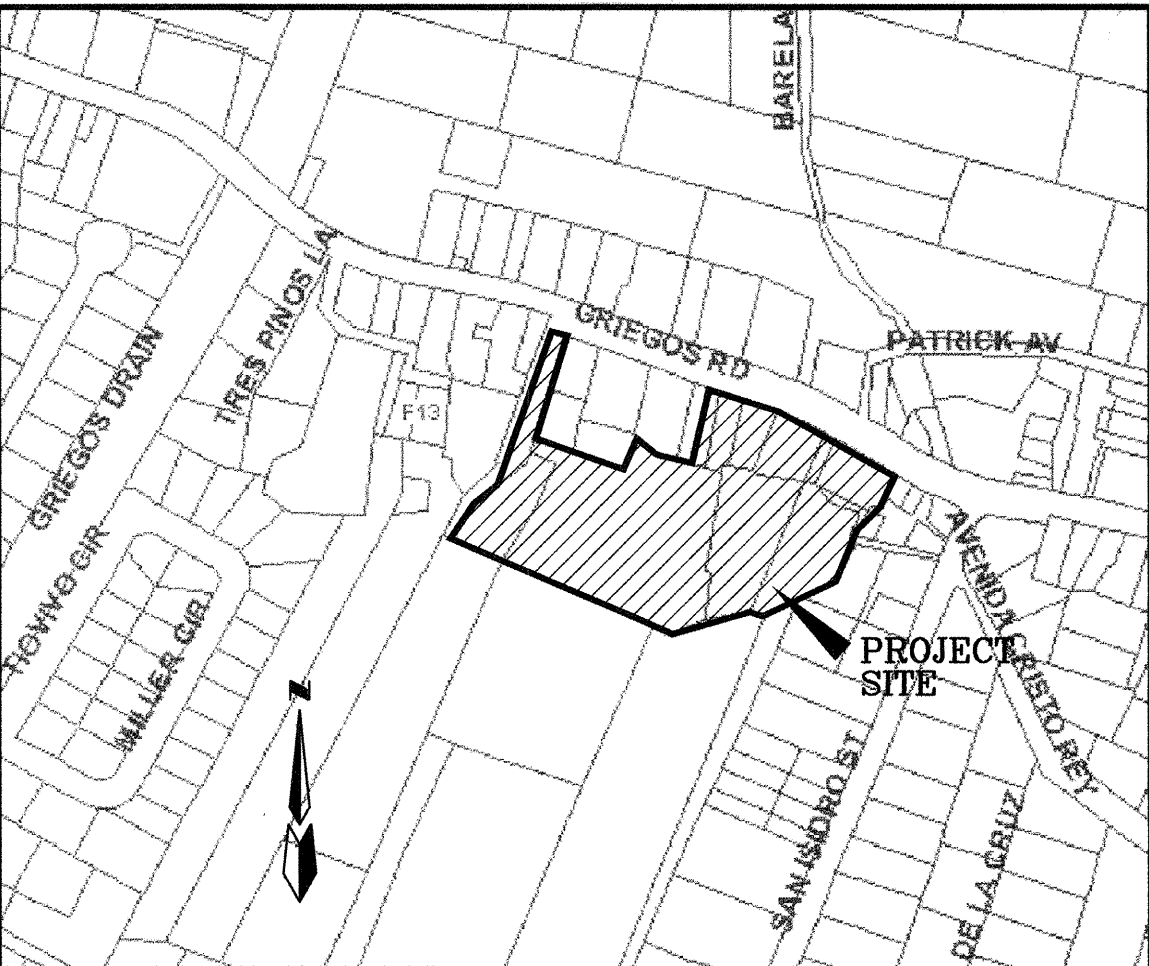


CONSTRUCTION PLANS

FOR

VILLA DE LA CAPILLA

ALBUQUERQUE, NEW MEXICO



VICINITY MAP ZONE ATLAS F-13-Z
SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
 6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
 7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
 8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
 10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
 11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
 12. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	*****	APPROVED FOR CONSTRUCTION		
REVISED 2/12/04	DRG CHAIRMAN	2-16-04					
	TRANSPORTATION	2/11/04					
	WATER/WASTEWATER	2/12/04					
	HYDROLOGY	2/11/04					
	CIP						
	CONSTR. MNGMT.						
	CONSTR. COORD.	2-16-04					
	CITY PROJECT NO.	729981					
	SHEET	OF					
	1	11					

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING AND DRAINAGE PLAN
5	MASTER PAVING PLAN
6-7	PAVING IMPROVEMENTS
8	MASTER UTILITY PLAN
9-10	UTILITY IMPROVEMENTS
11	OFFSITE WATERLINE & GRIEGOS RD. DRIVEWAY CLOSURES

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
DATE: 11/15/05
Drew Wolfe, P.E.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Mark Goodwin, NMPE 8948, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

Mark Goodwin NMPE 8948



DRB NO. 1002565

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief. I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings."

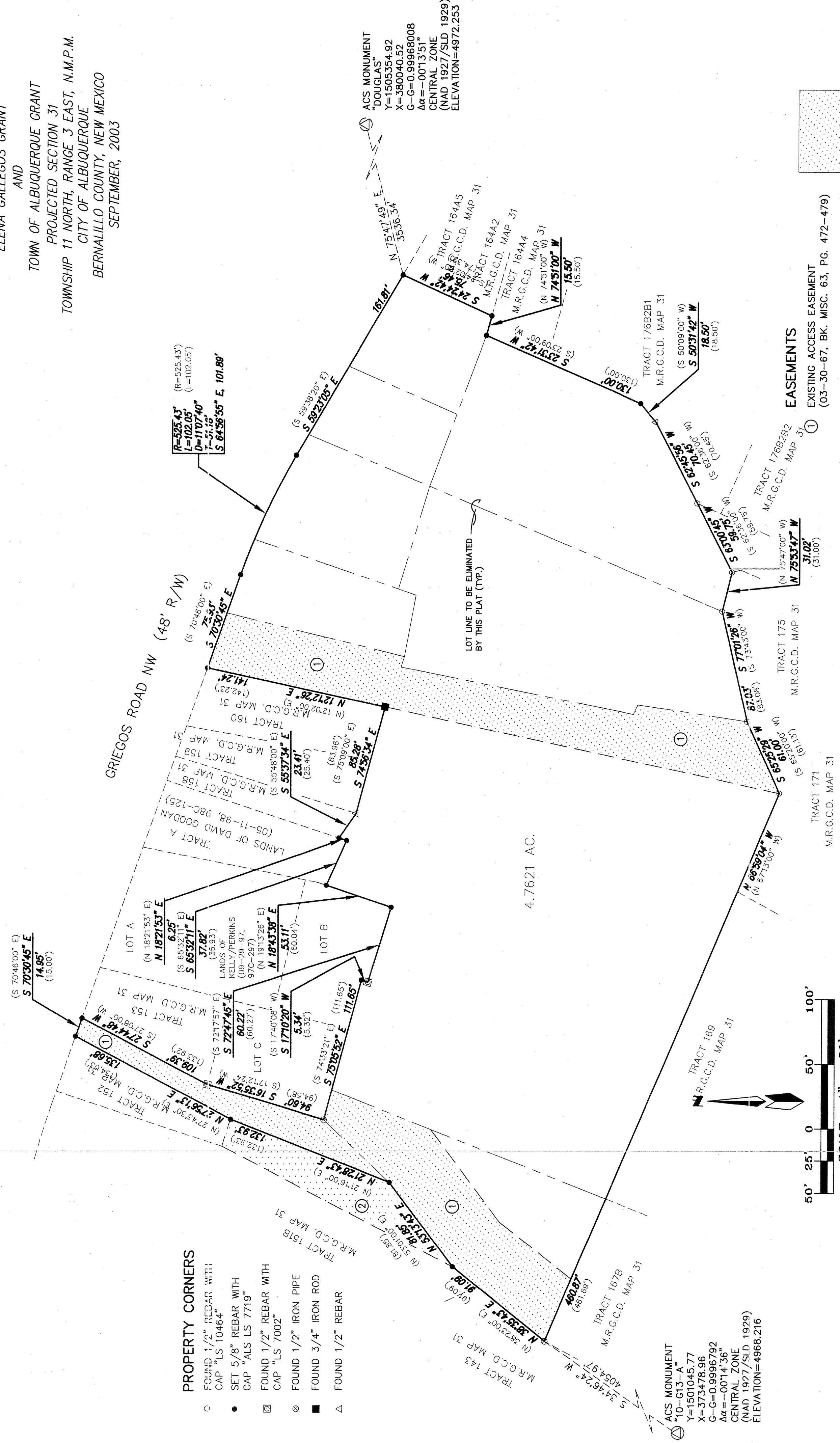
Timothy Aldrich, NMPS 7719



02-09-05

SCANNED BY
MESA REPRO

PLAT FOR
VILLA DE LA CAPILLA
WITHIN THE
ELENA CALLEGOS GRANT
AND
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 31
TOWNSHIP 11 NORTH, RANGE 3 EAST, N
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2003



② EXISTING ROAD AND UTILITY EASEMENT
(06-21-67, BK. MISC. 71, PG. 587-589)

② EXISTING ROAD AND UTILITY EASEMENT
(06-21-67, BK. MISC. 71, PG. 587-589)

Dwg:	SHEET2.dwg	Drawn:	STEPHEN	Checked:	ALS
Scale:	AS SHOWN	Date:	01/26/04	Job:	A03027

Sheet 2 of 4

LEGAL DESCRIPTION
(SEE SHEET 4 OF 4 FOR METES AND BOUNDS LEGAL DESCRIPTION)

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
PLAT OF "LANDS OF KELLY PERKINS", (09-29-97, 97C-297)
PLAT OF "LANDS OF DAVID GOODAN", (05-11-98, 98C-125)
PLAT OF "GRIEGO ROAD RW", (02-25-69, C7-45 & C7-46)
M.R.G.C.D. MAP 31
QUITCLAIM DEED (10-03-83, BK. D195A, PG. 533)
QUITCLAIM DEED (10-03-83, BK. D195A, PG. 535)
REAL ESTATE CONTRACT (08-23-84, BK. MISC. 148A, PG. 973-976)
WARRANTY DEED (04-11-94, BK. 94-11, PG. 8387-8388)
ROAD EASEMENT (06-21-67, BK. MISC. 71, PG. 587-589)
REAL ESTATE CONTRACT (03-30-67, BK. MISC. 63, PG. 472-479)
all being records of Bernalillo County, New Mexico.
5. Field Survey performed on June, 2003.
6. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2003272498
7. Title Report: Provided by Stewart Title of Albuquerque, L.L.C., Commitment No. 021001627C (Effective Date 10-09-02) Stewart Title of Albuquerque, L.L.C., Commitment No. 02070420JY (Effective Date 07-19-02)

