

Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL MONUMENTS HEAVEN AND 7-C19, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES ( ) ARE PER THE PLAT OF TRACTS X-1-A & X-1-B, NORTH ALBUQUERQUE ACRES, FILED IN BERNALILLO COUNTY, NEW MEXICO ON MARCH 05, 1999 IN BOOK 99C, PAGE 46.
6. GROSS AREA: 3.0000 ACRES
7. NUMBER OF EXISTING TRACTS: 1
8. NUMBER OF TRACTS CREATED: 4
9. TRACTS X-1-B-1, X-1-B-2, X-1-B-3 AND X-1-B-4 ARE SUBJECT TO PRIVATE CROSS EASEMENTS CONCERNING ACCESS, PARKING AND DRAINAGE GRANTED BY THIS PLAT AND ARE RESPONSIBLE FOR THE MAINTENANCE OF SAID EASEMENTS PER SITE PLAN PROJECT #1002716.
10. THE PRIVATE WATER, SANITARY SEWER AND FIRE LINE EASEMENT ARE FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF TRACTS X-1-B-1, X-1-B-2, X-1-B-3 AND X-1-B-4 AND ARE TO BE MAINTAINED BY SAID OWNERS.
11. PROPERTY IS SUBJECT TO SITE PLAN PROJECT #1002716.

SCANNED BY  
MESA REPRO

MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 101906328542612222

PROPERTY OWNER OF RECORD

Wynning Office Park LLC

BERNALILLO COUNTY TREASURER'S OFFICE:

11/3/03

LEGAL DESCRIPTION  
Tract lettered X-1-B plat of Tracts X-1-A and X-1-B, Block numbered Twenty-two (22)  
Tract A, Unit A, North Albuquerque Acres as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on March 5, 1999 in Book 99C, page 46.

FREE CONSENT & DEDICATION

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY  
CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE  
CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND DO HEREBY REPRESENT THAT THE UNDERSIGNED  
INDIVIDUALS ARE AUTHORIZED TO SO ACT AND DO HEREBY GRANT ADDITIONAL EASEMENT(S) AS SHOWN AND  
DO HEREBY DEDICATE ADDITIONAL STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE  
WITH WARRANTY COVENANTS.

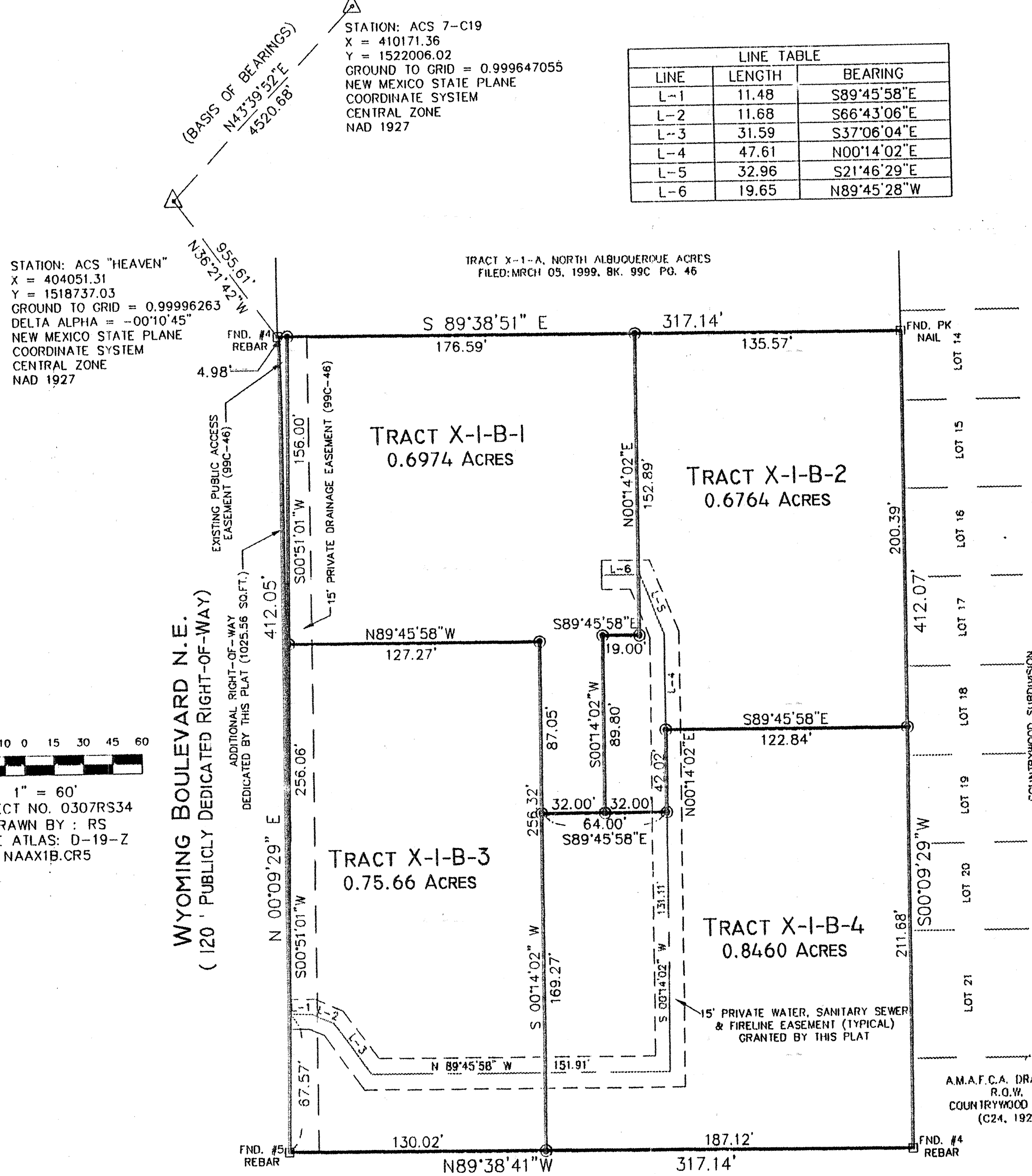
OWNER(S) SIGNATURE: [Signature] DATE: 10/28/03  
OWNER(S) PRINT NAME: Angelo Brunacini  
ADDRESS: P.O. Box 10202, Albuquerque, NM 87117 TRACT: \_\_\_\_\_  
ACKNOWLEDGMENT  
STATE OF NEW MEXICO )  
COUNTY OF BERNALILLO )

