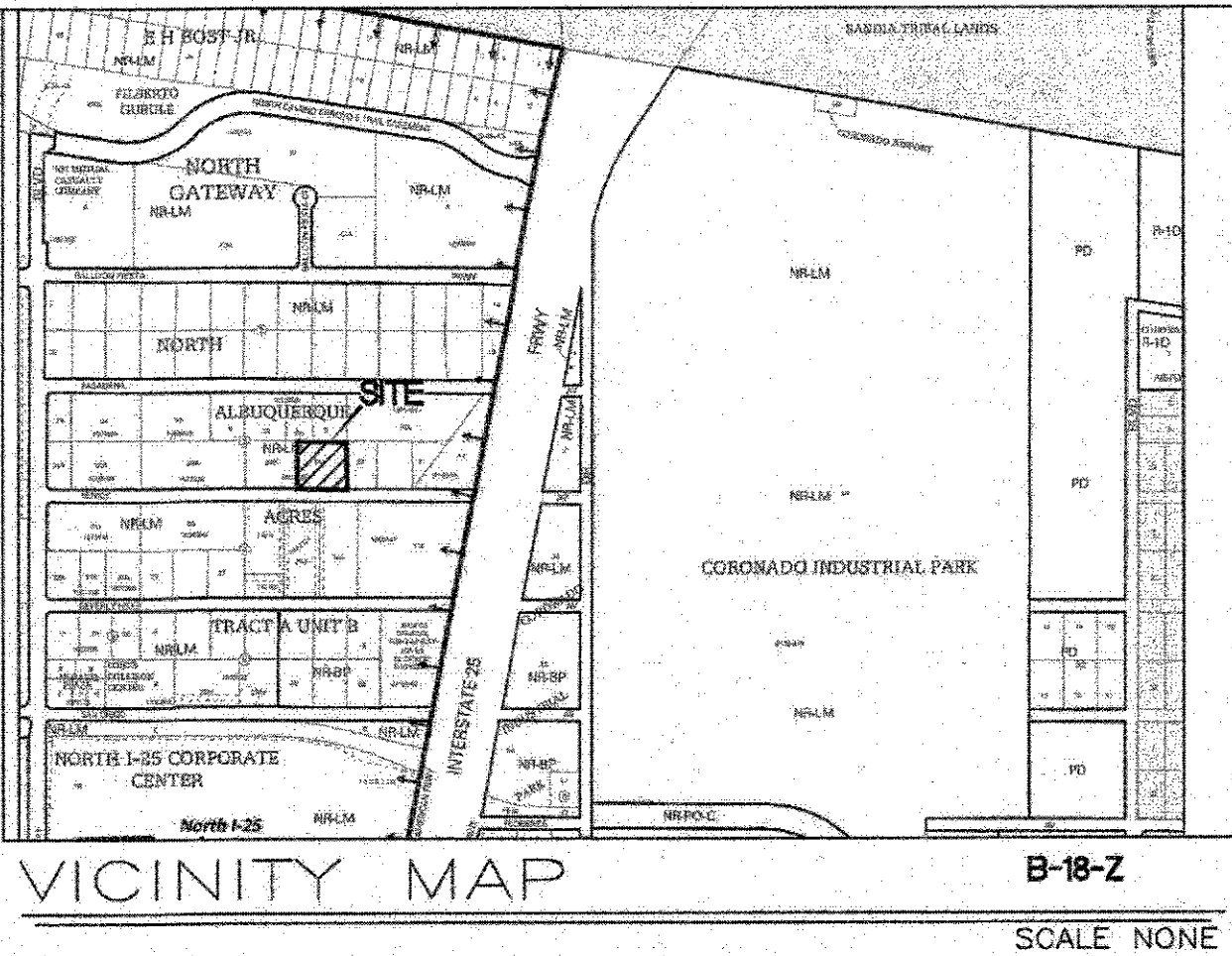


CONSTRUCTION PLANS FOR
GLASS RITE ON VENICE AVENUE
ROADWAY IMPROVEMENTS PLAN

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2023

FW



APPROVED RECORD DRAWINGS	
City Inspector	Daniel Padilla
Contractor	Insight Construction
Construction Engineer	David Bishop
Date	3/13/2025

INDEX TO DRAWINGS

1. TITLE SHEET
2. GENERAL NOTES
3. PRELIMINARY PLAT (REFERENCE ONLY)
4. APPROVED GRADING PLAN (REFERENCE ONLY)
5. APPROVED GRADING PLAN (REFERENCE ONLY)
6. APPROVED GRADING PLAN (REFERENCE ONLY)
7. ROAD IMPROVEMENTS 12+00 TO 16+00
8. UTILITY IMPROVEMENTS 12+00 TO 16+00
9. CONSTRUCTION DETAILS
10. EROSION CONTROL PLAN (FOR REFERENCE ONLY)
11. EROSION CONTROL NOTES (FOR REFERENCE ONLY)
12. EROSION CONTROL DETAILS (FOR REFERENCE ONLY)

SURVEYOR'S CERTIFICATION

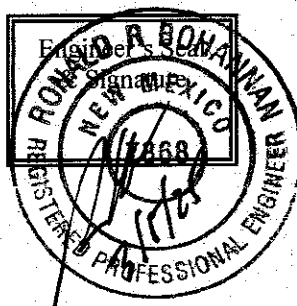
I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

Brian J. Martinez 10/17/24
BRIAN J. MARTINEZ, NMPS 18374



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of Cartesian Surveys, Inc., NMPS number 18374.



DFT PROJECT NO. PR-2023-008250

ABCWUA AVAILABILITY LETTER NO. 220930

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	<i>[Signature]</i>	9/21/2023	APPROVED FOR CONSTRUCTION		
		Transportation	<i>[Signature]</i>	9/10/2023			
		ABCWUA	<i>[Signature]</i>	8/19/23			
		Hydrology	<i>[Signature]</i>	09/21/23			
		Traffic Engineer					
		Constr. Mngmt.			<i>[Signature]</i> 9/21/2023 City Engineer Date		
		Berna. Cont. Public Works					
VINCENT P. CARRICA P.E. #16212		CITY PROJECT NO.		720983		SHEET 1 of 12	

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION THROUGH UPDATE NO. 01, AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
4. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
5. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
6. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL THEN EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL THEN COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED. ANY DAMAGE CAUSED BY FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY EXISTING UTILITIES IS THE FULL RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
8. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
10. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.
11. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS SHOWN ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY SUCH COSTS INCURRED.
12. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER AND SEWER

1. ALL WORK REGARDING PUBLIC WATER AND PUBLIC SANITARY SEWER INFRASTRUCTURE DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH WATER AUTHORITY STANDARD SPECIFICATIONS. PLANS SHALL FOLLOW THE MOST CURRENT UPDATE WHICH CAN BE FOUND ONLINE AT http://www.abcwua.org/For_Builders.aspx
2. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.
3. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE WATER AUTHORITY PRETREATMENT ENGINEER TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE DEVELOPMENT FOR DISCHARGE INTO THE PUBLIC SANITARY SEWER COLLECTION SYSTEM.
4. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE WATER AUTHORITY CROSS CONNECTION SECTION TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE FOR THE WATER SYSTEM.
5. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
6. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX)
7. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" - 48") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" - 48").
8. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
9. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING. EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
10. ALL PROPOSED SANITARY SEWER SLOPES SHALL BE VERIFIED DURING CONSTRUCTION TO MEET THE APPROVED DESIGN. AS-BUILT SLOPES SHALL BE RECORDED FOR EACH LINE SEGMENT.
11. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
12. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO ABCWUA SPECIFICATIONS. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 5" POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
13. TRACER WIRE SHALL BE INCLUDED FOR ALL PUBLIC WATER AND SEWER MAINS AND FOR WATER SERVICES IN ACCORDANCE WITH WATER AUTHORITY DETAILS.
14. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE WUA INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
15. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.
16. ALL DESIGNS AND CONSTRUCTION OF ANY UNDERGROUND UTILITIES SHALL COMPLY WITH ADMINISTRATIVE INSTRUCTION NO. 9 FOR WORK NEARBY OR AFFECTING SAN JUAN CHAMA TRANSMISSION LINES AND APPURTENANCES. INFORMATION SHALL BE PROVIDED TO THE WATER AUTHORITY ONE (1) MONTH IN ADVANCE OF THE CONSTRUCTION START DATE. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](http://www.abcwua.org/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX)
17. ALL WATER AND SANITARY SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED UTILIZING MATERIALS LISTED IN THE APPROVED PRODUCTS LIST AND BE CONSTRUCTED PER THE MOST CURRENT WATER AUTHORITY STANDARD DETAILS AND SPECIFICATIONS. MATERIAL SUBMITTALS SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR THE WATER AUTHORITY ENGINEER TO REVIEW PRIOR TO THE START OF CONSTRUCTION. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/FOR_BUILDERS.ASPX](http://www.abcwua.org/for_builders.aspx)

TRANSPORTATION

1. ANY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH THERMO-PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
2. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
3. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
4. CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
5. THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
6. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
7. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
8. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING # 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

HYDROLOGY

1. ALL STORM DRAINS SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED ON THE PLANS.
2. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AND WITH CITY APPROVAL.

OTHER COMMON NOTES

1. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
2. WHEN DISTURBING MORE THAN ¾ ACRES, CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
3. IN ADVANCE OF CONSTRUCTION, CONTRACTOR SHALL DETERMINE IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
4. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
5. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
6. CONTRACTOR IS TO SUPPORT, PROTECT, AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
7. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
8. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
9. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
10. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE ARRANGED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH OBTAINING A DISPOSAL SITE AND HAUL THERETO.

11. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT (505) 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.
12. IF DISTURBING PCC PAVEMENT FOR ART LANES: CONTRACTOR SHALL CONTACT ABQ TRANSIT DEPARTMENT AT LEAST TWO WEEKS PRIOR TO DISTURBING THE PCC PAVEMENT ASSOCIATED WITH THE ART LANES. CONTACT INFO: ROLANDO SUAREZ, PH. 505.205.3444 (RSUAREZ@CABQ.GOV) OR SHAUN GIBSON, PH. 505.250.5269 (SGIBSON@CABQ.GOV).

GENERAL NOTES USED SELECTIVELY, BASED ON SCOPE OF WORK

1. WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR-HOUR CONSTRUCTION.
2. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHOULD NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROPOSED PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING A DETOUR, OR CAUSE THE CLOSING OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS GOFF, OFFICE PHONE 505-724-3137, CELL PHONE 505-206-0151, AND E-MAIL dgoff@cabq.gov.
3. STREET NAME SIGNS, REGULATORY SIGNAGE, AND ANY NECESSARY STRIPING ON PRIVATE STREETS ARE THE DEVELOPER'S RESPONSIBILITY.

SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO DMD, CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE DMD, CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of _Cartesian Surveys, Inc., NMPs number 18374

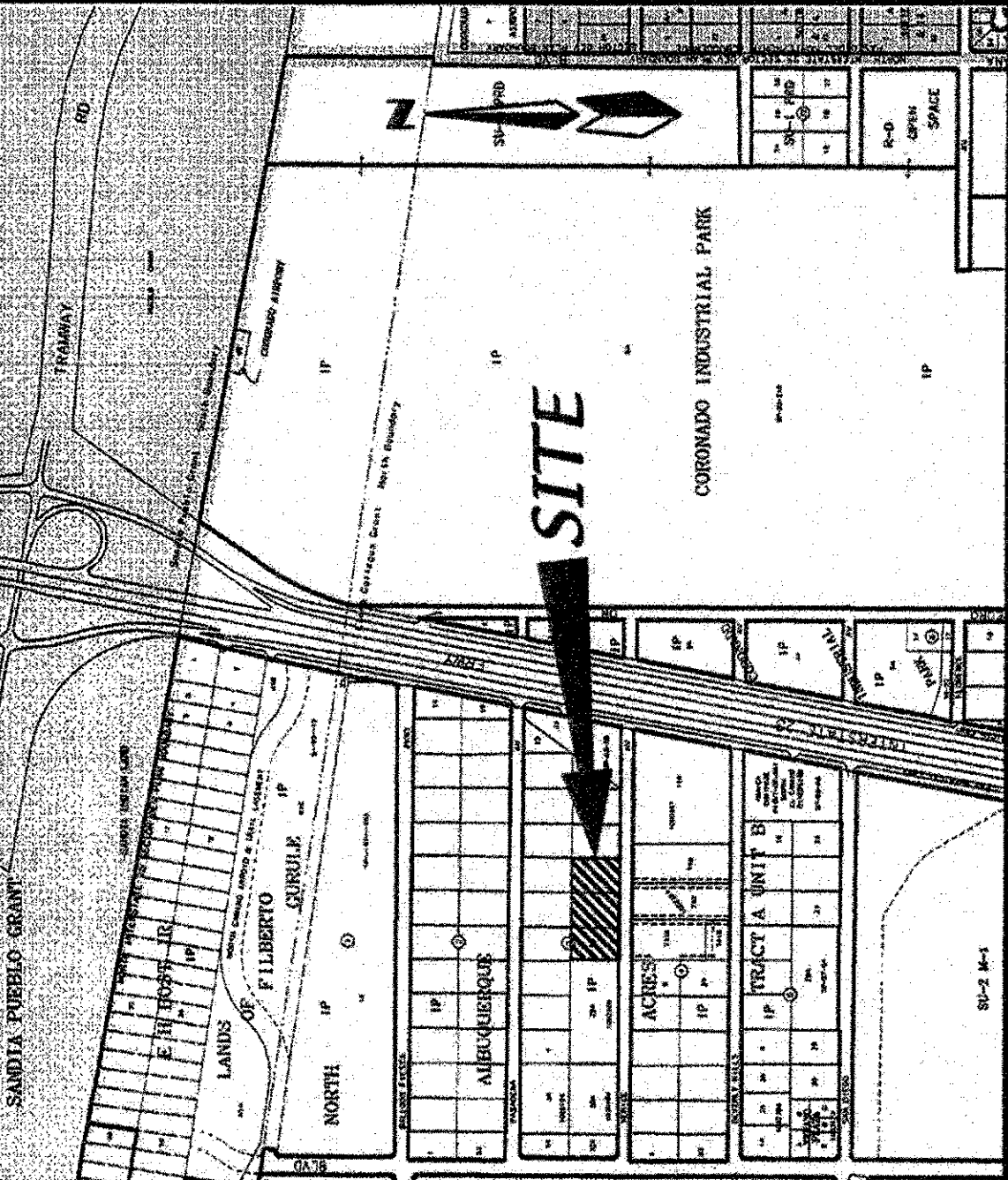


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ALBUQUERQUE, NEW MEXICO 87109
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www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE:
**GLASS RITE ON VENICE AVENUE
GENERAL NOTES**

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE	MO./DAY/YR.		MO./DAY/YR.	
<div>APPROVED Sept. 21, 2023 DESIGN REVIEW COMMITTEE</div>		<div>APPROVED Sept. 21, 2023 CITY ENGINEER</div>						
CITY PROJECT NO. 720983				ZONE MAP NO. B-18-Z	SHEET 2		OF 12	



ZONE ATLAS B-18-Z	
SCALE: NONE	
SUBDIVISION DATA	
Gross Acreage	2.6522 Ac.
Zone Atlas No.	B-18-Z
No. of Existing Lots	3 Lots
No. of Tracts/Lots created	0 Tracts/2 Lots
No. of Lots eliminated	3 Lots
Miles of full width streets created	0.00
Miles of half width streets created	0.00
Street Area dedicated to the City of Albuquerque	0.3416 Ac.
Date of Survey	February, 2004
Utility Control Location System Log Number	2004090470
Zone	IP

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate portions of Venice Avenue shown hereon to the City of Albuquerque in fee simple without warranty covenants, and do hereby grant, all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: Ted R. Martinez
BY: Ted R. Martinez
DATE: 5/21/04

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
This instrument was acknowledged before me on May 21, 2004
By Ted R. Martinez
Notary Public

NOTARY PUBLIC
My Commission Expires 1/29/2008
My Commission Number 1488/08

LEGAL DESCRIPTION
A tract of land situate within the Elena Gallegos Grant, projected Section 13, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOT 24, 25 AND 26, BLOCK 3, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 24, 1936 in Volume D, Folio 130 and containing 2.9938 acres more or less.