PURPOSE OF PLAT

1. Subdivide Nine Parcels into 24 residential Lots and 3 Tracts
2. Grant easements shown hereon
3. Dedicate Right-of-way shown hereon

OWNERS:

BY: Danny N. Martinez and Marlene S. Martinez (Husband and Wife)

Danny N. Martinez (Husband) Marlene S. Martinez (Wife)

12/19/03 12/19/03

DATE DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on December 19, 2003
By Danny N. Martinez and Marlene S. Martinez, Husband and Wife,

Melissa Sorvato
4/9/05
MY COMMISSION EXPIRES
NOTARY PUBLIC

OFFICIAL SEAL
MELISSA LEVATO
Notary Public
State of New Mexico
My Commission Expires 4/9/05

"I, Timothy Adrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all the corners, monuments, or other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBQ., N.M. 87190

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Melissa Savate NOTARY PUBLIC

OFFICIAL SEAL
MELISSA LIOVATO
Notary Public
State of New Mexico
My Commission Expires: *4/9/05*

MY COMMISSION EXPIRES *4/9/05*

Melissa Savate NOTARY PUBLIC

OFFICIAL SEAL
MELISSA LIOVATO
Notary Public
State of New Mexico
My Commission Expires: *4/9/05*

MY COMMISSION EXPIRES *4/9/05*

SHEET 2 OF 11

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT CH-BEARING-CH-DIST=
C1	54.44	525.43	5°56'13"	27.25 N67°32'39"W 54.42
C2	47.60	525.43	5°11'27"	23.82 N61°58'49"W 47.59
C3	23.93	45.63	30°33'08"	12.25 S79°17'44"W 23.66
C4	86.96	45.63	109°12'24"	64.21 N37°04'30"W 74.38
C5	43.77	45.63	54°57'37"	23.73 N31°00'30"E 42.11
C6	73.57	521.00	8°05'26"	36.85 N82°32'02"E 72.51
C7	51.59	521.00	5°40'25"	25.82 N89°24'58"E 51.57
C8	6.60	521.00	0°43'34"	3.30 S87°23'03"E 6.60
C9	43.71	171.00	14°38'43"	21.97 S79°41'55"E 43.59
C10	14.36	171.00	4°48'38"	7.18 S69°58'14"E 14.35
C11	14.55	25.00	33°21'18"	7.49 N84°14'34"W 14.35
C12	26.71	25.00	61°13'17"	14.79 S48°28'08"W 25.46
C13	36.38	45.00	48°50'28"	20.43 N42°16'44"E 37.21
C14	36.38	45.00	46°18'58"	19.25 N89°51'27"E 35.39
C15	17.12	25.00	39°13'53"	8.91 S86°36'01"E 16.79
C16	17.12	25.00	39°13'54"	8.91 N54°10'06"E 16.79
C17	61.62	45.00	78°27'47"	36.74 S72°47'02"W 55.22
C18	48.29	2023.00	1°22'04"	24.15 N18°32'31"E 48.29
C19	23.82	139.37	9°47'34"	11.94 S71°52'51"E 23.79
C20	37.25	25.00	85°21'52"	23.06 N60°32'26"E 33.90
C21	56.22	1977.00	1°37'45"	28.11 N18°40'22"E 56.21
C22	37.27	25.00	85°25'25"	23.08 S24°51'13"E 33.92
C23	5.65	133.00	2°25'57"	2.82 S68°46'53"E 5.65
C24	39.52	133.00	17°01'24"	19.90 S78°30'34"E 39.37
C25	12.09	483.00	1°26'02"	6.04 S87°44'17"E 12.09
C26	39.14	483.00	4°38'36"	19.58 N89°13'24"E 39.13
C27	34.91	25.00	80°00'14"	20.98 N46°54'00"E 43.80
C28	45.69	45.63	57°22'17"	24.96 S35°35'01"W 43.80
C29	14.79	2000.00	1°37'45"	28.44 N18°40'22"E 56.87
C30	20.30	150.00	7°45'11"	10.16 N71°26'30"W 20.28
C31	50.94	150.00	19°27'21"	25.72 S77°17'36"E 50.69
C32	126.45	500.00	1°12'26"	63.57 N85°44'01"E 126.12
C33	45.16	133.00	11°29'29"	22.80 S77°17'36"E 44.95
C34	58.07	171.00	19°27'21"	29.32 S77°17'36"E 57.79
C35	131.76	521.00	14°29'25"	66.23 N85°44'01"E 131.41
C36	51.23	483.00	6°04°38"	25.64 N89°56'25"E 51.21
C37	200.34	45.63	25°13'52"	63.27 N47°18'24"W 74.01
C38	41.27	25.00	94°34'35"	27.08 S65°08'47"W 36.74
C39	57.09	34.38	95°09'26"	37.62 N65°26'13"E 50.75
C40	74.74	45.00	95°09'26"	49.24 N65°26'13"E 66.44
C41	39.44	23.75	95°09'26"	25.99 N65°26'13"E 35.06
C42	34.24	25.00	95°09'26"	20.41 N73°47'02"E 31.62
C43	54.00	34.38	90°00'00"	34.37 S68°00'56"W 48.61
C45	74.61	23.75	180°00'00"	S23°00'56"W 47.50
C46	32.73	160.63	1°40'33"	16.42 S72°49'21"E 32.68
C47	30.57	150.00	1°40'33"	15.34 S72°49'21"E 30.51
C48	15.79	9.38	96°31'07"	10.51 N30°24'04"W 13.99
C49	21.89	25.00	50°10'37"	11.17 N44°34'33"E 21.20
C50	40.01	25.00	91°42'04"	25.75 N65°20'17"E 35.88
C51	18.12	25.00	41°31'28"	9.48 S89°34'25"E 17.72
C52	22.42	525.43	2°26'42"	11.21 N61°35'20"W 22.42
C53	32.87	25.00	75°19'57"	19.30 S20°38'10"E 30.55

LINE	BEARING	DISTANCE
L2	S25°43'50"E	31.42
L3	N04°19'18"E	11.16
L4	S66°38'41"E	8.12
L5	S68°00'56"W	14.14
L6	N16°12'58"W	44.27
L7	S78°39'37"E	40.48
L8	N75°19'06"W	16.05
L9	S67°33'55"E	30.27
L10	S11°30'41"E	24.63

DESCRIPTION

A tract of land situate within the Elena Gallegos Grant and Town of Albuquerque Grant, projected Section 31, Township 11 North, Range 3 East New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of TRACTS 161A, 161B1, 162A, 166A, 166B AND 167A, M.R.G.C.D. MAP 31, and being more particularly described as follows:

BEGINNING at the southwest corner of the herein described tract, from whence the Albuquerque Central Survey Monument "10-G13-A" bears S 34°46'24" W, 4054.97 feet;

THENCE N 38°35'43" E, 91.09 feet to a point;

THENCE N 53°13'43" E, 81.85 feet to a point;

THENCE N 27°28'43" E, 132.93 feet to a point;

THENCE N 27°56'13" E, 135.68 feet to the northwest corner;

THENCE S 70°30'45" E, 14.95 feet to a point;

THENCE S 27°44'48" W, 109.39 feet to a point;

THENCE S 16°35'52" W, 94.60 feet to a point;

THENCE S 75°05'52" E, 111.65 feet to a point;

THENCE S 17°10'20" W, 5.34 feet to a point;

THENCE S 72°47'45" E, 60.22 feet to a point;

THENCE N 18°43'38" E, 53.11 feet to a point;

THENCE S 65°32'11" E, 37.82 feet to a point;

THENCE N 18°21'53" E, 6.25 feet to a point;

THENCE S 55°37'34" E, 23.41 feet to a point;

THENCE S 74°56'34" E, 85.28 feet to a point;

THENCE N 12°12'26" E, 141.24 feet to a point;

THENCE S 70°30'45" E, 75.93 feet to a point of curvature;

THENCE 102.05 feet along a curve to the right, whose radius is 525.43 feet through a central angle of 110°7'40" and whose chord bears S 64°56'55" E, 101.89 feet to a point of tangency;

THENCE S 59°23'05" E, 161.81 feet to the northeast corner;

THENCE S 24°24'42" W, 75.46 feet to a point;

THENCE N 74°31'00" W, 15.50 feet to a point;

THENCE S 23°31'42" W, 130.00 feet to a point;

THENCE S 50°31'42" W, 18.50 feet to a point;

THENCE S 62°45'56" W, 70.45 feet to a point;

THENCE S 63°00'45" W, 58.75 feet to a point;

THENCE N 75°53'47" W, 31.02 feet to a point;

THENCE S 77°01'26" W, 87.03 feet to a point;

THENCE S 65°25'29" W, 61.00 feet to the southeast corner;

THENCE N 66°59'04" W, 460.87 feet to the point of beginning and containing (207.438s.1.) 4.7621 acres more or less.

PLAT FOR
VILLA DE LA CAPILLA
WITHIN THE
ELENA GALLEGOS GRANT
AND
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 31
TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2003

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of :

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, communication lines, transformers, poles and any other equipment, fixtures structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
5. The New Mexico Utilities, Inc., for the installation, maintenance and service of water and sanitary sewer lines and any other equipment, fixtures, structures and related facilities reasonably necessary to provide water and sewer services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein.