NOTARY PUBLIC  
Sarah Amato  
10/10/05  
My Commission Expires: \_\_\_\_\_

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF OCTOBER, 2003.

BY: ANGELO BRUNACINI NOTARY PUBLIC

MY COMMISSION EXPIRES: 10/01/05



LINE	LENGTH	BEARING
L-1	11.48	S89°45'58"E
L-2	11.68	S66°43'06"E
L-3	31.59	S37°06'04"E
L-4	47.61	N00°14'02"E
L-5	32.96	S21°46'29"E
L-6	19.65	N89°45'28"W

PLAT OF  
TRACTS X-1-B-1, X-1-B-2, X-1-B-3 & X-1-B-4, BLOCK 22  
TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES  
SITUATE WITHIN PROJECTED SECTION 19,  
T. 11 N., R. 4 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER 2003

RECORD DRAWING

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACTS INTO FOUR (4) NEW  
TRACTS OF LAND, TO PROVIDE ACCESS TO SAID TRACTS, AND TO DEDICATE ADDITIONAL  
RIGHT-OF-WAY.

APPLICATION NO. & PROJECT NO.: 1002716  
CITY APPROVALS:  
CITY SURVEYOR: [Signature] DATE: 10-29-03  
TRAFFIC ENGINEERING: [Signature] DATE: 10-29-05  
PARKS & RECREATION DEPARTMENT: Christina Sandoval DATE: 10/31/03  
UTILITY DEVELOPMENT DIVISION: Nancy S. Ornelas DATE: 10/31/03  
A.M.A.F.C.A.: Martin W. Eickert DATE: 10-31-03  
CITY ENGINEER: Bruce J. Blythe DATE: 10/30/03  
DRB CHAIRPERSON, PLANNING DEPARTMENT: Sharon Matson DATE: 10/29/03



SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State  
of New Mexico, do hereby certify that this plat and description were prepared by me or under my  
supervision, shows all easements as shown on the plat of record or made known to me by the owners  
and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an  
interest and meets the minimum requirements for monumentation and surveys of the Albuquerque  
Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of  
New Mexico and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko OCT 27, 2003  
Gary E. Gritsko  
New Mexico Professional Surveyor, 8686 Date



SURVEYS SOUTHWEST, LTD.

333 LOMAS BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0306

T11N R4E SEC. 19



5,631 SF

INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA

INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING. MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.

INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.

PASEO DEL NORTE

PROJECT LOCATION

PALCATAS AVENUE

UTICHER BLVD.

SANTA BARBARA ROAD

DRAINAGE RIGHT

DOMINGO BACA DRAINAGE RIGHT

LASTER AVENUE

PALCATAS PARK AVENUE

## GENERAL NOTES

1. PERMISSIBLE USE SHALL INCLUDE OFFICE AND MEDICAL/DENTAL BUILDINGS AS WELL AS 10% OF TOTAL FLOOR AREA FOR INCIDENTAL USE AS LONG AS SIGN OR WINDOW DISPLAY RELATING TO USE IS NOT DISCRIMINABLE FROM PUBLIC RIGHT OF WAY.
2. LANDSCAPING SHALL BE MAINTAINED BY THE OWNER.
3. THERE SHALL BE NO LIMIT TO THE NUMBER OF WALL SIGNS. TOTAL BUILDING SIGNAGE SHALL NOT EXCEED 15% OF THE AREA OF THE FACADE.
4. THERE SHALL BE ONE FREE STANDING SIGN FOR THE PREMISES.
5. HEIGHT OF FREE STANDING SIGN SHALL NOT EXCEED 26' AND THERE SHALL BE NO NOTIFICATION FOR ANY SIGN UNLESS A MESSAGE SIGN DISPLAYS THE TIME OR TEMPERATURE.
6. SIGN LETTERING OR CHARACTERS SHALL NOT EXCEED 9" IN HEIGHT.
7. SIGNS SHALL NOT PROTRUDE INTO THE PUBLIC RIGHT OF WAY EXCEPT A WALL SIGN WHICH MAY PROTRUDE UP TO ONE FOOT.

PROJECT NO. 1002716 E.P.C. CASE NO. 03ERC 00922  
D.R.B. CASE NO. 03DRB 01550

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON SEP 11 1983 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

## SITE DEVELOPMENT PLAN

R. L. D. 10-01-0  
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION  
 Christine Sandoral 10/1/02  
 PARKS & RECREATION DEPARTMENT

PUBLIC WORKS WATER UTILITIES DIVISION DATE

CITY ENGINEER ENGINEERING DIVISION / AMAFCA DATE

Michael Holton 4-15-01  
SOLID WASTE DEPARTMENT / REFUSE DA

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY  
THE DEVELOPMENT PROCESS MANUAL.