NOTES
1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and Distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled: "NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B" (04-24-36, D-130) records of Bernalillo County, New Mexico.
5. Date of Survey: February, 2004.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: IP
9. Utility Council Location System Log No: 2004090470
10. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719" (TYP.)

PURPOSE OF PLAT
1. Subdivide 3 Existing Lots into 2 Lots.
2. Grant easements as shown hereon.
3. Dedicate Right-of-Way as shown hereon.

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THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON URG. # 1-018 045-165280-20112
PROPERTY OWNER OF RECORD
Hartman, Ted R. & Linda E.
RESIDENT TO CITY OF BERNALILLO
Cynthia Suarez 7-12-04

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties exercising an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

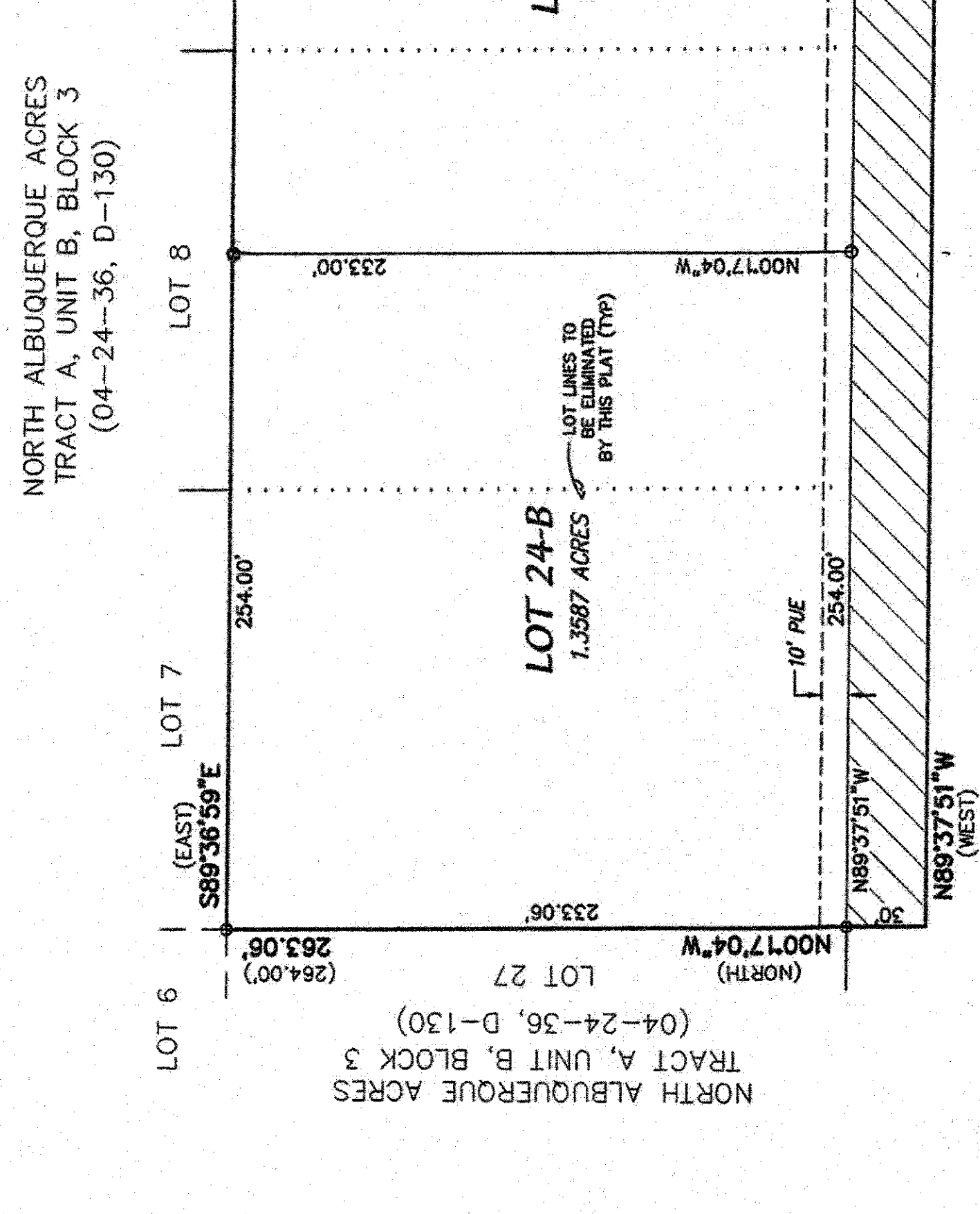
Timothy Aldrich P.S. No. 7719
DATE 05-21-04

28483742
P.L. 1111
07/12/2004 82-41P
R 12.00 BK-5884C Pg-288
Bernalillo Co. N.M.

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
- The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service. Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



(HATCHED AREA)
ADDITIONAL STREET RIGHT-OF-WAY
DEDICATED TO THE CITY OF ALBUQUERQUE
BY THIS PLAT WITHOUT WARRANTY COVENANTS.
(0.3416) ACRES.

VENICE AVENUE N.E. (60' R/W)

NORTH ALBUQUERQUE ACRES
TRACT A, UNIT B, BLOCK 3
(04-24-36, D-130)

LOT 24-A
1.2935 ACRES

LOT 24-B
1.3587 ACRES

PLAT FOR
LOTS 24-A AND 24-B
BLOCK 3
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1003418
Application Number: 04-0081

PLAT APPROVAL

Utility Approvals:

PNM Electric Services 6-30-04 Date
PNM Gas Services 6-30-04 Date
Qwest 7-1-04 Date
Comcast 7-1-04 Date

City Approvals: 5-25-04 Date
City Surveyor

Real Property Division
Traffic Engineering
Transportation Division
Utilities Development
Parks and Recreation Department
AMAT-CA
City Engineer
DRB Chairperson, Planning Department

DATE 6-2-04
6/9/04

DATE 6/9/04
6/9/04

DATE 6/9/04
6/9/04

DATE 7-29-04
7-29-04

DATE 5-25-04
5-25-04

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6/9/04

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7-29-04

PLAT FOR
LOTS 24-A AND 24-B
BLOCK 3
TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
WITHIN THE
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DATE 7-29-04
7-29-04

FOR REFERENCE ONLY

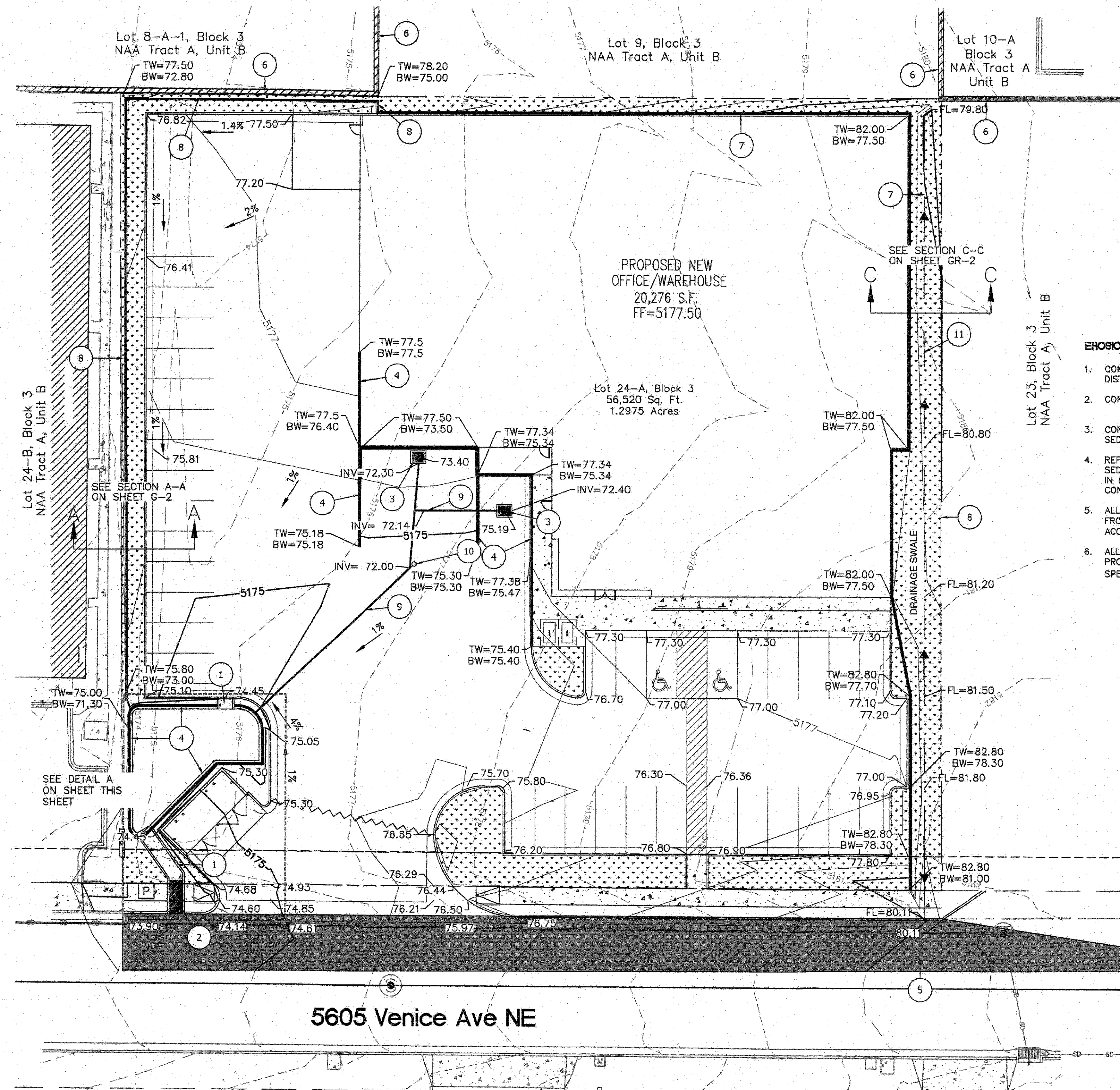
ALDRICH LAND
SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: BASED DWG Drawn: STEPHEN Date: 05/20/04 Sheet 2 of 2
Scale: AS SHOWN Job: A04010

28483742
P.L. 1111
07/12/2004 82-41P
R 12.00 BK-5884C Pg-288
Bernalillo Co. N.M.

NMSHC MONUMENT
125-11
Y=1526246.66
X=401966.77
G=401966.77
A=0011201
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5206.936

NMSHC MONUMENT
125-11
Y=1526246.66
X=401966.77
G=401966.77
A=0011201
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5206.936



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- RETAINING WALL

EROSION CONTROL NOTES

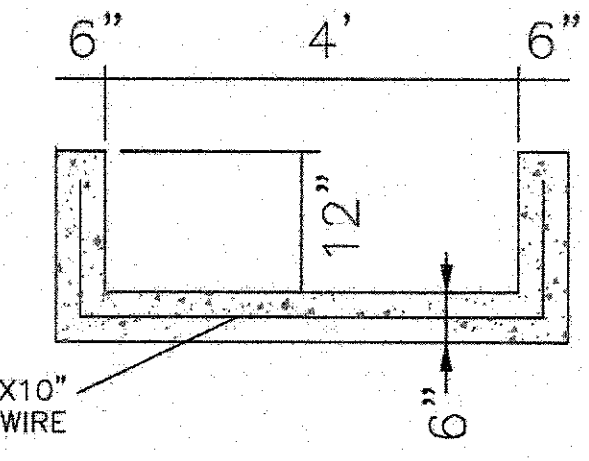
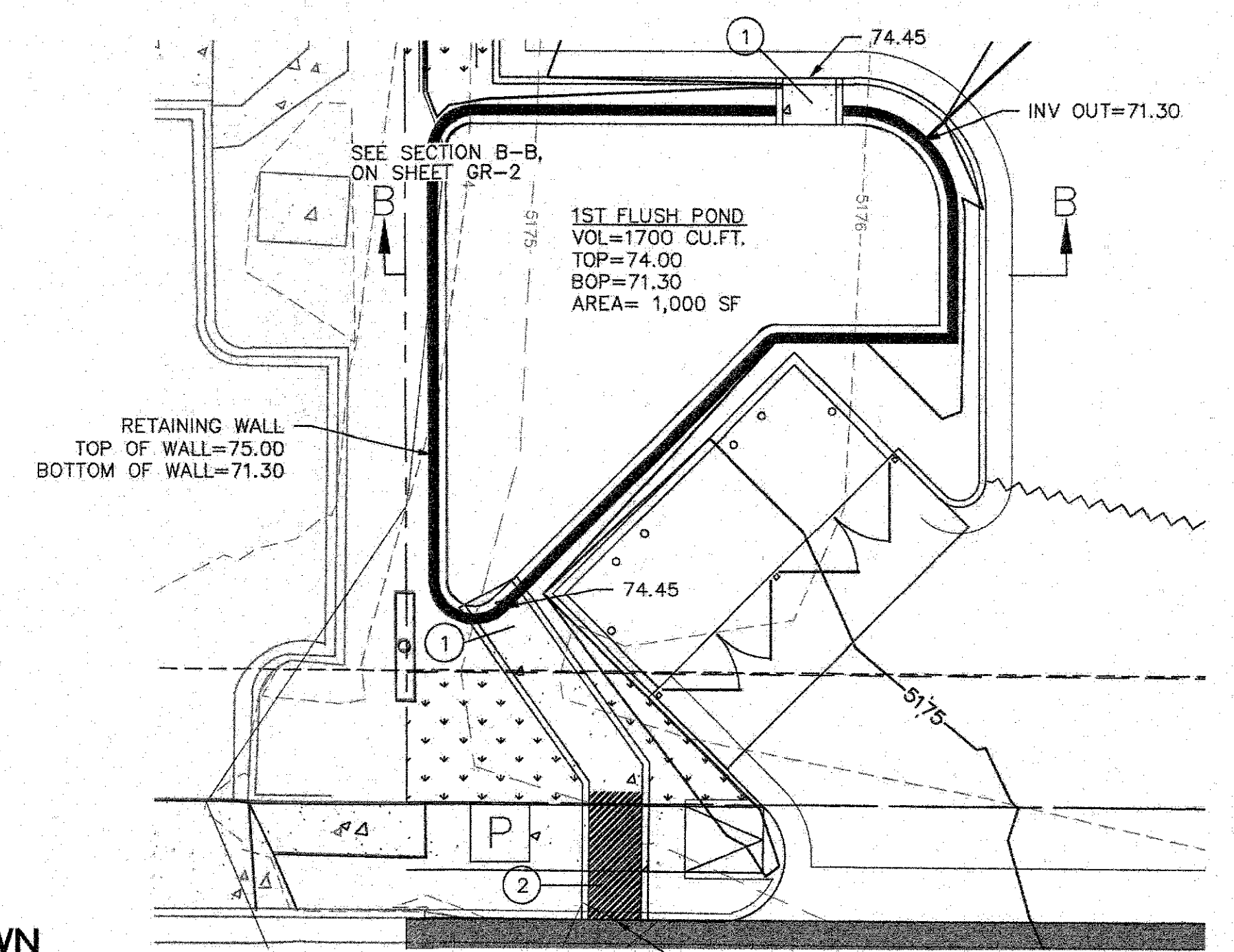
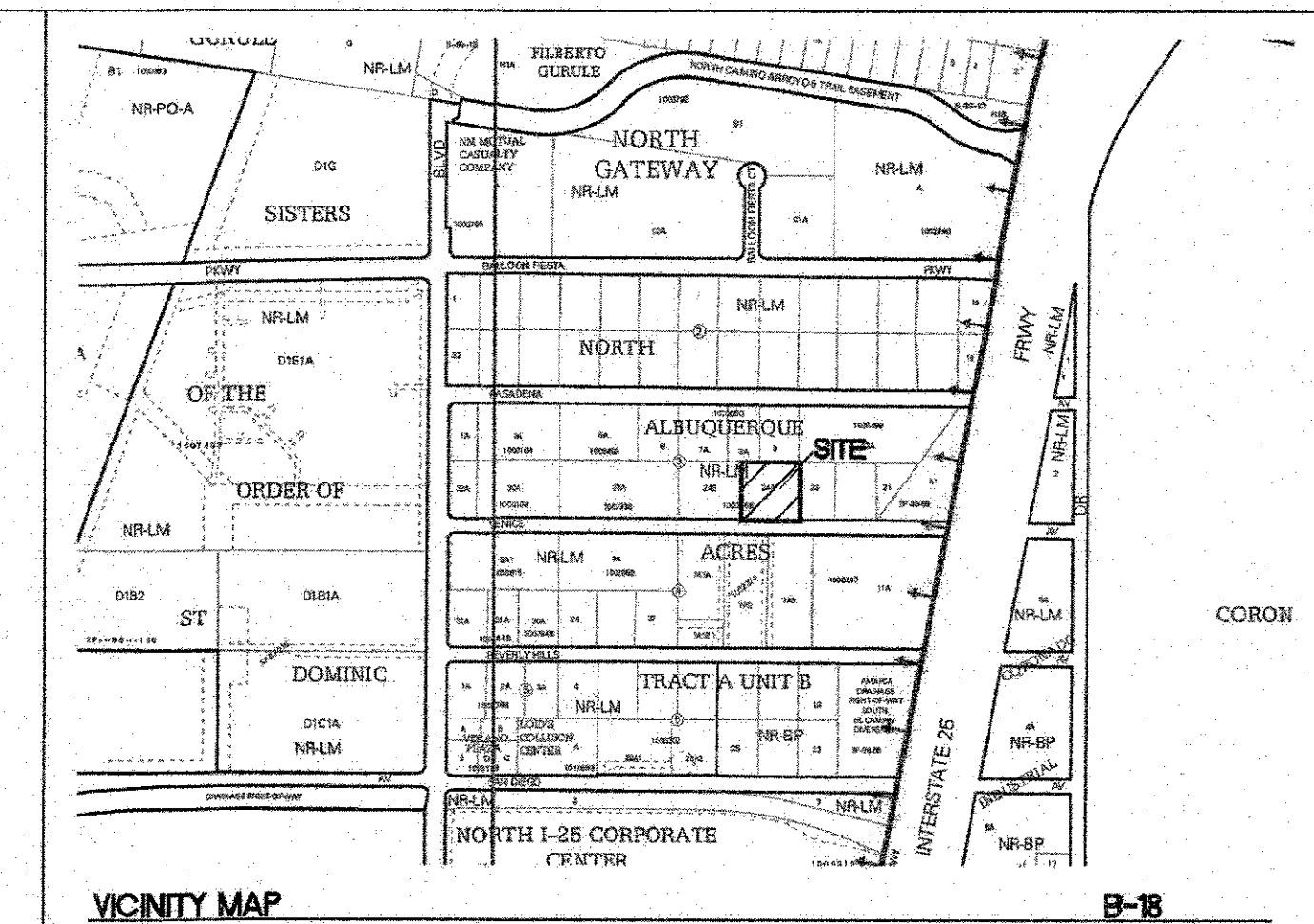
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 2" GRAVEL.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