No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or operated on said easements, nor shall any well be drilled or operated thereon. Property owners shall be responsible for obtaining all necessary permits from the New Mexico Electrical Society Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, us included, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

ALDRICH LAND
SURVEYING

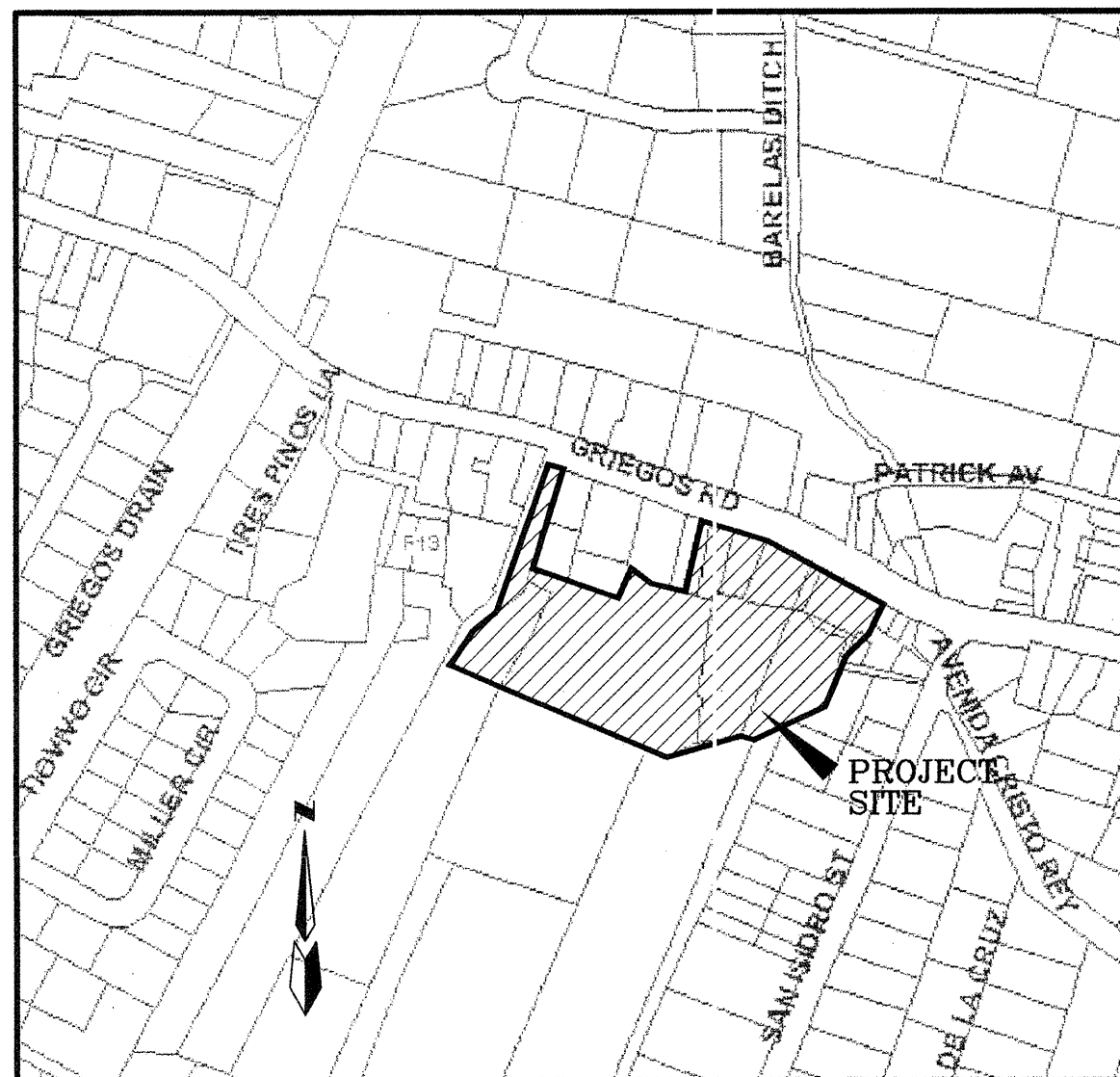
P.O. BOX 30701, ALBO., N.M. 87190
505-884-1990

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SCANNED BY
MESA REPRO

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LOCATION MAP

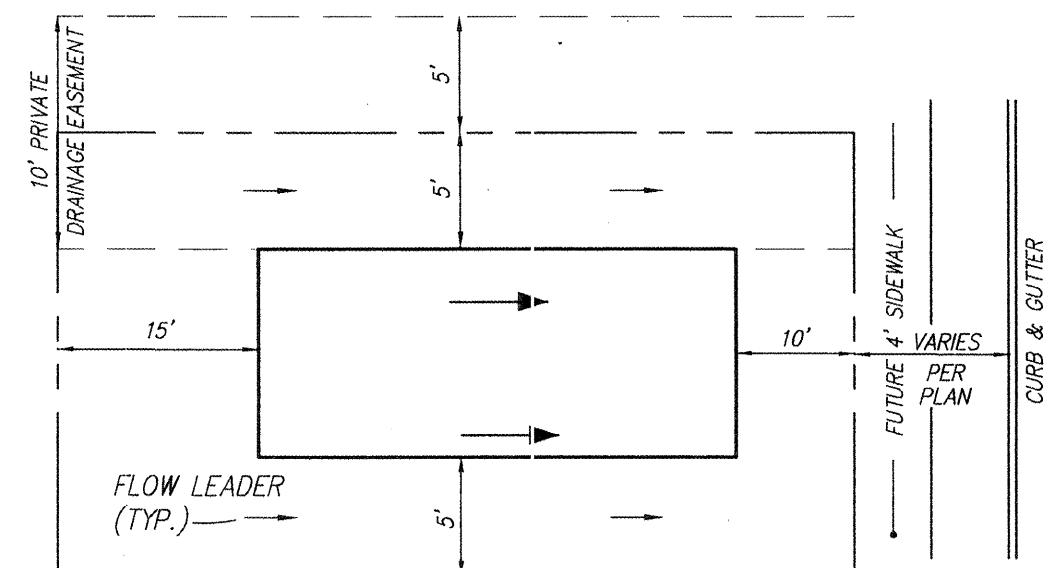
F-13-Z

LEGEND

- 5190 - CONTOUR (MAJOR)
- 5189 - CONTOUR (MINOR)
- TO = TOP OF CURB ELEVATION
- FL = FINISH PAD ELEVATION
- x 00.00 - SPOT ELEVATION
- CHAIN LINK FENCE
- WOOD FENCE
- CURB AND GUTTER
- CONCRETE/SIDEWALK
- ADOBE WALL
- WOOD BOLLARD
- TRAFFIC SIGN
- TREE
- SANITARY SEWER MANHOLE
- CLEANOUT
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- OVERHEAD UTILITY LINES
- SERVICE POLE OVERHEAD ELECTRIC
- LIGHT POLE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- GAS METER
- STORM DRAIN MANHOLE
- DROP INLET
- WHEEL CHAIR RAMP
- 00.00 - NEW SPOT ELEVATION
- FP = 0.00 - FINISH PAD ELEVATION
- 18 - LOT NUMBER
- FLOW DIRECTION
- STANDARD CURB & GUTTER
- NEW RETAINING WALL
- 71.00TW - TOP OF WALL ELEVATION
- 69.00TG - TOP OF GROUND ELEVATION
- MOUNTABLE CURB & GUTTER

KEYED NOTES

- ESTATE CURB PER COA DETAIL 2415
- END OF PIPE TO HAVE REBAR SCREEN TO PREVENT ACCESS.



TYPICAL LOT LAYOUT PLAN
N.T.S.

NOTES

- OFFSITE FLOWS WILL BE ROUTED ALONG THE RETAINING WALL ON THE PROPERTY LINE TO THE R.O.W. OR ARROYO.
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	THE STATION IS LOCATED	DATE	NO.	BY	NO.	BY
Sundance	05/05	AT THE N.E. CORNER OF THE INTERSECTION OF GREGOS ROAD NW AND RIO GRANDE BLVD NE TO REACH THIS STATION FROM THE INTERCHANGE AT I-40 AND RIO GRANDE NW, GO NORTH ON RIO GRANDE 2.3 MILES TO THE STATION ON THE RT. THE STATION IS A STAMPED ACS CAP STAMPED "11-FIR 1985". SET IN TOP OF SIDEWALK. ELEVATION = 4971.00 IN FEET.	05/05				
INSPECTOR'S	DATE						
VERIFICATION BY	DATE						
CORRECTED BY	DATE						
RECORDED BY	DATE						
MICRO-FILM INFORMATION							
RECORDED BY							
DATE							

ENGINEER'S SEAL

AVIL L. DRISCOLL
NEW MEXICO
9/1/03
REGISTERED PROFESSIONAL ENGINEER

DESIGNED BY: **ALD** DATE: **09/03**

DRAWN BY: **NJR** DATE: **09/03**

CHECKED BY: **DMG** DATE: **09/03**

REMARKS

REVISIONS

DESIGN

CITY PROJECT NO. **729981**

ZONE MAP NO. **F-13-Z**

SHEET **4** OF **11**

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **VILLA DE LA CAPPILLA
GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

