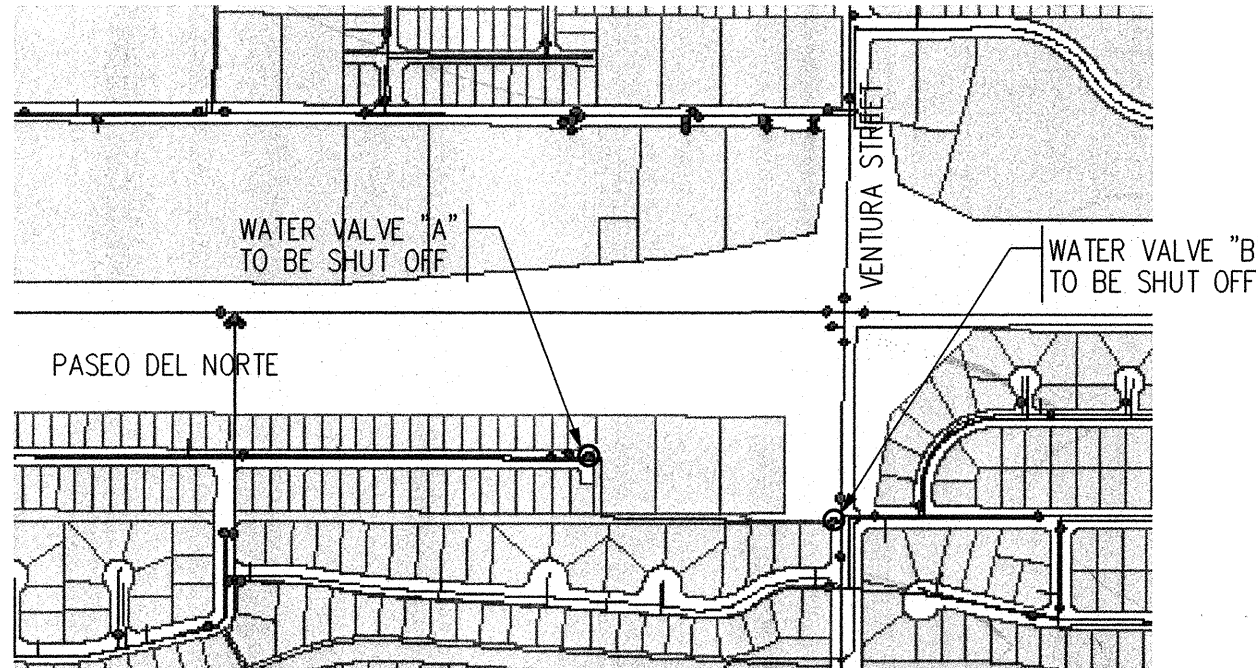


RECORD DRAWING

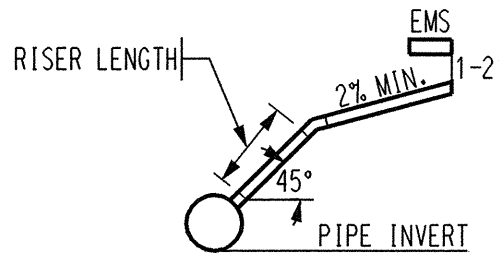
WATER SHUT-OFF REQUIREMENTS:
CONTRACTOR WILL BE RESPONSIBLE FOR THE
TIMING AND COORDINATION OF THE WATER
SHUT-OFF REQUIREMENTS IN CONJUNCTION
WITH THE COMPLETION OF THE PROJECT.

AT LEAST FIVE (5) WORKING DAYS PRIOR
TO CONSTRUCTION, THE CONTRACTOR SHALL
CONTACT THE WATER AUTHORITY
(857-8200) TO INITIATE IMPLEMENTATION OF
THIS WATER SHUT-OFF PLAN. CONTRACTOR
SHALL NOT OPERATE PUBLIC VALVES.

- WATER SHUT-OFF PLAN: CLOSE VALVES
- 3 - 8" NON-PRESSURE CONNECTIONS A & B TO THE EXISTING 8" WATERLINES



WATER VALVE SHUT OFF PLAN
NOT TO SCALE



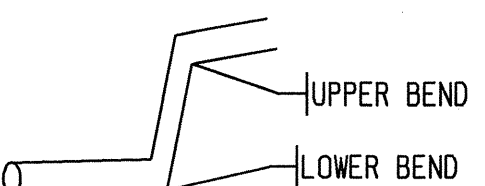
SERVICE RISER DETAIL
(SERVICE CONNECTION INSTALLATION
TO CONFORM TO COA STD. DWG. 2134)

NOTE:
THE CONTRACTOR SHALL FIELD VERIFY
ALL EXISTING UTILITY LOCATIONS AND
NOTIFY THE ENGINEER IMMEDIATELY OF
ANY DISCREPANCIES.