KEYED NOTES

- ① 4" CONCRETE RUNDOWN, SEE DETAIL THIS SHEET
- ② 4" SIDEWALK CULVERT PER COA STD DWG 2236
- ③ AREA DRAIN
- ④ RETAINING WALL WITH RAILING
- ⑤ NEW ASPHALT PAVEMENT (MATCH GRADES AT EXISTING PAVEMENT EDGE)
- ⑥ EXISTING RETAINING/PERIMETER WALL
- ⑦ EXTENDED STEM WALL/RETAINING WALL
- ⑧ RETAINING WALL WITHOUT RAILING
- ⑨ 6" PVC SD
- ⑩ SD CLEAN OUT
- ⑪ 2" SWALE



CONCRETE RUNDOWN
NOTE: CHANNEL CAPACITY= 46 CFS AT 2% SLOPE
NTS

Zone:
Zone 2
Developed Basins

Basin	Basin Area			Treatments								100-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
D-2W/75'	56,520.0	1.30	0.002	0%	0.00	0%	0.00	15%	0.19	75%	0.97	1.902	0.206	4.82
Total	56,520.0	1.298	0.00203		0.00		0.000		0.195		0.973		0.206	4.82

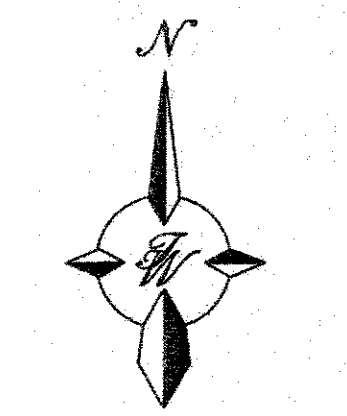
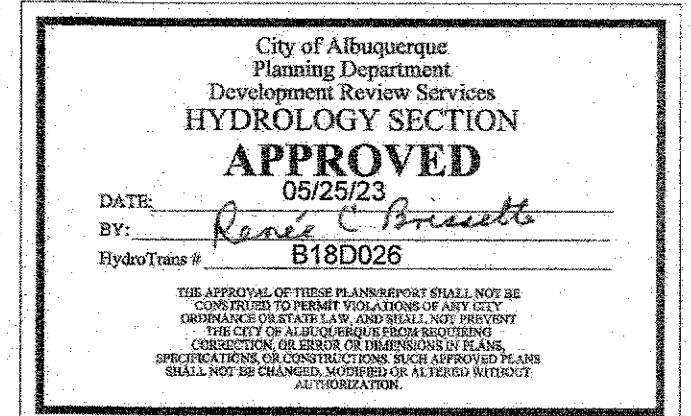
FIRST FLUSH VOLUME REQUIRED = 1554.37 Cu.Ft. < POND VOLUME PROVIDED = 1,700 Cu.Ft.

NARRATIVE

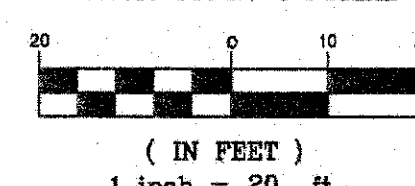
THIS CURRENTLY VACANT SITE IS LOCATED IN THE DRAINAGE BASIN ANALYZED WITHIN A MASTER DRAINAGE PLAN (B17D03).PER THE MASTER PLAN IT IS ALLOWED FREE DISCHARGE TO THE EXISTING STREET AND STORM DRAIN IN VENICE AVE., NE.THE PROPOSED ON-SITE IMPERVIOUS AREAS FIRST DRAIN TO A PROPOSED POND WHERE THE FIRST FLUSH VOLUME WILL BE RETAINED ON SITE.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

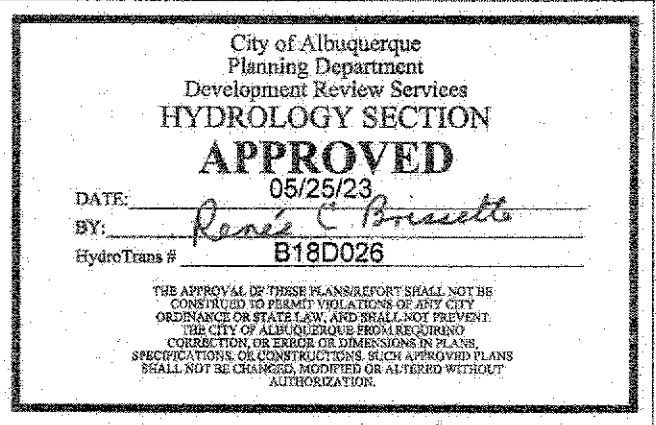
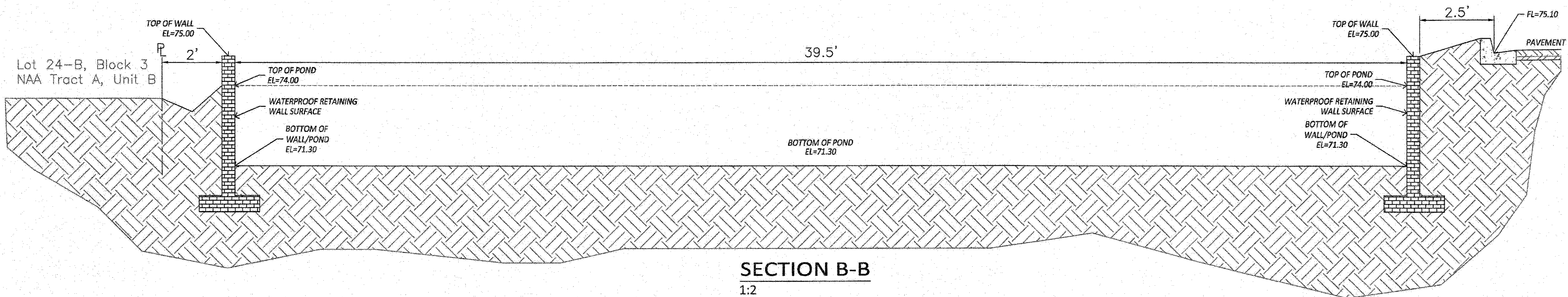
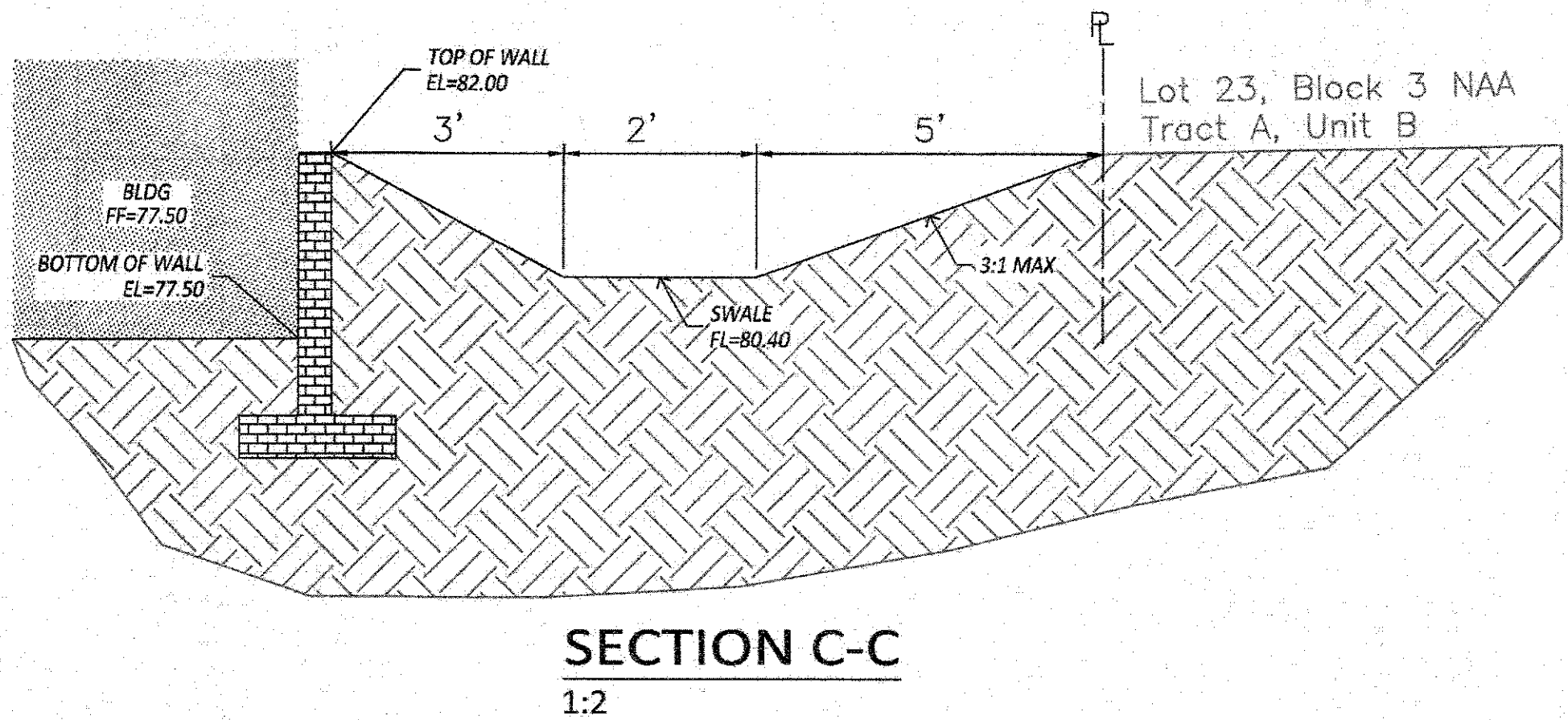
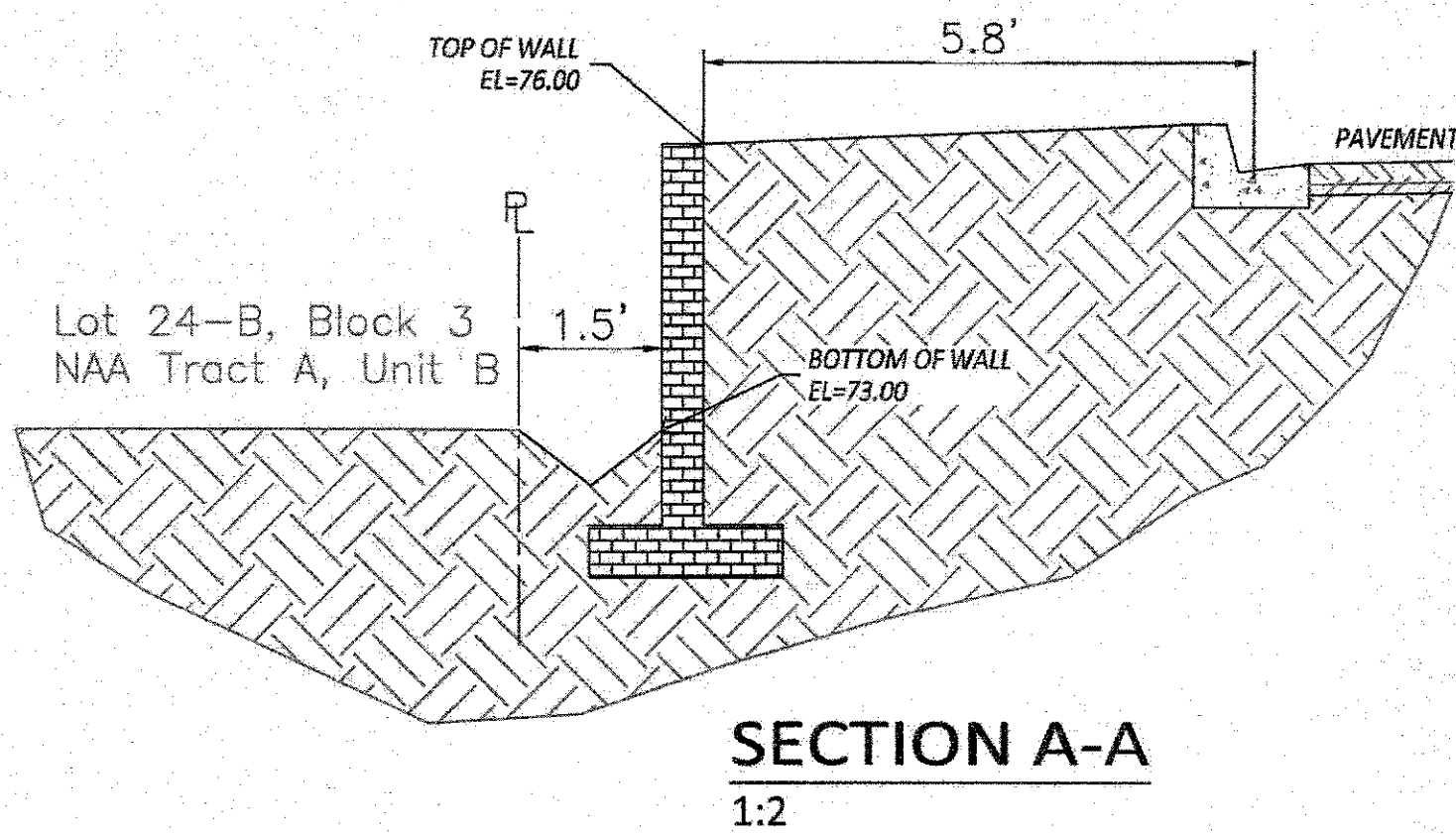