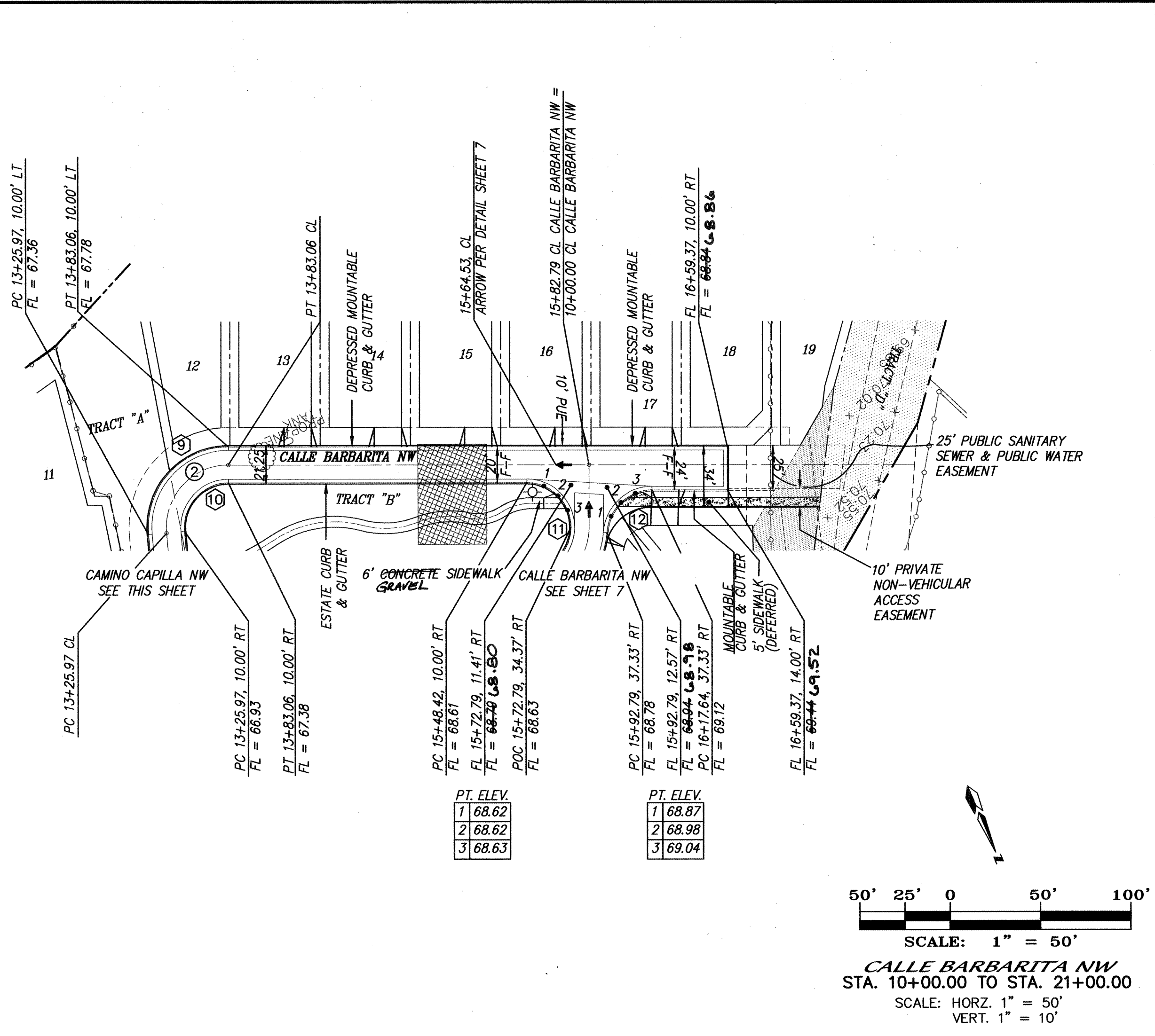
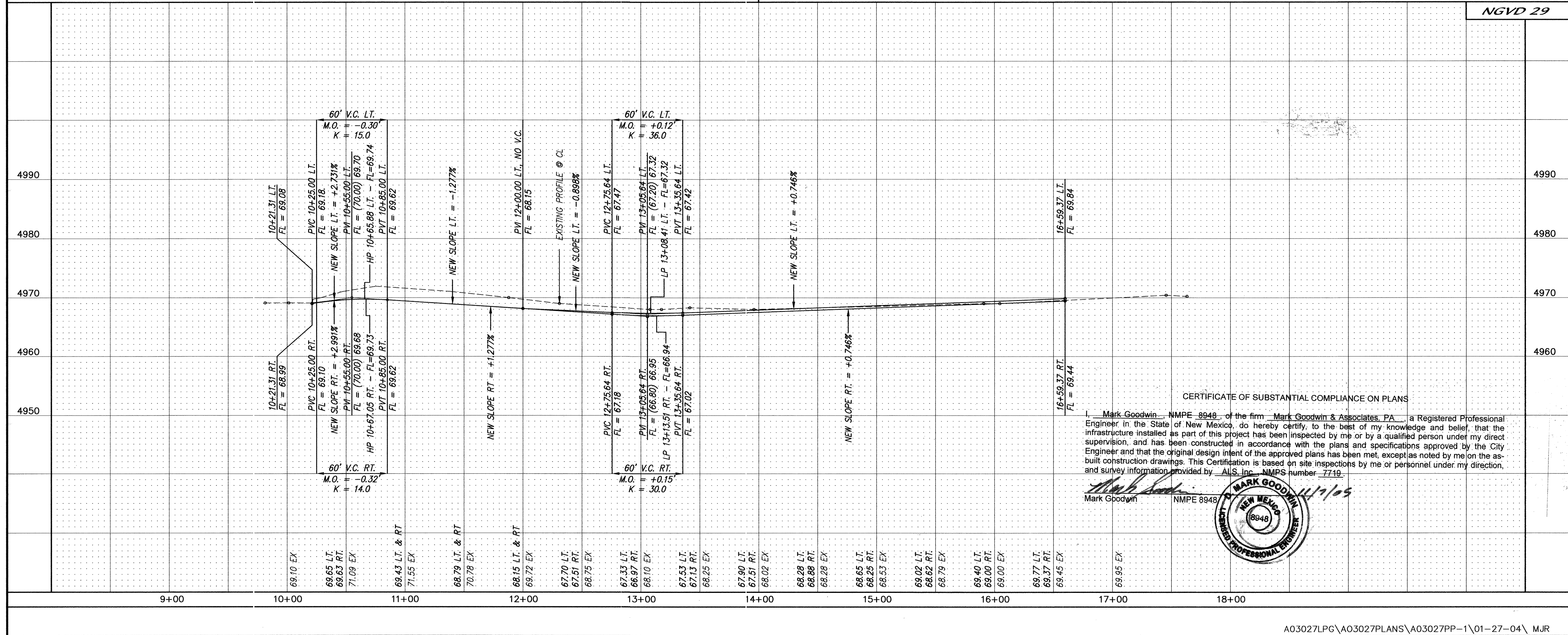
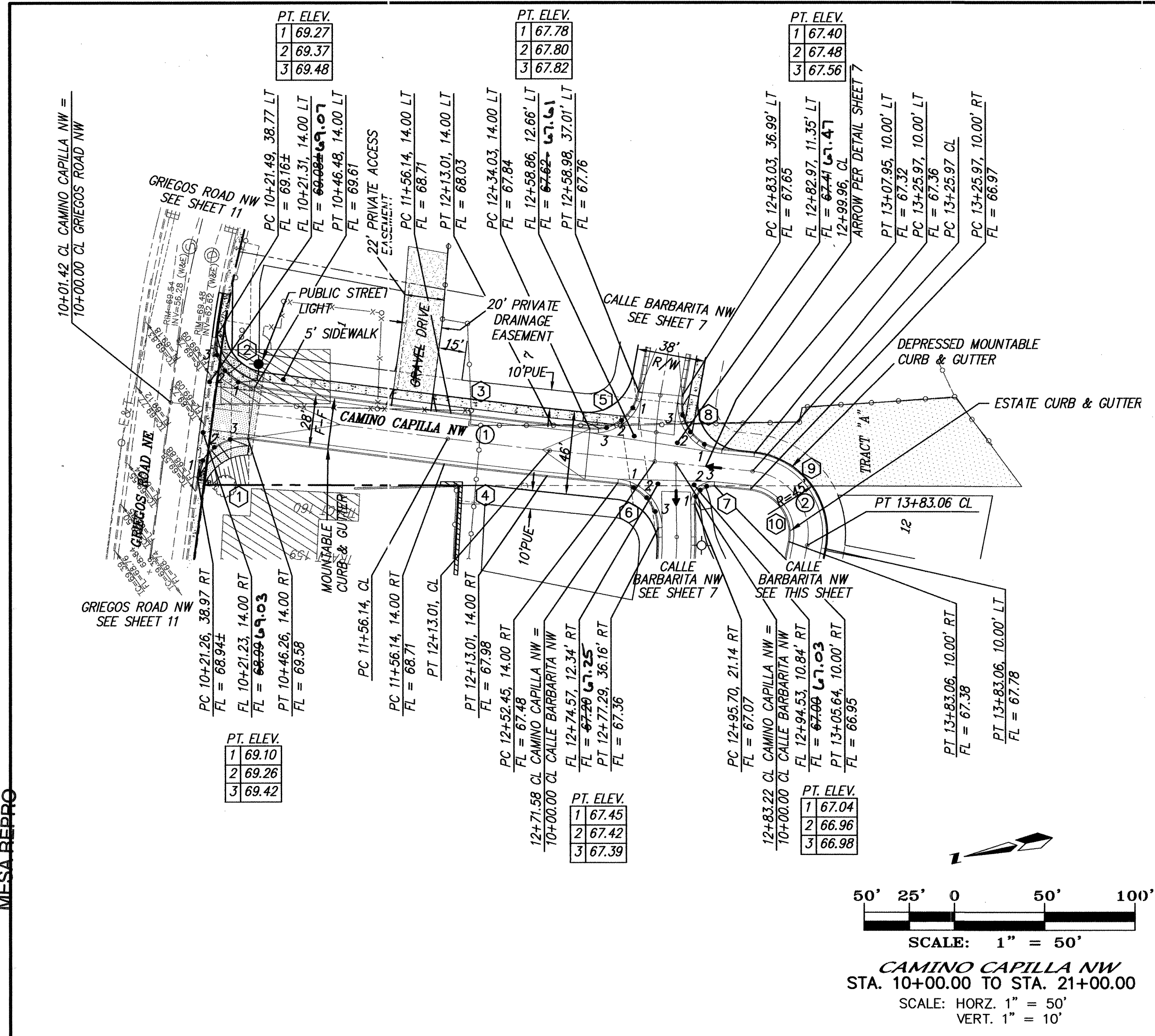
MO./DAY/YR. MO./DAY/YR.

For Information Only

SCALE: 1" = 40'

A3027LPG/A03027GD-1/09-19-03/ MJR

SCANNED BY
MESA REPRO



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.