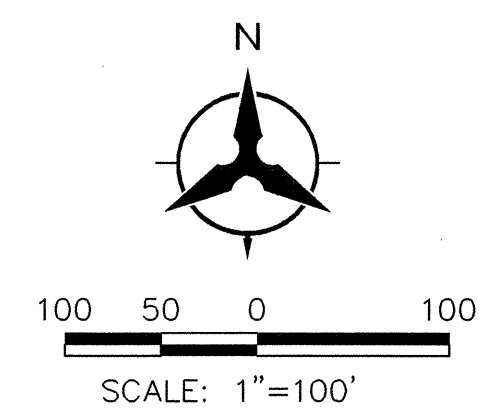
RESTRAINING JOINT TABLE

MECHANICAL JOINTS	LENGTH OF RESTRAINED JOINTS		
	6"	8"	10"
6" X 8" TEE	1	-	-
8" X 8" TEE	-	1	-
90° HORIZ. BEND	16	20	24
45° HORIZ. BEND	7	8	10
22.5° HORIZ. BEND	4	4	5
11.25° HORIZ. BEND	2	2	2
GATE VALVE/CAP	42	55	66
22.5° VERT. BEND (UPPER)	9	7	8
(LOWER)	3	2	3
11.25° VERT. BEND (UPPER)	5	3	4
(LOWER)	2	1	1

* NOTE:
6" WL, 8" WL & 10" WL TO BE PVC (C-900)
12" WL & 14" WL TO BE DUCTILE IRON PIPE



LEGEND	
PROPOSED CURB AND GUTTER	---
EXISTING CURB AND GUTTER	---
FUTURE CURB AND GUTTER	---
PROPOSED STORM DRAIN MANHOLE	○
EXISTING STORM DRAIN MANHOLE	○
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	●
PROPOSED GATE VALVE	X
EXISTING GATE VALVE	X
PROPOSED STORM DRAIN	SD
PROPOSED SANITARY SEWER	SAS
PROPOSED WATER LINE	W
STORM DRAIN INLET	—
STORM DRAIN CULVERT	SD
EXISTING STORM DRAIN	SD
EXISTING SANITARY SEWER	SAS
EXISTING WATER LINE	W



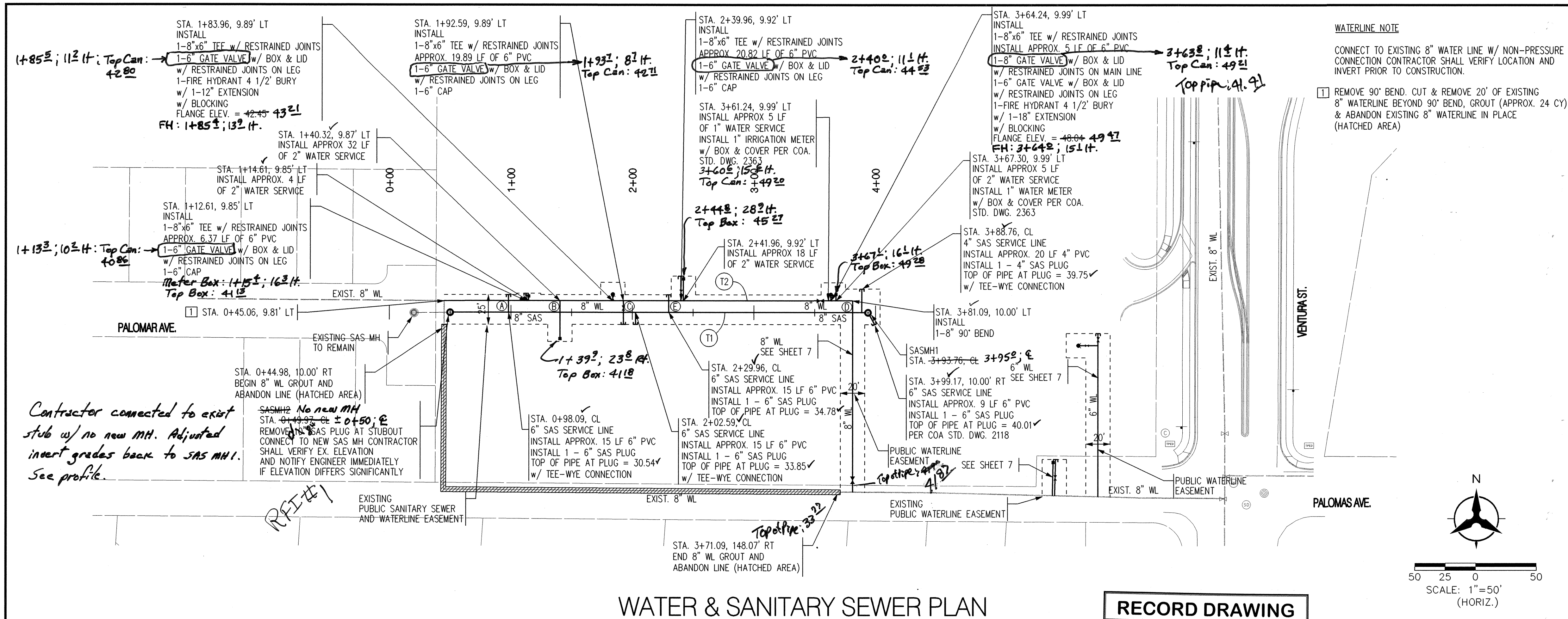
Bohannon & Huston
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT
PASEO DEL NORTE & VENTURA STREET DEVELOPMENT
ONSITE PUBLIC UTILITY
OVERALL UTILITY PLAN

