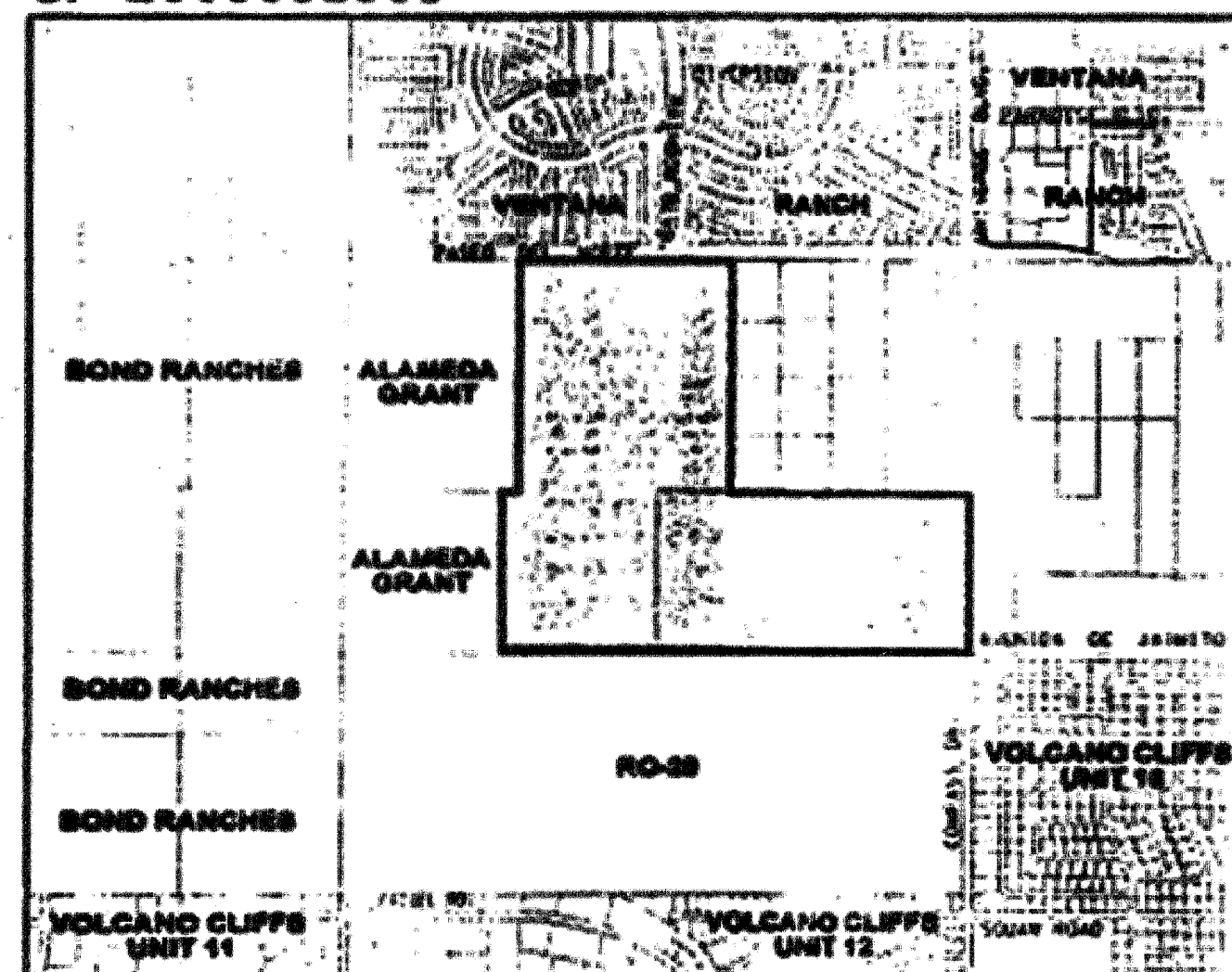


REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE
<b>ENGINEERS STAMP &amp; SIGNATURE</b>		<b>APPROVALS</b>	<b>ENGINEER</b>	<b>DATE</b>	<b>*****APPROVED FOR CONSTRUCTION*****</b>
		DRC Chairperson	<i>[Signature]</i>	02-28-05	<i>[Signature]</i> 4-01-05 City Engineer Date
		Transportation	<i>[Signature]</i>	2/30/05	
		Water/ Wastewater	N/A	2/3/05	
		Hydrology	<i>Buddy L. Bitten</i>	2/9/05	
		C.I.P.			
		Constr. Coord.	<i>[Signature]</i>	02-28-05	
		-			
CITY PROJECT NO. 730089				SHEET  1 of 10	



SCANNED  
BY PLN

## LOCATION MAP

ZONE ATLAS INDEX MAP NO. C-9-Z  
NOT TO SCALE

## SUBDIVISION DATA

- DBB No. 1002962.
- Zone Atlas Index No. C-9.
- Gross Subdivision Acreage: 200.946 Acres.
- Total Number of Tracts created: Eleven (11) Tracts.
- Total Mileage of full width Streets created: 0.662 mile
- Date of Survey: August, 2003.
- Plot is located within the Town of Alameda Grant, within projected Section 16, T11N, R2E, NMP.
- Tract OS-1 and Tract OS-2 are Private Open Space areas that will be owned and maintained by the Trails LLC. There shall be no direct vehicular access from adjacent tracts, parcels, or lots.

## DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide 3 tracts into Eleven (11) Tracts, to dedicate additional public street right-of-way to the City of Albuquerque, to grant easements, and to vacate a RV easement.

## PUBLIC UTILITY EASEMENTS

All PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- PNM Electric Services for the installation, maintenance and service of underground/overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance and service of underground water and sanitary sewer lines across the easement.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, remove, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformer/switchgear door and five feet (5') on each side.

## DESCRIPTION

A certain tract of land situated within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a portion of Tract 4, Black Ranch, comprising a tract of land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 455, Page 9572, together with tract of land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2687, together with Parcel A as the same is described in the Real Estate Contract recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 2000 in Book 48, Page 6156, and now being more particularly described by New Mexico State Plane Grid Bearings (Central Zone) and ground distances as follows:

BEGINNING at the northeast corner of the tract herein described, whence the City of Albuquerque survey monument 2-516", having New Mexico State Plane Grid Coordinates for the Central Zone: X=957543.731 Y=1452976.48; bears N30°11'05"E a distance of 4254.2 feet; thence along the easterly boundary line of the tract herein described:  
S89°05'59"W a distance of 1955.71 feet; thence:  
S89°38'20"E a distance of 2052.71 feet; thence:  
S00°16'09"W a distance of 1315.57 feet to the southeast corner of the tract herein described, said point being a point on the south boundary of the Town of Alameda Grant, thence along said Grant boundary:  
N89°48'58"W a distance of 1064.88 feet to a BLM survey monument marking the 6-1/2 mile corner on said Grant; thence:  
N09°44'34"W a distance of 2642.13 feet to a BLM survey monument marking the 7 mile corner on said Grant; thence:  
N89°40'32"W a distance of 266.59 feet to the southwest corner of said Parcel A; thence along the westerly boundary line of the tract herein described:  
N00°15'19"E a distance of 1320.61 feet to a 1/2" ruler with a 1" survey cap marked "Crisco 8686" of the northwest corner of said Parcel A; thence:  
S89°38'17"E a distance of 121.33 feet; thence:  
N00°05'59"E a distance of 1951.06 feet to the northeast corner of the tract herein described; thence along the northerly boundary line of the tract herein described:  
S89°48'46"E a distance of 1199.86 feet to the point and place of beginning.

This tract contains 200.946 acres, more or less.

## NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927.
- Distances are ground distances.
- All easements of record are shown.
- These properties are within the New Mexico Utilities, Inc. (NMU, Inc.) franchise area. Water and Sanitary Sewer Systems capability are based on NMU, Inc. Facilities, not the City of Albuquerque.
- Tracts A through J and OS-1 and OS-2 are subject to blanket easements, see sheets 2 and 3.
- No direct access to Poso Del Norte allowed.

## DOCUMENT NOTE

Additional documents used in the preparation of this plat:

- Warranty Deed from Horizon-Albuquerque Properties Corp. to Morris J. Windur recorded May 19, 1960 in Volume 8 543, folio 143.
- Warranty Deed from Horizon-Albuquerque Properties Corp. to Joan K. Buck recorded May 9, 1960 in Volume 0541, folio 281.
- Warranty Deed from Horizon-Albuquerque Properties Corp. to Arnold Keaton and Benjamin Cohen recorded August 29, 1960.

## NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PAVES IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND ANAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY.
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
- PARK AND OPEN SPACE REQUIREMENTS.
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
- EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

## FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situated within the Town of Alameda Grant, in projected Section 16, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, being a portion of Tract 4, Black Ranch, comprising a tract of land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 455, Page 9572, together with tract of land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2687, together with Parcel A as the same is described in the Real Estate Contract recorded in the office of the County Clerk of Bernalillo County, New Mexico on August 4, 2000 in Book 48, Page 6156 is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) hereby dedicate all streets and public rights-of-way shown herein to the City of Albuquerque in fee simple with Warranty Covenants and do hereby grant all Access, Utility, and Easement Easements shown herein including the right to construct, operate, inspect, and maintain facilities thereon and all Public Utility Easements shown herein for the common and joint use of Gas, Electrical Power and Communication Services for buried distribution lines, conduits, poles for underground/overhead utilities shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantors Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal work it deems appropriate without liability to the City. If work effects any improvements or Encroachments made by the Grantors, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or Encroachments, the Grantors shall, at its own expense take whatever protective measures are required to safeguard the improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

Owner of the land described in the Special Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 455, Page 9572, and the land described in the Warranty Deed, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 25, 1997 in Book 97-3, Page 2687.

Acknowledged:

THE TRAILS LLC  
Longford Group Inc., its Manager

By: *[Signature]*  
John K. Murtagh, President

STATE OF NEW MEXICO) SS  
COUNTY OF CLARK)

This instrument was acknowledged before me on November 7, 2003 by John K. Murtagh, President of The Trails LLC.