Sheran Maloon 10/1/96  
 CITY PLANNER, ALBUQUERQUE  
 PINZ(10706) 4/96

PROJECT: WYOMING OFFICE PARK  
LEGAL DESCRIPTION:

LOTS X-1-B OF LOTS 1 THRU 5, BLOCK 22, TRACT B  
UNIT 3 NORTH ALBUQUERQUE ACRES

ZONING CLASSIFICATION: EXISTING: SU-1  
PROPOSED: SU-1/0-1 OFFICE AND BAN

CASE HISTORY: DRB-97-367 & DRB-99-4  
I-89-82

BUILDING TYPE: OFFICE SHELL & THREE WINDOW BANK

CONSTRUCTION TYPE: TYPE I IN SPRINKLED  
GROSS SQUARE FOOTAGE: 31,885 SF

NET LEASABLE SQUARE FOOTAGE: 27,650 SF

OCCUPANCY GROUP: GROUP B OCCUPANCIES.  
REQUIRED PARKING: 138 SPACES - 10% BUS ROUTE =

PROVIDED PARKING: 136 STALLS : 10 ACCESSIBLE

PAR'ING SPACE SIZES:

REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.  
VAN, POSSIBLE HANDICAP PARKING SPACE = 9'-0" x 24'-0" WITH A 2'-0" OVERHANG AND A 3'-0" WIDE ACCESS STRIP.

TOTAL LOT AREA: 130,620 SQUARE FEET, 3.0 ACRES

NET LOT AREA: 98,195 SQUARE FEET

TOT. L. PARKING/PAVED AREA: 60,461 SQUARE FEET  
TOT. L. LANDSCAPE AREA REQUIRED: 14,761 SF.

TOTAL LANDSCAPE AREA PROVIDED: 24,615 SF.

LANDSCAPE TO PARKING AREA RATIO: 4:1

# BUILDING PERMIT SITE PLAN

AN/BKE  
SEPTEMBER 16, 2003

SCALE: 1" = 20'-0"

CLAUDIO VIGIL ARCHITECTS

WYOMING OFFICE PARK  
OFFICE COMPLEX AND BANK

YOMING BLVD. & PALOMAS AVE. N.E.  
ALBUQUERQUE, NEW MEXICO

SHEET

SP-1

**OWNERSHIP OF INSTRUMENTS OF SERVICE**  
All design concepts, details, plans, specifications, computer  
res, field data, notes and other documents and instruments  
prepared by Claudio Vigil Architects, P.C. as instruments of service  
shall remain the property of Claudio Vigil Architects, P.C. Claudio  
Vigil Architects, P.C. shall retain all common law, statutory and  
other reserved rights, including the copyright thereto.