GRAPHIC SCALE





FOR REFERENCE ONLY

ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	GLASS RITE 5605 VENICE AVE GRADING AND DRAINAGE PLAN	DRAWN BY JL
		DATE 5/24/2023
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # GR-1
		JOB # 2022092



FOR REFERENCE ONLY

 5/24/2023 VINCENT P. CARRICA P.E. #16212	GLASS RITE 5605 VENICE AVE	DRAWN BY JL
	GRADING AND DRAINAGE NOTES	DATE 5/24/2023
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2
		JOB # 2022092

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

E. J. M. J.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	11.82	5.00	135.42	N22° 41' 23"E	9.25
C2	38.32	25.00	87.81	S45° 41' 42"E	34.67

QUARTER POINTS

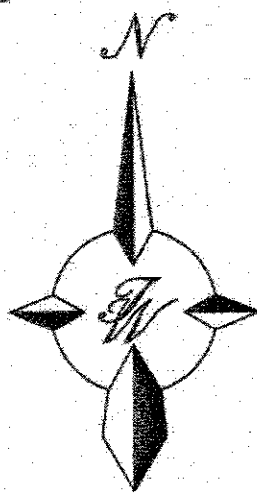
C1		FL	ELEV.	C2		FL	ELEV.
A		5174.55		D		5176.73	
B		5174.41		E		5176.70	
C		5174.28		F		5176.68	

KEYED NOTES

- STANDARD CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- UNIDIRECTIONAL ACCESSIBLE RAMP
- NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430
- EXISTING 4' CONCRETE SIDEWALK
- 6' VALLEY GUTTER PER COA STD DWG 2420
- EXISTING CURB AND GUTTER (TYP)
- ASPHALT TAPER EDGE
- EXISTING PAVEMENT EDGE
- 4' SIDEWALK CULVERT PER COA STD DWG 2236
- ADJUST EXISTING PULLBOX TO GRADE AS REQUIRED
- 8' TEMPORARY AC CURB PER COA STD DWG 2415C

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- CENTERLINE
- WATER BLOCK
- SIDEWALK
- NEW ASPHALT PAVING



GRAPHIC SCALE



SCALE: 1"=20'

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

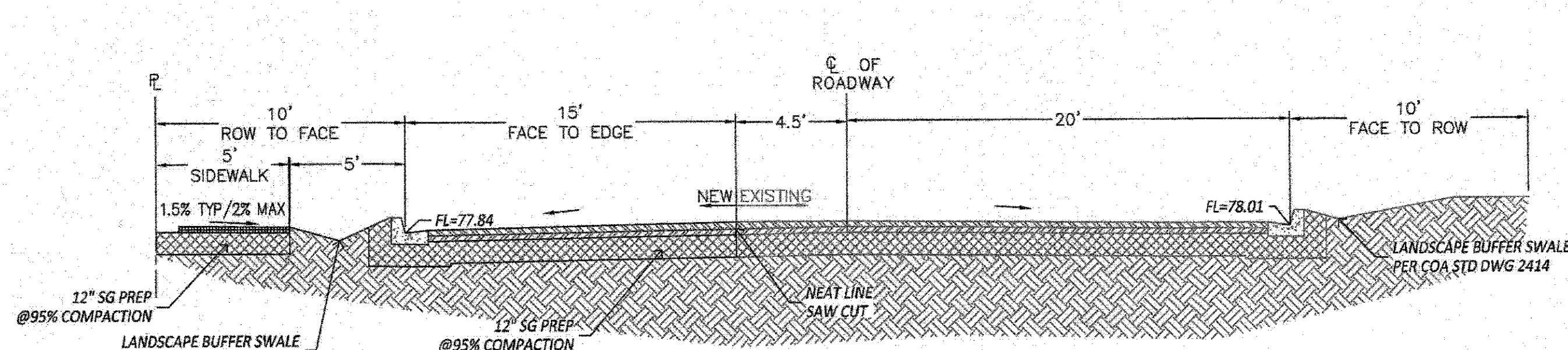
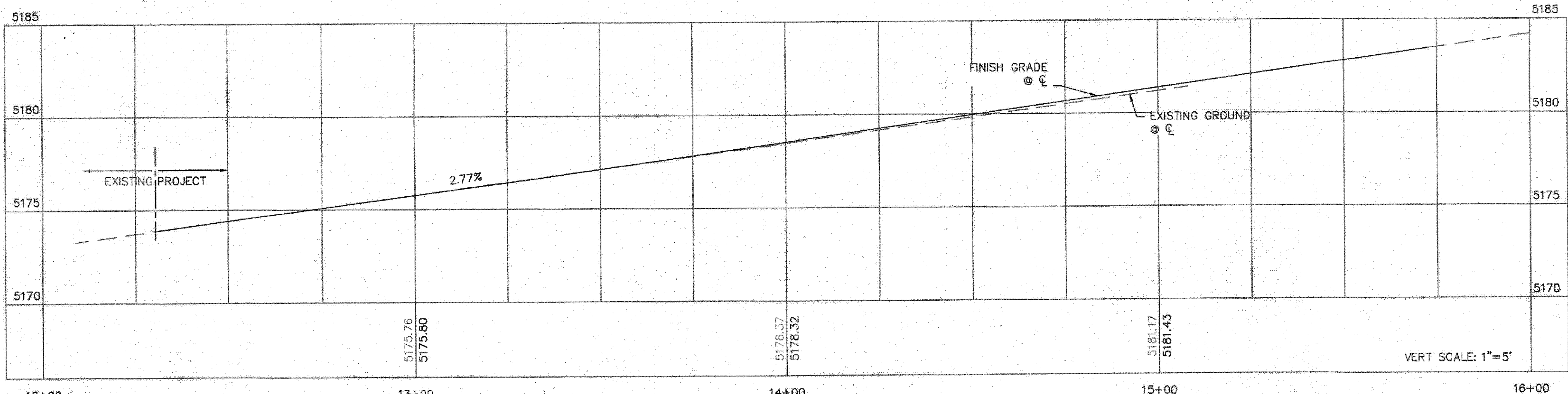
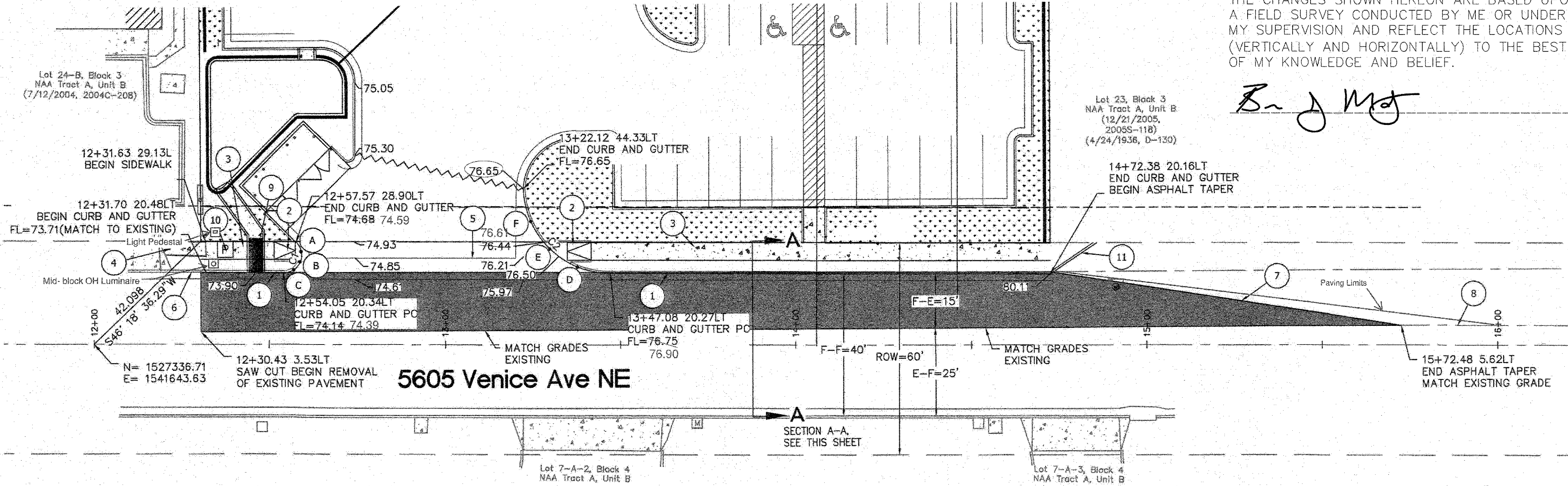
TITLE: **GLASS RITE ON VENICE AVENUE
ROAD IMPROVEMENTS 12+00 TO 16+00**

DESIGN REVIEW COMMITTEE
APPROVED
Sept. 21, 2023
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVED
Sept. 21, 2023
CITY ENGINEER

LAST DESIGN UPDATE
MO./DAY/YR.
MO./DAY/YR.

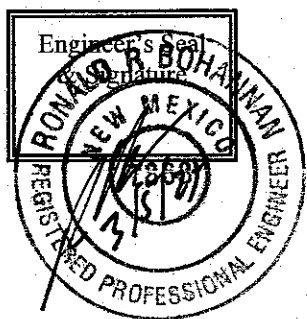
CITY PROJECT NO. 720983 ZONE MAP NO. B-18-Z SHEET 7 OF 12



VENICE AVE SECTION A-A
NTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of Cartesian Surveys, Inc., NMPS number 18374.



12" SUBGRADE SOIL, R-VALUE > 50, PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2.0 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED BY TIERRA WEST, LLC ACCOMMODATING THE EXISTING R-VALUE (R<50) PER C.O.A. STANDARD SPECIFICATIONS.

* UNLESS WAIVED IN FIELD BY COA ENGINEERS REPRESENTATIVE

DAYTONA ROAD PAVING SECTION
NTS
(PER PROJECT NO 655787)

NOTE:
REMOVE EXISTING TEMPORARY ASPHALT TAPER STA 12+31.70 TO STA 13+34.20
NEAT LINE SAW CUT REQUIRED

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NEW OFFICE/WAREHOUSE

PROJECT:	NEW OFFICE/WAREHOUSE
LOCATION:	5605 VENICE AVE., NE ALBUQUERQUE, NEW MEXICO
OWNER:	GLASSCO
ARCHITECT:	TATE FISHBURN ARCHITECT
LEGAL DESCRIPTION:	LOT 24-A, BLOCK 3, NORTH

FAR:

PARKING ANALYSIS:

OFF-STREET PARKING

OFFICE	3,952 GSF	3.5:1000 = 14 SPACES
WAREHOUSE	16,324 GSF	NO REQUIREMENT
		REQUIRED 14 SPACES
HANDICAP PARKING (26-35 PRVOT)		TOTAL SPACES PROVIDED 34 SPACES
		= REQUIRED 2 SPACE TOTAL (1 HANDICAP)
MOTORCYCLE PARKING		(1-25 ROD) = REQUIRED 1 SPACE
		PROVIDED 1 SPACE
BICYCLE PARKING	10% OF REQ'D OR 3 =	REQUIRED 3 SPACES
		PROVIDED 4 SPACES

PROJECT NO. FR-2023-008250

APPLICATION NO. SI-2023-00376-SITE PLAN-DFT

IF AN IMPROVEMENTS LIST REQUESTED BY ITS (S) AND ITS (S) IS/ARE A SET OF APPROVING THE PLANS WITH A WORK ORDER IS REQUESTED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS

EIT SITE DEVELOPMENT PLAN APPROVAL:

Ernest Amayo Nov 7, 2023

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

John G. [Signature] Nov 17, 2023

ADMINIA

William [Signature] Nov 7, 2023

PAVING & RECREATION DEPARTMENT

Regina Chan Nov 7, 2023

HYDROLOGY

Jeff Palmer Nov 7, 2023 (11:23 AM)

CODE ENFORCEMENT

*EMPLOYMENT & HEALTH DEPARTMENT (CONDITIONAL)








SOLID WASTE MANAGEMENT

Michelle [Signature] Nov 17, 2023

FINANCING DEPARTMENT

*ENVIRONMENTAL HEALTH, IF NECESSARY

LEGEND

	PROPERTY LINE
	EASEMENT LINE
	LANDSCAPED AREA
	PONDING AREA
	SITE DISTANCE AND SITE TRIANGLE BASED ON COA DPM 7-4(i)(5)(iii) and 7-4(i)(5)(iv). LANDSCAPING AND SIGN WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR TRIANGLE
	HANDICAP PARKING PAVEMENT MARKING
	EXISTING FIRE HYDRANT

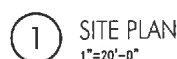
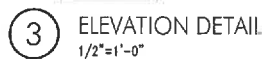
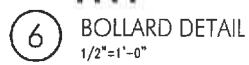
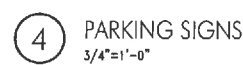
GENERAL NOTES


1. THIS SITE PLAN MEETS THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE IDO.
2. ALL SITE LIGHTING SHALL COMPLY WITH IDO SECTION 14-16-5-8 OUTDOOR AND SITE LIGHTING.
3. PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
4. ALL LIGHT FIXTURES SHALL BE FULLY SHEIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE FIXTURE. IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
5. ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOF TOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
6. SITE HANDICAP RAMPS SHALL BE BUILT BY CDA STANDARD DRAWING #2441.