My Commission Expires: 5/10/07

Owner of Parcel A

By: *[Signature]*  
Tafazzal Hussain, General Secretary, Indus Development, Ltd. Co.

STATE OF NEW MEXICO) SS  
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on November 5, 2003 by Tafazzal Hussain, General Secretary, Indus Development, Ltd. Co.

My Commission Expires: May 10, 2004

THE TRAILS COMMUNITY ASSOCIATION, INC.

By: *[Signature]*  
Frank Beck, President

STATE OF NEW MEXICO) SS  
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on November 7, 2003 by Frank Beck, President of The Trails Community Association, Inc.

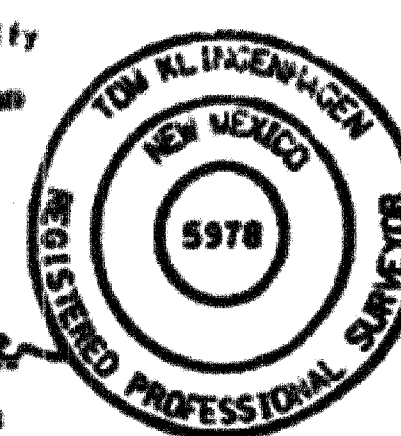
My Commission Expires: 5/10/07

## SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhoyen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.  
Courtyard I  
7500 Jefferson Street, N.E.  
Albuquerque, New Mexico 87109  
15051823-1000

Thomas G. Klingenhoyen  
New Mexico Professional Surveyor 5978  
Date: 9-8-03



# BULK PLAT OF THE TRAILS

(A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH)

ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003

PROJECT NUMBER

1002962

APPLICATION NUMBER

03.DRB-01528

## PLAT APPROVAL

UTILITY APPROVALS:

QWEST	<i>[Signature]</i>	10-6-03
CHICAGO CABLE	<i>[Signature]</i>	10-29-03
PNM ELECTRIC SERVICES	<i>[Signature]</i>	10-6-03
PNM GAS SERVICES	<i>[Signature]</i>	10-6-03
NEW MEX UTILITIES, INC.	<i>[Signature]</i>	10-7-03
CITY ENGINEER	<i>[Signature]</i>	9-11-03
CITY SURVEYOR	<i>[Signature]</i>	10/2/03
ENGINEERING, PLANNING DIVISION	<i>[Signature]</i>	10/2/03
PARKS & RECREATION DEPARTMENT	<i>[Signature]</i>	10-20-03
AMERICAN	<i>[Signature]</i>	10-22-03
CITY ENGINEER	<i>[Signature]</i>	11/20/03
DRB CHAIRPERSON, PLANNING DEPARTMENT	<i>[Signature]</i>	
N/A		
REAL PROPERTY DIVISION		

## TAX CERTIFICATION

PROPERTY OWNER OF RECORD: SEE ATTACHED

BERNALILLO COUNTY TREASURER'S OFFICE: 12/15/03

## PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown herein. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

## Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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mcl

JOB NO. 020276 017



SCANNED BY 229

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- CENTERLINE
- PROPOSED EASEMENT LINE
- EXISTING EASEMENT LINE
- ADJOINING PROPERTY LINE
- EXISTING (ORIGINAL) TRACT LINE
- SECTION LINE
- RIGHT OF WAY
- CITY OF ALBUQUERQUE CONTROL MONUMENT
- CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
- FOUND 1/2" REBAR W/YELLOW CAP STAMPED "G GRITSKO 8486" IN ROCK MOUND
- FOUND USOLD BRASS CAP STAMPED "TA. CC. 516, 515, 1911"
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

TANGENT DATA

ID	BEARING	DISTANCE
T1	S89°38'17"E	121.33'
T2	N00°10'51"E	110.61'
T3	S00°05'59"W	20.00'
T4	S63°55'34"W	8.64'
T5	S63°55'34"W	106.94'
T6	N65°32'14"W	45.00'
T7	S23°21'56"W	101.23'
T8	N38°49'52"W	136.30'
T9	N38°49'52"W	102.95'
T10	N65°14'01"W	22.79'
T11	N70°30'08"W	75.91'
T12	N07°32'45"W	98.18'
T13	S49°04'00"W	76.99'
T14	N39°31'52"W	79.73'
T15	N89°40'47"W	49.86'
T16	S00°21'10"W	100.00'
T17	S52°22'50"W	48.21'
T18	N37°37'10"W	76.44'
T19	S86°05'49"W	118.01'
T20	S24°45'59"W	104.41'
T21	S63°55'34"W	10.91'
T22	S63°55'34"W	126.54'

