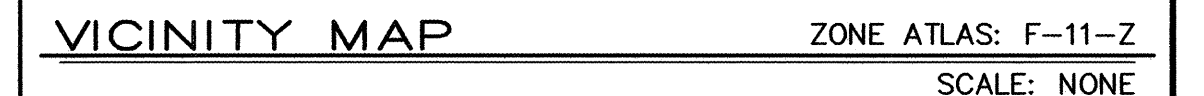


SCANNED BY
MESA FEPRO



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILLED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE J6.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION DIVISION A DETAILED CONSTRUCTION SCHEDULE.
6. SEVEN (7) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS LOCATED BY THE PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN CHANGE IS MADE TO THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE BY CITY.
13. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 24 CFR 1926.60 SUBPART P.

☒	ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
☒	BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
☒	SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
☐	IF CURB IS DEEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
☐	ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9533

REV	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****
 REVISÉ 10/27/03 10/19/03 <i>David L. Drais</i>	DRC CHAIRMAN	<i>[Signature]</i>	11-7-03	APPROVED FOR CONSTRUCTION
	TRANSPORTATION	<i>[Signature]</i>	10/29/03	
	WATER/WASTEWATER	<i>[Signature]</i>	10/29/03	<i>[Signature]</i> 12-11-03 CITY ENGINEER DATE
	HYDROLOGY	<i>[Signature]</i>	10/29/03	
	CIP			
	CONSTR. MNGMT.			
	CONSTR. COORD.	<i>[Signature]</i>	11-7-03	
CITY PROJECT NO.			722181	SHEET OF 1 10

SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING & DRAINAGE PLAN
5	MASTER PAVING PLAN
6	PAVING IMPROVEMENTS--PETRA POINTE CIRCLE N.W.
7	PAVING IMPROVEMENTS--ATRISCO DRIVE N.W.
8	MASTER UTILITY PLAN
9	UTILITY IMPROVEMENTS--PETRA POINTE CIRCLE N.W.
10	UTILITY IMPROVEMENTS--WESTWARD HO LANE N.W.

1	2	3	4	5	6	7	8	9	10	11	12	13	14
2	6		7	2	2	1	.	8	1				0

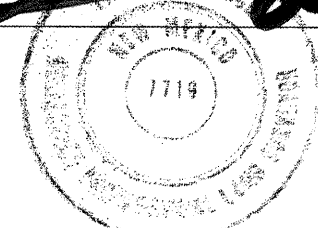
I, Amy L.D. Niese - NMPE 15334, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by ALS, Inc. - NW number 7719.

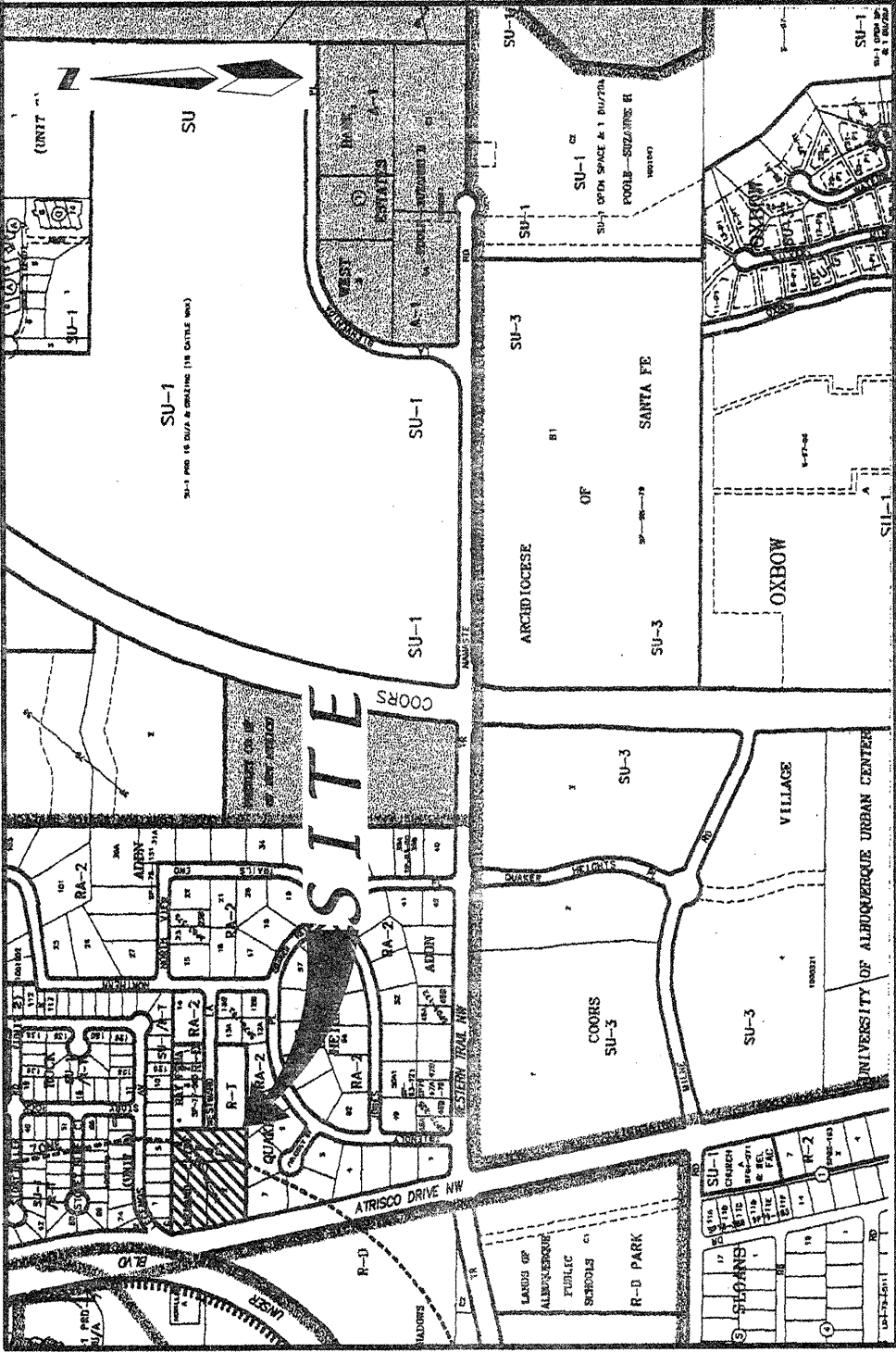
DRB NO. 1002342

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' information performed by me or under my supervision, that the 'as-built' information shown on these drawings was obtained from the surveyor and engineer in charge of this 'as-built' information is true and correct to the best of my knowledge and belief. Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the drawings.

Timothy Aldrich P.S. No. 7719 Date 05-04

Timothy Aldrich, P.S. No. 7719





LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

- Subdivide three (3) existing lots into 22 Residential Lots.
- Grant new easements as shown hereon.
- Dedicate Right-of-way as shown hereon.
- Vacate existing 20' roadway easement as shown hereon.

LOCATION MAP
SUBDIVISION DATA
Zone Atlas No. F-11-Z
Scale: NONE

Plat Case No. s.
Project # 1002342
Case # 03 DRB-00884
03 DRB-00883
3.0032 Ac.
F-11-Z
Gross Acreage
Zone Atlas No.
No. of existing Tracts/Lots
No. of Tracts/Lots created
No. of Tracts/Lots eliminated
Miles of full width streets created
Street Area dedicated to the City of Albuquerque
Date of Survey
Utility Control Location System Log Number
Zoning

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: MEL FAMILIE, LLC
BY: William Allen, Managing Member
DATE: 9/3/03

OWNER'S ACKNOWLEDGMENT
OFFICIAL SEAL
SUSAN RASINSKI
NOTARY PUBLIC-STATE OF NEW MEXICO
STATE OF NEW MEXICO
COUNTY OF BERNALILLO
My commission expires: 9-3-04
August 21, 2003
This instrument was acknowledged before me on August 21, 2003
By William Allen, Managing Member of MEL FAMILIE, LLC a Limited Liability Company on behalf of said company.

