

SCANNED BY
PLANNING

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-17220-83-8010

CONSTRUCTION PLANS FOR **HB**

UTILITY & PAVING IMPROVEMENTS

CITY OF ALBUQUERQUE & ABCWUA
NEW MEXICO
OCTOBER 2009

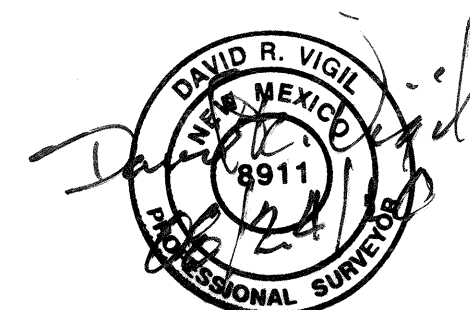
INDEX TO DRAWINGS

1. TITLE SHEET
2. PLAT
3. GRADING AND DRAINAGE PLAN
4. MASTER PAVING PLAN
5. BEVERLY HILLS AVENUE ROADWAY IMPROVEMENTS
6. MASTER UTILITY PLAN

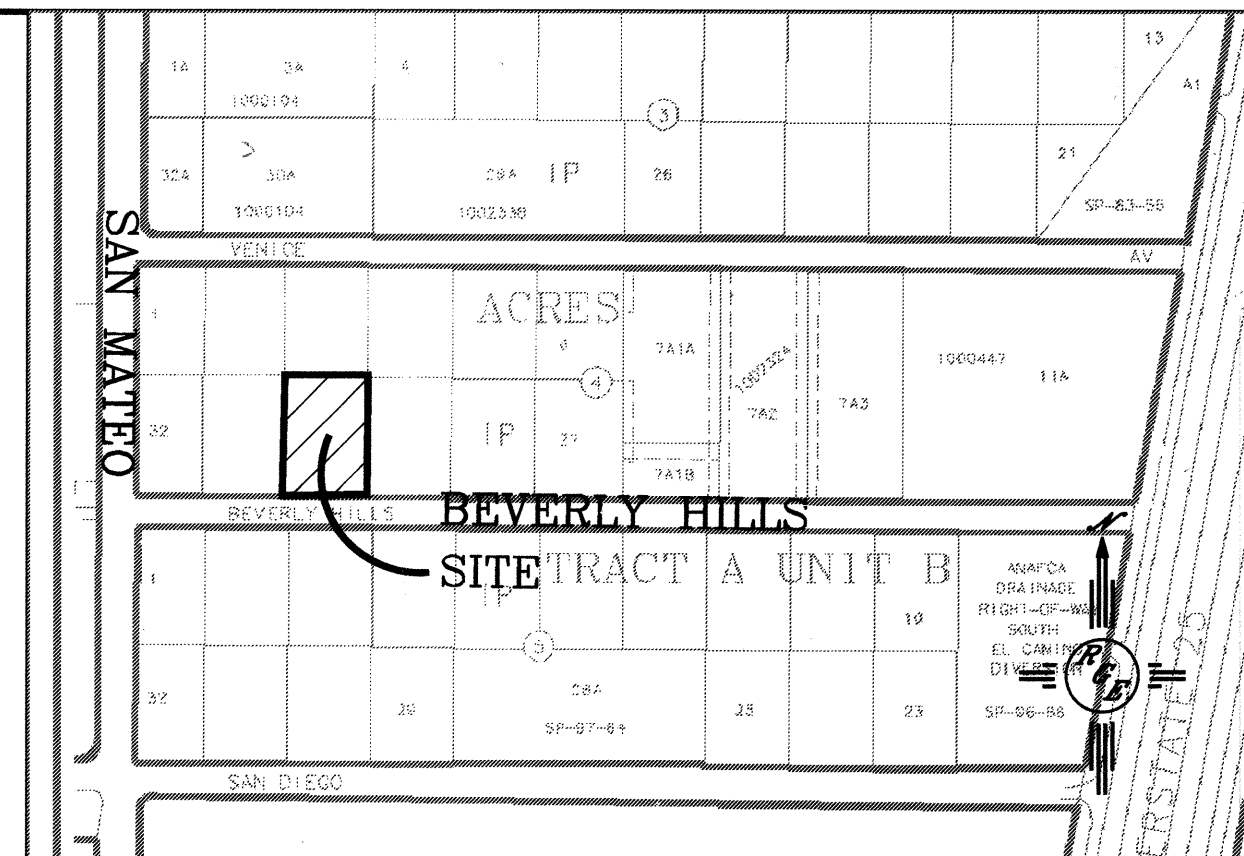
I DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND A SURVEY INFORMATION PROVIDED BY DAVID VIGIL. NMPS 8911.



THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LAND FILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.



I DAVID VIGIL, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

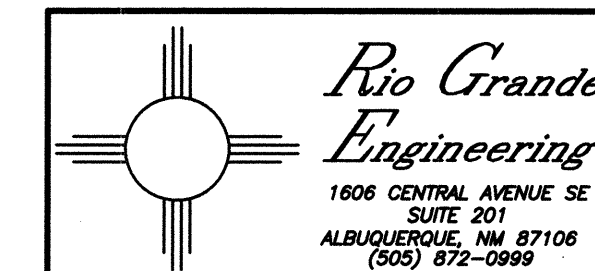


VICINITY MAP: B-18-7

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1988 EDITION (UPDATE #7 AND AMENDMENT #1).
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNER'S EXPENSE.
8. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ALL GRAFFITI FROM EQUIPMENT, WHETHER TEMPORARY OR PERMANENT.
10. ALL WORK AFFECTING ARTERIAL ROADWAYS WILL REQUIRE 24-HOUR CONSTRUCTION.
11. IF DURING CONSTRUCTION, ANY HUMAN REMAINS ARE EXPOSED OR UNCOVERED CONTRACTOR SHALL IMMEDIATELY STOP WORK AND NOTIFY THE CORONER'S OFFICE FOR INVESTIGATION AND REMOVAL.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNAGE, UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.