CURVE DATA

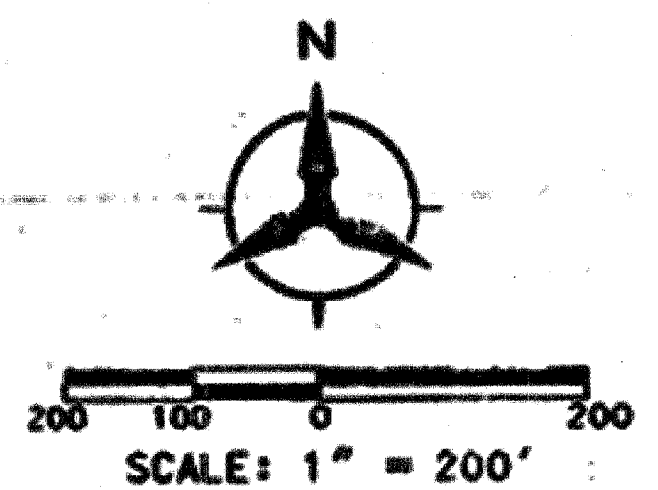
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	49°19'15"	505.02'	946.09'	1100.00'	917.93'	N00°05'22"E
C2	24°35'08"	490.28'	965.41'	2250.00'	958.08'	N12°28'25"E
C3	89°41'02"	99.62'	156.70'	100.00'	141.15'	S45°17'41"W
C4	24°21'49"	502.56'	989.92'	2328.00'	982.48'	S12°35'05"W
C5	47°51'51"	453.59'	853.79'	1022.00'	829.18'	S00°50'01"W
C6	84°12'22"	21.11'	44.09'	30.00'	40.23'	S69°12'08"W
C7	08°46'01"	40.15'	96.11'	628.00'	96.02'	S68°18'31"W
C8	87°11'31"	28.56'	45.65'	30.00'	41.37'	N20°19'42"E
C9	48°01'58"	524.88'	987.95'	1178.00'	958.89'	N00°45'00"E
C10	24°19'35"	468.14'	922.18'	2172.00'	915.27'	N12°36'11"E
C11	90°15'12"	100.44'	157.52'	100.00'	141.73'	N44°41'12"W
C12	02°21'30"	44.71'	89.40'	2172.00'	89.40'	S19°14'35"W
C13	01°18'04"	66.32'	132.63'	5841.00'	132.62'	N65°53'03"W
C14	39°28'24"	72.83'	139.86'	203.00'	137.11'	S87°33'04"W
C15	203°35'05"		520.55'	106.50'	286.82'	S55°36'23"W
C16	09°49'03"	53.42'	106.50'	622.00'	106.45'	N78°37'58"E
C17	06°08'08"	10.88'	21.74'	203.00'	21.73'	N80°28'25"E
C18	05°02'54"	6.92'	13.83'	157.00'	13.83'	N79°55'48"E
C19	30°08'55"	54.68'	106.82'	203.00'	105.59'	S54°36'19"E
C20	87°44'37"	28.84'	45.94'	30.00'	41.58'	S25°40'28"E
C21	02°51'03"	2.44'	4.88'	98.00'	4.88'	S88°55'38"W
C22	02°12'24"	44.84'	89.66'	2328.00'	89.66'	N18°53'34"E
C23	80°21'37"	25.33'	42.08'	30.00'	38.71'	N57°58'08"E
C24	00°30'10"	2.77'	5.55'	632.00'	5.55'	S81°35'59"E
C25	43°59'04"	81.99'	155.84'	203.00'	152.04'	N74°22'22"E
C26	17°37'27"	336.71'	668.10'	2172.00'	665.47'	S09°15'07"W
C27	17°23'09"	355.94'	706.41'	2328.00'	703.70'	N09°05'45"E
C28	04°20'39"	82.38'	164.68'	2172.00'	164.64'	S22°35'40"W
C29	03°44'23"	38.46'	76.89'	1178.00'	76.88'	S22°53'47"W
C30	86°15'37"	28.10'	45.17'	30.00'	41.02'	N22°06'13"W
C31	00°49'45"	7.40'	14.79'	1022.00'	14.79'	N24°21'06"E
C32	04°46'16"	96.38'	193.85'	2328.00'	193.79'	N22°22'50"E
C33	24°57'59"	442.78'	871.49'	2000.00'	864.62'	N77°43'01"W
C34	44°17'35"	479.45'	910.66'	1178.00'	888.16'	S01°07'12"E
C35	00°58'11"	5.69'	11.37'	672.00'	11.37'	S64°23'31"W
C36	34°29'59"	195.00'	378.14'	678.00'	379.45'	S44°46'40"W
C37	47°02'11"	444.76'	839.00'	1022.00'	815.64'	N00°25'08"E
C38	24°18'44"	430.81'	848.66'	2000.00'	842.31'	S77°23'23"E
C39	43°16'06"	249.08'	474.25'	628.00'	463.06'	N85°33'17"E
C40	00°39'15"	11.42'	22.83'	2000.00'	22.83'	S89°52'23"E
C41	02°43'32"	26.17'	52.33'	1100.00'	52.32'	S25°55'02"E

ACS BRASS TABLET STAMPED "UNION 1969"  
GEOGRAPHIC POSITION (MAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
X=353,409.02 Y=1,523,440.56  
GROUND TO GRID FACTOR = 0.99966044  
DELTA ALPHA = -00°16'58"  
NGVD 1929 TRIG ELEVATION = 5522.0