NOTARY PUBLIC
Susan Rasinski
9-3-2004
MY COMMISSION EXPIRES

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The PNM Gas Services Division for installation, maintenance and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- Quest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002342
Application Number: 03 DRB-00883, 03 DRB-00884

PLAT APPROVAL

Utility Approvals:

PNM Electric Services
PNM Gas Services
Quest
Comcast
City Approvals:
City Surveyor

Traffic Engineering, Transportation Division
Utilities Development
Parks and Recreation Department
AMA/CA
City Engineer
DRB Chairperson, Planning Department

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich P.S. No. 719
ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: A02122FFS2A.dwg Drawn: RICHARD Checked: ALS Sheet 1 of 3
Scale: N/A Date: 08/11/03 Job: A02122

PETROGLYPH GARDENS SUBDIVISION

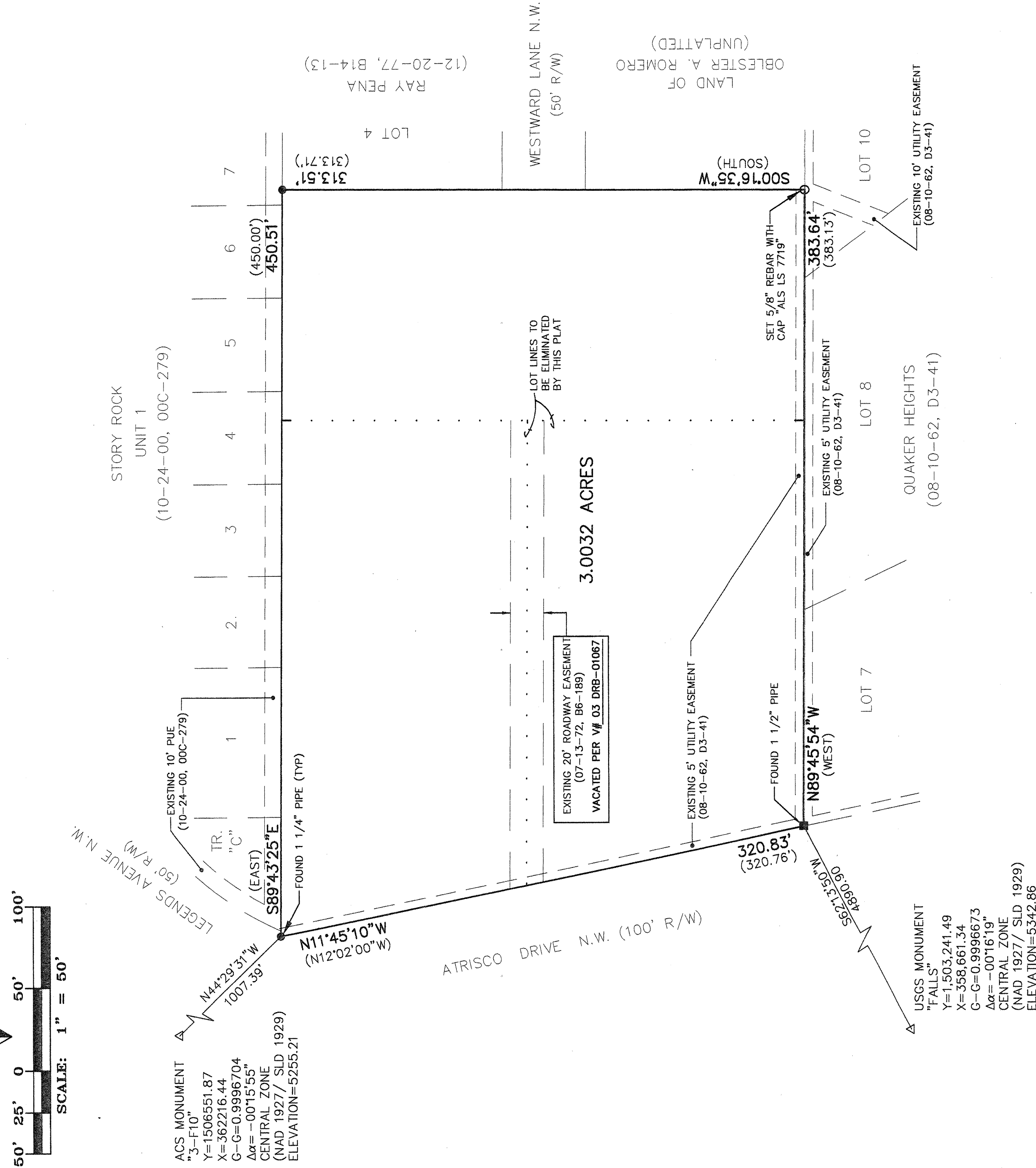
SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2003

LEGAL DESCRIPTION

A tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 1 THRU 3, CLYDE LELAND SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 13, 1972 in Volume B6, Folio 189 and containing 3.0032 acres more

NOTES

- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
PLAT OF "CLYDE LELAND SUBDIVISION", (07-13-72, B6-189)
PLAT OF "QUAKER HEIGHTS", (08-10-62, D3-41)
PLAT OF "RAY PENA", (12-20-77, B14-13)
PLAT OF "STORY ROCK, UNIT 1", (10-24-00, 00C-279)
all being records of Bernalillo County, New Mexico.
- Field Survey, performed February, 2003.
- Title Report: None provided.
- 30' wide Public Waterline and Drainage Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.
- Right-of-way dedicated to, for the benefit of, and to be maintained by the City of Albuquerque.
- Unless otherwise noted all corners established by this subdivision will be marked by a #5 rebar w/cap stamped "ALS LS 7719".
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).

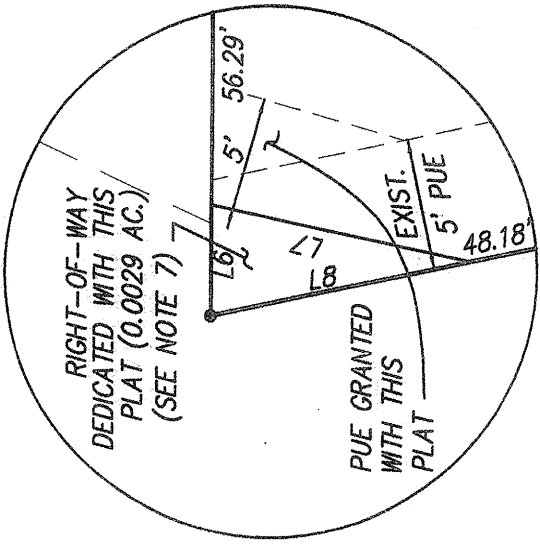
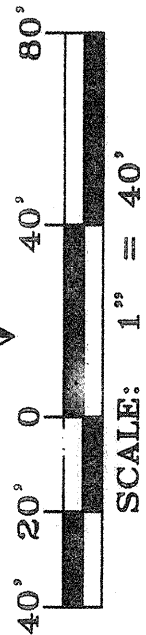


DAC # 722181

SHEET 2 OF 10

ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: A02122FFS2A.dwg Drawn: RICHARD Checked: ALS Sheet 2 of 3
Scale: 1"=50' Date: 08/11/03 Job: A02122



ALL STREETS SHOWN
HEREON ARE HEREBY
DEDICATED AS PUBLIC
RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED WITH THIS PLAT

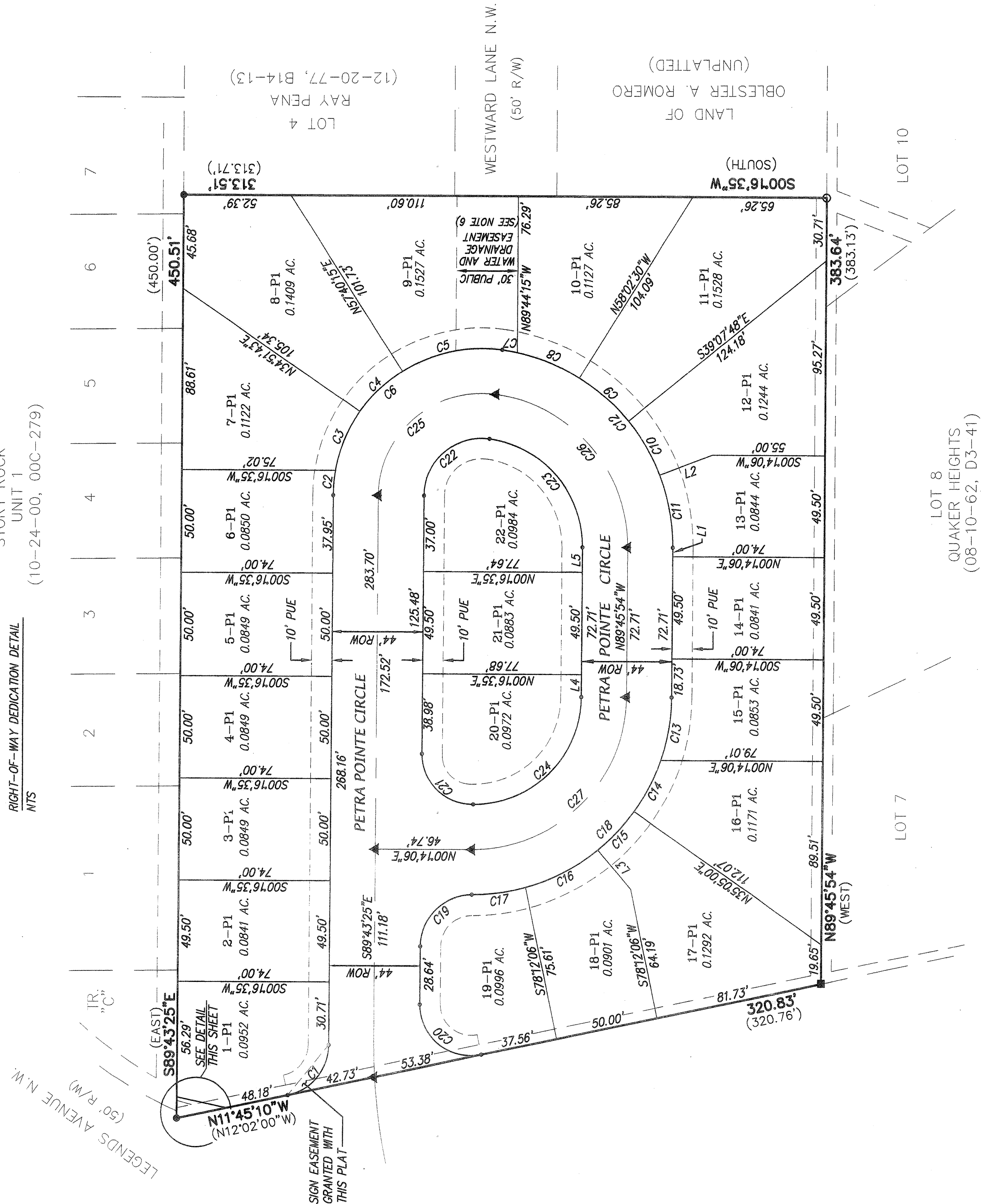
ROW = RIGHT-OF-WAY

STORY ROCK
UNIT 1
(10-24-00, 000-279)