180 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330

SHEET 3 OF 7  
723981

# RECORD DRAWING

AFD PLANS CHECKING OFFICE  
924-3611

APPROVED/DISAPPROVED  
HYDRANT(S) ONLY

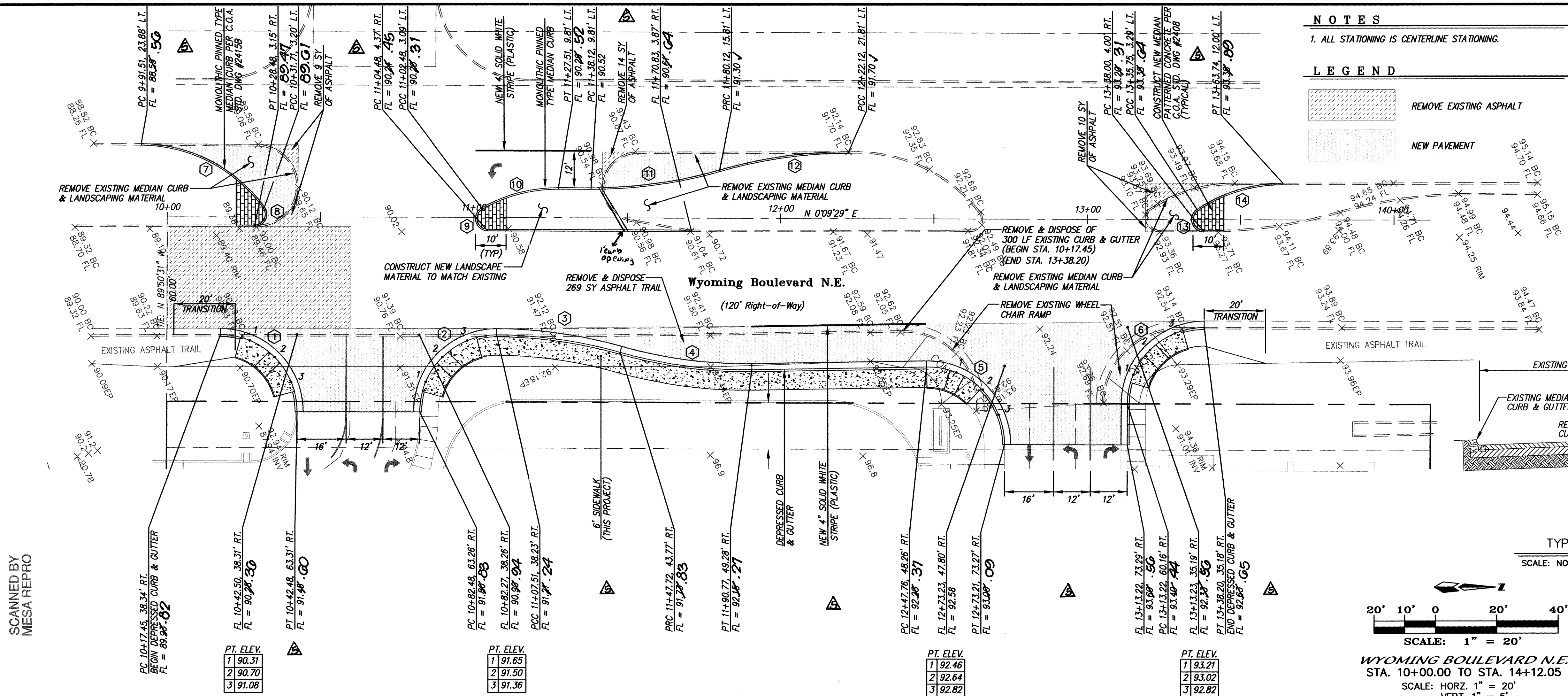
**SIGNATURE & DATE**

EXISTING ENTRANCE DRIVEPAD

SCALE: 1" = 20'

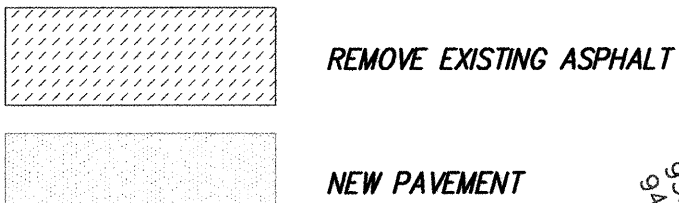


SCANNED BY  
MESA REPRO



NOTES  
1. ALL STATIONING IS CENTERLINE STATIONING.

LEGEND

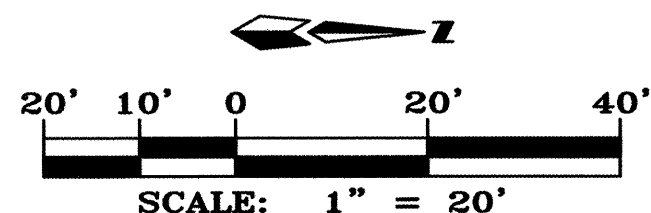


GENERAL NOTES

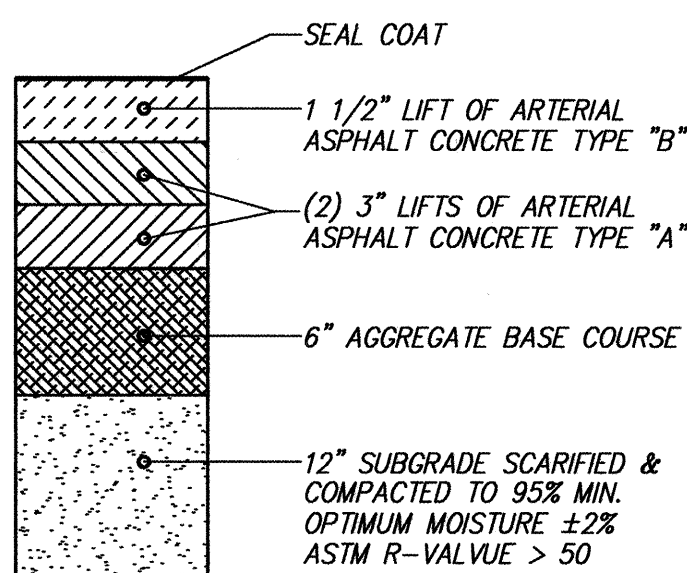
- CONTRACTOR SHALL COORDINATE MEDIAN LANDSCAPE REMOVAL & REPLACEMENT WITH C.O.A. PARKS & REC.
- NEATLY SAW-CUT ADJACENT ASPHALT, IF REQUIRED, FOR CURB & GUTTER REMOVAL.
- CONSTRUCT DEEPENED CURB & GUTTER PER C.O.A. STANDARD DWG #2415A. TRANSITION IN 10' FROM DEEPENED CURB TO STANDARD CURB AT TIE-INS.
- CONTRACTOR WILL COORDINATE STRIPING LAYOUT WITH CONSTRUCTION ENGINEER. USE 4" SOLID WHITE STRIPES ALONG TURN LANES. USE 4" SOLID YELLOW STRIPES AT DRIVEWAY ENTRANCES.
- CONSTRUCT WHEELCHAIR RAMPS PER C.O.A. STANDARD DWG #2441, CASE 1. BUILD NEW WHEELCHAIR RAMPS SO THAT GRADE BREAK BETWEEN RAMPS & SIDEWALK IS PERPENDICULAR TO DIRECTION OF TRAVEL. ENSURE THAT WC RAMP AT END OF NEW TURN LANE IS CONSTRUCTED WITHIN CITY ROW.
- CONSTRUCT 6" PCC SIDEWALK PER C.O.A. STANDARD DWG #2430. TRANSITION IN 20' EXISTING 10' WIDE ASPHALT BIKE PATH TO 6' WIDE AT WHEELCHAIR RAMPS. NEW MEDIAN NOSE CONCRETE SHOULD MATCH IN COLOR AND PATTERN EXISTING MEDIAN CONCRETE PER C.O.A. STANDARD DWG #2408.
- CONTRACTOR SHALL REVIEW LIMITS OF ASPHALT REMOVAL & REPLACEMENT WITH CONSTRUCTION ENGINEER PRIOR TO PERFORMING WORK.
- CONTRACTOR MUST MAINTAIN AT LEAST ONE LANE IN EACH DIRECTION OPEN TO TRAFFIC ON WYOMING BLVD AT ALL TIMES. ALL LANE CLOSURES ON WYOMING BLVD SHALL NOT BE PLACED BETWEEN 6:00 AM & 9:00 AM OR BETWEEN 3:00 PM & 7:00 PM, MONDAY THRU FRIDAY. LANE USAGE FEES OF \$0.01 PER SQUARE FOOT OF BARRICADE AREA PER DAY WILL BE ASSESSED IN THE BARRICADE PERMITS FOR ALL LANE CLOSURES ON WYOMING BLVD.