ACS BRASS TABLET STAMPED "2-810 1946"  
GEOGRAPHIC POSITION (MAD 1927)  
NM STATE PLANE COORDINATES (CENTRAL ZONE)  
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GROUND TO GRID FACTOR = 0.99966354  
DELTA ALPHA = -00°16'30"  
NGVD 1929 ELEVATION = 5429.35

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Page: 2 of 3  
12/15/2003 02:21P  
Buller, Co. PLLC 11.7.00 BK-2003C Pg-375

BULK PLAT OF THE TRAILS  
(A REPLAT OF A PORTION OF TRACT 4 BLACK RANCH)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003



BLANKET EASEMENT NOTES

- Tracts 05-1 and 05-2 are subject to a blanket easement for public access, public open space and public storm drain easements to be granted to the City of Albuquerque with the filing of this plat. Tracts 05-1 and 05-2 are also subject to a blanket easement for public water and public sanitary sewer to be granted to the City of Albuquerque and New Mexico Utilities with the filing of this plat.
- Tracts A, B, C, D, E, & F are subject to a blanket easement for public cross-lot storm drain, public water, and public sanitary sewer easements to be granted to the City of Albuquerque with the filing of this plat.
- Tracts G, H, and J are subject to a blanket easement for public access, public storm drain, public water and public sanitary sewer easements to be granted to the City of Albuquerque with the filing of this plat.
- Tracts G, H, and J are subject to a public water easement for a future well site to be granted to the New Mexico Utilities, Inc. with the filing of this plat.

TOM ALINGENMEEN  
NEW MEXICO  
5978  
REGISTERED PROFESSIONAL SURVEYOR  
11-13-03

SHEET 2  
SHEET 3

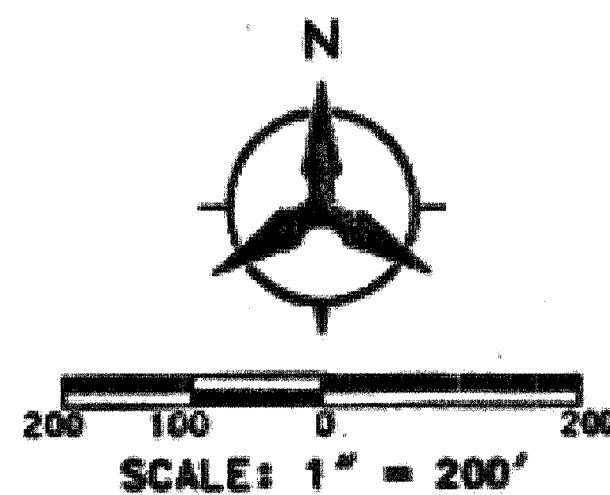
Bohannon & Huston

Courtyard I 7500 Jefferson St NE Albuquerque, NM 87109-4335  
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

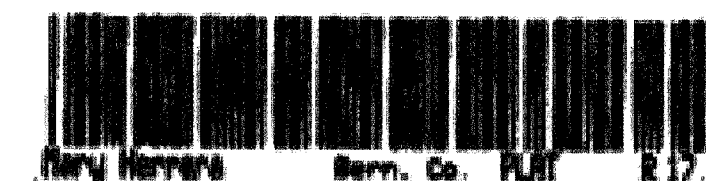
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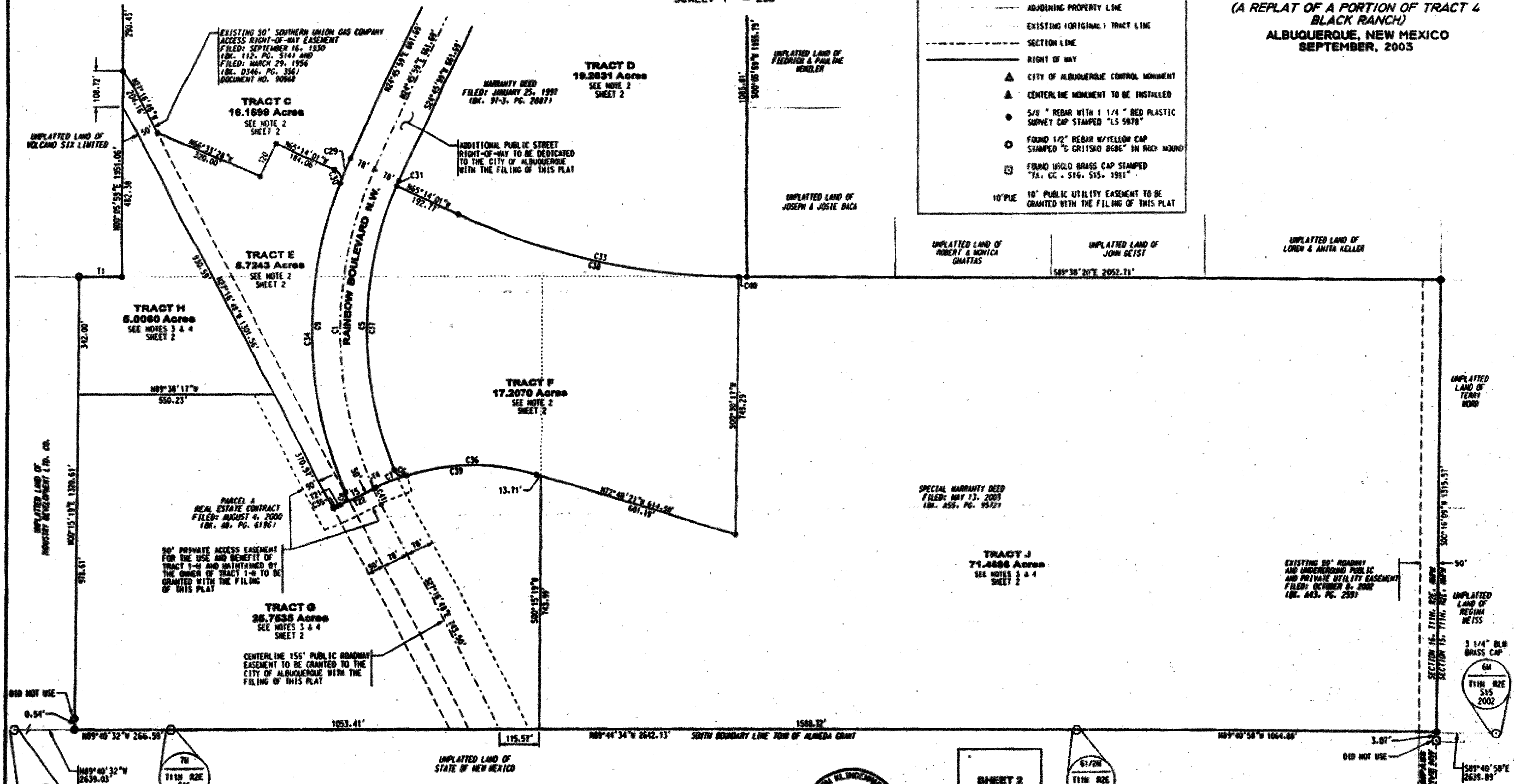
SCANNED  
BY PLN