RIGHT-OF-WAY DEDICATION DETAIL
NTS

PLAT FOR
PETROGLYPH GARDENS SUBDIVISION
WITHIN

SECTION 35
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2003

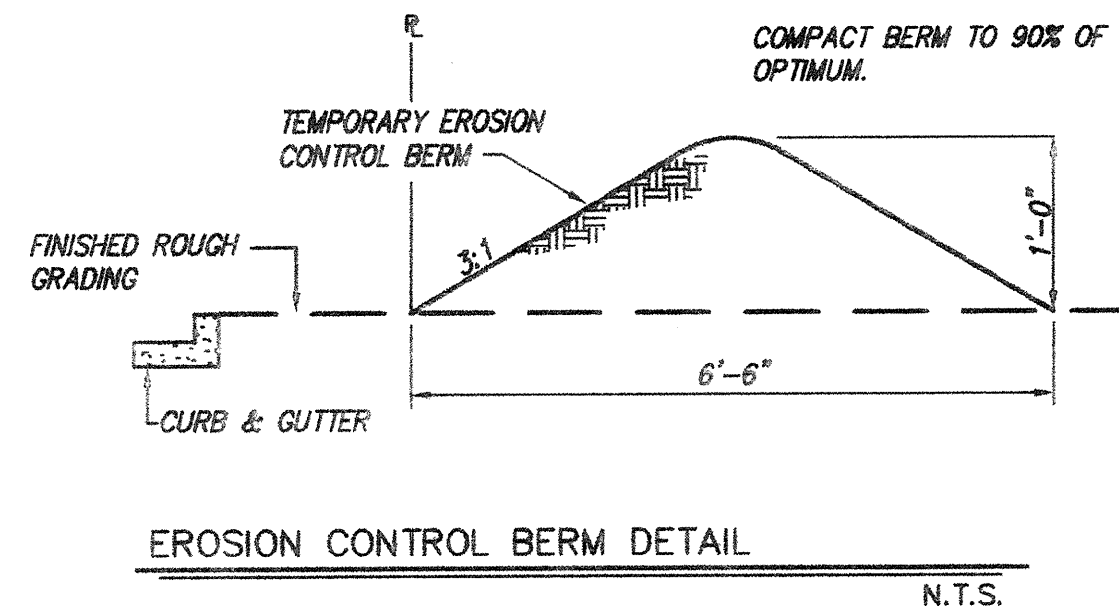


CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	25.00	34.02	77°56'15"	20.23	S50°44'18"E	31.46
C2	72.00	12.11	9°38'20"	6.07	N8°54'15"W	12.10
C3	72.00	31.35	24°56'48"	15.93	N67°36'41"W	31.10
C4	72.00	28.66	22°48'32"	14.52	N43°44'01"W	28.47
C5	72.00	50.69	40°20'21"	26.45	N17°09'35"W	49.65
C6	72.00	122.82	97°44'01"	82.44	N40°51'25"W	108.46
C7	97.00	7.43	4°33'22"	3.72	N10°19'17"E	7.43
C8	97.00	33.11	19°33'32"	16.72	N22°10'44"E	32.95
C9	97.00	32.02	18°54'42"	16.16	N41°24'51"E	31.87
C10	97.00	30.73	18°09'16"	15.50	N59°56'50"E	30.61
C11	97.00	35.91	21°23'38"	18.16	N78°37'42"E	35.70
C12	97.00	139.20	87°13'30"	84.66	N40°07'21"E	127.56
C13	97.00	31.31	18°20'34"	15.78	S80°31'02"E	31.17
C14	97.00	28.69	16°56'46"	14.45	S82°47'57"E	28.58
C15	97.00	25.66	15°09'17"	12.90	S46°44'55"E	25.58
C16	97.00	40.00	23°37'56"	20.29	S27°27'28"E	38.72
C17	97.00	152.19	89°53'41"	96.82	S44°49'03"E	137.05
C18	97.00	152.19	89°53'41"	96.82	S44°49'03"E	137.05
C19	25.00	39.21	89°51'13"	24.84	N44°47'49"W	36.31
C20	25.00	44.52	102°07'45"	30.89	S39°15'42"W	38.87
C21	25.00	39.55	90°38'17"	25.28	S44°57'26"W	35.55
C22	28.00	47.76	97°44'01"	32.06	N40°51'25"W	42.18
C23	53.00	76.06	82°13'30"	46.26	N40°07'21"E	69.70
C24	53.00	82.70	89°24'12"	52.45	S45°03'48"E	74.56
C25	50.00	65.29	97°44'01"	57.25	N40°51'25"W	75.32
C26	75.00	107.63	87°13'30"	65.46	N40°07'21"E	98.63
C27	75.00	117.81	90°00'00"	75.00	S44°45'54"E	106.07

LINE ID	LENGTH	BEARING
L1	4.48	N89°55'54"W
L2	27.43	S20°58'32"E
L3	25.03	N50°14'17"E
L4	10.94	S89°45'54"E
L5	12.27	S89°45'54"E
L6	10.43	S89°43'25"E
L7	24.90	S72°25'39"W
L8	24.89	N71°45'10"W

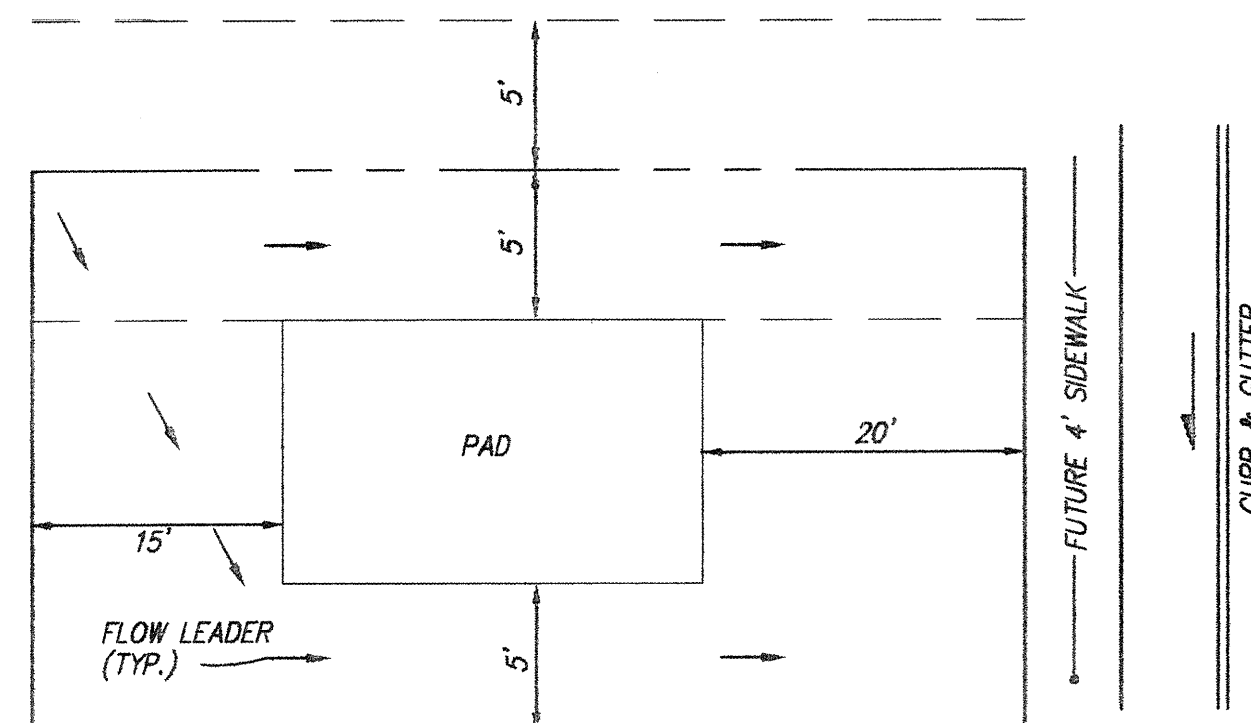
NOTE: ▲

CENTERLINE (IN LIEU OF P/W) MONUMENTATION IS TO BE INSTALLED AT ALL CURVE POINTS AND STREET CORNERS. THE MONUMENTS SHALL BE 4" ALUMINUM ALLOY CIP STAMPED "TOTOF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