TYPICAL DECEL LANE SECTION

SCALE: NONE



WYOMING BOULEVARD N.E.  
STA. 10+00.00 TO STA. 14+12.05  
SCALE: HORIZ. 1" = 20'  
VERT. 1" = 5'



PAVEMENT SECTION

SCALE: NONE

CURVE DATA - DESCRIBES FACE OF NEW CURB

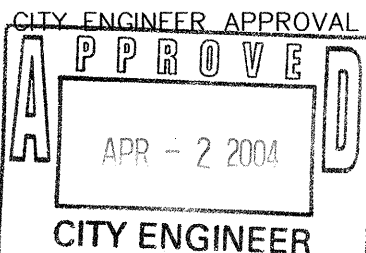
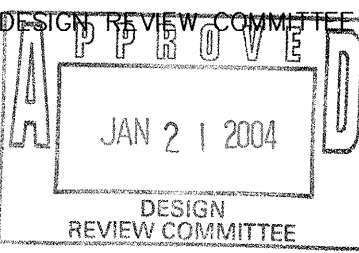
① Δ= 90°00'00" R = 25.00' T = 25.00' L = 39.27'	② Δ= 90°07'36" R = 25.00' T = 25.06' L = 39.33'	③ Δ= 15°33'09" R = 150.00' T = 20.48' L = 40.72'
④ Δ= 16°39'13" R = 150.00' T = 21.93' L = 43.56'	⑤ Δ= 91°03'38" R = 25.00' T = 25.47' L = 39.73'	⑥ Δ= 89°55'40" R = 25.00' T = 24.97' L = 39.24'
⑦ Δ= 53°45'15" R = 50.00' T = 25.34' L = 46.91'	⑧ Δ= 125°47'33" R = 4.00' T = 7.82' L = 8.78'	⑨ Δ= 149°56'59" R = 4.00' T = 14.90' L = 10.47'
⑩ Δ= 30°03'01" R = 50.00' T = 13.42' L = 26.22'	⑪ Δ= 16°15'39" R = 150.00' T = 21.43' L = 42.57'	⑫ Δ= 16°15'39" R = 150.00' T = 21.43' L = 42.57'
⑬ Δ= 145°40'50" R = 4.00' T = 12.95' L = 10.17'	⑭ Δ= 34°05'36" R = 50.00' T = 15.33' L = 29.75'	

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 30606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

TITLE: WYOMING OFFICE PARK  
WYOMING BOULEVARD N.E.  
PAVING IMPROVEMENTS



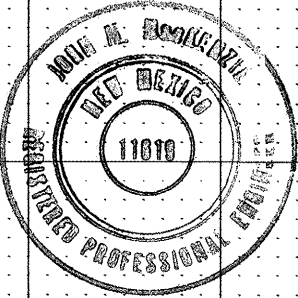
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.
JAN 21 2004	APR - 2 2004		

CITY PROJECT NO. 723981 ZONE MAP NO. D-19-Z SHEET 4 OF 7

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Charles G. Cala Jr., NMPS number 11184.

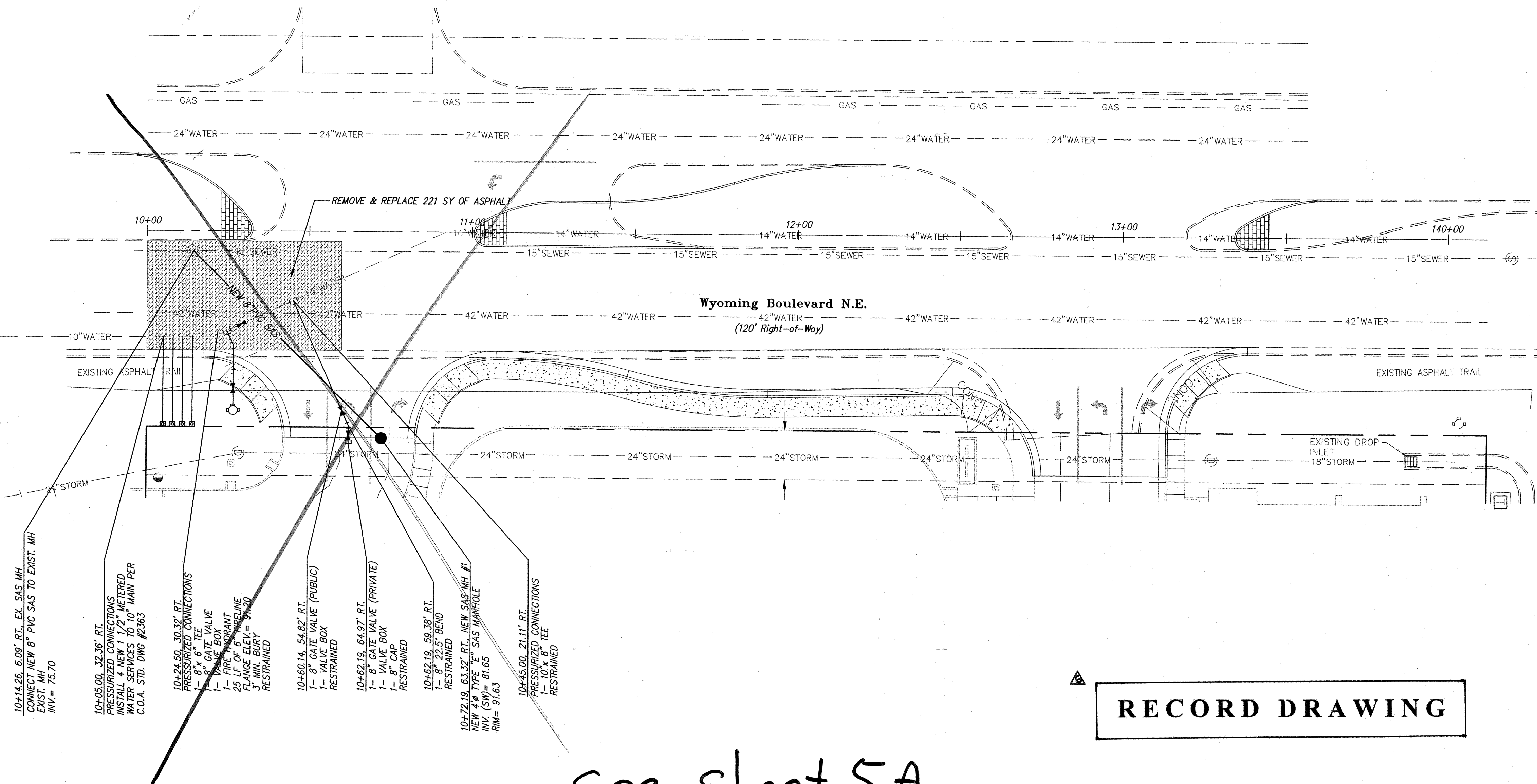
John M. MacKenzie 9-22-04  
John M. MacKenzie NMPE 11619