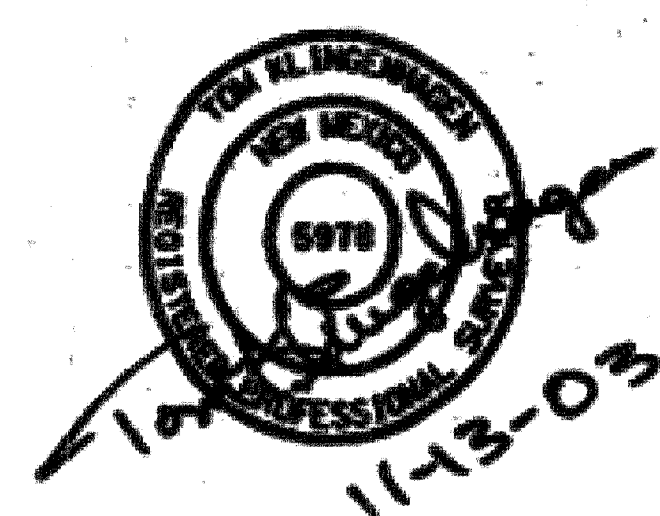
LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (ORIGINAL) TRACT LINE
	SECTION LINE
	RIGHT OF WAY
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978"
	FOUND 1/2" REBAR W/YELLOW CAP STAMPED "G CRITSKO 8686" IN ROCK MOUND
	FOUND USGLD BRASS CAP STAMPED "TA, CC - 516, 515, 1911"
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT



**BULK PLAT OF  
THE TRAILS**  
(A REPLAT OF A PORTION OF TRACT 4  
BLACK RANCH)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 2003



NOTE: SEE SHEET 2 FOR CURVE & TANGENT DATA

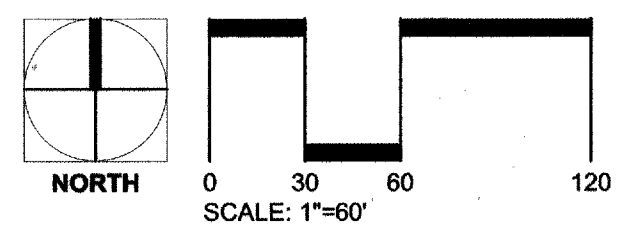


SHEET 2  
SHEET 3

61/2M  
111M R2E  
S16  
2002  
3 1/4" BLM  
BRASS CAP

**Bohannon & Huston**  
Courtney I 7500 Jefferson BL NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES





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QTY ENGINEER APPROVAL  
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT  
THE TRAILS - OFFSITE IMPROVEMENT  
SITE CONTEXT

DESIGN REVIEW COMMITTEE  
**APPROVED**  
FEB 28 2005  
DESIGN REVIEW COMMITTEE

**APPROVED**  
APR - 1 2005  
CITY ENGINEER

MO./DAY/YR.  
MO./DAY/YR.