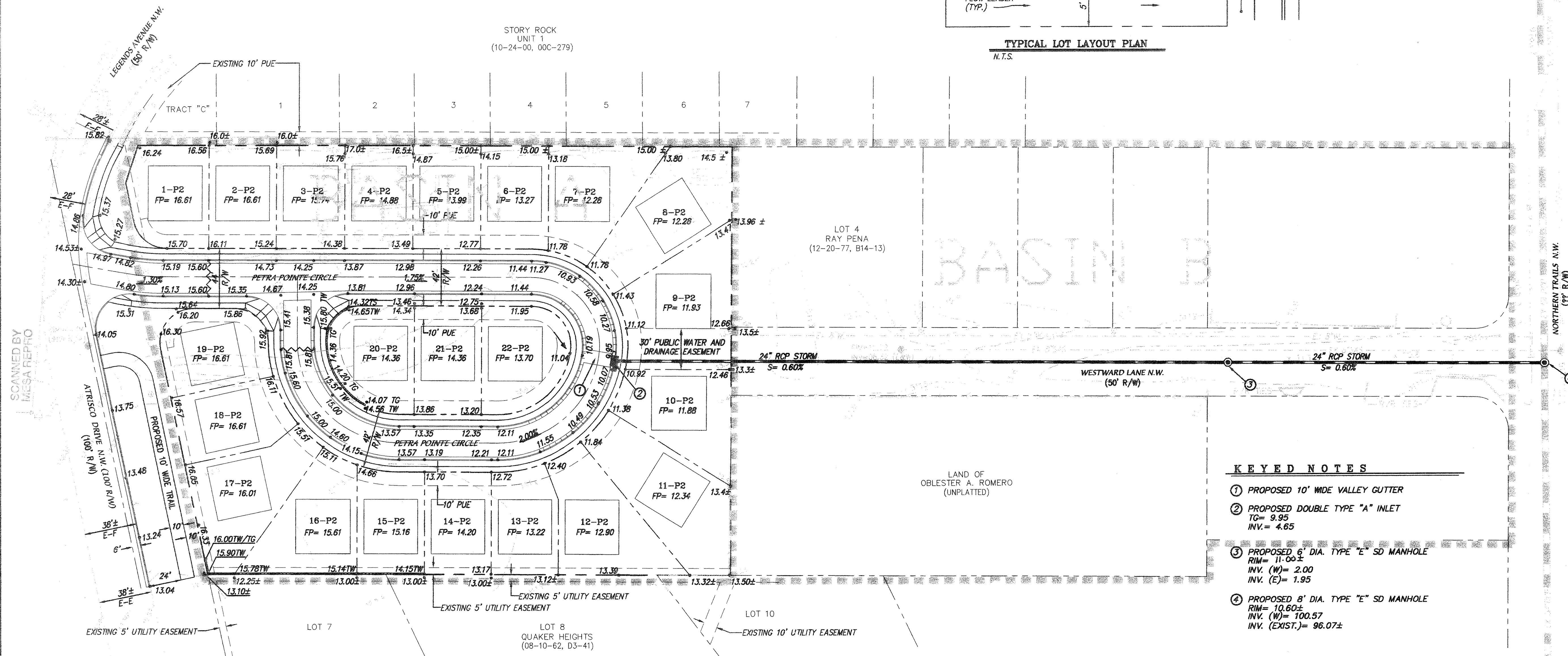
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



LEGAL DESCRIPTION:

CLYDE LELAND SUBDIVISION, LOTS 1 THRU 3, SITUATE WITHIN SECTION 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.



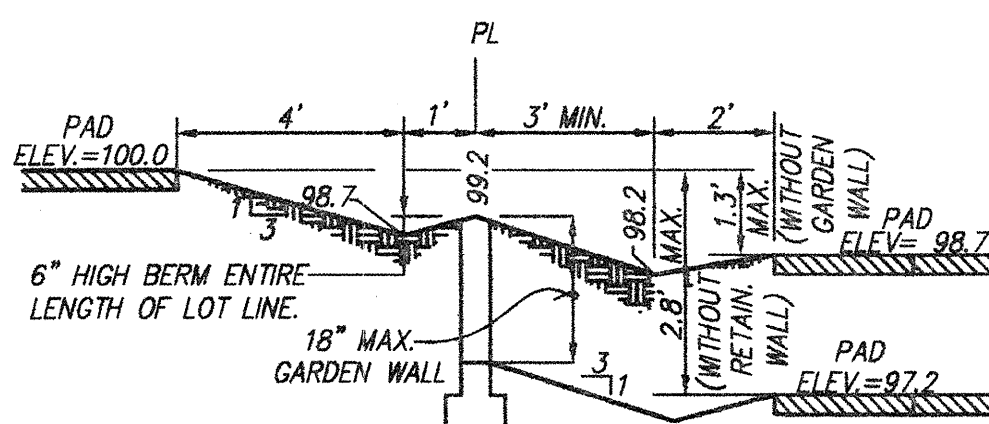
KEYED NOTES

1. PROPOSED 10' WIDE VALLEY GUTTER
2. PROPOSED DOUBLE TYPE "A" INLET
TQ= 9.95
INV.= 4.65
3. PROPOSED 6' DIA. TYPE "E" SD MANHOLE
RIM= 11.00±
INV. (W)= 2.00
INV. (E)= 1.95
4. PROPOSED 8' DIA. TYPE "E" SD MANHOLE
RIM= 10.60±
INV. (W)= 100.57
INV. (EXIST.)= 96.07±

APPROVED ROUGH GRADING ±18" CITY HYDROLOGY DATE

LEGEND

---	EXISTING CONTOUR (MAJOR)	---	NEW STANDARD CURB & GUTTER
---	EXISTING CONTOUR (MINOR)	---	NEW MOUNTABLE CURB & GUTTER
---	EXISTING SPOT ELEVATION	---	NEW SIDEWALK
---	EXISTING CURB & GUTTER	---	NEW RIGHT-OF-WAY
---	EXISTING CONCRETE SIDEWALK	---	NEW CENTERLINE
---	EXISTING WALL OR HEAD WALL	---	NEW LOT LINES
---	EXISTING POWER POLE	---	NEW/EXISTING EASEMENTS
---	EXISTING GUY WIRE	00.00.	PROPOSED SPOT ELEVATION
---	EXISTING OVERHEAD ELECTRIC	FP= 00.00	PROPOSED FINISHED PAD ELEVATION
---	EXISTING UG GAS MARKER/GAS SERVICE	00.00TW.	PROPOSED TOP OF WALL ELEVATION
---	EXISTING TREE STUMP	---	PROPOSED RETAINING WALL
---	EXISTING TREE	---	PROPOSED STORM DRAIN LINE
---	EXISTING WATER SPIGOT	---	PROPOSED STORM DRAIN MANHOLE
---	EXISTING WATER VALVE	---	PROPOSED STORM DRAIN INLET
---	EXISTING FIRE HYDRANT	---	PROPOSED HIGH POINT
---	EXISTING WATERLINE	---	PROPOSED BASIN BOUNDARY
---	EXISTING SANITARY SEWER MANHOLE	---	
---	EXISTING SANITARY SEWER LINE		
---	EXISTING STORM DRAIN MANHOLE		
---	EXISTING STORM DRAIN LINE		