RECORD DRAWING

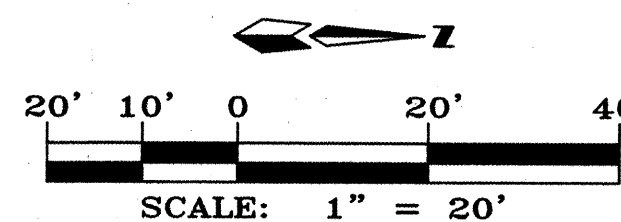


SCANNED BY  
MESA REPRO



see sheet 5A

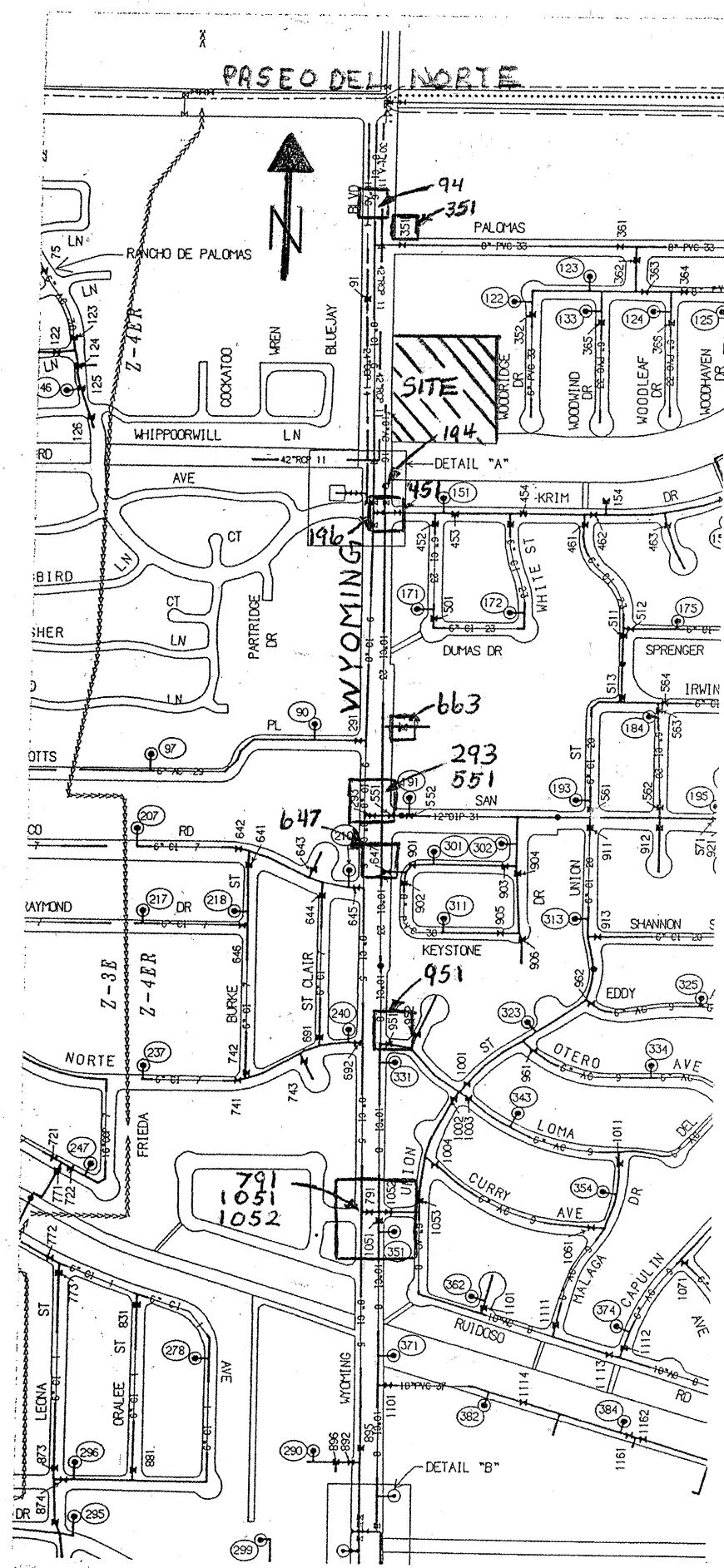
RECORD DRAWING



- NOTES**
1. ALL STATIONING IS CENTERLINE STATIONING.
  2. CONTRACTOR SHALL MAKE PRESSURIZED CONNECTIONS TO EXISTING 10" WHERE REFLECTED ON THIS PLAN PER C.O.A. STANDARD SPECIFICATION 801.3.9 CONTACT WATER SYSTEMS AT 857-8200 ~~THIRTY~~ **SEVEN WORKING** DAYS PRIOR TO MAKING NEW WATERLINE CONNECTIONS.
  3. NEW 1.5" WATER SERVICES & METERS PER C.O.A. STD. DWG #2363.
  4. NEW 10" X 8" TEE FIRE LINE CONNECTION PER C.O.A. STD. DWG #2301.
  5. NEW FIRE HYDRANT CONSTRUCTION PER C.O.A. STD. DWG #2340.
  6. TIE TO EXISTING SAS MANHOLE PER C.O.A. STD. DWG #2118.

- LEGEND**
- REMOVE EXISTING ASPHALT
  - NEW PAVEMENT

- EMERGENCY SHUTOFF PLAN**
1. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES.



**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

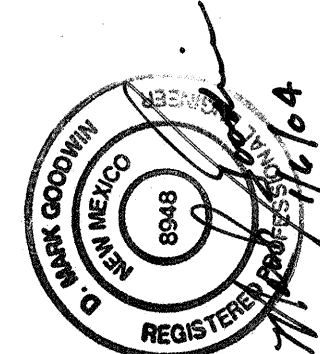