DESIGNED BY: RIL  
DRAWN BY: RIL  
CHECKED BY: JGB

DATE: 12/21/04  
DATE: 12/21/04  
DATE: 12/21/04

City Project No. 7300.89  
Zone Map No. C-9-Z  
Sheet **5** Of **10**

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Rainbow Boulevard

APPROVED BY NEW MEXICO UTILITIES INC.  
DATE 2-4-95

PROJECT INFORMATION		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	DATE	REMARKS	BY	NO.	DATE			CONTRACTOR	DATE
								WORK	DATE
								INSPECTED BY	DATE
								INSPECTOR'S	DATE
								ACCEPTANCE BY	DATE
								VERIFICATION BY	DATE
								VERIFICATION	DATE
								CONDUCTED BY	DATE
								DRAWINGS	DATE
								CHECKED BY	DATE
								RECORDED BY	DATE
								NO.	DATE

STATE OF NEW MEXICO  
JOHN R. JONES  
11-129  
MECHANICAL ENGINEERING

DESIGNED BY	RIL	DATE	12/21/04
DRAWN BY	RIL	DATE	12/21/04
CHECKED BY	JGB	DATE	12/21/04

DESIGN

MO./DAY/YR.

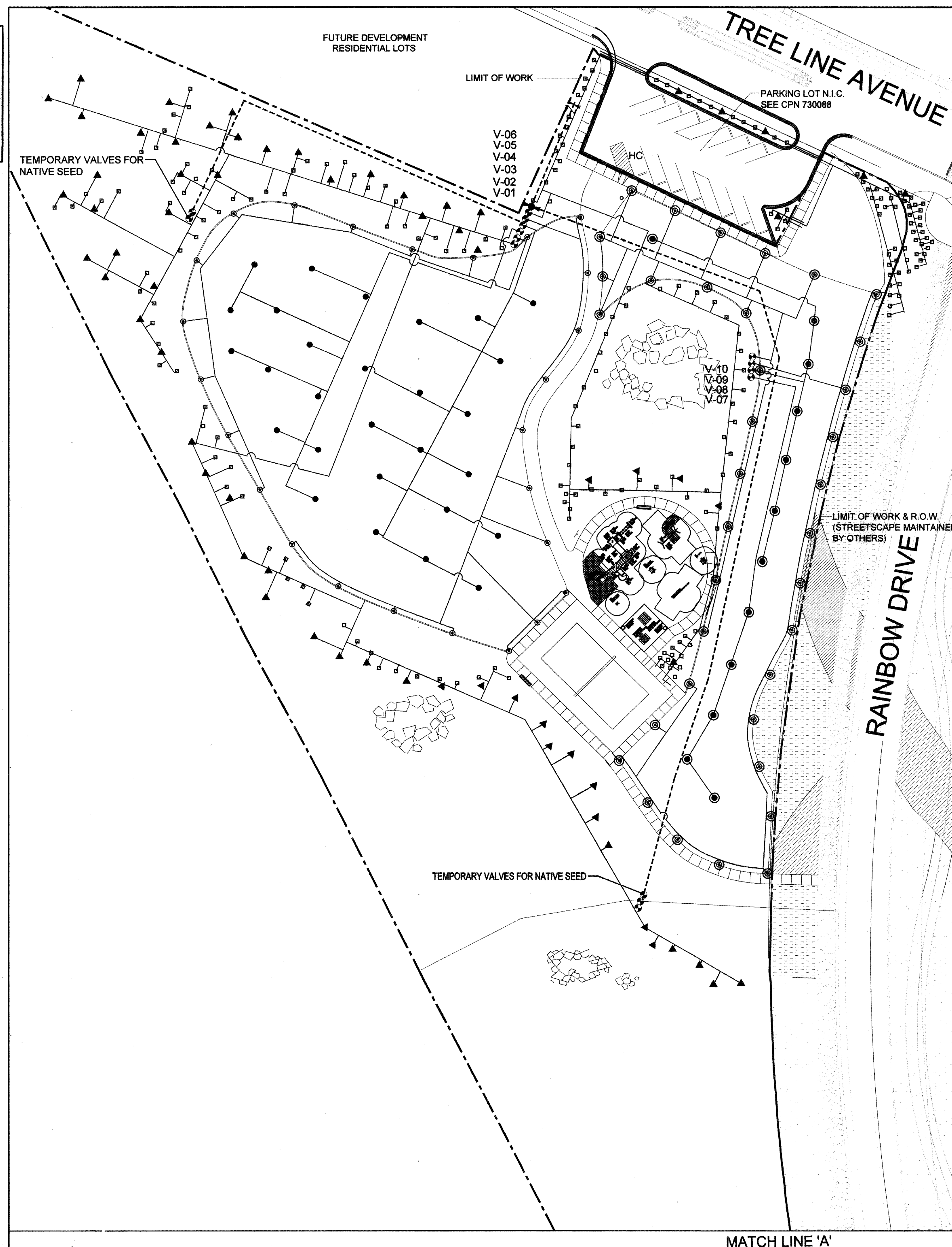
MO./DAY/YR.