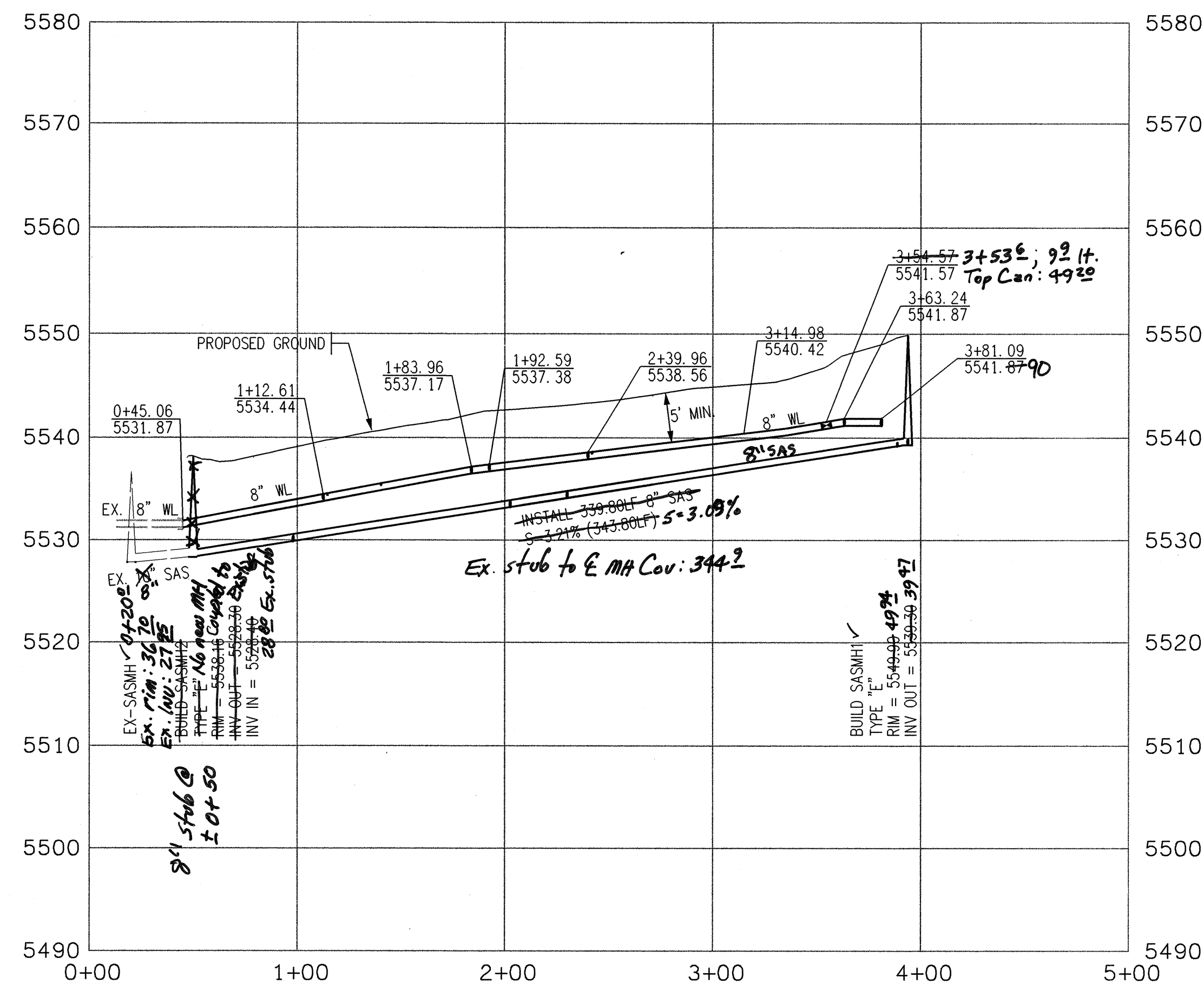
DESIGN REVIEW COMMITTEE APPROVED FEB 20 2009 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED APR 09 2009 CITY ENGINEER	MO./DAY/YR. LAST DESIGN UPDATE	MO./DAY/YR.
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CITY PROJECT NO. 719961	ZONE MAP NO. D-20-Z	SHEET 5	OF 7
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AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR TAC	DATE 08-16-08	ALUMINUM DISC STAMPED "7.019"	DATE 08-16-08	FIELD NOTES	BY	NO. DATE	REMARKS
WORK STARTED BY ACCEPTANCE BY	DATE 08-16-08	GEOGRAPHIC POSITION (NAD 83)	DATE 08-16-08	NO.	BY	NO. DATE	REMARKS
FIELD ACCEPTANCE BY	DATE 08-16-08	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE 08-16-08	NO.	BY	NO. DATE	REMARKS
FIELD DRAWINGS CORRECTED BY	DATE 08-16-08	N=1522068.520 E=1550417.138	DATE 08-16-08	NO.	BY	NO. DATE	REMARKS
FIELD DRAWINGS CORRECTED BY	DATE 08-16-08	GROUND TO GRID = 0.999650745	DATE 08-16-08	NO.	BY	NO. DATE	REMARKS
FIELD DRAWINGS CORRECTED BY	DATE 08-16-08	DELTA ALPHA = 0010'25"	DATE 08-16-08	NO.	BY	NO. DATE	REMARKS
FIELD DRAWINGS CORRECTED BY	DATE 08-16-08	NAVD 1988 ELEVATION = 5485.736	DATE 08-16-08	NO.	BY	NO. DATE	REMARKS