INDEX TO DRAWINGS

SDP-1	SITE DEVELOPMENT PLAN
SDP-1	BUILDING EXTERIOR ELEVATIONS
GR-1	GRADING & DRAINAGE PLAN
MU-1	MASTER UTILITY PLAN
LS-101	LANDSCAPE PLAN
LS-102	IRRIGATION PLAN
LS-103	LANDSCAPE DETAILS

GLASS-RITE
NEW OFFICE/WAREHOUSE
5605 VENICE AVE. , NE
ALBUQUERQUE, NEW MEXICO

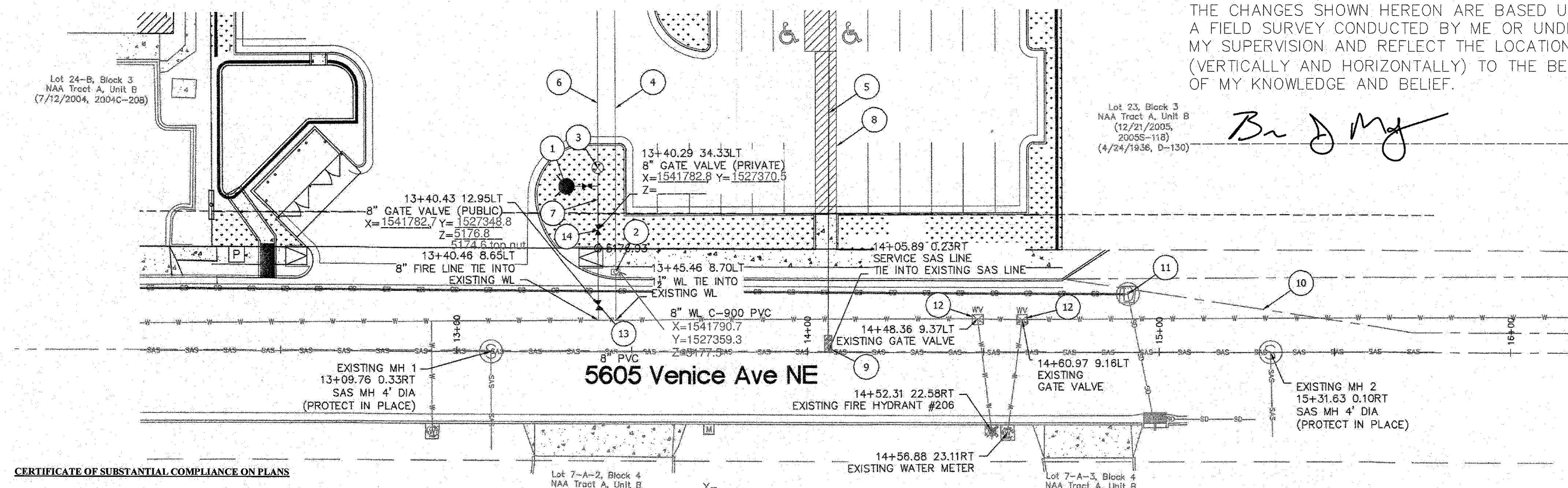


REVISION	
DATE	APRIL 24, 2023
NORTH	SCALE
	1"=20'-0" OR AS NOTED
DRAWING NAME	
SITE DEVELOPMENT PLAN	
SHEET NUMBER	

SDP-1

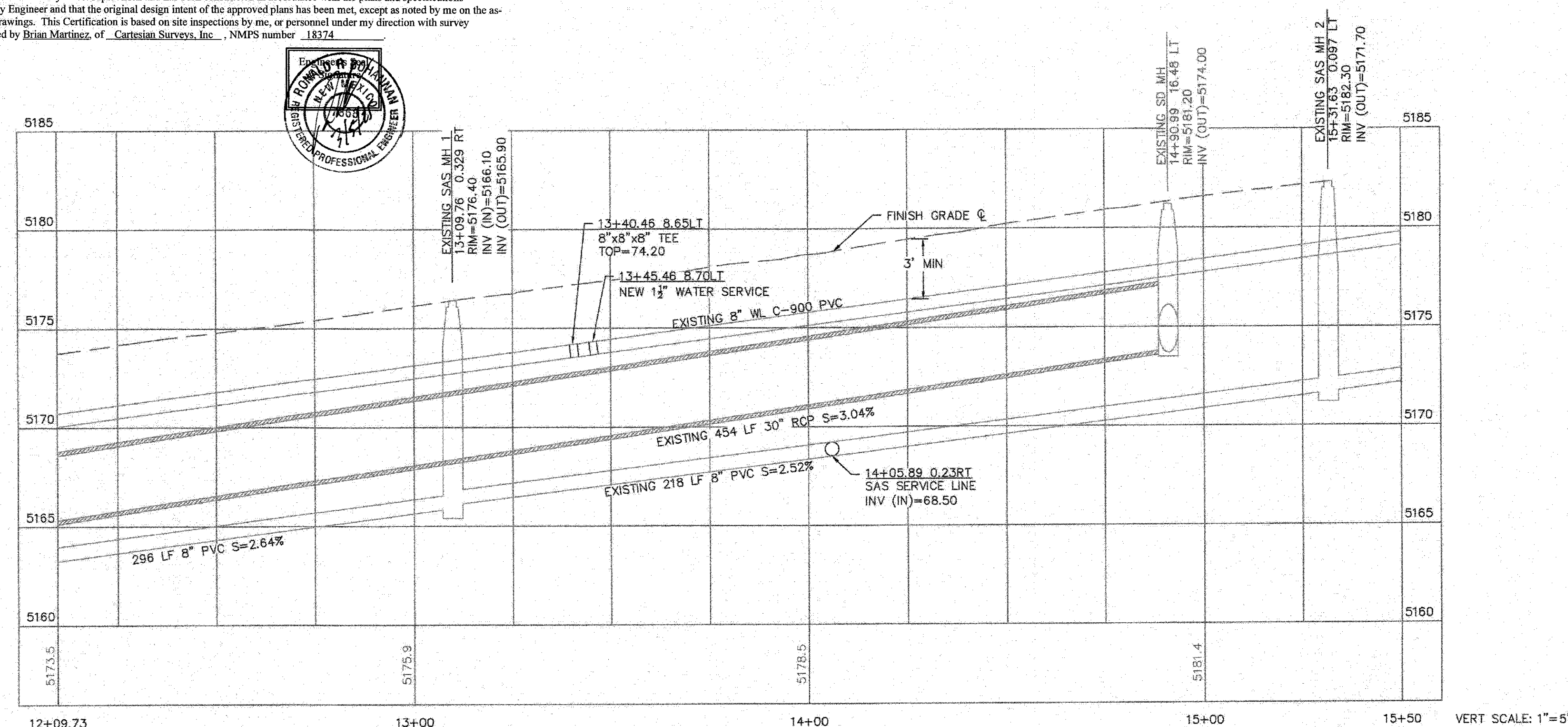
THE CHANGES SHOWN HEREON ARE BASED UPON
A FIELD SURVEY CONDUCTED BY ME OR UNDER
MY SUPERVISION AND REFLECT THE LOCATIONS
(VERTICALLY AND HORIZONTALLY) TO THE BEST
OF MY KNOWLEDGE AND BELIEF.

Brady



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by _____ on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of Cartesian Surveys, Inc., NMPS number 18374.



LEGEND

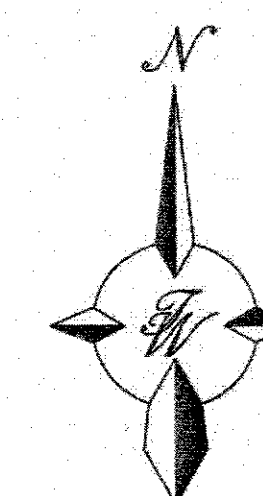
- | | |
|--|---------------------------|
| | CURB & GUTTER |
| | EASEMENT |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | SIDEWALK |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | RETAINING WALL |
| | NEW SANITARY SEWER LINE |
| | NEW WATERLINE |
| | PROPOSED HYDRANT |
| | NEW WATER METER |
| | EXIST SANITARY SEWER LINE |
| | EXIST WATERLINE |

UTILITY DETAIL NOTE:

SEE SANITARY SEWER SERVICE LINE AND FIRELINE
LATERAL CROSS SECTIONS ON CONSTRUCTION
DETAIL SHEET 9

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



GRAPHIC SCALE




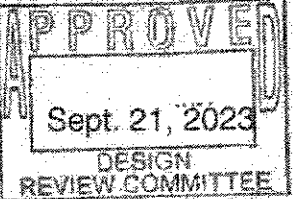
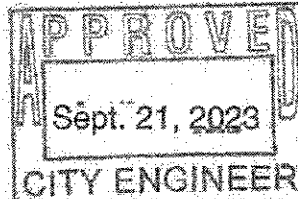
SCALE: 1"=20'

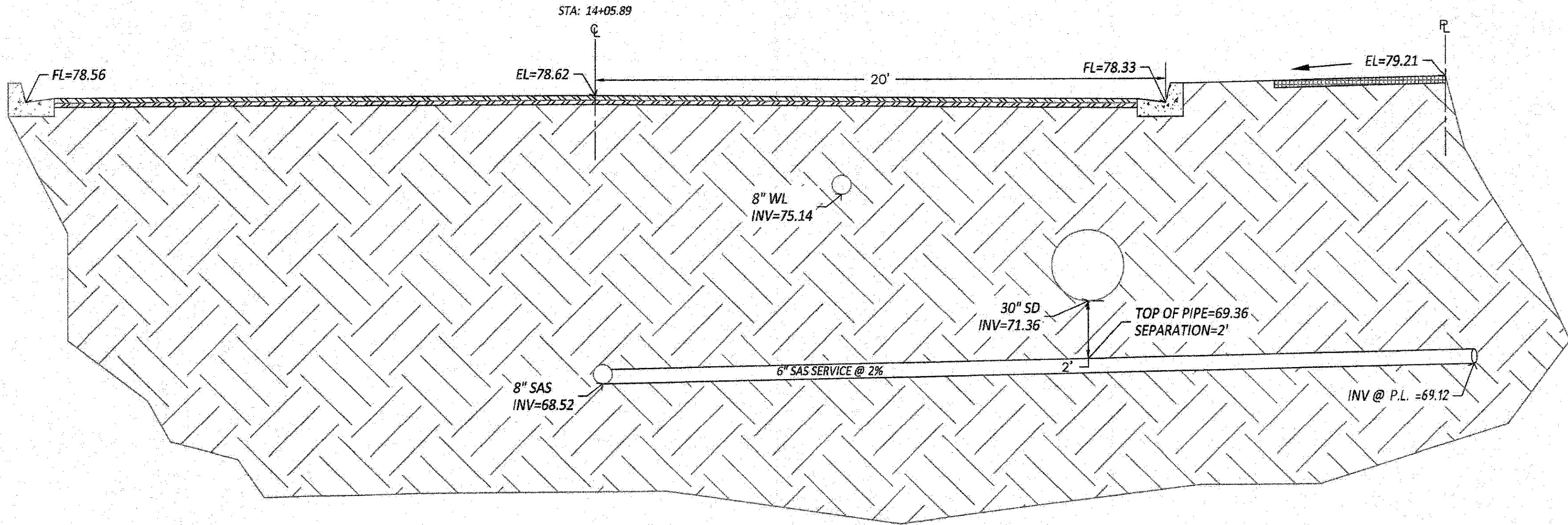
GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH ABCWUA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 3' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. SEE SHEET 9 FOR JOINT RESTRAINT INFORMATION.

KEYED NOTES

- | | | | |
|---|-------------------------------------------------------------------------------------------------|----|------------------------------------------------------------|
| 1 | NEW PRIVATE FIRE HYDRANT W/ 6" GATE VALVE, PER ABCWUA STD DWG 2340, TO BE PAINTED SAFETY ORANGE | 8 | PEDESTRIAN CROSSWALK |
| 2 | 1/2" WATER METER PER ABCWUA STD DWG 2367
X=_____, Y=_____, Z=_____ | 9 | PAVEMENT SAW CUT, REMOVE AND REPLACE PER COA STD DWG 2645 |
| 3 | PIV | 10 | ASPHALT TAPER EDGE |
| 4 | 1 1/2" DOMESTIC WL SERVICE (REF. DWG 2363)
(PRESSURE TAP) | 11 | ADJUST EXISTING SD MH TO GRADE W/
NEW CONCRETE COLLAR |
| 5 | 6" SAS SERVICE SERVICE (TEE-WYE CONNECTION)
(REF. DWG 2125) | 12 | ADJUST EXISTING GATE VALVES TO
GRADE W/ CONCRETE COLLAR |
| 6 | 6" FIRE LINE (REF. DWG 2329) | 13 | 8" GATE VALVE (PUBLIC) PER ABCWUA STD DWG 2394 |
| 7 | 8" FIRE LINE (NON PRESSURE CONNECTION) | 14 | 8" GATE VALVE (PRIVATE) PER ABCWUA STD DWG 2394 |

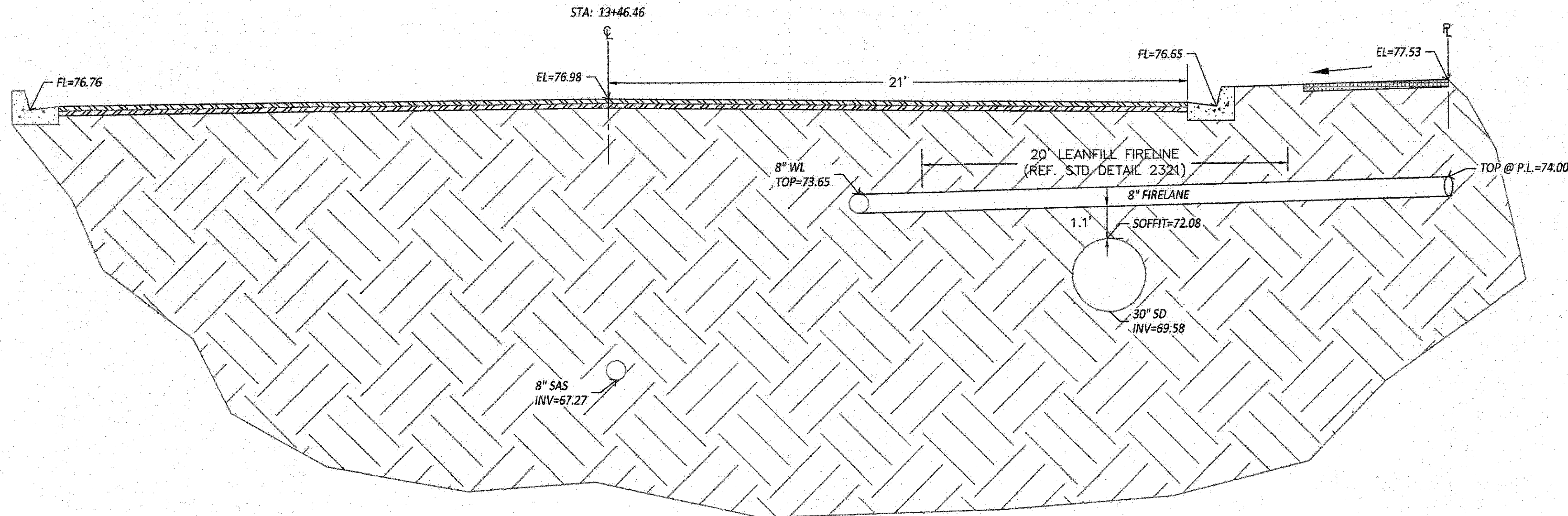
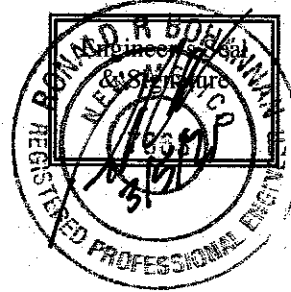
 <p>TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</p>					DATE	DESIGNED BY: J	DRAWN BY: J	DRAWN NAME
					NO.			
<p>CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP</p>								
<p>TITLE:</p> <p>GLASS RITE ON VENICE AVENUE UTILITY IMPROVEMENTS 12+09.73 TO 15+50</p>								
<p>DESIGN REVIEW COMMITTEE</p> <div style="border: 1px solid black; padding: 5px; text-align: center;">  </div>		<p>CITY ENGINEER APPROVAL</p> <div style="border: 1px solid black; padding: 5px; text-align: center;">  </div>		<p>LAST DESIGN UPDATE</p>		<p>MO./DAY/YR.</p>		<p>MO./DAY/YR.</p>
<p>CITY PROJECT NO.</p> <p>720983</p>		<p>ZONE MAP NO.</p> <p>B-18-Z</p>		<p>SHEET</p>		<p>OF</p>		<p>8 12</p>



SAS SERVICE LATERAL @ STA 14+05.89
NTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Brian Martinez, of Cartesian Surveys, Inc., NMPS number 18374.