CURVE DATA - DESCRIBES CENTERLINE

① Δ = 01°37'45" R = 2000.00' L = 56.87' T = 28.44'
② Δ = 95°09'26" R = 34.38' L = 57.09' T = 37.62'

CURVE DATA - DESCRIBES FACE OF NEW CURB

① Δ = 89°56'10" R = 25.00' L = 36.24' T = 24.97'
② Δ = 89°26'50" R = 25.00' L = 39.04' T = 24.77'
③ Δ = 01°37'45" R = 1986.00' L = 56.47' T = 28.24'
④ Δ = 01°37'45" R = 2014.00' L = 57.27' T = 28.64'
⑤ Δ = 85°26'25" R = 25.00' L = 37.27' T = 23.08'
⑥ Δ = 83°28'53" R = 25.00' L = 36.43' T = 22.31'
⑦ Δ = 96°31'07" R = 10.00' L = 16.85' T = 11.21'
⑧ Δ = 94°34'35" R = 25.00' L = 41.27' T = 27.08'
⑨ Δ = 95°09'26" R = 44.38' L = 73.70' T = 48.56'
⑩ Δ = 95°09'26" R = 24.38' L = 40.48' T = 26.67'
⑪ Δ = 180°00'00" R = 24.38' L = 76.58' T = N/A
⑫ Δ = 86°10'39" R = 25.00' L = 37.60' T = 23.39'

dmg MARK GOODWIN & ASSOCIATES, P.A.
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: VILLA DE LA CAPILLA
CAMINO CAPILLA NW & CALLE BARBARITA NW
PAVING IMPROVEMENTS

DESIGN REVIEW COMMITTEE

REVIEW COMMITTEE

APPROVED
MAR 16 2004
CITY ENGINEER

CITY PROJECT NO.

ZONE MAP NO.

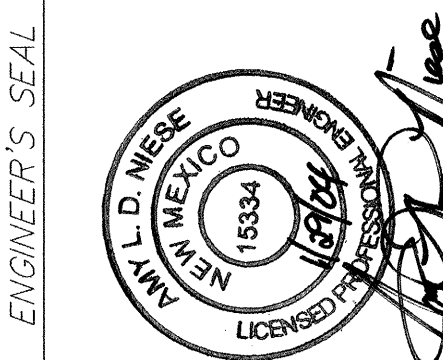
SHEET OF

A03027LPG\A03027PLANS\A03027PP-1\01-27-04\ MJR

729981

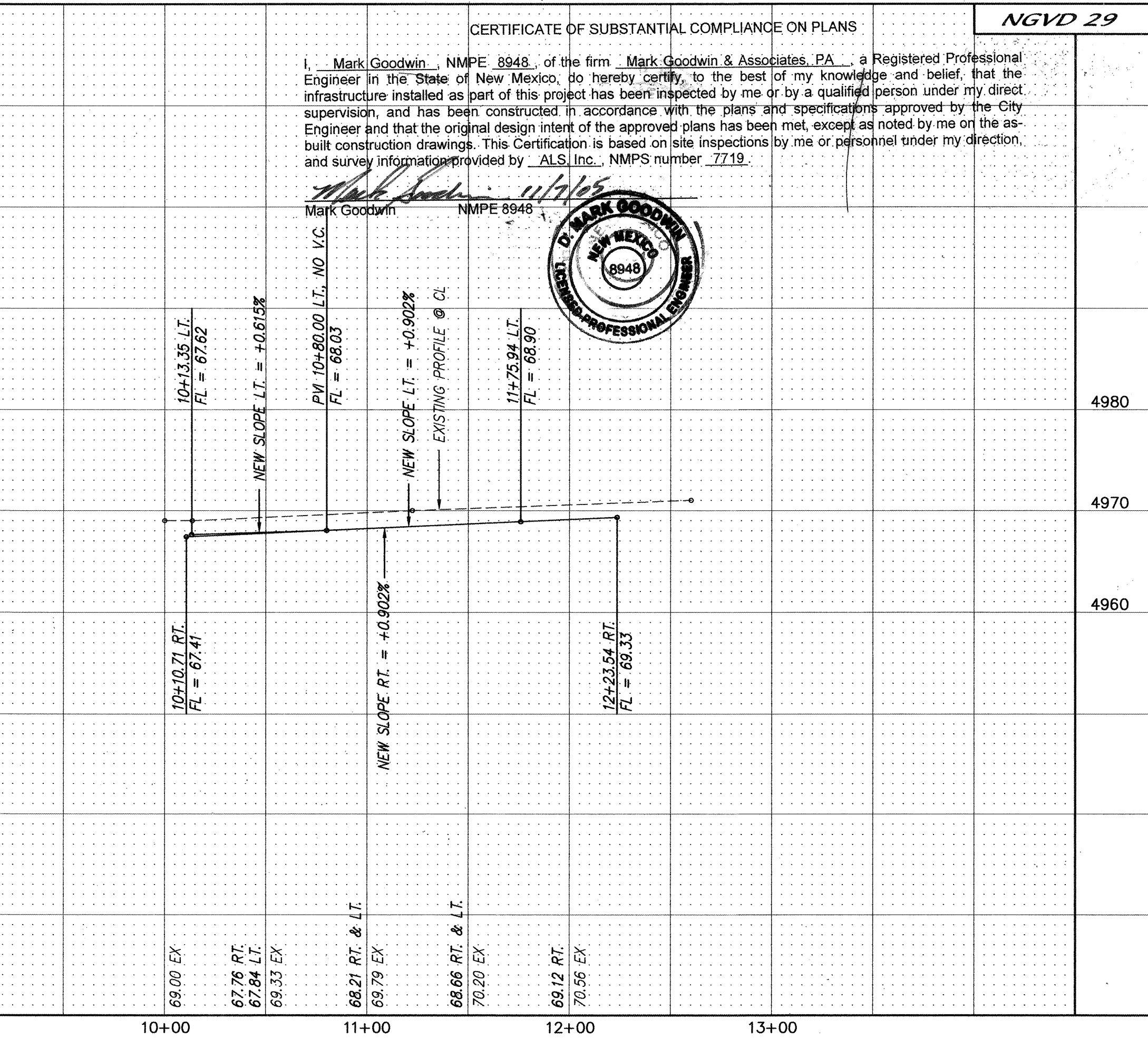
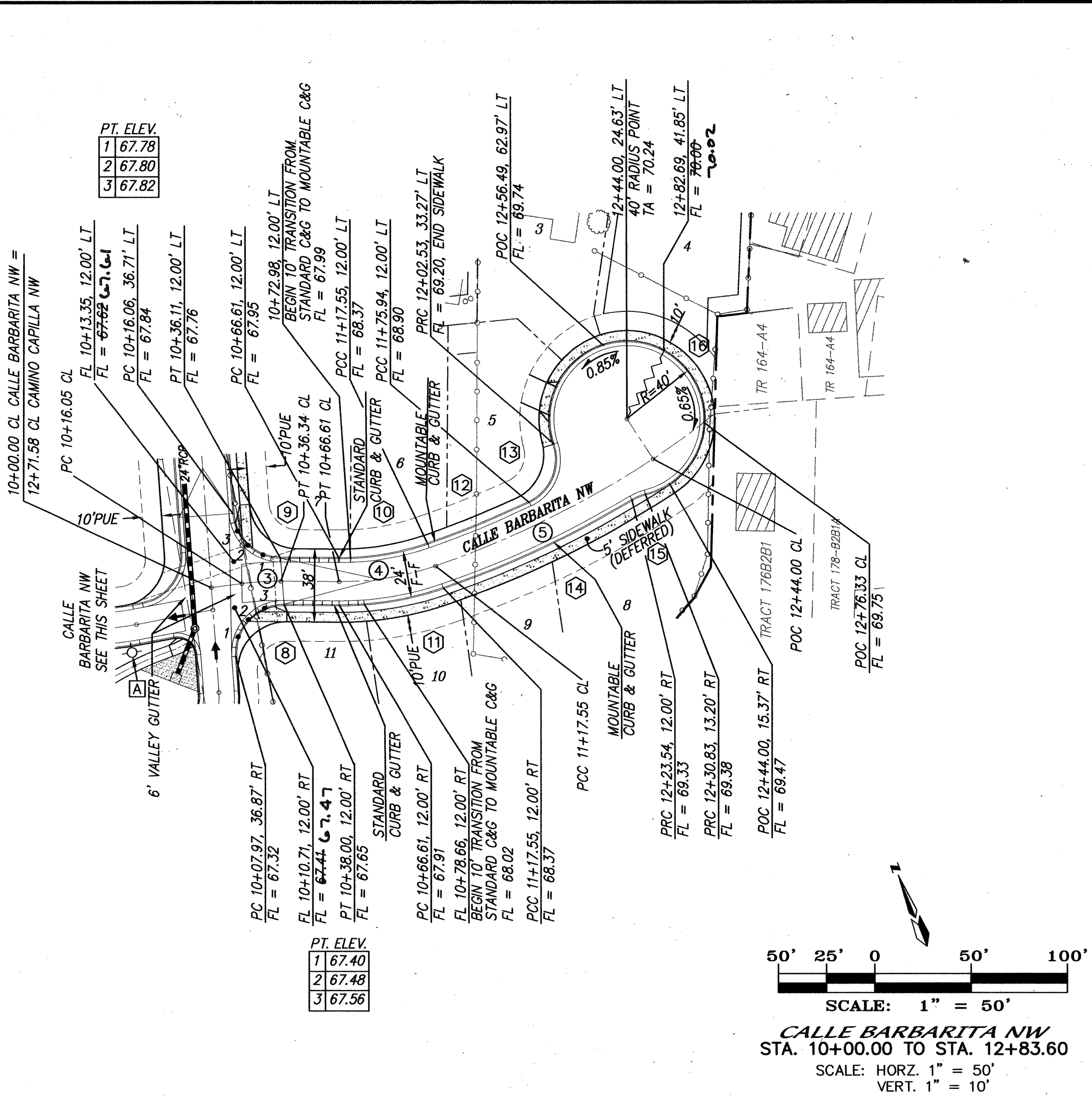
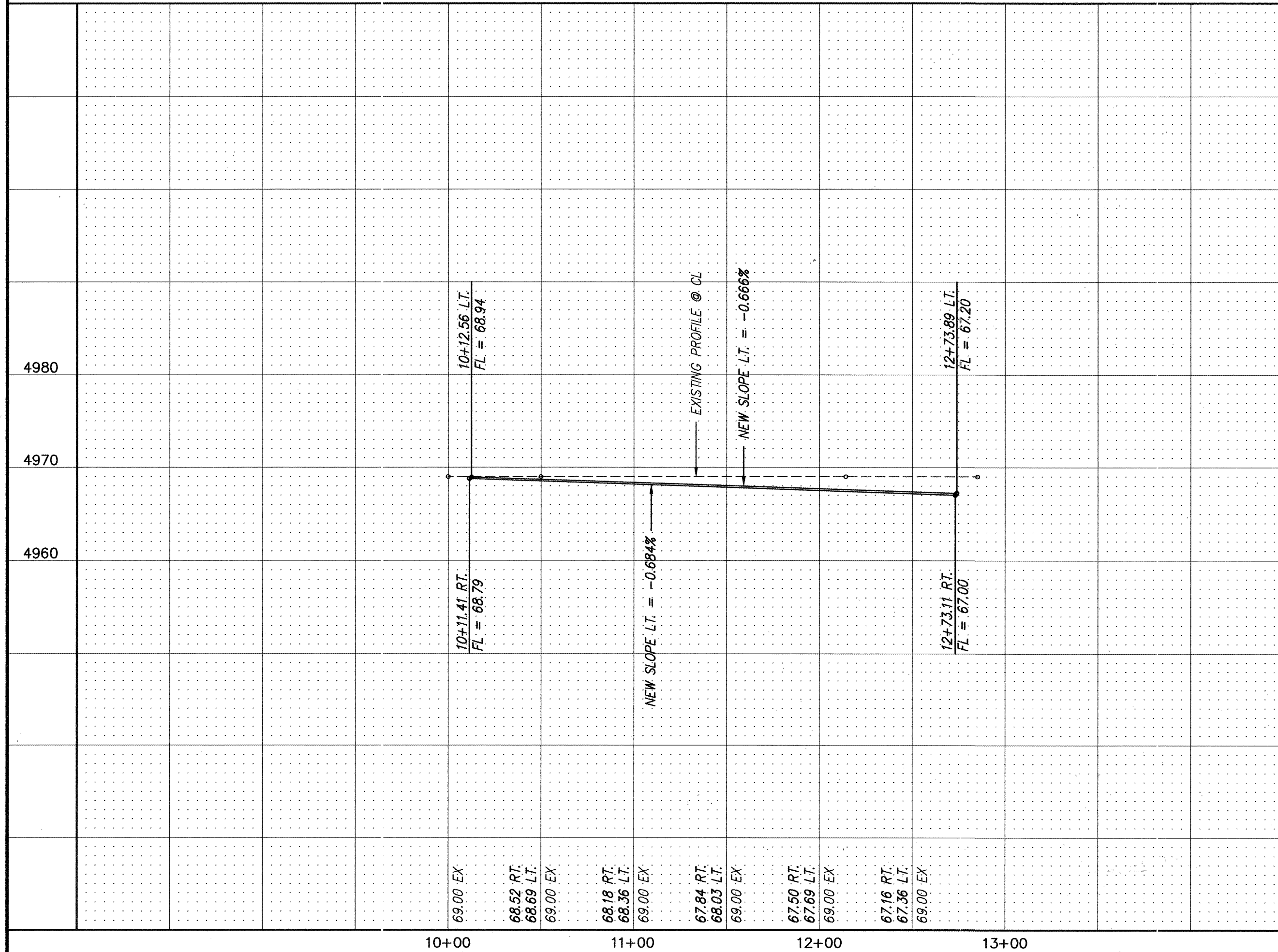
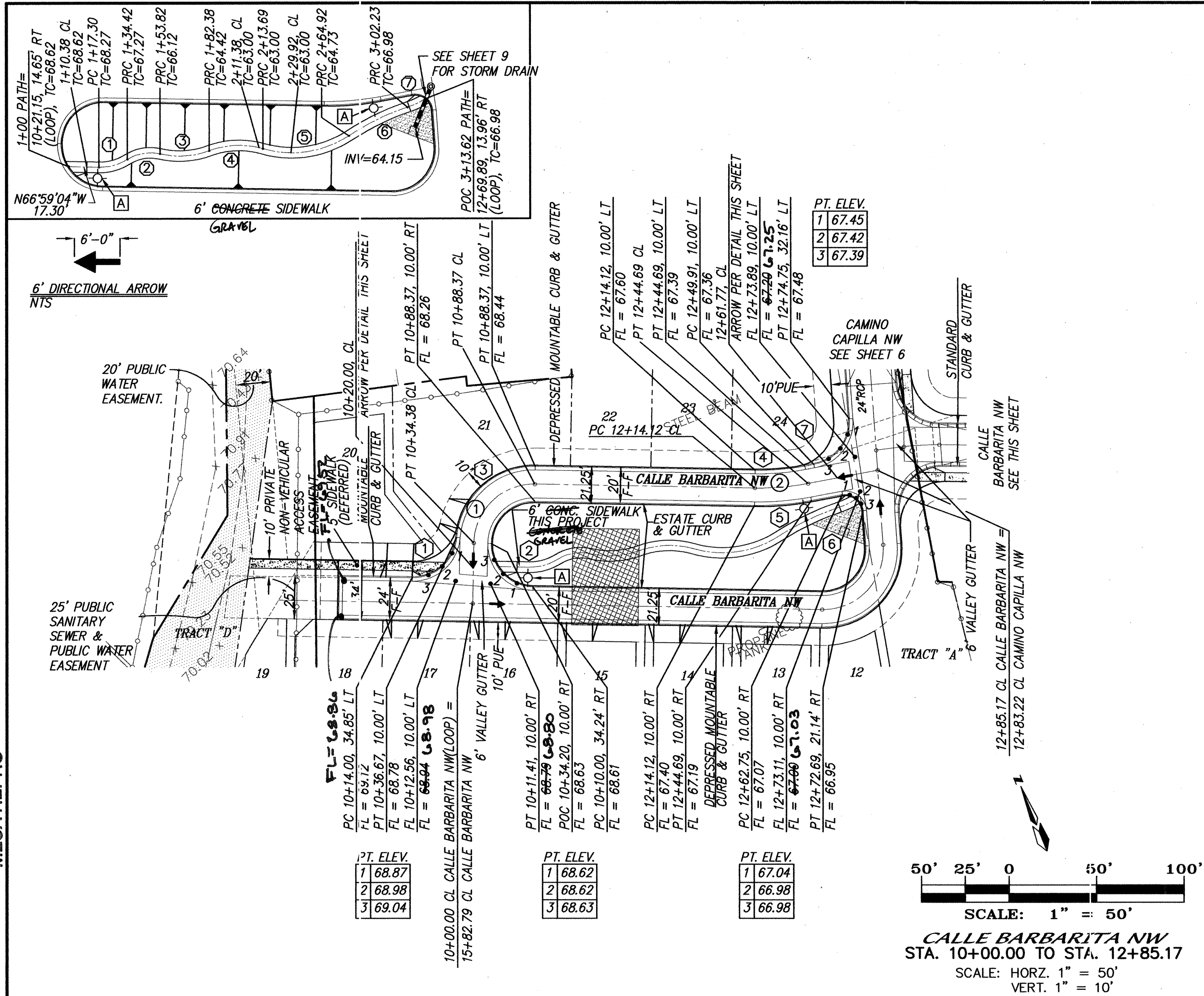
F-13-Z