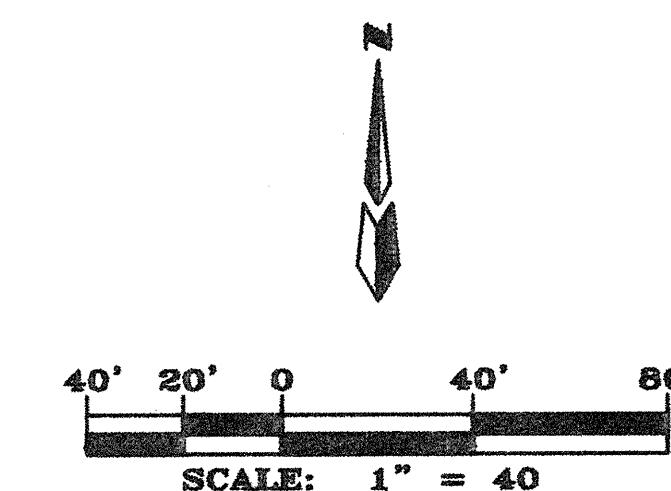
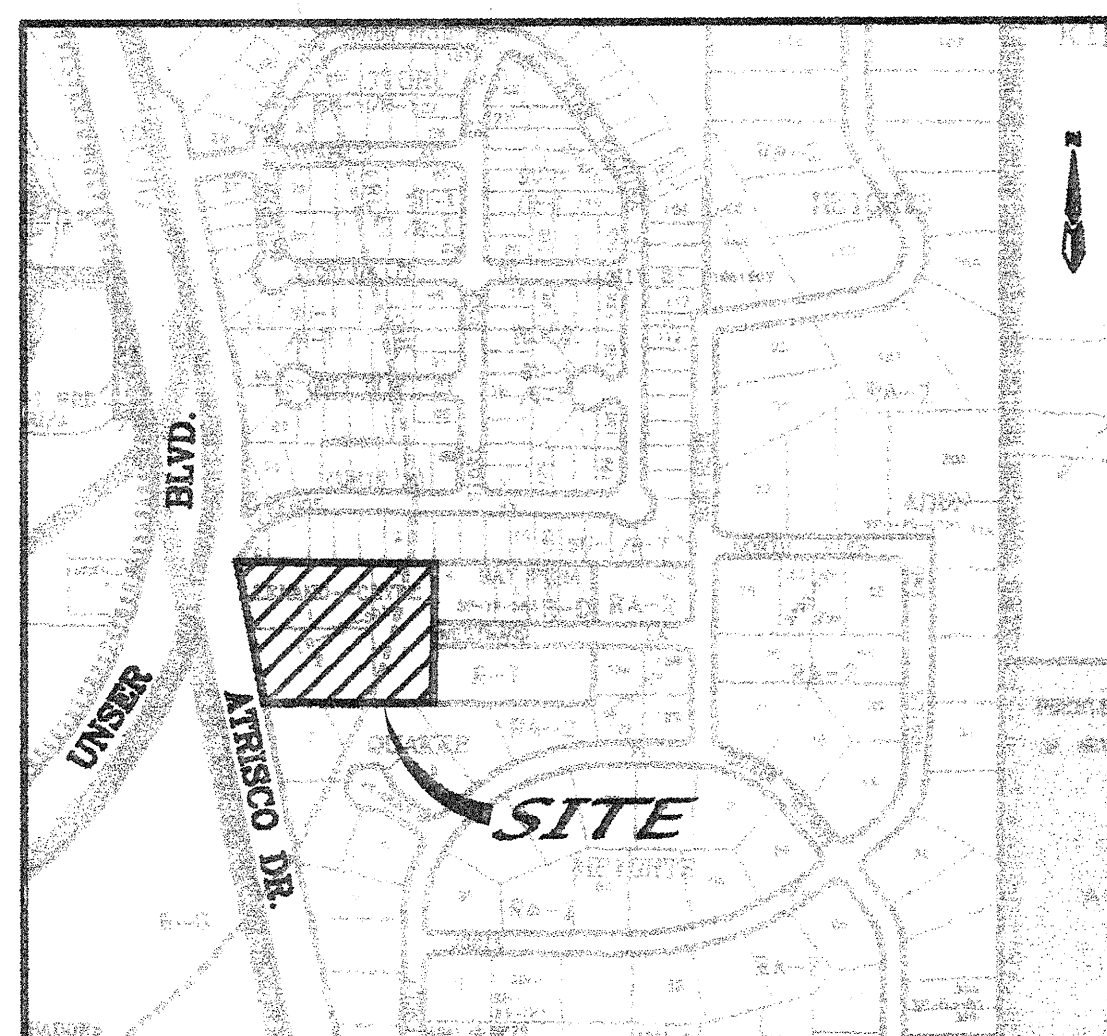


NOTES:

1. A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY.
2. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.8' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
3. WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.8' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.

TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL

ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.8' WILL REQUIRE RETAINING WALLS



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

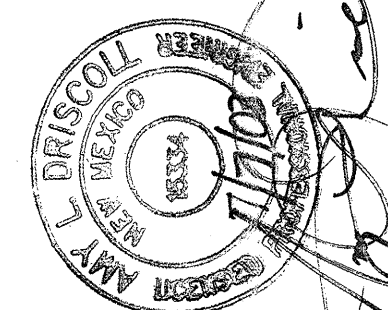


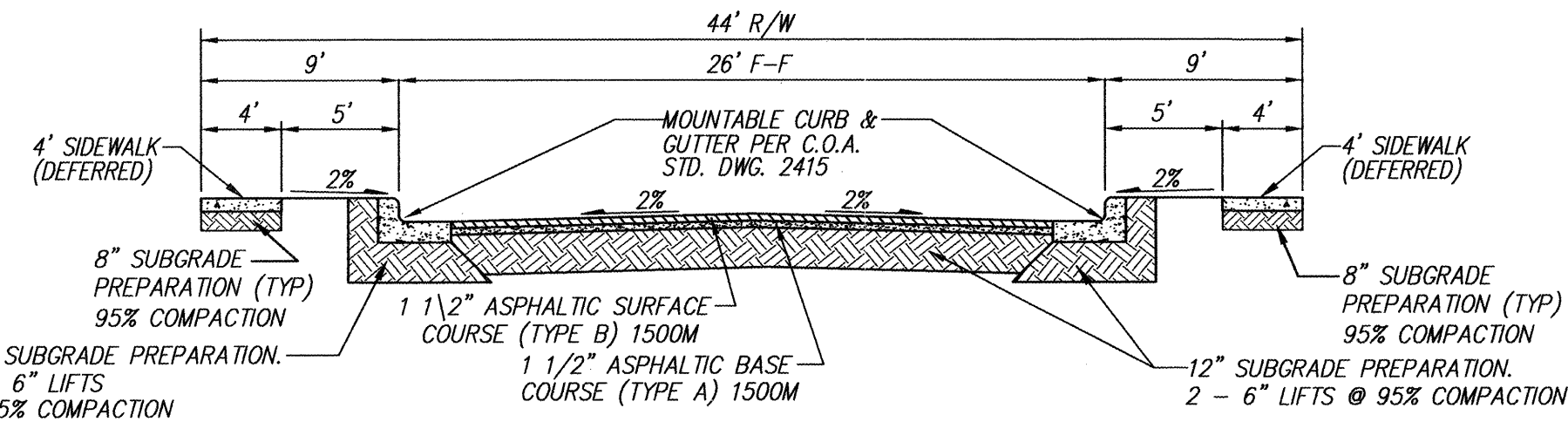
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **PETROGLYPH GARDENS SUBDIVISION
GRADING & DRAINAGE PLAN**

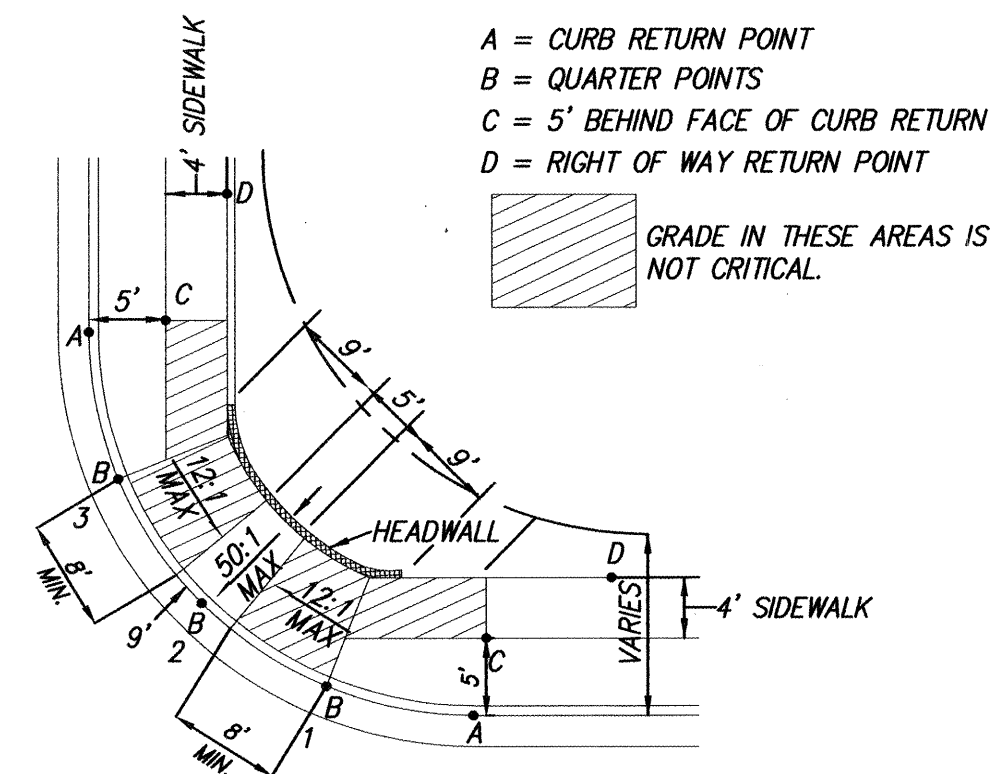
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
For Information			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
722181	F-11-Z	4	10

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S	DATE	FIELD NOTES	BY	NO.	DATE
FRANKLIN	04/03	ALB	04/03	ACS Brass Cap stamped "3-F10"			
DATE	04/03	DATE	04/03	From the intersection of Coors Road & I-40, go north on Coors Rd. 0.9 miles to Redlands Rd. Turn left go west 0.1 miles to Atrisco Dr. Turn right & go north on Atrisco Dr. 1.7 miles. The station is about 400 feet west of this point on top of a lava rock.			
DATE	04/03	DATE	04/03	Geographic Position (NAD 1983), in feet			
DATE	04/03	DATE	04/03	N.M. State Plane Coordinates (Central Zone)			
DATE	04/03	DATE	04/03	Elevation=5255.21, NGVD29, in feet			





TYPICAL RESIDENTIAL STREET SECTION FOR PETRA PONTE CIRCLE
N.T.S. (SEE NOTE 7)