DRB #1007948



THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

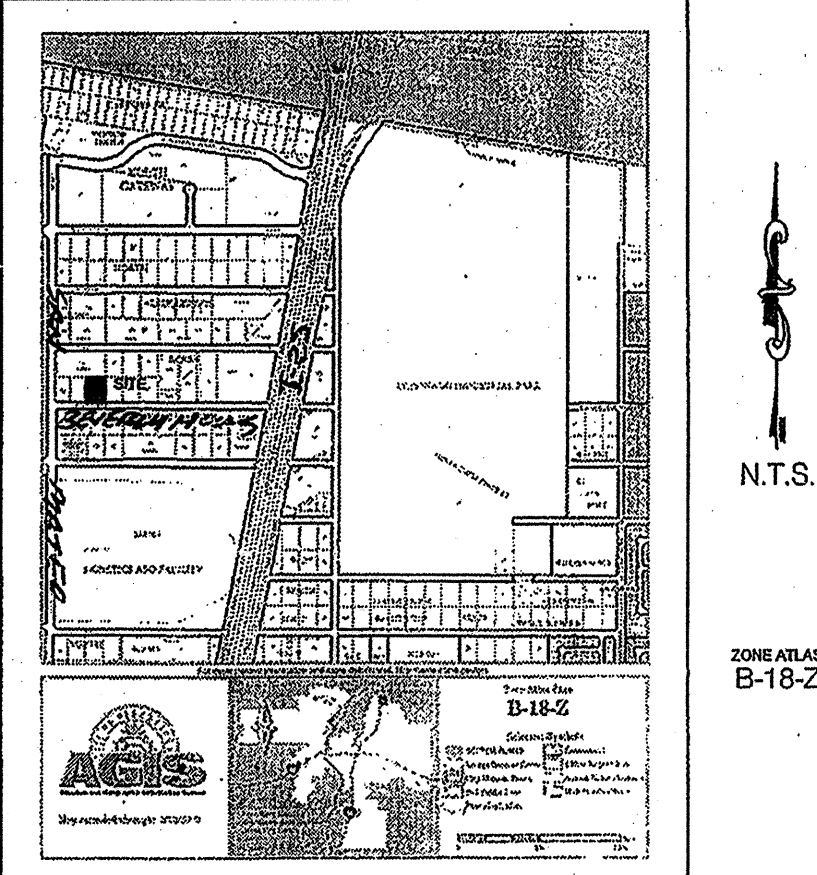
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Anthony Spitz
DATE: 11/03/10

| REV | SHEETS | CITY ENGINEER | DATE | USER DEPT. | DATE | USER DEPT. | DATE |
|-----------------------------|--------|------------------|------|--------------------|------|------------|------|
| ENGINEERS STAMP & SIGNATURE | | APPROVALS | | ENGINEER | | DATE | |
| | | DRC Chairman | | <i>David Soule</i> | | 2-2-10 | |
| | | Transportation | | <i>David Soule</i> | | 2-3-10 | |
| | | Water/Wastewater | | <i>David Soule</i> | | 2-3-10 | |
| | | Hydrology | | <i>David Soule</i> | | 2-3-10 | |
| | | E.H.D. | | <i>David Soule</i> | | 2-3-10 | |
| Constr. Mngmt. | | | | | | | |
| Constr. Coord. | | | | | | | |
| CITY PROJECT NO. | | | | SHEET | | | |
| 722083 | | | | 1 OF 6 | | | |

APPROVED FOR CONSTRUCTION

Anthony Spitz 3-5-10
CITY ENGINEER



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEYS.
2. BEARINGS ARE NEW MEXICO STATE PLANE (CENTRAL ZONE) GRID BASED ON THE USE OF GPS OBSERVATIONS AND THE USE OF STATION MONUMENT "125-11"
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESIS () ARE RECORD
6. GROSS ACREAGE: 1.0025
7. NUMBER OF EXISTING TRACTS/LOTS: 1
8. NUMBER OF TRACTS/LOTS CREATED: 0
9. ACREAGE OF ROAD DEDICATED IN FEE SIMPLE: 0.1135 ACRES
10. ZONING: IP
11. RECORDS USED:
 - A. PLAT OF NORTH ALBUQUERQUE ACRES, D-2, FOLIO 130
 - B. PLAT BLOCK 2009, FOLIO 165
 - 12. CITY OF ALBUQUERQUE ZONE ATLAS PLATE 1-3-2
 - 13. UCLG LOG NUMBER: 20294-55555
 - 14. ALL CORNERS FOUND AND USED IN THIS SURVEY WERE TAGGED WITH A BRASS DISC STAMPED "JGI 6911" UNLESS OTHERWISE INDICATED.
 - 15. ALL CORNERS THAT WERE SET ARE EITHER A "69" BEAR WITH PLASTIC CAP STAMPED "JGI 6911" OR A CORNER SET WITH A BRASS DISC STAMPED "JGI 6911"
 - 16. FIELD SURVEY WERE PERFORMED IN THE MONTH OF SEPTEMBER 2009

No property within the area of this Plat shall at anytime be subjected to a deed restriction, covenant, or binding agreement prohibiting solar collector from being installed on buildings or erected on the lots or parcels within the area of plat. The foregoing requirement shall be a condition of this plat

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS ON THE PLAT ARE THE COMMON JOINT USE OF

- A. PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICES. **NEW MEXICO**
- B. GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QUEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATIONS AND RELATED EQUIPMENT AND FACILITIES NECESSARY TO PROVIDE COMMUNICATIONS SERVICE, INCLUDED BUT NOT LIMITED TO ABOVE GROUND PEDESTALS, CLOSURES.
- D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE TO PROVIDE CABLE SERVICE.

INCLUDE THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL, (ABOVE GROUND OR SUB-SURFACE) HOT TUB, CONCRETE OR WOOD POOL DECKING OR OTHER SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NEITHER SHALL ANY OTHER OPERATED THEREON. PROPERTY OWNERS SHALL BE RESPONSIBLE FOR CORRECTING AND VIOLATIONS OF NATIONAL, ELECTRIC SALES CAUSED BY THE CONSTRUCTION OF POOLS, DECKING, OR AND STRUCTURES ADJACENT TO NEAR EASEMENTS SHOWN ON THIS PLAT.

DESCRIPTION

LOT-NUMBERED 30 IN BLOCK NUMBERED 4, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 24, 1936, IN VOLUME D, FOLIO 130 AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED, WHENCE FOR A TIE TO THE CONTROL MONUMENT "2-51-1" BEARS S82°16'48"E, 1449.68 FEET DISTANCE; THENCE, S08°18'33"W, 264.72 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N89°49'47"W, 164.88 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, N00°17'13"E, 264.96 FEET DISTANCE TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, S89°44'21"E, 164.96 FEET DISTANCE TO THE NORTHEAST CORNER AND PLACE OF BEGINNING AND CONTAINING 1.0028 ACRES, MORE OR LESS.