RECORD DRAWING



SAS Tangent Table		
ID	BEARING	LENGTH
T1	N90°00'00"E	343.80'

WL Tangent Table		
ID	BEARING	LENGTH
T2	S89°58'04"W	336.18'

○ Crossings					
DES	SAS		WL		Clearance
A	6" TP	30.48	8" TP	33.91	2.72
	6" BP	29.95	8" BP	33.20	
B	8" TP	31.92	2" TP	35.51	3.41
	8" BP	31.22	2" BP	35.33	
C	8" TP	33.60	6" TP	37.40	3.26
	8" BP	32.89	6" BP	36.86	
D	8" TP	39.64	8" TP	41.89	1.54
	8" BP	38.94	8" BP	41.18	
E	8" TP	34.72	8" TP	38.33	2.90
	6" BP	34.19	8" BP	37.62	

WATER LINE - PVC (C-900)
SANTITARY SEWER - SDR-35

GENERAL NOTE:
***ALL SANITARY SEWER MANHOLES SHALL BE**
4' DIAMETER TYPE "E" AS PER NM APWA
STANDARD DRAWING 2102
UNLESS OTHERWISE NOTED.

VALVES	PER STD. DWG.	2326 & 2328
MANHOLES	PER STD. DWG.	2101 & 2102
WATER SERVICE	PER STD. DWG.	2361, 2362 & 2368
SAS SERVICE	PER STD. DWG.	2125

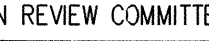

Bohannon Huston INC.