WHEEL CHAIR RAMP DETAIL CASE I
N.T.S. (PER C.O.A. STD. DETAIL #2441)

NOTES

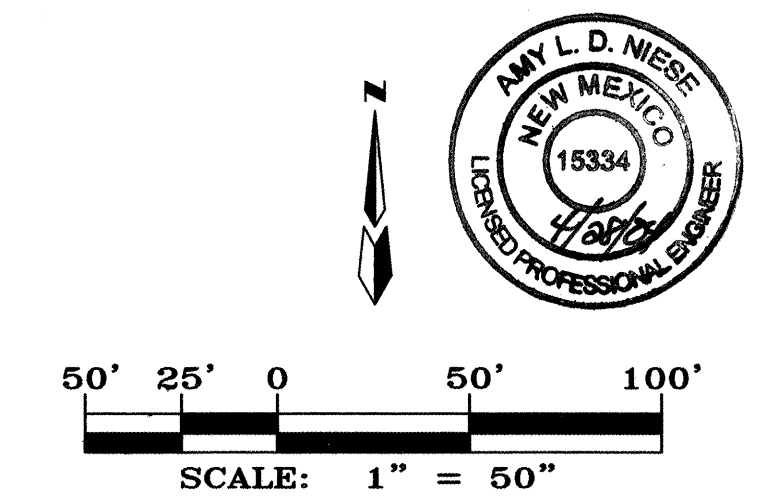
- ALL SIDEWALKS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2430.
- ALL 6" VALLEY GUTTERS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2420.
- ALL HANDICAP RAMPS ARE CASE 1 PER DETAILS ON THIS SHEET, UNLESS OTHERWISE NOTED.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB SHALL BE 10 FEET.
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50 FEET PER C.O.A. STD. DETAIL #2401.
- TRANSITION FROM MOUNTABLE CURB TO STANDARD CURB AT INTERSECTIONS SHALL OCCUR THROUGH THE H.C. RAMP PER C.O.A. STANDARD DRAWING 2418.
- SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 FOR STREETS SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL, OR A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING CONCRETE/SIDEWALK
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED LOT LINE
- PROPOSED/EXISTING EASEMENT LINE
- PROPOSED CENTERLINE
- PROPOSED CROWN TRANSITION
- PROPOSED CONCRETE SIDEWALK (THIS PROJECT)
- PROPOSED CONCRETE SIDEWALK (DEFERRED)
- PROPOSED STREET LIGHT
- WHEEL CHAIR RAMP (THIS PROJECT)

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Amy L.D. Niese, NMPE 15334, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.



50' 25' 0' 50' 100'
SCALE: 1" = 50'

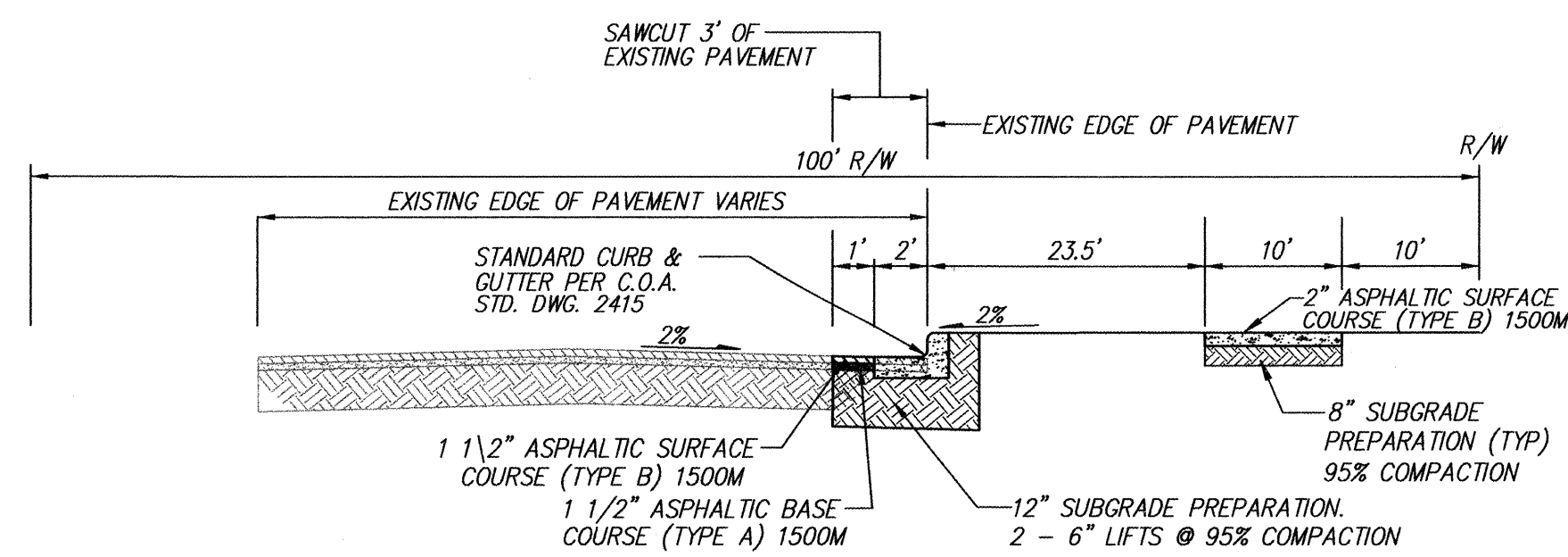
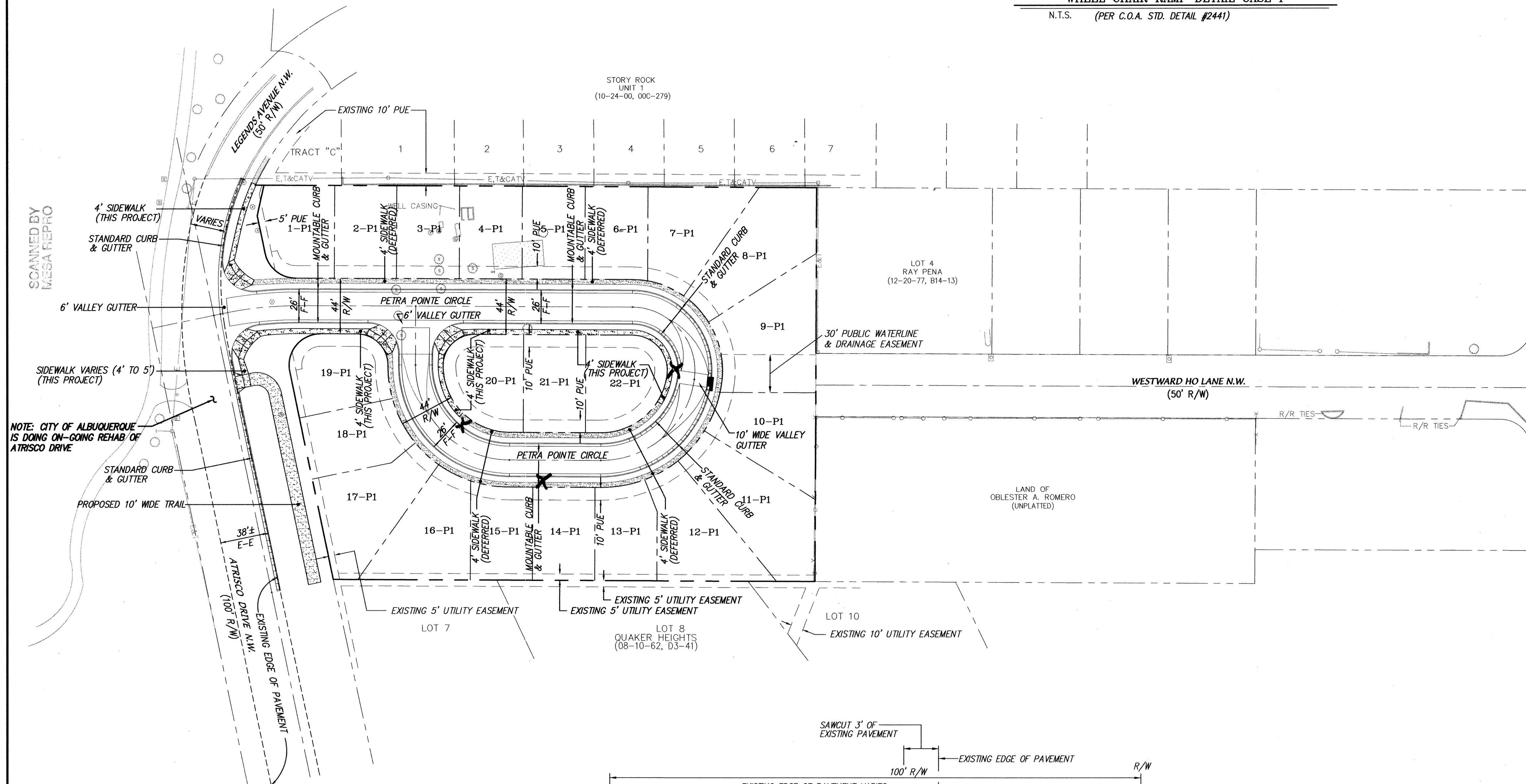
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