FREE CONSENT

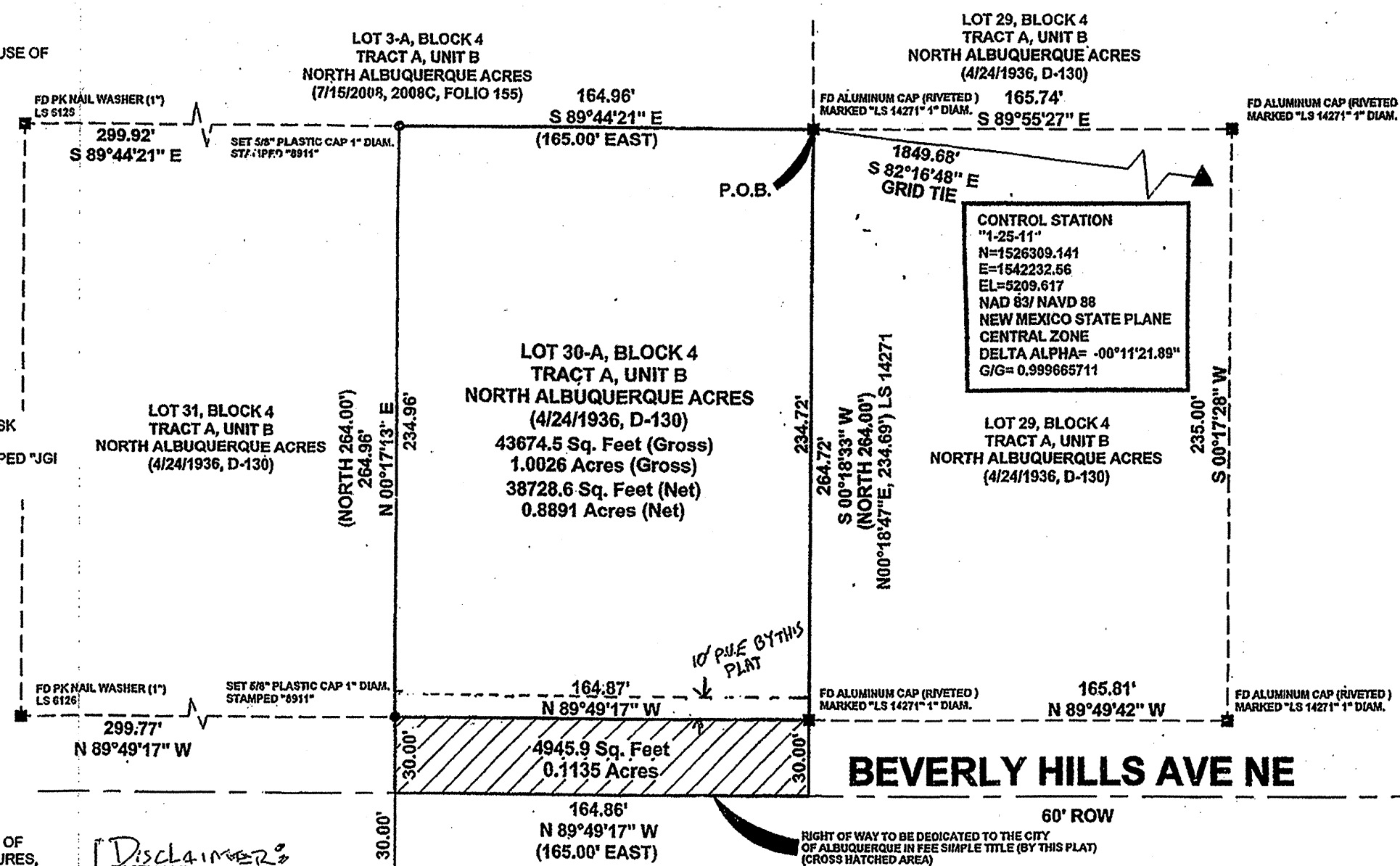
THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED INDIVIDUALS ARE AUTHORIZED TO SO AND DO HEREBY DEDICATE STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER(S) SIGNATURE: Wan B. Haining DATE: 10.21.24
OWNER(S) PRINT NAME: Adam Harrington
ADDRESS: 3401 Victoria Avenue 2 111 834 27113 TRACT: _____

ADDRESS: 3701 W. 12th Ave. Apt. 2013 PHOENIX, ARIZONA 85018
ACKNOWLEDGMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21st DAY OF October
BY: Adam B. Harrington
MY COMMISSION EXPIRES: 12/31/2011

J. J. K. K. K.
NOTARY PUBLIC



BEVERLY HILLS AVE NE

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LAND FILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

SURVEYORS CERTIFICATION

I, DAVID R VIGIL, A REGISTERED PROFESSIONAL NEW MEXICO SURVEYOR, CERTIFY THAT I AM RESPONSIBLE FOR THIS SURVEY AND THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS OF RECORD, AND CONFORMS TO THE MINIMUM REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS CONTAINED IN THE SUBDIVISION ORDINANCE OF THE CITY OF ALBUQUERQUE, AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID R VIGIL
NEW MEXICO PROFESSIONAL SURVEYOR 8911
DATE: 10/22/09

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

PLAT OF
LOT 30-A; BLOCK 4, TRACT A, UNIT B
NORTH ALBUQUERQUE ACRES
PROJ. SEC. 12, T.11N., R.3E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
ALBUQUERQUE, NEW MEXICO
OCTOBER 2009

DISCLOSURE STATEMENT


THE PURPOSE OF THIS PLAT IS TO DEDICATE RIGHT OF WAY IN FEE SIMPLE TITLE TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

PROJECT NUMBER: 1007948
APPLICATION NUMBER: 09DRB-70337

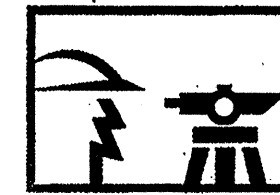
| UTILITY APPROVALS: | |
|--|------|
| CITY | DATE |
| CONCAST GABLE | DATE |
| CITY ELECTRICAL | DATE |
| NEW MEXICO GAS COMPANY | DATE |
| CITY ENGINEERS | DATE |
| CITY SURVEYOR | DATE |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | DATE |
| UTILITIES DEVELOPMENT | DATE |
| PARKS AND RECREATION DEPARTMENT | DATE |
| A.M.A.F.C.A. | DATE |
| CITY ENGINEER | DATE |
| DRG. CHAIRPERSON, PLANNING DEPARTMENT | DATE |

TREASURERS CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURENT ON THE FOLLOWING PROPERTY

UPC# 1018WU50422236913
HARRINGTON DEAL ESTATE LLC, 
PNM STAMP
IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT
CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY,
PNM DOES NOT WAIVE OR MAKE ANY RELEASE AND EASEMENT OR EASEMENT RIGHTS TO WHICH
IT MAY BE ENTITLED.

DOC# 2009127114
11/18/2009 10:07 AM Page: 1 of 1
PLAT R:\$7.00 B: 2009C P: 0168 M. Toulous Olivere, Bernalillo Count

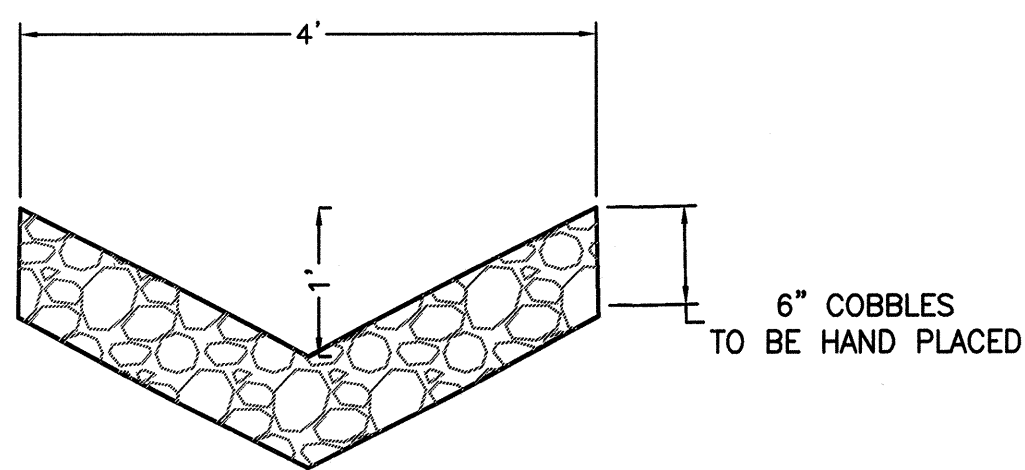


GEO-SURVCO, INC
8201 GOLF COURSE RD NW, STE D-3, PB 324
ALBUQUERQUE, NEW MEXICO 87114
505-975-4567
FAX 505-717-1760

EROSION CONTROL NOTES:

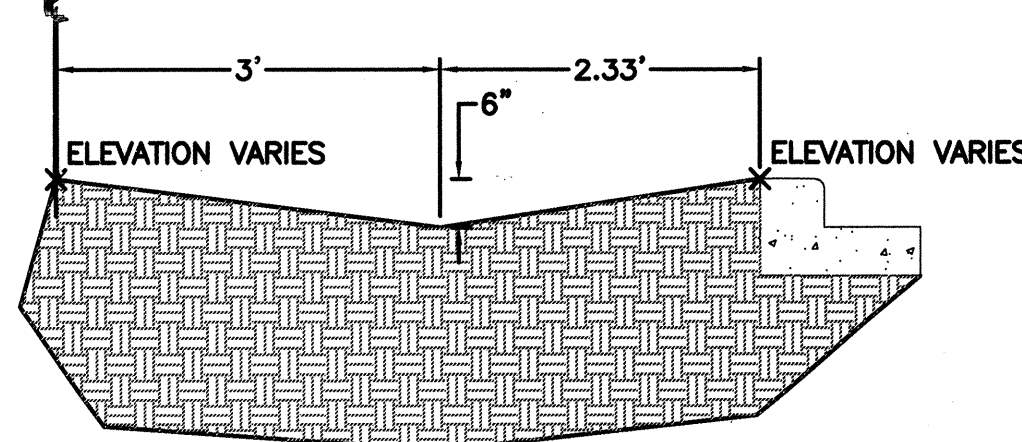
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

SCANNED BY
PLANNING



COBBLE SWALE DETAIL

NTS

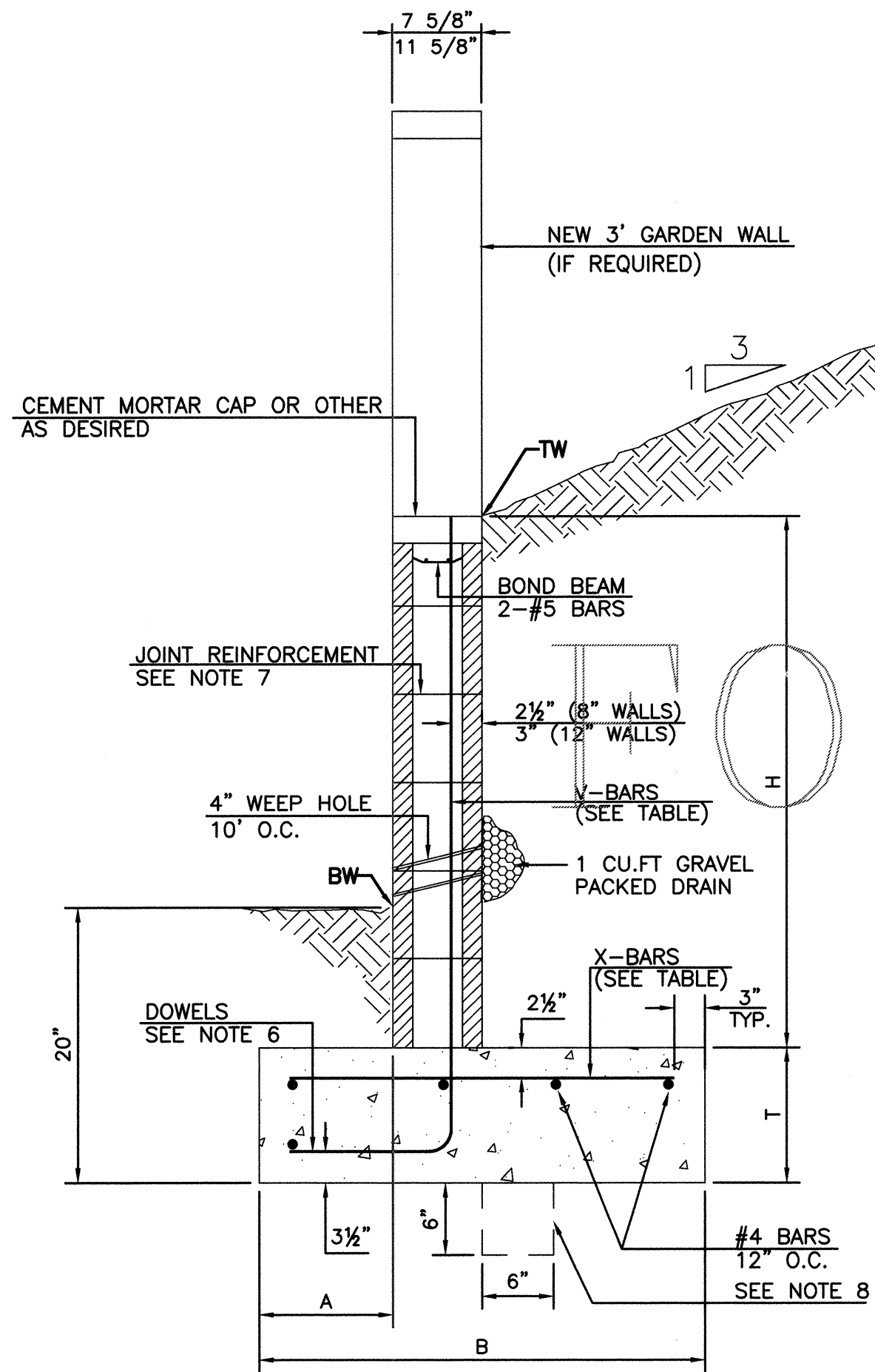


SECTION A-A

NTS

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



RETAINING WALL DETAIL

NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | V-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 3'-4" | 8" | 2'-6" | 10" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-0" | 10" | 2'-10" | 10" | #4 @32" O.C. | #4 @32" O.C. |
| 4'-8" | 12" | 3'-6" | 12" | #4 @24" O.C. | #4 @24" O.C. |
| 5'-4" | 14" | 3'-10" | 12" | #4 @16" O.C. | #4 @16" O.C. |
| 6'-0" | 16" | 4'-4" | 12" | #4 @16" O.C. | #4 @16" O.C. |
| 6'-8" | 18" | 4'-10" | 14" | #5 @16" O.C. | #5 @16" O.C. |