**TITLE: WYOMING OFFICE PARK  
WYOMING BOULEVARD N.E.  
UTILITY IMPROVEMENTS**

DESIGN REVIEW COMMITTEE	ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
JAN 21 2004	APR - 2 2004		
DESIGN REVIEW COMMITTEE	CITY ENGINEER	LAST DESIGN UPDATE	

CITY PROJECT NO. ZONE MAP NO. SHEET OF

D-19-Z 5 7

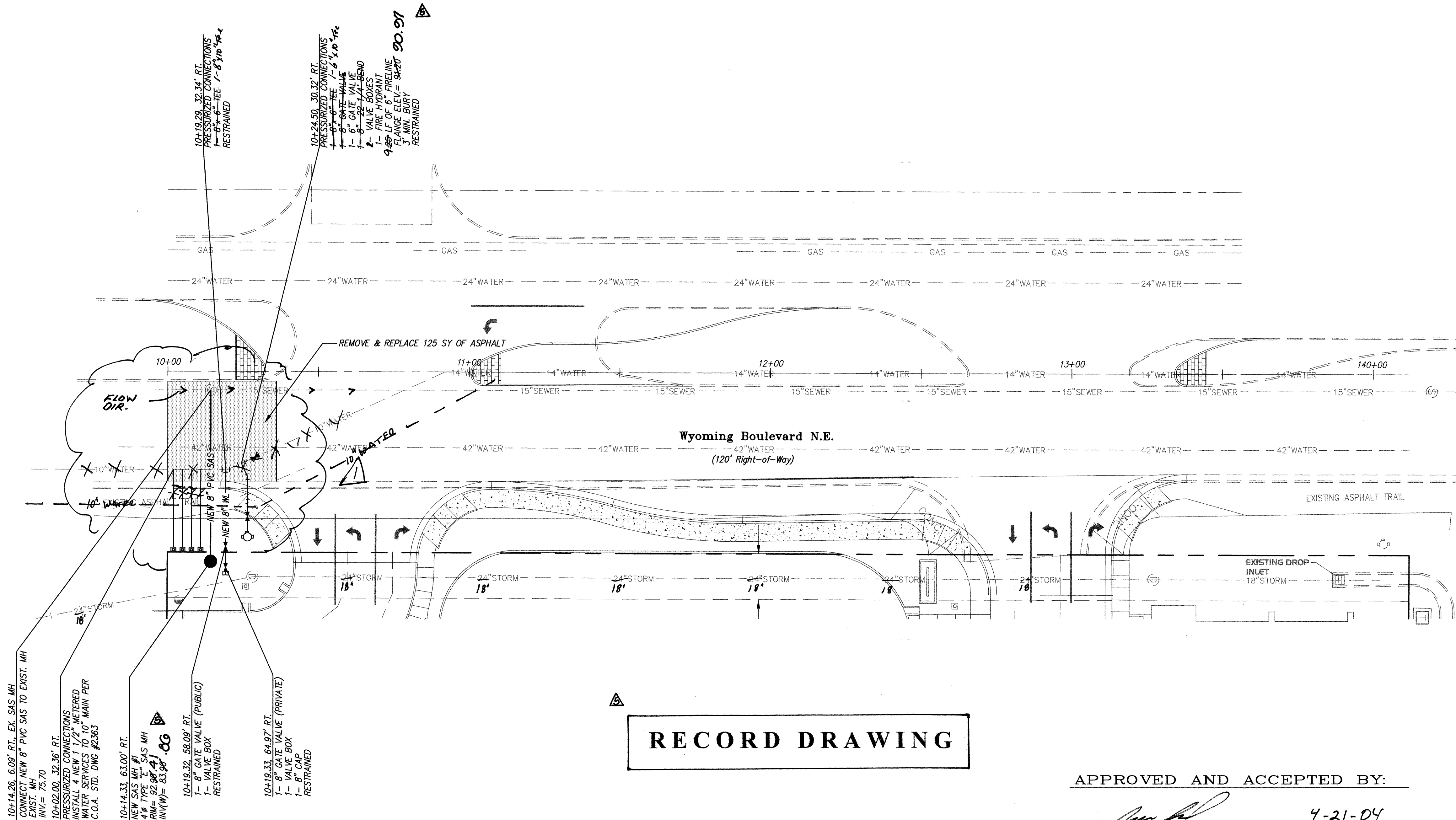
AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		RECORD DRAWING	
CONTRACTOR	UNIVERSAL	THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK	DATE	NO.	BY	NO.	BY	NO.	BY
STATIONED BY	JMA	HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5375.62. SAID	DATE						
INSPECTOR'S	JMA	BENCHMARK IS LOCATED ALONG THE SOUTHERLY RIGHT-OF-WAY OF	DATE						
FIELD	JMA	PASEO DEL NORTE NE, 0.15 MI. WEST OF WYOMING BLVD. NE.	DATE						
VERIFICATION BY	JMA	X= 407,051.31, Y= 1,518,737.03 (NAD 1927)	DATE						
CORRECTED BY	JMA	ELEVATION= 5376.62 (SLD 1929)	DATE						
MICRO-FILM INFORMATION									
RECORDED BY	JMA								
DATE	12/04								