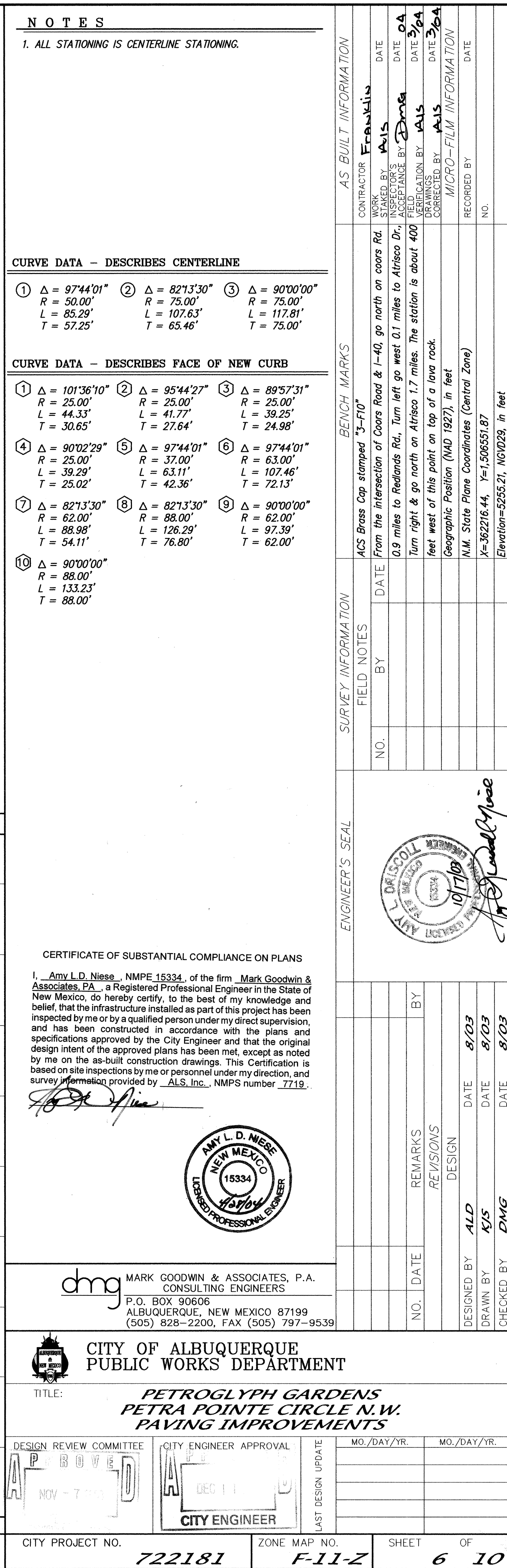
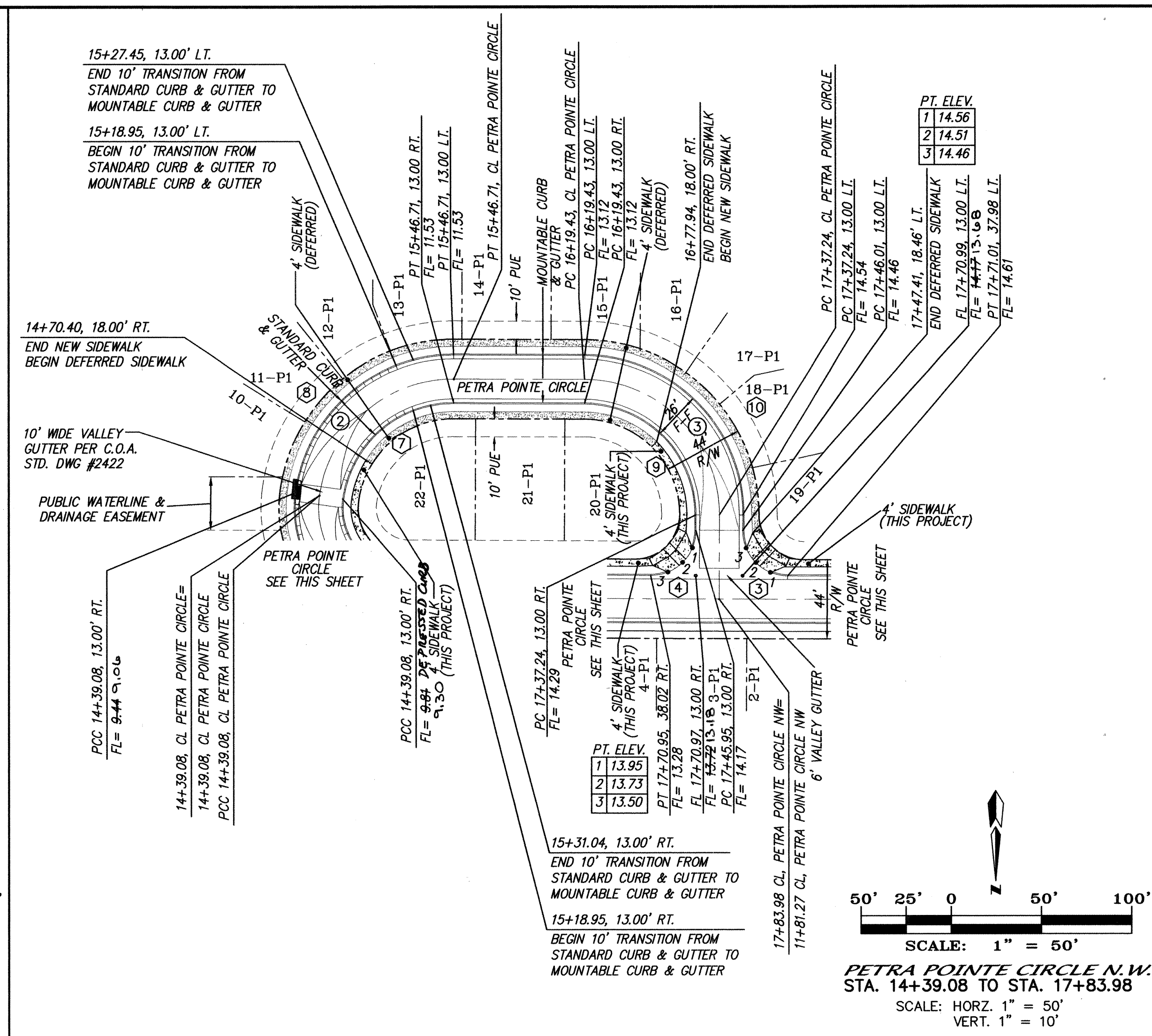
TITLE: PETROGLYPH GARDENS SUBDIVISION
MASTER PAVING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED NOV - 7 - 2003 DESIGN REVIEW COMMITTEE	APPROVED DEC 11 - 2003 CITY ENGINEER		