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▴ SPATIAL DATA ▴ ADVANCED TECHNOLOGIES

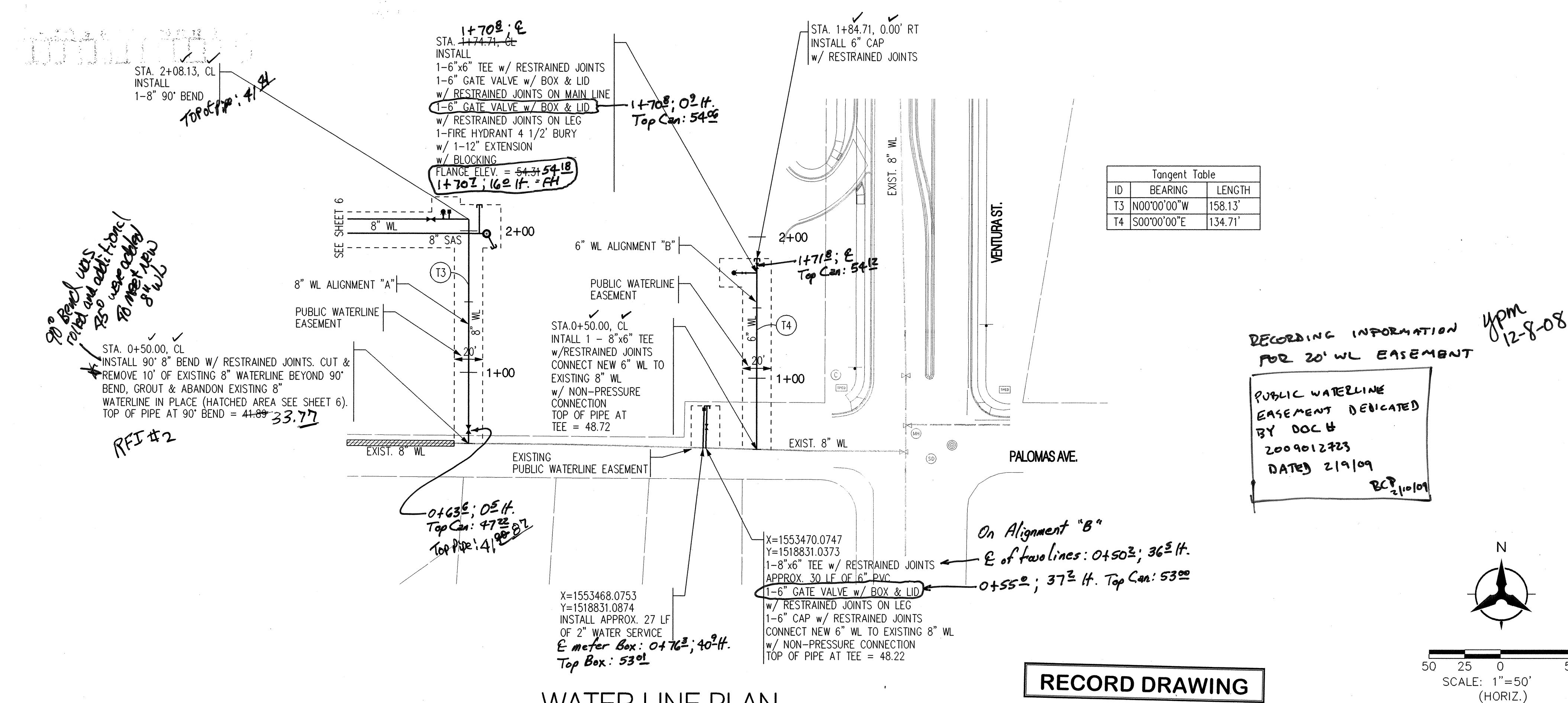


CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

**PASEO DEL NORTE & VENTURA STREET DEVELOPMENT
ONSITE PUBLIC UTILITY
WATER & SANITARY SEWER PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
 <p>DESIGN REVIEW COMMITTEE</p>	 <p>CITY ENGINEER</p>	LAST DESIGN UPDATE	

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
719961	D-20-Z	6	7



NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND EMB AT THE END OF EACH SANITARY SEWER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
- ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
- CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
- ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER), PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
- REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AS PER COA STD. DWG. 2415A (SAWCUT ONLY).
- WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
- RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.

GENERAL NOTE:
ALL SANITARY SEWER MANHOLES SHALL BE 4' DIAMETER TYPE "E" AS PER NM APWA STANDARD DRAWING 2102 UNLESS OTHERWISE NOTED.

VALVES	PER STD. DWG. 2326 & 2328
MANHOLES	PER STD. DWG. 2101 & 2102
WATER SERVICE	PER STD. DWG. 2361, 2362 & 2368
SAS SERVICE	PER STD. DWG. 2125

Bohannon & Huston
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT
PASEO DEL NORTE & VENTURA STREET DEVELOPMENT
ONSITE PUBLIC UTILITY
WATER LINE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED FEB 20 2009 DESIGN REVIEW COMMITTEE	APPROVED APR 09 2009 CITY ENGINEER		

CITY PROJECT NO. 719961
ZONE MAP NO. D-20-Z
SHEET 7 OF 7