6 11



NO.	DATE	REMARKS	BY
01	09/03	DESIGN	ALD
02	09/03	REVISIONS	MJR
03	09/03	DESIGN	DMG

SCANNED BY
MESA REPRO



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. PRIVATE STREET LIGHT

CURVE DATA - DESCRIBES CENTERLINE

1	$\Delta = 90^{\circ}00'00''$ $R = 34.38'$ $L = 54.00'$ $T = 34.38'$	2	$\Delta = 11^{\circ}40'33''$ $R = 150.00'$ $L = 30.57'$ $T = 15.34'$	3	$\Delta = 07^{\circ}45'11''$ $R = 150.00'$ $L = 20.30'$ $T = 10.16'$
4	$\Delta = 19^{\circ}27'21''$ $R = 150.00'$ $L = 50.94'$ $T = 25.72'$	5	$\Delta = 14^{\circ}29'25''$ $R = 500.00'$ $L = 126.45'$ $T = 63.57'$		

CURVE DATA - DESCRIBES FACE OF NEW CURB

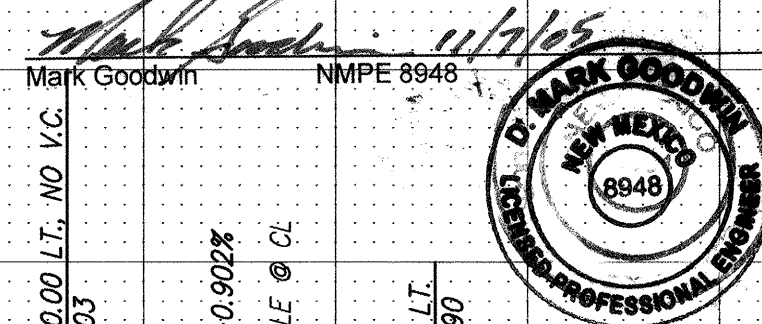
1	$\Delta = 86^{\circ}10'39''$ $R = 25.00'$ $L = 37.60'$ $T = 23.39'$	2	$\Delta = 180^{\circ}00'00''$ $R = 24.39'$ $L = 24.39'$ $T = N/A$	3	$\Delta = 86^{\circ}10'39''$ $R = 25.00'$ $L = 37.60'$ $T = 23.39'$
4	$\Delta = 11^{\circ}40'33''$ $R = 140.00'$ $L = 28.53'$ $T = 14.31'$	5	$\Delta = 11^{\circ}40'33''$ $R = 160.00'$ $L = 32.61'$ $T = 16.36'$	6	$\Delta = 96^{\circ}31'07''$ $R = 10.00'$ $L = 16.85'$ $T = 11.21'$
7	$\Delta = 83^{\circ}28'53''$ $R = 25.00'$ $L = 36.43'$ $T = 22.31'$	8	$\Delta = 94^{\circ}34'35''$ $R = 25.00'$ $L = 41.27'$ $T = 27.08'$	9	$\Delta = 85^{\circ}25'25''$ $R = 25.00'$ $L = 37.27'$ $T = 23.08'$
10	$\Delta = 19^{\circ}27'21''$ $R = 138.00'$ $L = 46.86'$ $T = 23.66'$	11	$\Delta = 19^{\circ}27'21''$ $R = 162.00'$ $L = 55.01'$ $T = 27.77'$	12	$\Delta = 06^{\circ}41'28''$ $R = 488.00'$ $L = 56.99'$ $T = 28.53'$
13	$\Delta = 82^{\circ}57'00''$ $R = 25.00'$ $L = 36.19'$ $T = 22.10'$	14	$\Delta = 12^{\circ}08'45''$ $R = 512.00'$ $L = 108.54'$ $T = 54.47'$	15	$\Delta = 17^{\circ}24'29''$ $R = 25.00'$ $L = 7.60'$ $T = 3.83'$
16	$\Delta = 27^{\circ}54'12''$ $R = 40.00'$ $L = 191.92'$ $T = N/A$				