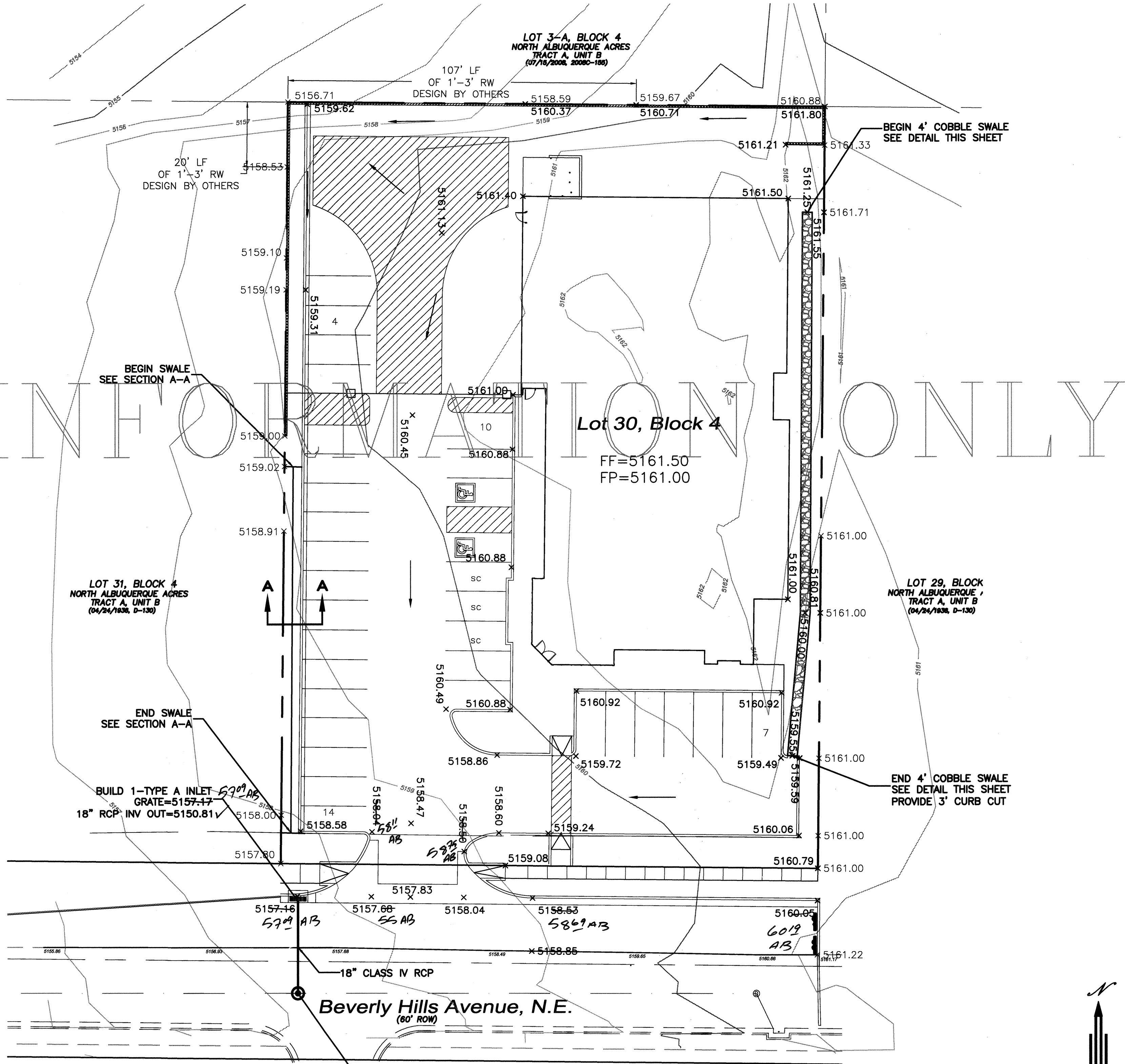
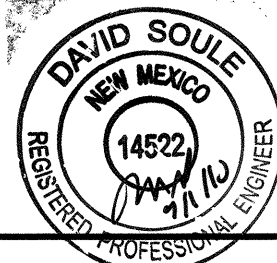
12 INCH REINFORCED CONCRETE MASONRY WALL

| H | A | B | T | V-BARS | X-BARS |
|---------|-----|---------|-----|--------------|--------------|
| ft.-in. | in. | ft.-in. | in. | | |
| 5'-4" | 14" | 3'-8" | 10" | #4 @24" O.C. | #4 @24" O.C. |
| 6'-0" | 15" | 4'-2" | 12" | #4 @16" O.C. | #4 @16" O.C. |
| 6'-8" | 16" | 4'-6" | 12" | #5 @24" O.C. | #5 @24" O.C. |
| 7'-4" | 18" | 4'-10" | 12" | #6 @16" O.C. | #6 @16" O.C. |
| 8'-0" | 20" | 5'-4" | 12" | #7 @24" O.C. | #7 @24" O.C. |

GENERAL NOTES:

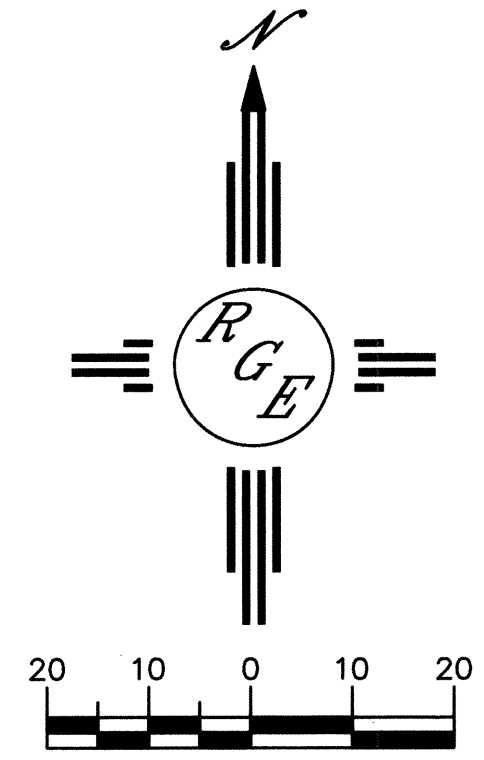
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
8. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
9. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

I DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND A SURVEY INFORMATION PROVIDED BY DAVID VIGIL. NMPS 8911.