FIRELINE LATERAL @ STA 13+46.46
NTS

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR TEES*						
SIZE	LENGTH ALONG RUN**					
	10'	8'	6'	4'	2'	0'
12x12x12	61	68	76	83	90	98
12x12x10	39	48	56	65	74	83
12x12x8	15	26	37	48	59	70
12x12x6	1	1	9	24	38	53
12x12x4	1	1	1	1	16	37
10x10x10	46	54	61	68	76	83
10x10x8	25	34	43	52	61	70
10x10x6	1	5	17	29	41	53
10x10x4	1	1	1	2	20	37
8x8x8	34	42	49	56	63	70
8x8x6	6	15	25	34	43	53
8x8x4	1	1	1	10	24	37
6x6x6	7	24	31	39	46	53
6x6x4	1	1	6	17	27	37

*RESTRAINTS ONLY PLACED ON THE BRANCH
**LENGTH ALONG RUN REFERS TO THE LENGTH OF PIPE ON EITHER SIDE OF THE TEE BEFORE THE NEXT JOINT.

RESTRAINED JOINT LENGTHS FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS (EACH SIDE)					
SIZE	HORIZONTAL BENDS				VALVES DEAD END
	90°	45°	22-1/2°	11-1/4°	
12	45	19	9	4	102
10	38	16	8	4	86
8	32	13	6	3	72
6	25	10	5	2	55
4	18	7	4	1	39

RESTRAINED JOINT LENGTHS FOR REDUCERS***			
SIZE	L. SIDE	SIZE	L. SIDE
12x10	50	10x6	53
12x8	54	10x4	70
12x6	74	8x6	30
12x4	88	8x4	52
10x8	29	6x4	28

***RESTRAINTS ONLY PLACED ON LARGE SIDE

THE FOLLOWING TABLES WERE CREATED USING EBAA IRON INC. SOFTWARE FOR RESTRAINING JOINTS WITH THESE CRITERIA:

DEPTH OF BURY: 3.0' MINIMUM TO 6.0'
SAFETY FACTOR: 1.5 TO 1
PIPE MATERIAL: PVC
SOIL TYPE: GM/SM-SILTY GRAVEL/SILTY SAND, GRAVEL-SAND MIXTURES
TEST PRESSURE: 150 PSI
TRENCH TYPE 3: PIPE BEDDED IN 4" MINIMUM LOOSE SOIL BACKFILL LIGHTLY CONSOLIDATED TO TOP OF PIPE

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)					
SIZE	HORIZONTAL BENDS				
	90°	45°	22-1/2°	11-1/4°	
12 UPPER	DON'T USE	42	20	10	
12 LOWER	DON'T USE	10	5	2	
10 UPPER	DON'T USE	36	17	8	
10 LOWER	DON'T USE	8	4	2	
8 UPPER	DON'T USE	30	14	7	
8 LOWER	DON'T USE	7	3	2	
6 UPPER	DON'T USE	23	11	5	
6 LOWER	DON'T USE	5	3	1	
4 UPPER	DON'T USE	16	8	4	
4 LOWER	DON'T USE	4	2	1	

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

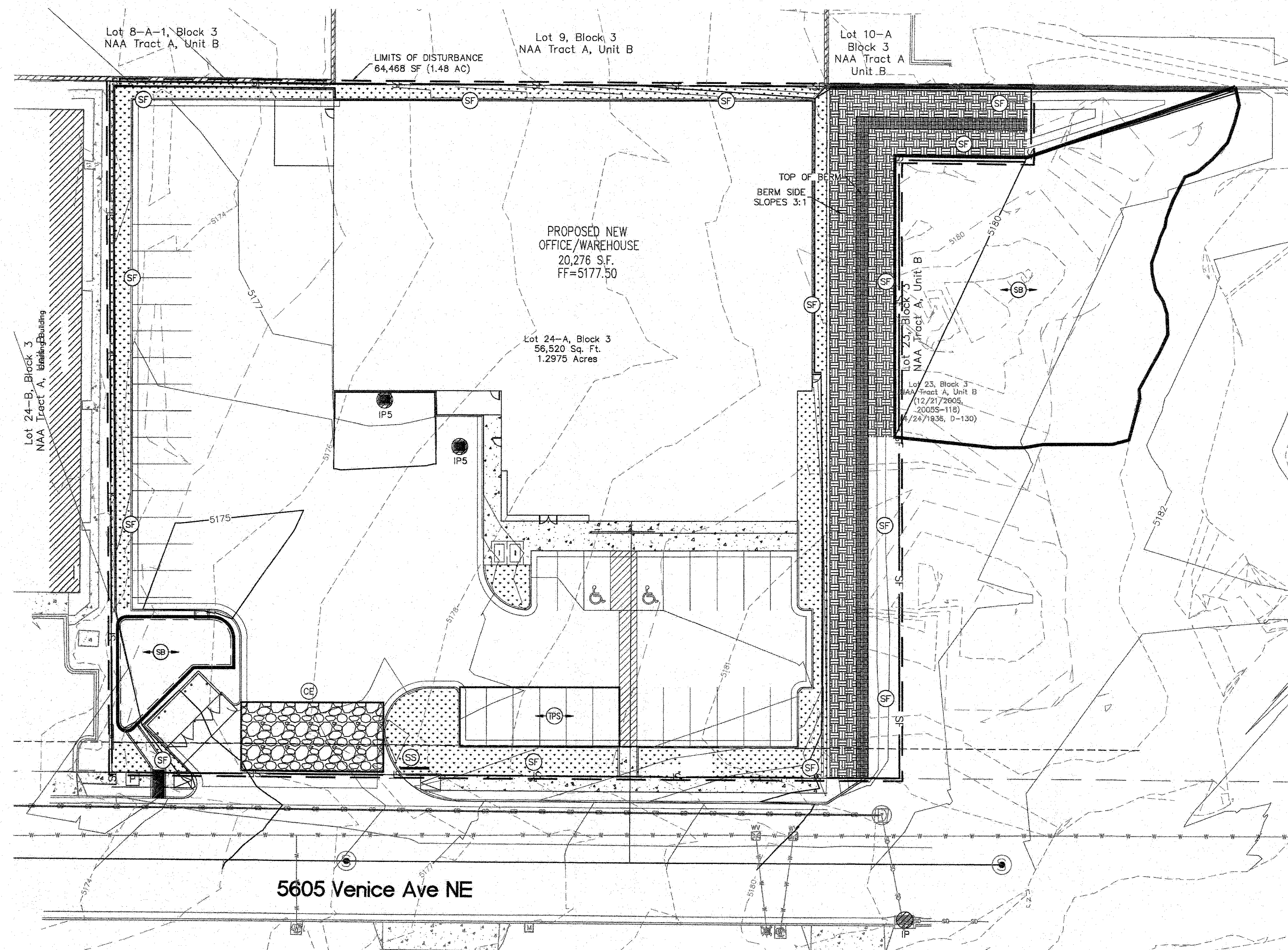
TITLE: GLASS RITE ON VENICE AVENUE
CONSTRUCTION DETAILS










DESIGN REVIEW COMMITTEE
APPROVED
Sept. 21, 2023
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVED
Sept. 21, 2023
CITY ENGINEER




MO./DAY/YR.
MO./DAY/YR.
LAST DESIGN UPDATE

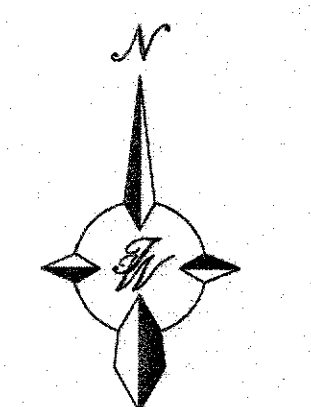
CITY PROJECT NO. 720983
ZONE MAP NO. B-18-Z
SHEET 9 OF 12



EROSION NOTES	
	TPS TEMPORARY PARKING AND STORAGE
	LIMITS OF DISTURBANCE
	SB TEMPORARY SEDIMENT BASIN
EROSION DETAILS	
	CE TEMPORARY STONE CONSTRUCTION EXIT
	SF TEMPORARY SILT FENCE
	SS SWPPP SIGN
	SF SILT FENCE
	CE CONSTRUCTION EXIT
	IP INLET PROTECTION

LEGEND

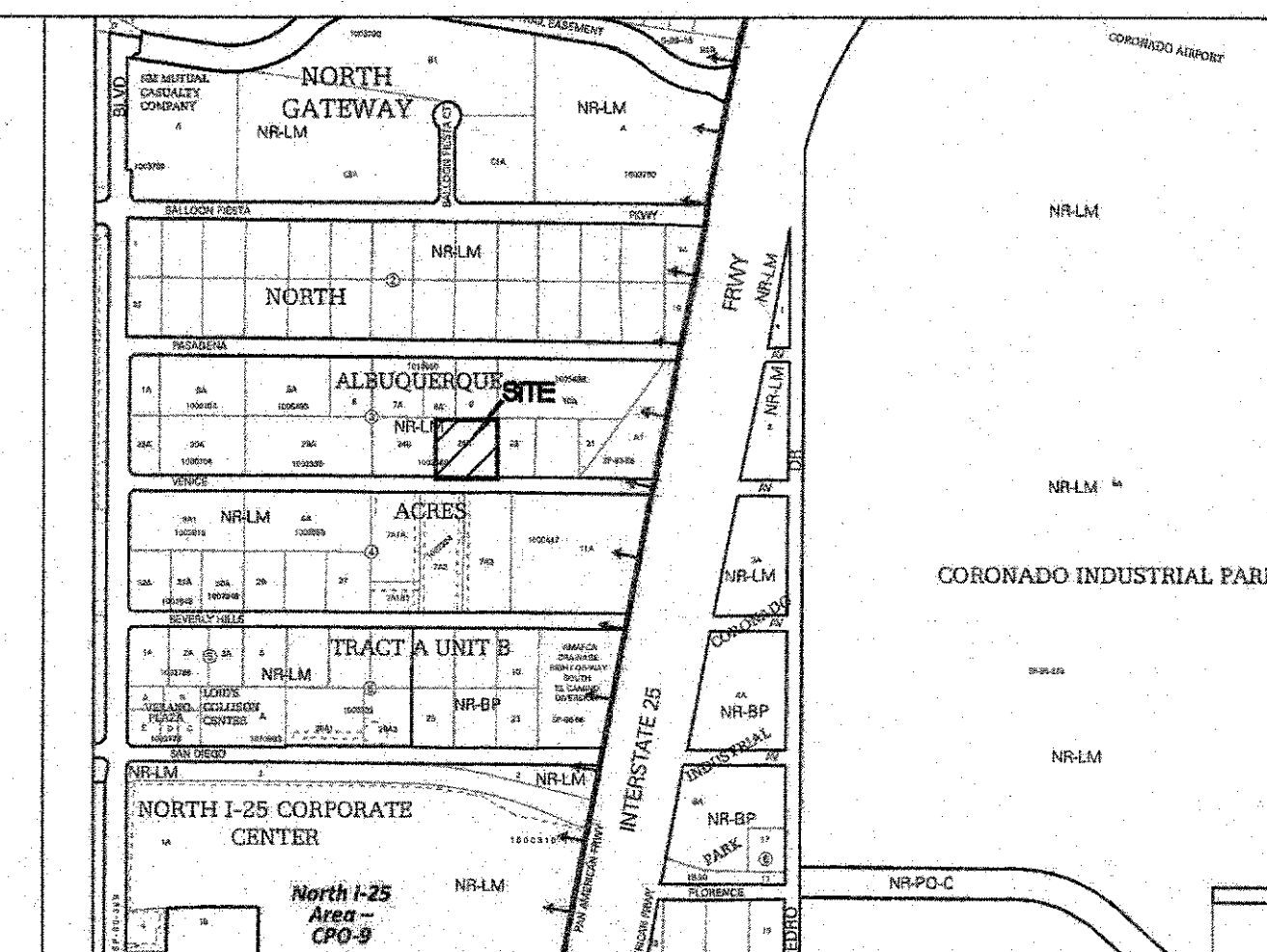
	CONCRETE (TYP.)
	3/4" ROCK MULCH (TYP.)
	BERM (TYP.)



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

FOR REFERENCE ONLY



SEQUENCE OF CONSTRUCTION:

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. POST PUBLIC NOTICE PER DETAILS.
3. INSTALL DOWN GRADIENT PERIMETER CONTROLS.
4. THE ENTIRE SITE WILL BE GRADED TO DRAIN TO THE PROPOSED PONDS AT ALL TIMES DURING CONSTRUCTION. INSTALL SEDIMENT BASINS PRIOR TO CLEARING REST OF THE SITE. RUNOFF FROM UPLAND BASINS TO THE EAST SHALL BE DIVERTED TO VENICE AVE.
5. NOTIFY SWPPP COMPLIANCE INSPECTOR OF COMPLETION OF ABOVE.
6. BEGIN SOIL DISTURBING ACTIVITIES.
7. PROVIDE TEMPORARY STABILIZATION OF DISTURBED AREAS OR STOCKPILES.
8. INSTALL UNDERGROUND UTILITIES.
9. START CONSTRUCTION OF COMMERCIAL BUILDING.
10. FINISH GRADING THE SITE.
11. PAVE COMMON ACCESS DRIVE AISLES AND SIDEWALKS AND PORTION OF ROADWAY.
12. INSTALL LANDSCAPING ON SITE.

GROUND COVER (PRE-CONSTRUCTION)

THE UNDISTURBED AND PRE-CONSTRUCTION GROUND COVER CONSISTS OF UNCOMPACTED SOIL WITH NATIVE GRASSES, WEEDS, AND SHRUBS WITH MINIMAL TO NO DISTURBANCES TO GRADING.

STORMWATER TEAM MEMBERS:

BMP INSTALLATION, MAINTENANCE AND CORRECTIVE ACTIONS

PHONE: _____
FMAIL: _____

INSPECTIONS NAME: _____
PHONE: _____
EMAIL: _____

LIST OF OPERATORS:

OPERATOR 1 NAME: _____
PHONE: _____

EMAIL: _____

OPERATOR 2 NAME: _____

PHONE: _____
EMAIL: _____

OPERATOR 3 NAME: _____
PHONE: _____

EMAIL: _____

SWPPP PURPOSE:

THE PURPOSE OF THIS SWPPP IS TO APPLY SWPPP CONTROLS THAT ARE
REQUIRED DURING DEVELOPMENT OF SITE AND PUBLIC RIGHT OF WAYS.

[illegible]

NATURE AND EXTENT OF CONSTRUCTION ACTIVITIES

NATURE OF CONSTRUCTION ACTIVITIES: MASS ROUGH GRADING OF THE SITE, INSTALLATION OF UTILITIES (WATER AND SANITARY SEWER) AND PAVING OF INTERNAL DRIVE AISLES, PARKING AND SIDEWALKS, BUILDING CONSTRUCTION AND LANDSCAPING AND OFFSITE IMPROVEMENTS.

PROPERTY SIZE: 1.29 ACRES

DISTURBED AREA SIZE: 1.48 ACRES

MAXIMUM DISTURBED AREA SIZE: 1.48 ACRES

PROJECT SCHEDULE: SCHEDULE LENGTHS ARE TBD, SEE SEQUENCE OF CONSTRUCTION THIS SHEET SW-1 FOR SCHEDULE TASKS DESCRIPTION.

CONSTRUCTION PHASE: THE ONE PHASE OF CONSTRUCTION, CONSISTS OF BUILDING CONSTRUCTION, TRENCHING AND INSTALLING UTILITIES FOR SERVICE AND PAVING OF PARKING AND DRIVEWAYS TO THE PROPERTY AND CONSTRUCTION OF OFFSITE IMPROVEMENTS.

N.O.T. TERMINATION: PARCELS ARE EXPECTED TO BE PERMANENTLY STABILIZED PRIOR OCCUPANCY.