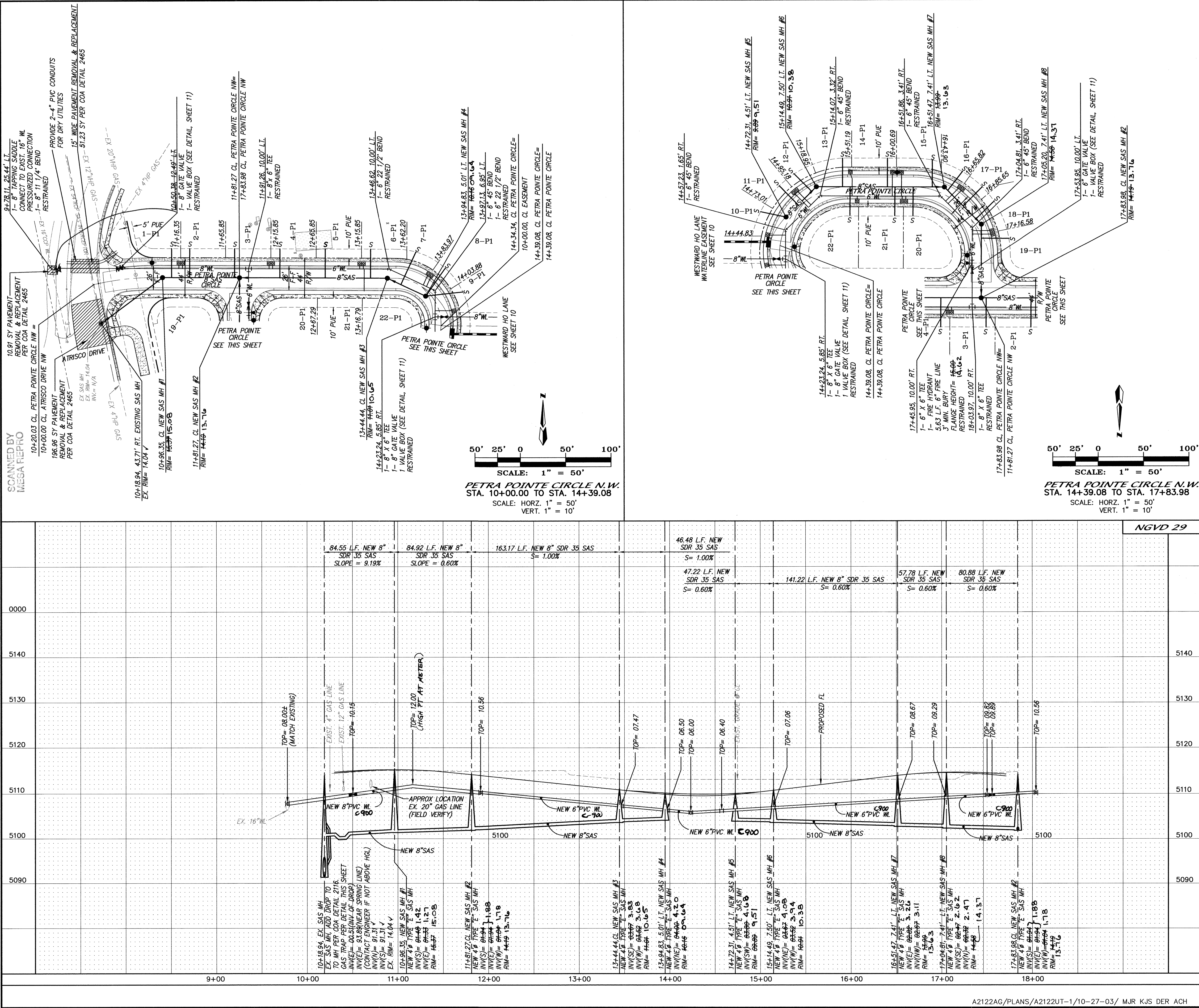
CITY PROJECT NO. 722181 ZONE MAP NO. F-11-Z SHEET 5 OF 10



TYPICAL RESIDENTIAL STREET SECTION FOR ATRISCO DRIVE
N.T.S. (SEE NOTE 7)



F:\A02\JOBS\A2122ag\PLANS\A2122UT-1.dwg Mon Oct 27 12:48:16 2003 D. MARK GOODWIN & ASSOCIATES; PLTTED BY: ACH



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. 3" MINIMUM COVER ON ALL WATERLINES.

SANITARY SEWER SERVICES

LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
1	11+06.35	10.12	32.00'
2	11+26.35	10.01	32.00'
3	11+75.85	09.00	32.00'
4	12+25.85	08.03	32.00'
5	12+75.85	07.05	32.00'
6	13+25.85	06.07	32.00'
7	13+67.41	05.99	39.42'
8	13+90.08	06.13	37.45'
9	14+09.99	06.32	41.31'
10	14+63.41	06.02	28.73'
11	14+88.16	05.92	29.67'
12	15+02.97	05.87	27.70'
13	15+42.84	06.32	31.86'
14	15+90.69	07.47	32.00'
15	16+34.08	08.52	29.97'
16	16+59.10	09.07	26.46'
17	16+78.57	09.32	29.82'
18	16+92.83	09.44	27.89'
19	17+24.05	09.53	30.35'
20	16+19.03	08.17	32.00'
21	15+98.91	07.67	32.00'
22	15+49.41	06.48	32.00'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	-	7'	3'	-	46'
8"	-	-	-	2'	60'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
8"x6"x6"	7'	5'
6"x6"x6"	10'	2'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Amy L.D. Niese, NMPE 15334, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

Amy L.D. Niese
AMY L. D. NIESE
15334
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO

GAS TRAP DETAIL

N.T.S.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

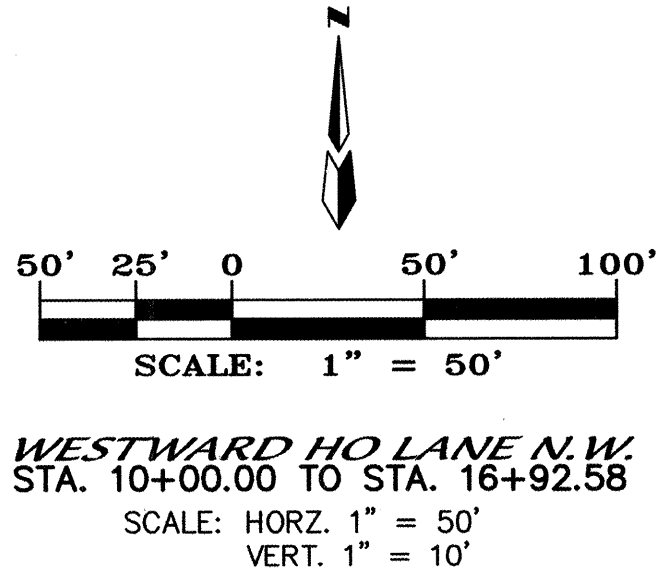
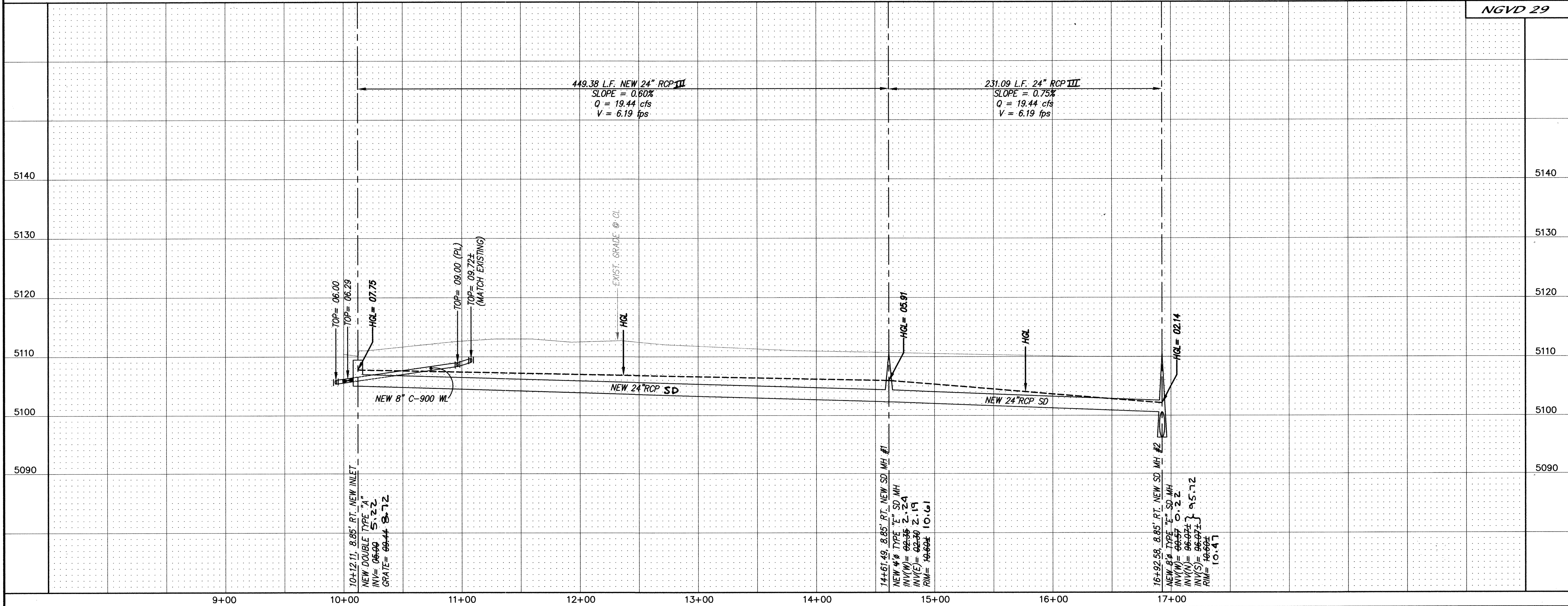
TITLE: **PETROGLYPH GARDENS PETRA POINTE CIRCLE N.W. UTILITY IMPROVEMENTS**

DESIGN REVIEW COMMITTEE: **NOV - 7 2003**
CITY ENGINEER APPROVAL: **DEC 11 2003**
CITY ENGINEER: **ALBUQUERQUE**

DESIGNED BY: **ALD** DATE: **8/03**
DRAWN BY: **KJS** DATE: **8/03**
CHECKED BY: **DMG** DATE: **8/03**

CITY PROJECT NO. **722181** ZONE MAP NO. **F-11-Z** SHEET **9** OF **10**

SCANNED BY
MESA REPRO



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. 3' MINIMUM COVER ON ALL WATERLINES.
3. CONTRACTOR TO FIELD VERIFY PROJECT EXISTING WATERLINE AND SAS SERVICES DURING CONSTRUCTION.

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
8"	22'	9'	4'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
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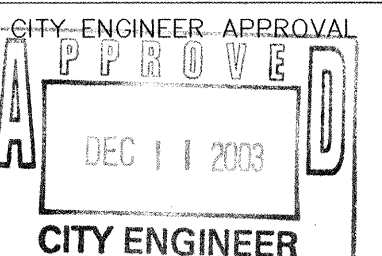


MARK GOODWIN & ASSOCIATES, P.A.
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ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: PETROGLYPH GARDENS
WESTWARD HO LANE N.W.
UTILITY IMPROVEMENTS



CITY PROJECT NO. 722181 ZONE MAP NO. F-11-Z SHEET 10 OF 10