BUILD 1-TYPE E SD MH
RIM=5157.25
INV IN=5150.53-46
INV OUT=5148.53 AB

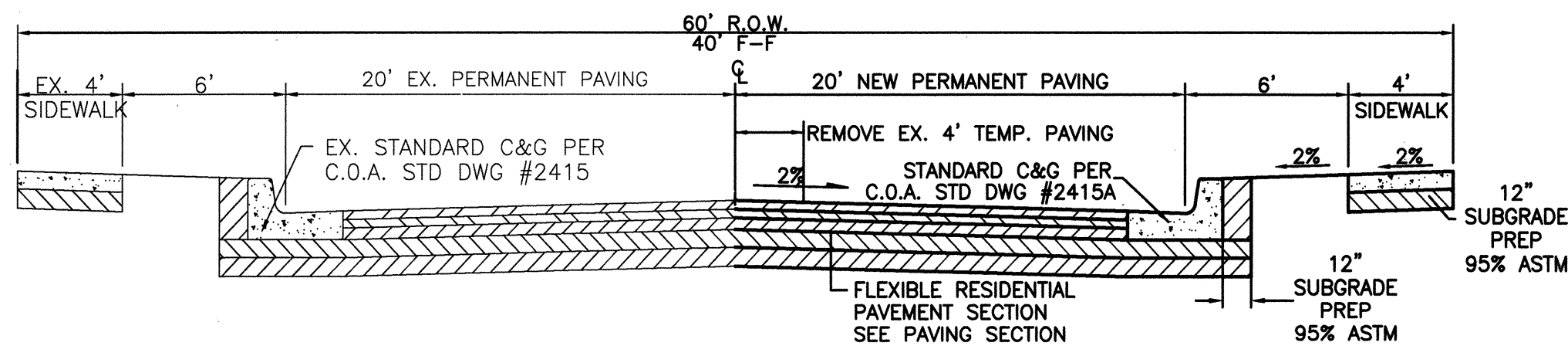
AB= AS-BUILT ELEVATIONS
FIELD SURVEY DATE: JUN 24, 10



LEGEND

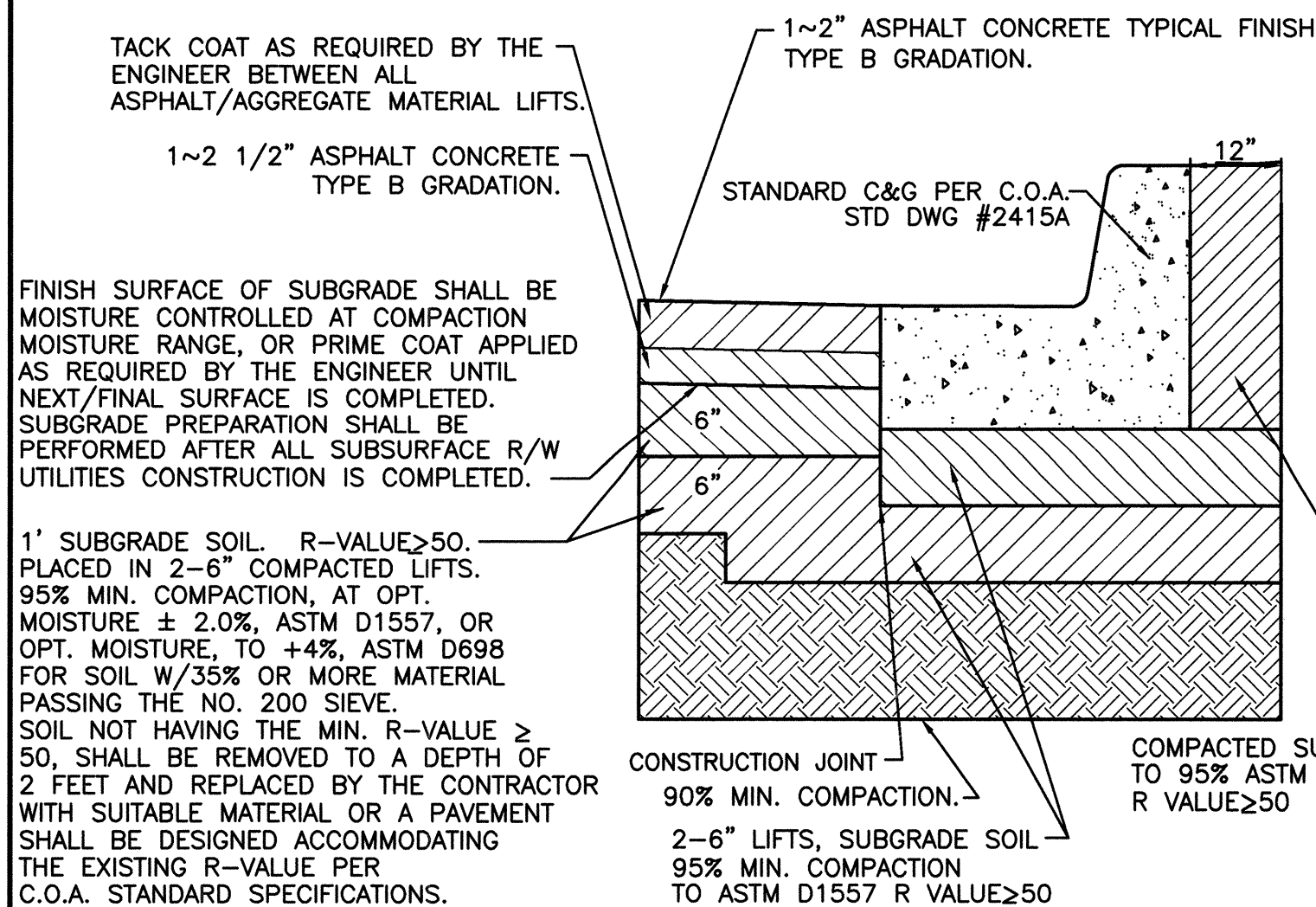
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER LINE
- PROPOSED SNGL "A" INLET
- PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- PROPOSED SIDEWALK
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY

| | | |
|--|---|---------------------|
| ENGINEER'S SEAL | HB | DRAWN BY WCWJ |
| DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER | GRADING AND DRAINAGE PLAN | DATE 5-14-09 |
| | | 2010-LAYOUT-4-22-09 |
| DAVID SOULE P.E. #14522 | Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999 | SHEET # 3 |
| | | JOB # 2910 |