CURVE DATA - DESCRIBES CENTERLINE OF PATH

1	$\Delta = 32^{\circ}41'55''$ $R = 30.00'$ $L = 17.12'$ $T = 8.80'$	2	$\Delta = 44^{\circ}28'09''$ $R = 25.00'$ $L = 19.40'$ $T = 10.22'$	3	$\Delta = 32^{\circ}41'55''$ $R = 30.00'$ $L = 17.12'$ $T = 8.80'$
4	$\Delta = 36^{\circ}52'31''$ $R = 50.00'$ $L = 31.31'$ $T = 14.68'$	5	$\Delta = 48^{\circ}55'31''$ $R = 60.00'$ $L = 51.23'$ $T = 27.30'$	6	$\Delta = 141^{\circ}43'7''$ $R = 150.00'$ $L = 37.30'$ $T = 18.75'$
7	$\Delta = 13^{\circ}03'02''$ $R = 50.00'$ $L = 11.39'$ $T = 5.72'$				

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Mark Goodwin, NMPE 8948, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by A.L.S. Inc., NMPS number 7719.

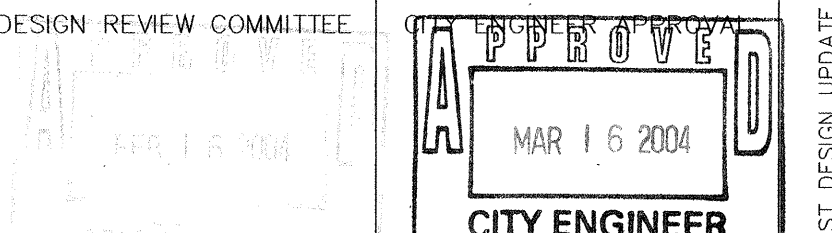


NGVD 29

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ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: VILLA DE LA CAPILLA
CALLE BARBARITA NW
PAVING IMPROVEMENTS



CITY PROJECT NO. 729981

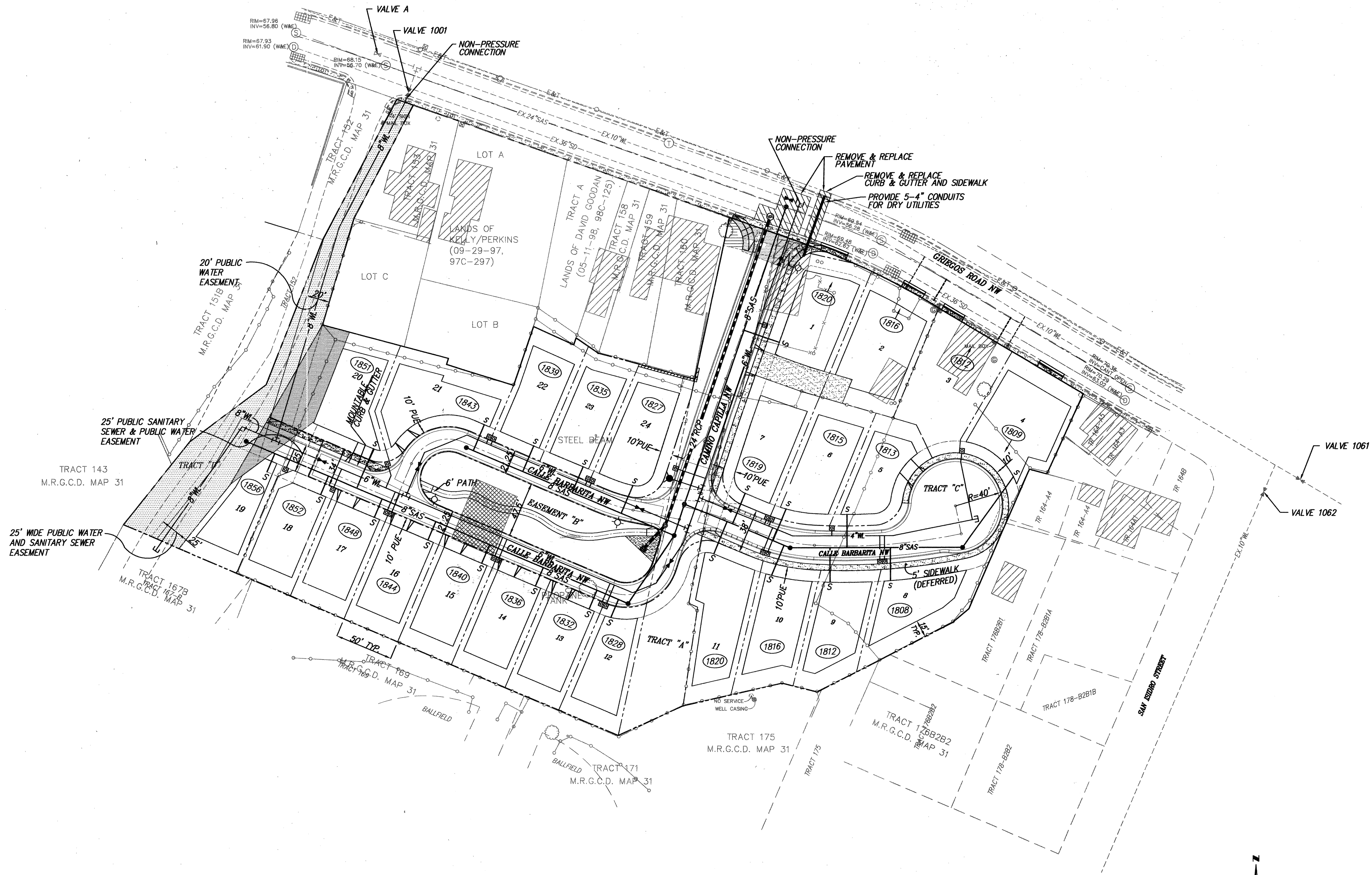
ZONE MAP NO. F-13-Z

SHEET 7 OF 11

F:\A03027\A03027-02-12-04\A03027-02-12-04.dwg, 02/13/04 02:44:43 PM, PLOTTED BY: JES

SCANNED BY
MESA REPRO

LEGEND	
-5190-	CONTOUR (MAJOR)
-5189-	CONTOUR (MINOR)
TC=	TOP CURB
FL=	FLOWLINE
x 00.00	SPOT ELEV
—○—	CHAIN LINK FENCE
—x—x—	WOOD FENCE
==	CURB AND GUTTER
▨	CONCRETE/SIDEWALK
▩	ADOBE WALL
•	WOOD BOLLARD
⊙	TRAFFIC SIGN
⊙	TREE
⊙	SANITARY SEWER MANHOLE
⊙	CLEANOUT
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
---E&T---	OVERHEAD UTILITY LINES
○	SERVICE POLE OVERHEAD ELECTRIC
⊙	LIGHT POLE
⊙	TELEPHONE MANHOLE
⊙	TELEPHONE PEDESTAL
⊙	GAS METER
⊙	STORM DRAIN MANHOLE
⊙	DROP INLET
⊙	WHEEL CHAIR RAMP
•	NEW SAS MANHOLE
•	NEW SD MANHOLE
18	LOT NUMBER
—8"SAS—	NEW 8" SAS
—6"W—	NEW 6" WATERLINE
S	NEW SEWER SERVICE
⊙	NEW SINGLE WATER METER
⊙	NEW DOUBLE WATER METER
⊙	NEW STREET LIGHT
•	NEW FIRE HYDRANT
---	EXISTING SAS SERVICE(GRIEGOS RD.)
---	EXISTING WATER SERVICE(GRIEGOS RD.)



FOR ALL METERS:

1. INSTALL DUAL CHECK VALVES ON METER SETTER PER CITY SPEC 802-3.9.
2. INSTALL HEAVY WEIGHT COVER & LID PER STANDARD DWG #2369 AND INSTALL TRAFFIC RATED BOX.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

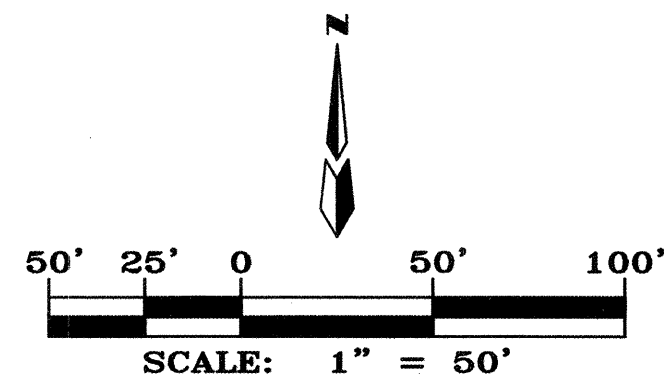
I, Mark Goodwin, NMPE 8948, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built and survey information provided by ALS, Inc., NMPS number 7719.