DESIGNED BY **DMG** DATE **10/03**  
DRAWN BY **DER** DATE **10/03**  
CHECKED BY **DMG** DATE **10/03**



SCANNED BY  
MESA REPRO



## RECORD DRAWING

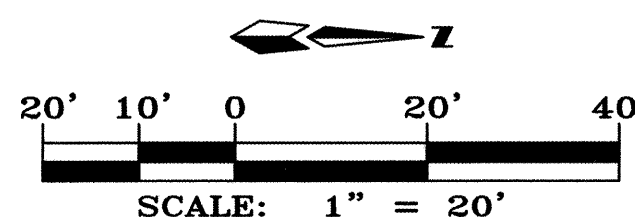
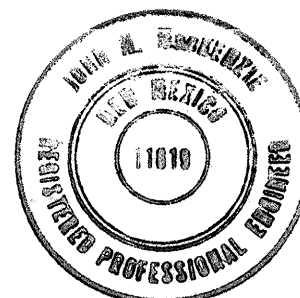
APPROVED AND ACCEPTED BY:

DRC Chair *[Signature]* 4-21-04  
Utility Development *[Signature]* 4/21/04

### CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

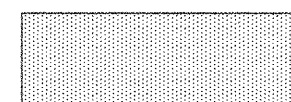
I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Charles G. Cala Jr., NMPS number 11184.

*[Signature]* 9/22/04  
John M. MacKenzie NMPE 11619



- ### NOTES
1. ALL STATIONING IS CENTERLINE STATIONING.
  2. CONTRACTOR SHALL MAKE PRESSURIZED CONNECTIONS TO EXISTING 10" WHERE REFLECTED ON THIS PLAN PER C.O.A. STANDARD SPECIFICATION 801.3.9. CONTACT WATER SYSTEMS AT 857-8200 TWO DAYS PRIOR TO MAKING NEW WATERLINE CONNECTIONS.
  3. NEW 1.5" WATER SERVICES & METERS PER C.O.A. STD. DWG #2363.
  4. NEW 10" X 8" TEE FIRLINE CONNECTION PER C.O.A. STD. DWG #2301.
  5. NEW FIRE HYDRANT CONSTRUCTION PER C.O.A. STD. DWG #2340.
  6. TIE TO EXISTING SAS MANHOLE PER C.O.A. STD. DWG #2118.

### LEGEND



REMOVE & REPLACE EXIST. ASPHALT

### EMERGENCY SHUTOFF PLAN

1. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	Universal Construction	THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK HEAVEN. THE PUBLISHED ELEVATION OF WHICH IS 5375.62. SAID BENCHMARK IS LOCATED ALONG THE SOUTHERLY RIGHT-OF-WAY OF PASO DEL NORTE NE. 0.15 MI. WEST OF WYOMING BLVD. NE. X= 407,051.31, Y= 1,918,737.03 (NAD 1927) ELEVATION= 5376.62 (SLD 1929)	DATE	DATE	NO.	BY	DATE
WORK	J.M.A.		DATE				
INSPECTOR'S	J.M.A.		DATE				
FIELD CHECK	J.M.A.		DATE				
VERIFICATION	J.M.A.		DATE				
CORRECTED BY	J.M.A.		DATE				
MICRO-FILM INFORMATION							
RECORDED BY							
NO.							
DATE							

4-22-04

REVISIONS	
NO.	DATE
1	10/03
2	10/03
3	10/03

DESIGN	
DESIGNED BY	DMG
DRAWN BY	DER
CHECKED BY	DMG

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: <b>WYOMING OFFICE PARK WYOMING BOULEVARD N.E. UTILITY IMPROVEMENTS</b>	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.
723981	D-19-Z
SHEET	OF
5A	7







⚠ ALL ADVANCE WARNING SIGNS SHALL BE A MINIMUM OF 36" THIRTY SIX INCHES BY 36" THIRTY SIX INCHES IN SIZE AND SHALL HAVE ONE WARNING LIGHT.