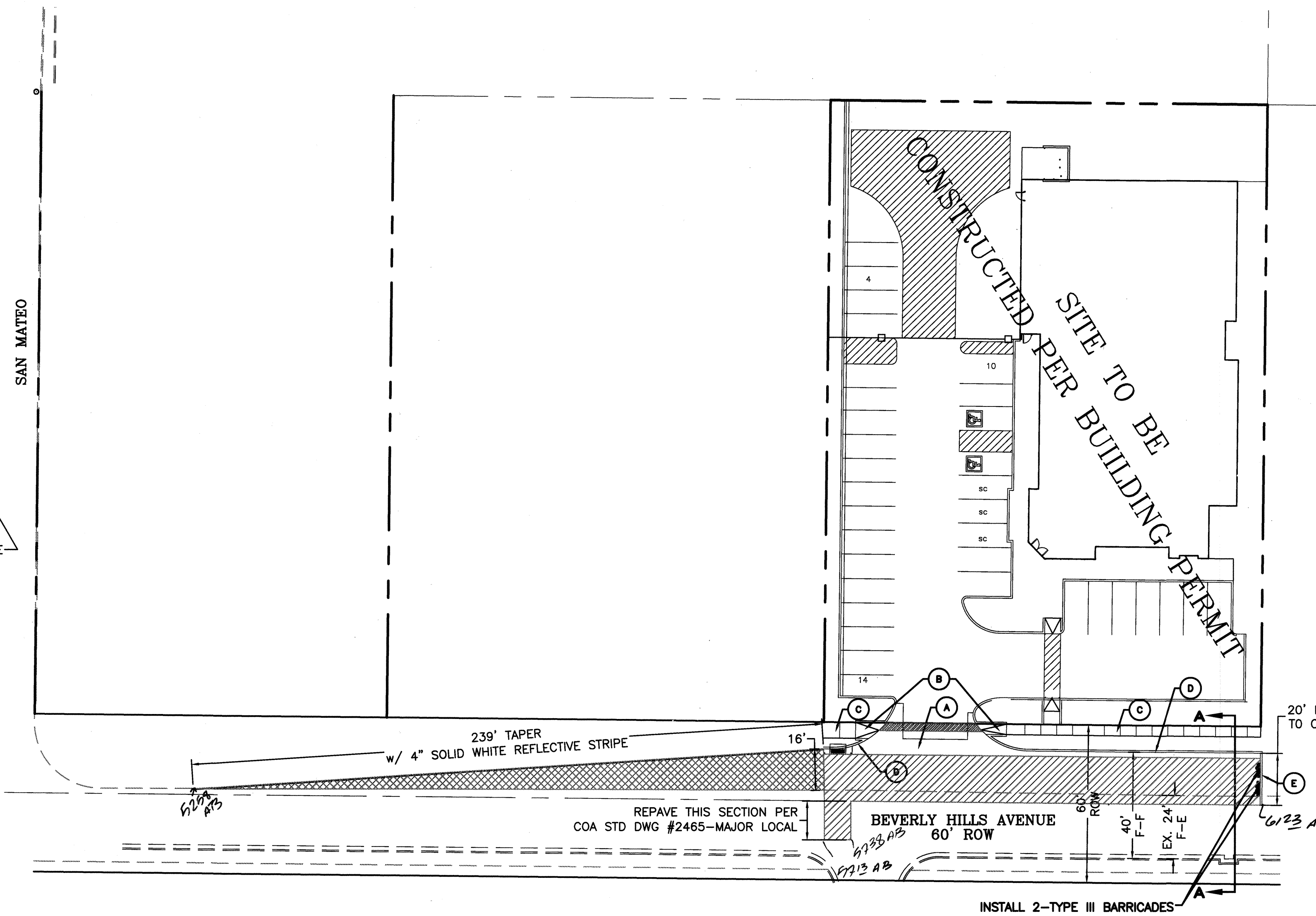
SECTION A-A
TYPICAL 40' STREET SECTION W/STANDARD C AND G
NTS

I DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND A SURVEY INFORMATION PROVIDED BY DAVID VIGIL NMPS 8911.



RESIDENTIAL PAVING SECTION (STANDARD CURB)

NTS-PER COA PROJECT #637181 AND COA STD DWG #2405B

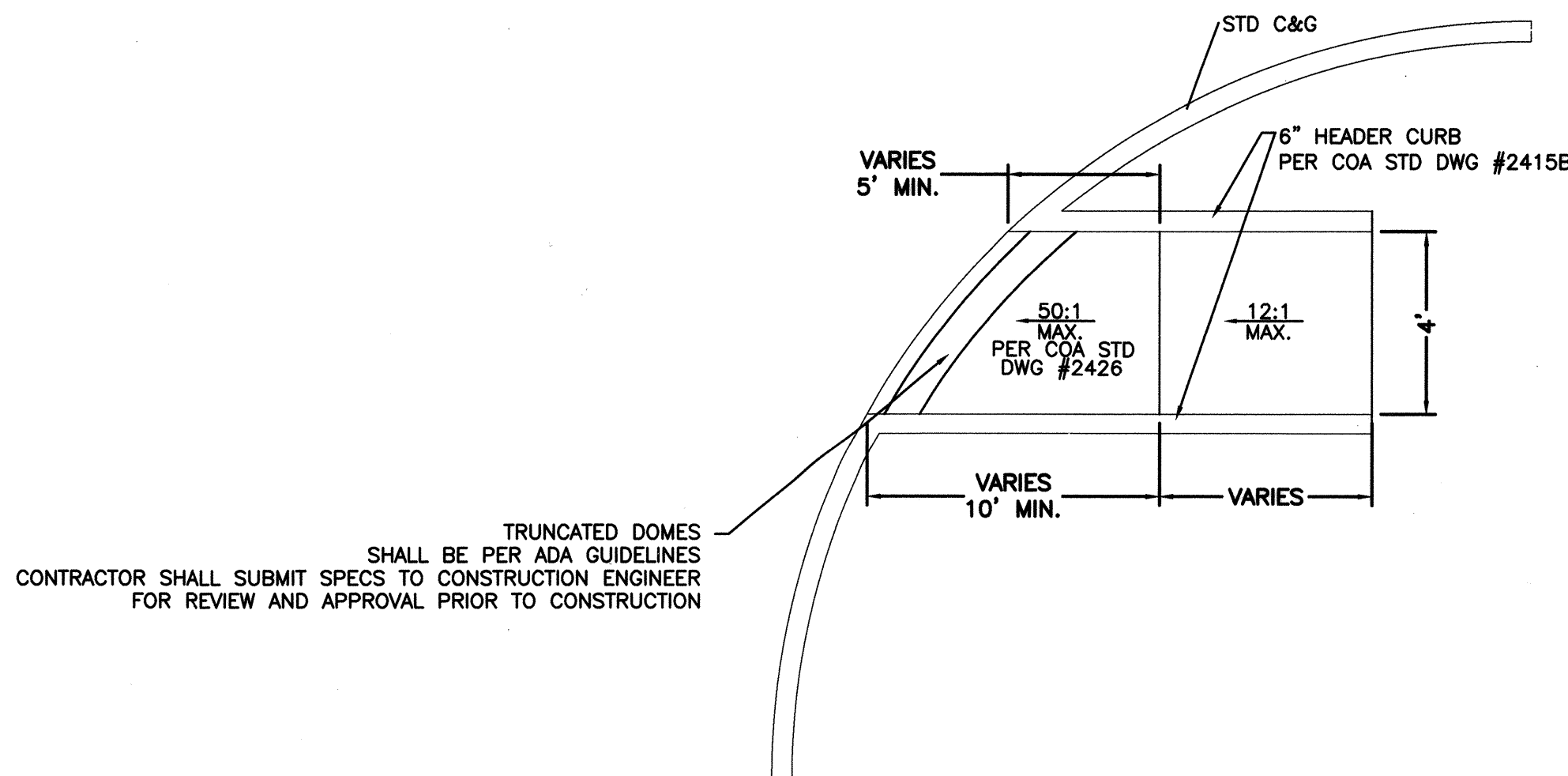


KEYED NOTE:

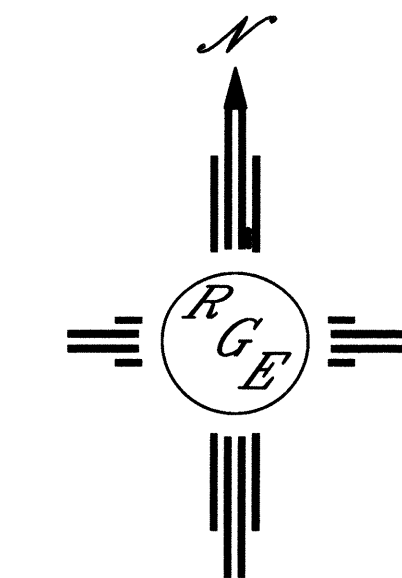
- (A) 6' VALLEY GUTTER PER C.O.A. STD DWG #2420
- (B) UNIDIRECTIONAL H.C. RAMP PER DETAIL THIS SHEET
- (C) 4' SIDEWALK TO BE BUILT WITH THIS CONTRACT PER COA STD. DWG #2430
- (D) STANDARD CURB PER C.O.A. STD DWG #2415A
- (E) CUT-OFF WALL PER C.O.A. STD DWG #2415B

LEGEND

- EXISTING CURB & GUTTER
- EXISTING EDGE OF ROADWAY
- PROPOSED CURB & GUTTER
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- BOUNDARY LINE
- EASEMENT
- LIMITS OF NEW PAVEMENT TO BE BUILT W/THIS PROJECT
- LIMITS OF TEMPORARY PAVEMENT TO BE BUILT W/THIS PROJECT TO BE 4" TYPE B TEMPORARY PAVING OVER 8" SUBGRADE PREP @ 95% ASTM
- CONTRACTOR SHALL PROVIDE 2% CROSS SLOPE MAX.



UNI-DIRECTIONAL WHEELCHAIR RAMP DETAIL PER COA STD DWG # 2426 (TYP.)
NTS



GRAPHIC SCALE

| | |
|--|--|
| 1806 CENTRAL AVENUE SE SUITE 801 ALBUQUERQUE, NM 87108 (505) 872-0888 | |
| CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP | |
| TITLE: HB MASTER PAVING PLAN | |
| DESIGN REVIEW COMMITTEE APPROVED FEB 10 2010 DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL APPROVED MAR 06 2010 CITY ENGINEER |
| CITY PROJECT NO. 722083 | ZONE MAP NO. B-18-Z |
| SHEET 4 | OF 6 |

| AS BUILT INFORMATION | | BENCH MARKS | | SURVEY INFORMATION | | ENGINEER'S SEAL | |
|----------------------|------|---------------------------------------|------|--------------------|-----|-----------------|----|
| CONTRACTOR | WORK | ACS MONUMENT | DATE | FIELD NOTES | NO. | DATE | BY |
| BY | DATE | N=102830814 | 8-10 | 1 | 1 | 1 | 1 |
| BY | DATE | B=154223.59 | 8-10 | 1 | 1 | 1 | 1 |
| BY | DATE | NAD 1983/NAD1983 | 8-10 | 1 | 1 | 1 | 1 |
| BY | DATE | ELEV=5509.617 | 8-10 | 1 | 1 | 1 | 1 |
| BY | DATE | NEW MEXICO STATE PLANE (CENTRAL ZONE) | 8-10 | 1 | 1 | 1 | 1 |
| BY | DATE | G/G=0.999998711 | 8-10 | 1 | 1 | 1 | 1 |
| BY | DATE | DELTA/ALPHA= -001131.89 | 8-10 | 1 | 1 | 1 | 1 |

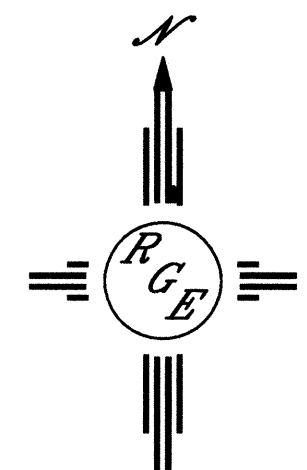
| CURVE TABLE | | | | | |
|-------------|--------|--------|-----------|-----------------|-------|
| CURVE | LENGTH | RADIUS | DELTA | CHORD DIRECTION | CHORD |
| C1 | 35.02 | 25.47 | 7°47'12" | N58°01'22"E | 32.33 |
| C2 | 23.56 | 25.00 | 53°59'56" | S62°25'33"E | 22.70 |

QUARTER POINTS

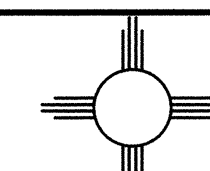
KEYED NOTE:

- NOTE-** CONTRACTOR SHALL PROVIDE 3' WIDE PEDESTRIAN ROUTE W/2% CROSS SLOPE MAX.

STA: 10+92.14 ELEV: 5154.80
 FL LT
 1.51% EX. FL LT
 -0.96% FL LT
 75' VC
 FL LT
 BVC: 13+18.80
 ELEV: 5156.98
 PVI STA = 13+56.30
 PVI ELEV = 5157.34
 A.D. = 1.36
 K = 55.26
 EVC: 14+07.44
 TOP: 5155.55
 INSTALL 1-6X6X6 TEE
 STA: 14+73.79 TOP: 5156.56
 INSTALL 1-6X6X4 TEE
 STA: 14+76.54 TOP: 5156.60
 INSTALL 1-3" WL SERVICE
 STA: 14+96.98 ELEV: 5160.91
 GRADE OUT TO
 TIE TO EX. GRADE
 @ 6:1 SLOPE MAX.
 STA: 14+95.00 ELEV: 5160.05
 FL LT
 EX. 8" WL
 1.50' SEPERATION
 FROM EX. 8" WL
 TO NEW 18" SD
 EX. 36" SD
 STA: 14+81.48 TOP: 5146.32
 4" SAS TAP
 EX. 8" SAS
 EX. 8" WL
 EX. 36" SD
 EX. 8" SAS



SCALE: HORIZ. 1"=50'
VERT. 1"= 5'



Rio Grande Engineering
18080 CENTRAL AVENUE
SUITE 208
ALBUQUERQUE, NM 87106
(505) 872-0889

TITLE: **HB**
BEVERLY HILLS AVENUE UTILITY IMPROVEMENT

| | | | | |
|--|--|--------------------|-------------|-------------|
| DESIGN REVIEW COMMITTEE | CITY ENGINEER | LAST DESIGN UPDATE | MO./DAY/YR. | MO./DAY/YR. |
| APPROVED FEB 10 2010 DESIGN REVIEW COMMITTEE | APPROVED MAR 05 2010 CITY ENGINEER | | | |
| | | | | |
| | | | | |
| | | | | |

| | | | |
|------------------|--------------|-------|----|
| CITY PROJECT NO. | ZONE MAP NO. | SHEET | OF |
| 722083 | B-18-7 | 5 | 6 |