Mark Goodwin
Mark Goodwin NMPE 8948



VALVE SHUT-OFF PLAN

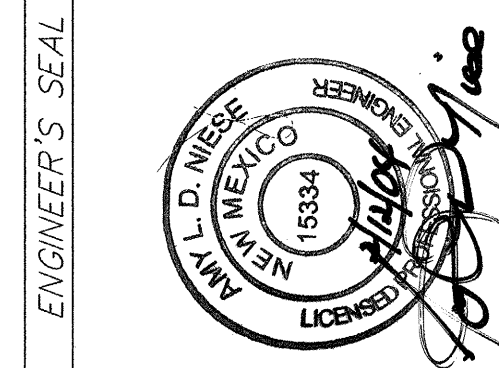
1. CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
2. VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES. SEE THIS SHEET FOR VALVE NUMBERS AND LOCATIONS.
3. FOR CAMINO CAPILLA, NON-PRESSURE CONNECTION TO EXISTING 10" CAST IRON WATERLINE IN GRIEGOS. CLOSE VALVES 1061, 1062, 1001 AND A.
4. FOR STREET TO CHURCH, NON-PRESSURE CONNECTION TO EXISTING 8" WATERLINE TEE FROM GRIEGOS ROAD. CLOSE VALVE 1001.



dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: VILLA DE LA CAPILLA MASTER UTILITY PLAN	
DESIGN REVIEW COMMITTEE APPROVED FEB 16 2004	CITY ENGINEER APPROVAL APPROVED MAR 16 2004 CITY ENGINEER
CITY PROJECT NO. 729981	ZONE MAP NO. F-13-Z
SHEET 8 OF 11	

AS BUILT INFORMATION	
CONTRACTOR	Sundance
WORK STAKED BY	ALS
DATE	DATE
FIELD ACCEPTANCE BY	ALS
DATE	DATE
FIELD LOCATION BY	ALS
DATE	DATE
DRAWINGS CORRECTED BY	ALS
DATE	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.
DATE	DATE

SURVEY INFORMATION	
FIELD NOTES	NO.
BY	DATE



ENGINEER'S SEAL	
REVISIONS	NO.
DATE	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



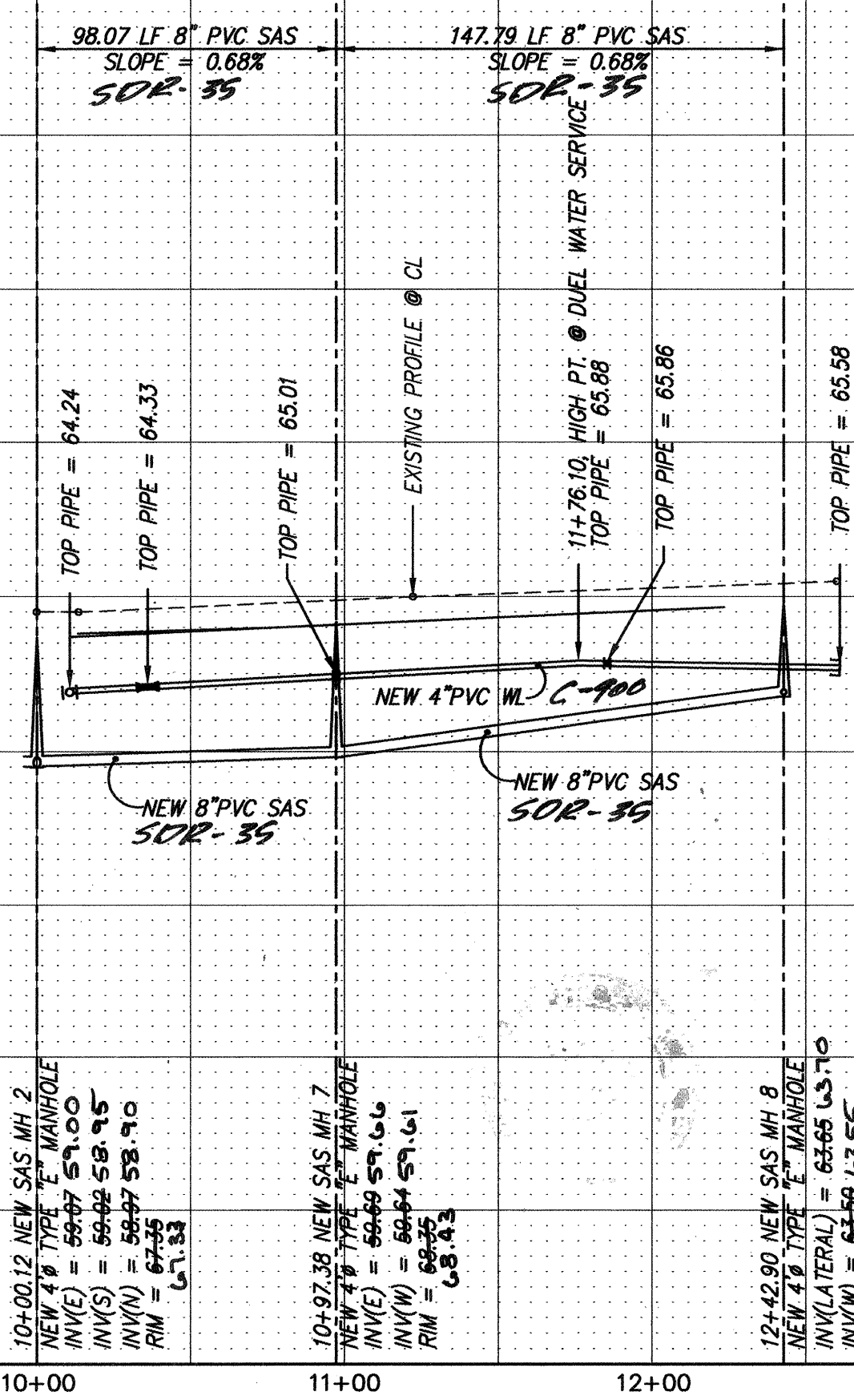
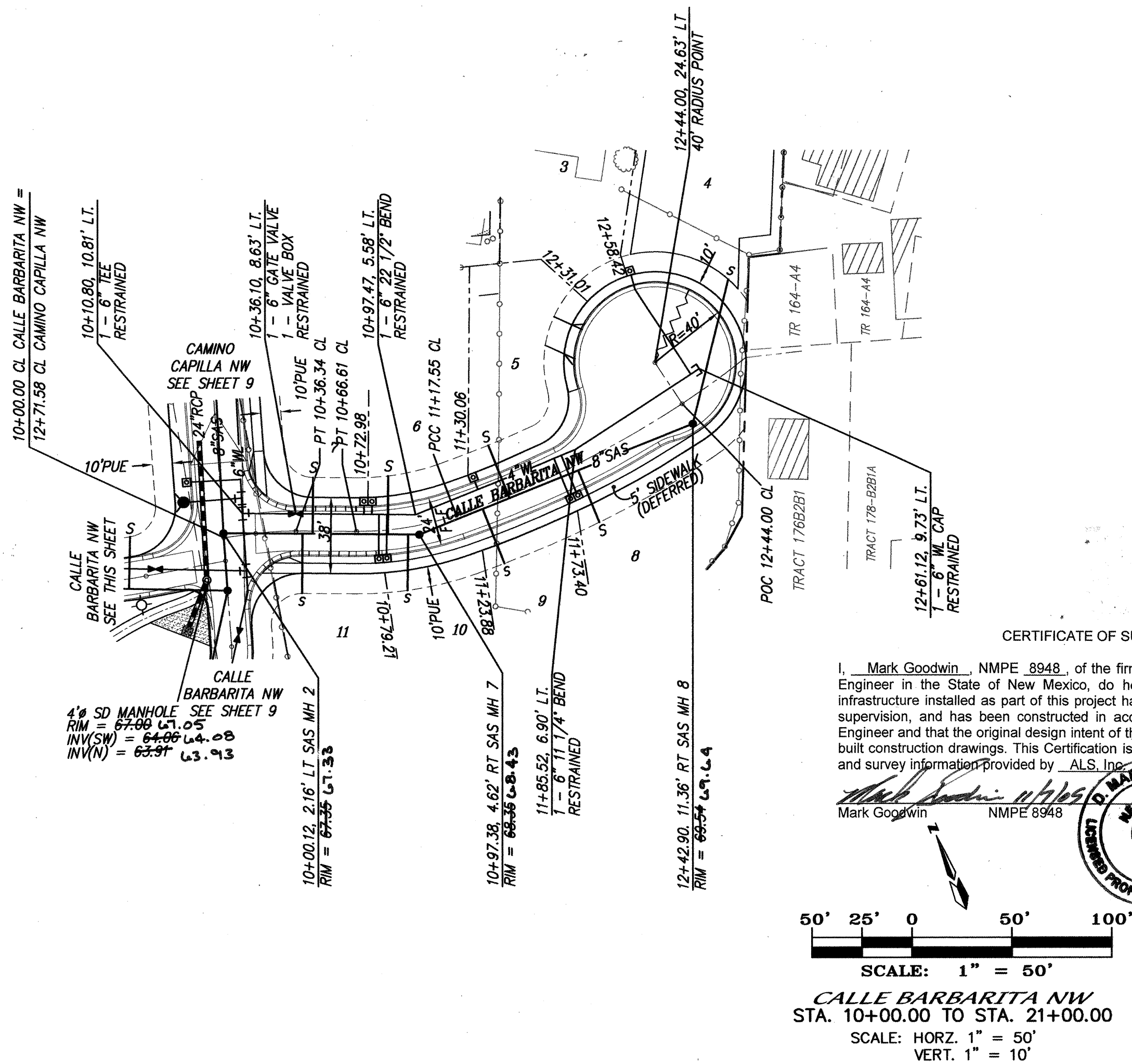
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Mark Goodwin, NMPE #848, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been found to be in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by _____ under permit number 7719.

Mark Goodwin
Mark Goodwin NMPE 848

 1/17/16





RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
4"	12'	5'	3'	1'	32'
6"	17'	7'	3'	2'	46'
8"	22'	9'	4'	2'	60'
10"	26'	11'	5'	3'	72'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
10"x10"x10"	15'	5'
10"x10"x6"	6'	1'
8"x8"x6"	7'	5'
6"x6"x6"	10'	2'
6"x6"x4"	4'	7'

dmg MARK GOODWIN & ASSOCIATES, P.A.
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(505) 828-2200, FAX (505) 797-9511



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE:

VILLA DE LA CAPILLA
CALLE BARBARITA NW
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE
FEB 16 2004
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

A P P R O V E D

MAR 16 2004

CITY ENGINEER

LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
729981	F-13-Z	10	11

NO.	DATE	REMARKS	BY
REVIEWS			
DESIGN			
DESIGNED BY	ALD	DATE	9/03
DRAWN BY	MJR	DATE	9/03
CHECKED BY	DMG	DATE	9/03

NO.	DATE	REMARKS
REVISIONS		
DESIGN		
DESIGNED BY	ALD	DATE 9/03/03
DRAWN BY	MJR	DATE 9/03/03
CHECKED BY	DWG	DATE 9/03/03