STABILIZATION MEASURES: LOCALLY, NON-VEGETATIVE CONTROLS MAY CONSIST OF 2" OR 3" GRAVEL MULCH MIXED WITH COA WESTSIDE SEED MIX PLACED TO COVER THE PARCEL OR VEGETATIVE CONTROLS MAY BE CRIMP STRAW OR HYDRO-SEED MULCH. CRIMP STRAW OR HYDRO-SEED MULCH COVERAGE THAT IS PROVIDED BY VEGETATION NATIVE TO LOCAL UNDISTURBED AREAS WITHIN (3) THREE YEARS, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED AREA, NON-VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED THAT PROVIDE COVER AT THE END OF THE THIRD YEAR. VEGETATIVE CONTROLS SHOULD BE APPLIED FROM JUNE TO AUGUST TO TAKE ADVANTAGE OF THE AREA'S RAIN SEASON.

CITY WEED REMOVAL ORDINANCE; PROPERTY OWNERS ARE TO COMPLY WITH THE CITY WEED REMOVAL ORDINANCE.

INSPECTIONS: SEE ESC PLAN STANDARD NOTE #3, THIS SHEET

BMP MAINTENANCE

ALL MEASURES STATED IN THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT THE END OF THE WORKDAY BY A QUALIFIED MEMBER OF THE SWPPP COMPLIANCE TEAM.

THE OPERATOR WITH CONTROL OF THE SITES DAILY ACTIVITIES IS RESPONSIBLE TO MAINTAIN, CLEAN AND REPAIR EROSION CONTROLS IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED, IF THEY SHOW SIGNS OF UNDERMINING OR DEGRADATION. SEDIMENT SHALL BE REMOVED TO INSURE PROPER FLOW. INLET PROTECTION TYPES MAY NEED TO BE MODIFIED DURING THE CONSTRUCTION PROGRESS.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
3. SILT FENCES, WADDLERS OR OTHER CONTROLS SHALL BE REPLACED OR MODIFIED TO PROPER FUNCTIONING CONDITION. IF DAMAGED, SEDIMENT AND SOIL SHALL BE REMOVED WHEN REACHES ONE-HALF THE HEIGHT OF THE CONTROL.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. THIS MAY REQUIRE PERIODIC TOPPING OF EXITS. EXITS SHALL BE MAINTAINED TO THE CONSTRUCTION EXITS AS CONDITIONS DEMAND. SITE TRAFFIC SHOULD BE LIMITED TO THE CONTROLLED EXITS ONLY.
5. SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. REFERENCE THE SWPPP BOOK FOR ALL EROSION CONTROL MAINTENANCE PROCEDURES AND FREQUENCIES. CONSULT THE SWPPP PREPARED WITH ANY QUESTIONS REGARDING THIS SWPPP AND ITS REQUIREMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT FROM THE LOCAL JURISDICTIONAL AUTHORITY PRIOR TO BEGINNING WORK.
2. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR MAINTAINING RUN-OUT AND RUN ON OF SITE DURING CONSTRUCTION.
3. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST HAVE APPROPRIATE CONTROLS TO PROTECT FROM WIND AND WATER EROSION DURING ALL PHASES OF THE PROJECT.
5. STOCKPILES INACTIVE FOR 14 DAYS ARE REQUIRED TO HAVE TEMPORARY STABILIZATION OR APPROPRIATE COVER TO CONTROL WIND AND WATER EROSION.
6. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS REQUIRED TO MAINTAIN ALL SITE BMP'S IN GOOD CONDITION FOR THE DURATION OF THE PROJECT UNTIL A NOTICE OF TERMINATION IS ACCEPTED BY THE EPA.
7. IF SITE EARTH DISTURBANCES EXCEED 5 ACRES AT ANY ONE TIME, TEMPORARY AND/OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE. SITE EARTH DISTURBANCES LESS THAN 5 ACRES, HAVE 14 DAYS TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE.

GENERAL EROSION NOTES:


- THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE SWPPP BOOK, THE 2022 GENERAL CONSTRUCTION PERMIT, THIS DRAWING ("TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN"), STANDARD DETAILS ("TEMPORARY EROSION CONTROL AND SEDIMENTATION DETAILS"), EPA NOTICE OF INTENT PERMIT AND ALL SUBSEQUENT REPORTS, CORRECTIVE ACTIONS AND EROSION CONTROL RELATED DOCUMENTS.
- B. ALL OPERATORS AS DESIGNATED, CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH SITE ACTIVITIES RELATED TO STORM WATER POLLUTION PREVENTION SHALL REVIEW A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE 2017 CONSTRUCTION GENERAL PERMIT, THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES), THE CLEAN WATER ACT OF 1972 AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. THE OPERATOR IN CONTROL OF DAILY SITE ACTIVITIES SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES MUST BE IMPLEMENTED AS DICTATED BY CONDITIONS THAT MAY OCCUR AT NO ADDITIONAL COST TO PROJECT OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO ALL FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. OPERATOR WITH CONTROL OF DAILY SITE ACTIVITIES SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY, LOCAL JURISDICTIONAL AUTHORITY OR SWPPP COMPLIANCE INSPECTOR.
- E. THE TEMPORARY EROSION CONTROL AND SEDIMENTATION PLAN IS A WORKING DOCUMENT AND IS REQUIRED TO BE UPDATED WITHIN 24 HOURS OF ANY CHANGES WHEN BMP'S ARE REPAIRED, RELOCATED OR REMOVED BY NOTING ON THE PLAN THE AREAS AND DATES OF THE REPAIRS, RELOCATIONS OR REMOVALS. AN ACTIVE COPY OF THE PLAN SHALL BE POSTED IN THE JOB SITE TRAILER ON-SITE AND MUST BE MAINTAINED CURRENT AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING AND EARTH DISTURBANCE TO THE MAXIMUM ACREAGE AS REQUIRED BY THE EPA CONSTRUCTION GENERAL PERMIT.
- G. CONTRACTOR SHALL DENOTE ON THIS PLAN, THE LOCATION OF TEMPORARY PARKING, STORAGE, PORTABLE SANITARY FACILITIES, OFFICE TRAILERS, AND ALL SUPPORT AREAS. RELOCATIONS OF EACH SHALL ALSO BE DOCUMENTED AS THEY OCCUR.
- H. ALL WASH OUT WATER USED FOR CONCRETE, MASONRY, PAINT AND OTHER MATERIALS SHALL HAVE ADEQUATE SIGNAGE WITH PROPER CONTAINMENT AND DISPOSED OF PROPERLY WHEN CAPACITY REACHES 50% OR PER VENDOR RECOMMENDATIONS. VENDORS AND TRADESMEN SHALL BE INFORMED OF THE REQUIREMENTS TO USE THE WASH OUT.
- I. A SPILL KIT SHALL BE READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS. A DISCHARGE OF ANY MATERIAL IN A QUANTITY THAT MAY WITHIN REASONABLE PROBABILITY CAUSE, INJURE OR BE DETRIMENTAL TO HUMAN HEALTH, ANIMAL OR PLANT LIFE, OR PROPERTY; OR INTERFERE WITH THE PUBLIC WELFARE MUST BE REPORTED TO THE NEW MEXICO ENVIRONMENTAL DEPARTMENT HOTLINE AT (505) 827-9329 FOR EMERGENCIES OR FOR NON EMERGENCIES AT (505) 827-8533.
- J. IF UNSURE IF THE SPILL IS OF A SIGNIFICANT QUANTITY, THE SPILL SHOULD BE REPORTED TO THE HOTLINE AND INFORMATION PROVIDED WITH DETAILS OF THE SPILL FOR FURTHER ACTIONS.
- K. DUST DURING CONSTRUCTION OPERATIONS SHALL BE FREQUENTLY CONTROLLED BY WATER SUPPRESSION METHODS ONLY, EARTH DISTURBING OPERATIONS SHALL CEASE IF HIGH WINDS ABOVE 35 MPH ARE PRESENT. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS IS STRICTLY PROHIBITED. OTHER CHEMICALS USED FOR DUST SUPPRESSION MUST BE APPROVED BY THE EPA PRIOR TO THEIR USE.
- L. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEaled, COVERED, LEAK PROOF CONTAINERS. CONTAINERS SHALL BE DISPOSED OF PROPERLY WHEN CAPACITY IS REACHED. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER.
- M. ALL STORM WATER POLLUTION PREVENTION MEASURES AND CONTROLS PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED PER THE SEQUENCE OF CONSTRUCTION AS NOTED.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS BEEN TEMPORARILY SUSPENDED FOR 14 DAYS, SHALL HAVE TEMPORARILY STABILIZATION IN PLACE NO LATER THAN 14 DAYS FROM THE LAST DATE OF CONSTRUCTION ACTIVITY OCCURRING THESE AREAS.
- O. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL HAVE PERMANENT CONTROLS IN PLACE NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- P. IF THE ACTION OF VEHICLES OR EQUIPMENTS TRAVELING OVER THE CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD FROM LEAVING THE SITE, THEN THE LENGTH OF THE EXIT SHOULD BE EXTENDED TO PROVIDE ADDITIONAL TIRE ROTATIONS, LARGER ROCK MAY BE USED TO CREATE A SUFFICIENT JARRING MOTION OR INSTALL A TIRE WASH OFF WITH A SEDIMENT TRAP BEFORE LEAVING THE SITE.
- Q. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- R. THE OPERATOR IN CHARGE OF THE DAILY SITE ACTIVITIES WILL BE RESPONSIBLE FOR REMOVING SEDIMENT OR SOILS ACCUMULATING MORE THAN 50% OF THE DESIGN CAPACITY IN DETENTION PONDS, SILT FENCING OR OTHER SIMILAR EROSION CONTROLS.
- S. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES, AS REQUIRED PER THE CONSTRUCTION GENERAL PERMIT. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE ESC PLAN AND PERMITTED IN ACCORDANCE WITH LOCAL AUTHORITIES HAVING JURISDICTIONAL CONTROL.
- T. SLOPES SHALL BE LEFT WITH CROSS SLOPE GRADING PATTERN AND IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION RILLS. EXCESSIVE SLOPES MAY REQUIRE ADDITIONAL INDUSTRY STANDARD CONTROLS TO PREVENT EROSION.
- U. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE OPERATOR IN CONTROL OF THE SITE'S DAILY ACTIVITIES SHALL BE RESPONSIBLE FOR ADJUSTING AND MAINTAINING ALL EROSION CONTROL TO PREVENT EROSION.
- V. ALL DISTURBED AREAS SHALL BE SUPPRESSED BY WATER AND ALL CONTROLS LEFT IN GOOD WORKING CONDITION AT THE END OF EACH WORKING DAY. THIS INCLUDES REPLACEMENT OF SILT FENCING AND/OR OTHER SURFACE CONTROLS, TRACK OUT SWEEP CLEAN, BACKFILL OF OPEN TRENCHES AND ANY OTHER EROSION CONTROLS.

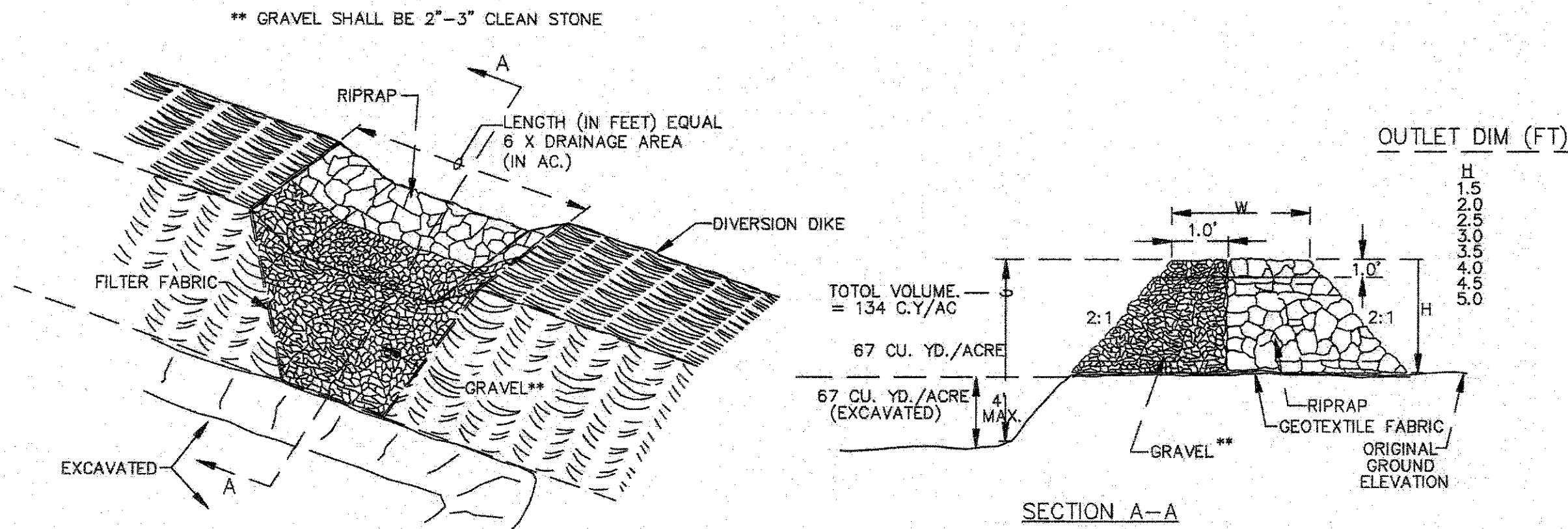
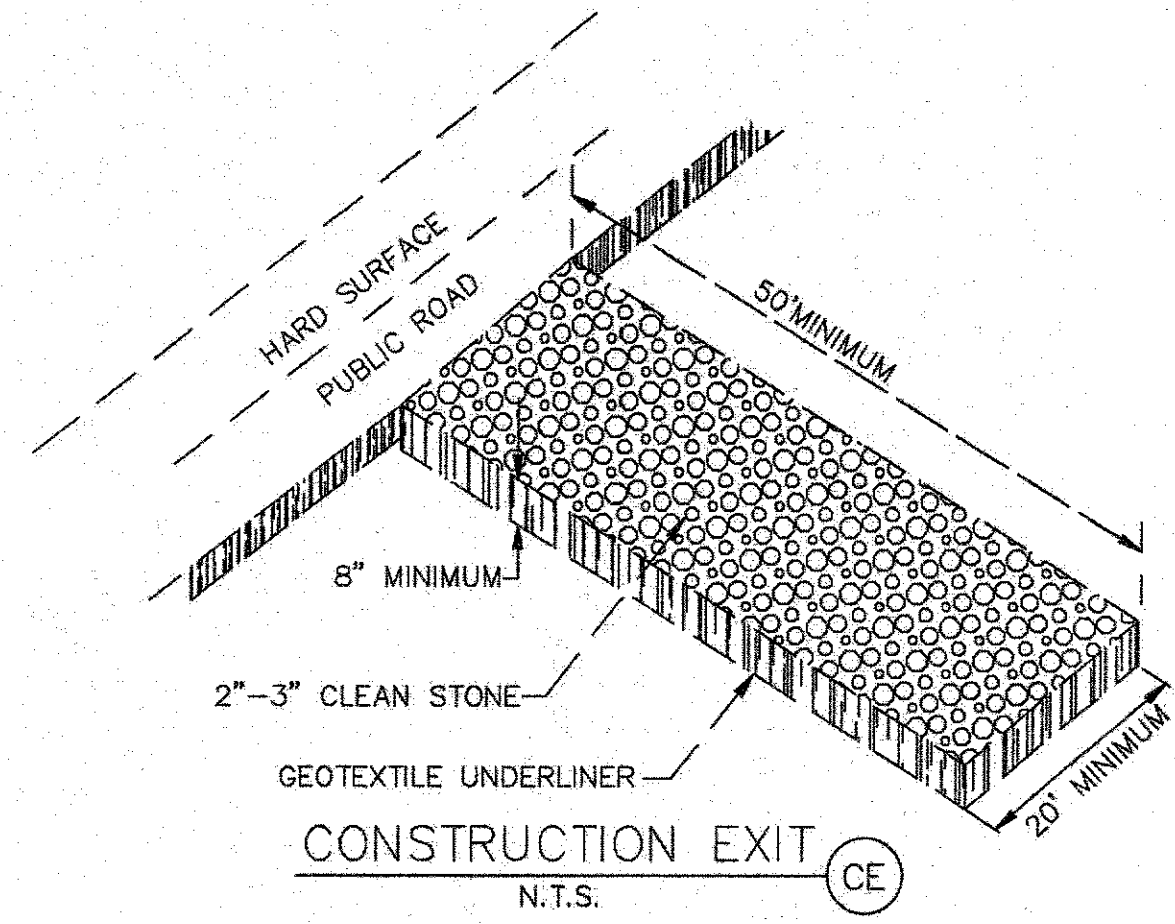
ESC PLAN STANDARD NOTES:

1. ALL EROSION AND SEDIMENT CONTROL (ESC WORK) ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
 - a. THE CITY ORDINANCE §14-5-2-11, THE ESC ORDINANCE,
 - b. THE EPA'S 2022 CONSTRUCTION GENERAL PERMIT (CGP), AND
 - c. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF-INSPECTIONS – AT A MINIMUM A ROUTINE COMPLIANCE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF $\frac{1}{8}$ INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
4. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. STABILIZATION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. REPORTS SHOULD INCLUDE RECORDS OF WEED REMOVAL PER CITY ORDINANCE (§9-8-1), STERILIZATION, SOIL TEST RESULTS AND RECOMMENDATION, MATERIALS AND MANUFACTURE SPECIFICATIONS FOR APPLICATION RATES, ESTIMATED FUNCTIONAL LONGEVITY, METHODS OF APPLICATION, INSPECTION AND MAINTENANCE. THE REDUCED SELF-INSPECTION SCHEDULE IN CGP 1 APPLIES TO STABILIZED AREA AND ANY DAMAGED OR WORK STABILIZATION MUST BE IDENTIFIED IN THE REPORTS ALONG WITH WEED PROBLEMS. CORRECTIVE ACTIONS FOR STABILIZATION SHALL BE DOCUMENTED IN A STABILIZATION REPORT INCLUDING ACTUAL RATES AND DATES OF STABILIZATION, AND THE MATERIALS AND MANUFACTURER'S SPECIFICATIONS USED.
6. BMP'S SHALL BE INSPECTED AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE FINAL STABILIZATION CRITERIA (CGP 2.2.14-1). GENERALLY, ALL DISTURBED AREAS OTHER THAN STRUCTURES AND IMPERVIOUS SURFACES, MUST HAVE UNIFORM PERENNIAL VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE COVER PROVIDED BY NATURAL VEGETATION IN UNDISTURBED AREA AND PROVIDE NON-VEGETATIVE MULCH THAT PROVIDES COVER AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE. FINAL STABILIZATION MUST BE APPROVED BY THE CITY OF ALBUQUERQUE PRIOR TO REMOVAL OF BMP'S AND DISCONTINUATION OF INSPECTIONS.

Report — Particle Size and Coarse Fragments										
Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico										
Map symbol and soil name	Horizon	Depth	Sand	Silt	Clay	Total fragments	Fragments 2-74 mm	Fragments 75-249 mm	Fragments 250-599 mm	Fragments >=600 mm
		In	L-RV-H Pct	L-RV-H Pct	L-RV-H Pct	RV Pct	RV Pct	RV Pct	RV Pct	RV Pct
ETC—Embudo-Tijeras complex, 0 to 9 percent slopes										
Embudo	H1	0-4	-69-	-22-	5-10- 15	25	25	—	—	—
	H2	4-20	-67-	-23-	5-10- 15	25	25	—	—	—
	H3	20-60	-82-	-11-	5- 8- 10	35	35	—	—	—
Tijeras	H1	0-4	-71-	-17-	10-13- 15	22	17	5	—	—
	H2	4-14	-57-	-18-	20-25- 30	12	12	—	—	—
	H3	14-19	-68-	-20-	10-13- 15	15	15	—	—	—
	H4	19-60	-69-	-24-	5- 8- 10	30	30	—	—	—

FOR REFERENCE ONLY

 Tierra West, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com											
		NO.		DATE		DESIGNED BY		DRAWN BY		DRAWN NAME	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP											
TITLE: GLASS RITE ON VENICE AVENUE EROSION CONTROL NOTES											
DESIGN REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.	
NOT PART OF CITY WORK ORDER											
CITY PROJECT NO.				ZONE MAP NO.				SHEET		OF	
720983				B-18-Z						11 12	



"SWPPP INFORMATION" MUST BE DISPLAYED PROMINENTLY ACROSS THE TOP OF THE SIGN, AS SHOWN IN THE DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID MATERIAL, SUCH AS PLYWOOD OR OUTDOOR SIGN BOARD. SIGN MUST BE CONSTRUCTED IN A MANNER TO PROTECT DOCUMENTS FROM DAMAGE DUE TO WEATHER (WIND, SUN, MOISTURE, ETC.).

SWPPP INFORMATION

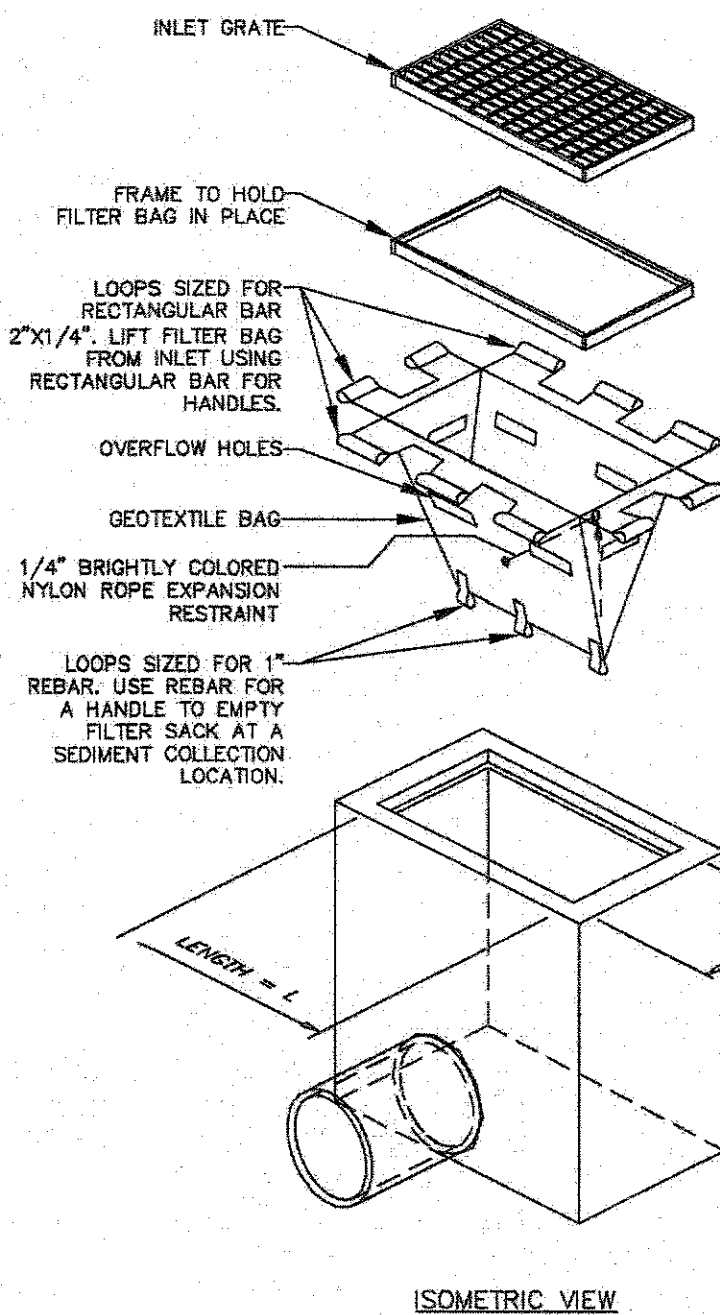
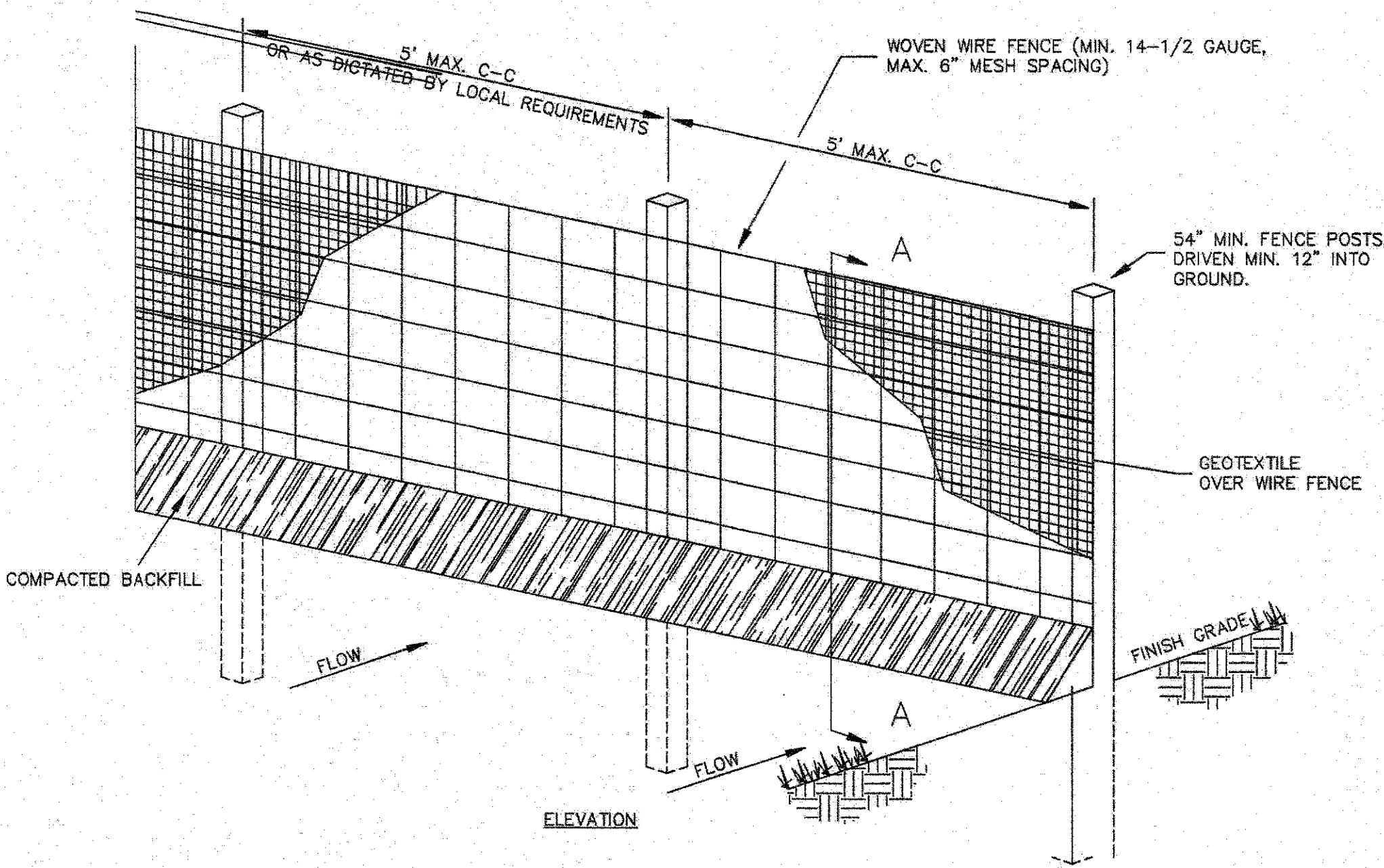
NPDES ID: NMR1001MP & NMR100161

CONTACT NUMBER:

"IF YOU WOULD LIKE TO OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS SITE, CONTACT THE EPA REGION 6 OFFICE - SUZANNE PEREA AT (214) 665-7217"

"IF YOU OBSERVE INDICATORS OF STORMWATER POLLUTANTS IN THE DISCHARGE OR IN THE RECEIVING WATERBODY, CONTACT THE EPA THROUGH THE FOLLOWING WEBSITE: [HTTPS://EPA.GOV/ENFORCEMENT/REPORT-ENVIRONMENTAL-VIOLATIONS.](https://epa.gov/enforcement/report-environmental-violations)"

DETAILED DESCRIPTION OF THE LOCATION OF THE SWPPP DOCUMENTATION (BINDER AND SITE MAPS) ON THE SITE.



NOTES:

1. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
2. PLACE AN OIL ABSORBENT PAD OR PILLON OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
3. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
4. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
5. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

MAINTENANCE NOTES:

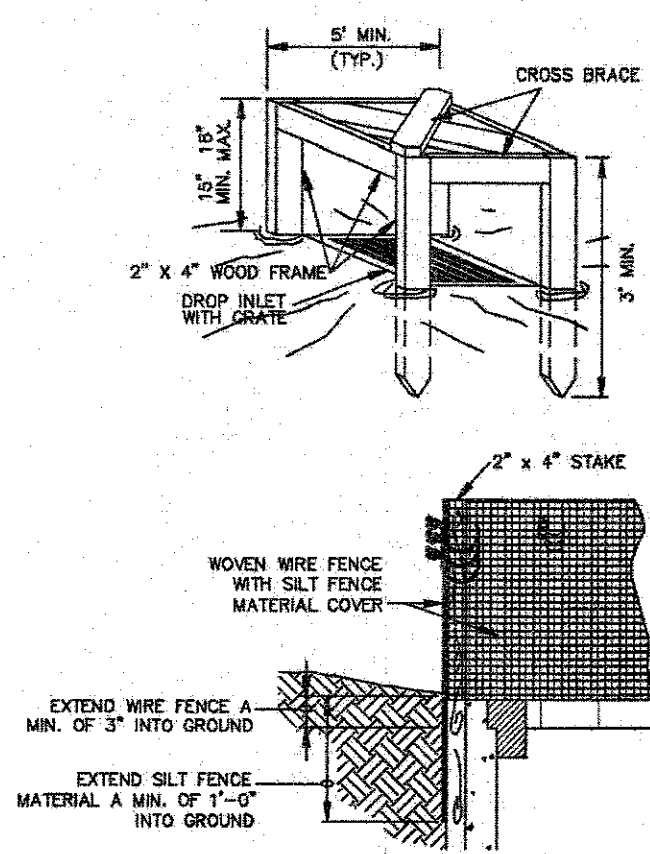
1. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. REMOVAL OF SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BEGIM IMMEDIATELY UPON DISCOVERY, WITH COMPLETION OF THE ACTIVITY OCCURRING NO LATER THAN THE END OF THE FOLLOWING BUSINESS DAY.
3. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FLOW-RATES THAT MAY CAUSE DOWNSTREAM FLOODING.
4. CONTACT THE CED FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSTREAM BMPs, ADJACENT SLOPES, ETC., DUE TO PONDING ISSUES. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
5. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETEIORATION.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3796	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4481	40 GAL/MIN/SQ FT
PERMITIVITY	ASTM D-4481	0.55 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	135 LBS
MULLEN BURST	ASTM D-3796	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4481	200 GAL/MIN/SQ FT
PERMITIVITY	ASTM D-4481	1.5 SEC -1

IP5 INLET PROTECTION FILTER SACK

N.T.S.
FOR USE ONLY IN PAVED AREAS WHERE SEDIMENT LOADS ARE EXPECTED TO BE VERY LOW. FILTER SACK MUST HAVE OVERFLOW HOLES TO PREVENT PONDING.



SILT FENCE INLET PROTECTION

N.T.S.

SWPPP INFORMATION SIGN

N.T.S.

NOTES:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
3. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
4. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

FOR REFERENCE ONLY

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5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

GLASS RITE ON VENICE AVENUE EROSION CONTROL DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
NOT PART OF CITY WORK ORDER			
CITY PROJECT NO. 720983	ZONE MAP NO. B-18-Z	SHEET 12	OF 12