Sheet **6** Of **10**

[illegible]



SCANNED  
BY PLA



NOTES:

1. MINIMUM WATER PRESSURE:  
THIS IRRIGATION SYSTEM REQUIRES A MINIMUM DYNAMIC WATER PRESSURE AT THE CITY WATER METER OF 90 PSI @ 95GPM. THE CONTRACTOR SHALL VERIFY THIS CONDITION PRIOR TO INSTALLING ANY IRRIGATION COMPONENTS. IF PRESSURE IS LESS THAN 90 PSI THE CONTRACTOR SHALL INSTALL A BOOSTER PUMP.

2. SPRINKLER STAKING:  
THE SPRINKLER LOCATIONS SHALL BE PRECISELY LOCATED BY THE USE  
OF SURVEY GRADE GPS EQUIPMENT OR CONVENTIONAL SURVEY  
METHODS.

3. CERTIFIED LANDSCAPE IRRIGATION AUDIT:  
THE CONTRACTOR SHALL INSTALL ALL SPRINKLER HEADS WITH THE SPECIFIED NOZZLES, AND ADJUST ALL PRESSURE REGULATORS SO THAT THE LAST SPRINKLER (FURTHEST FROM VALVE) ON EACH ZONE IS OPERATING AT THE END OF THE CONTRACTOR SHALL ADJUST ALL SPRINKLER ARCS SO THAT OVERSPRAY ONTO HARDSCAPE IS MINIMIZED PRIOR TO THE INSTALLATION OF SEED, SOD OR TREES, THE CONTRACTOR SHALL HIRE A CERTIFIED LANDSCAPE IRRIGATION AUDITOR TO PERFORM AN IRRIGATION AUDIT OF THE ROTARY SPRINKLER SYSTEM. THE AUDIT RESULTS SHALL MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE CITY OF ALBUQUERQUE'S WASTEWATER ORDINANCE BEFORE PLANTING. THE RESULTS SHALL BE PRESENTED IN WRITING TO THE IRRIGATION CONSULTANT. THE COSTS OF THESE SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. SPECIFICATIONS AND DETAIL DRAWINGS:  
THE CONTRACTOR SHALL REFER TO THE CITY OF ALBUQUERQUE'S  
STANDARD SPECIFICATIONS AND DETAIL DRAWINGS FOR IRRIGATION  
CONSTRUCTION.

5. TREE LOCATIONS:  
ALL TREES MUST BE A MINIMUM OF 10FT FROM HEADS & VALVES.

### IRRIGATION LEGEND

- 2" WATER METER— CPN 730081
- CONTROLLER IRRINET 16 STA. WITH STAINLESS STEEL INTERSPEC CABINET
- ▶ SPEARS SCH. 80 TRUE UNION BALL VALVE 2"  
PER C.O.A. STANDARD DWG. 2706
- ISOLATION VALVE— SPEARS SCH. 80 TRUE UNION BALL VALVE 2"  
PER C.O.A. STANDARD DWG. 2707
- ↳ RBPB (2" WILKENS 975—200 PER C.O.A. STANDARD DWG 2701 AND  
MASTER VALVE ASSEMBLY WITH FLOWMETER (2"  
WEATHERMATIC SERIES, SUBSTITUTING ARAD  
FLOWMETER FOR BERMAID PER C.O.A. STANDARD DWG.  
2701—A
- ♦ AUTOMATIC VALVE (WEATHERMATIC 21000 SERIES  
IN CARSON 1730 VALVE BOX PER C.O.A.  
STANDARD DWG. 2703 (SIZE AS PER PLAN)
- QUICK COUPLER
- ▲ RB 1400 SERIES BUBBLER .25 GPM— 3 PER TREE  
INSTALL PER C.O.A. STANDARD DWG. 2710
- RB 1400 SERIES BUBBLER .25 GPM— 1 PER SHRUB  
INSTALL PER C.O.A. STANDARD DWG. 2711

INSTALL ALL ROTORS PER C.O.A. STANDARD DWG. 2709

- 360° HUNTER I-20-360-3.0-SS ROTOR
- ◉ 180° HUNTER I-20-ADJ-3.0-SS ROTOR
- ◉ 90° HUNTER I-20-ADJ-3.0-SS ROTOR
- ⦿ 360° HUNTER I-20-360-2.0-SS ROTOR
- ⦿ 180° HUNTER I-20-ADJ-2.0-SS ROTOR
- ⦿ 90° HUNTER I-20-ADJ-2.0-SS ROTOR

— SCH. 40 PVC MASTERLINE

• — SCH. 40 PVC LATERAL

===== PVC SLEEVE

TWO SIZES LARGER THAN PIPE ENCLOSED

PIPE SIZES NOT SHOWN ARE 3/4"

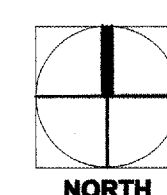
### IRRIGATION SCHEDULE

VALVE #	SIZE	SPRINKLER TYPE	FLOW RATE	PRECIPITATION RATE	MINUTES PER CYCLE
V-06	2"	BUBBLERS	53 GPM	.25 GPM (15 GAL/HR)	12 MINUTES
V-02 (A)	1.5"	ROTARY - PC	29.7 GPM	.4"/HOUR	45 MINUTES
V-03	1.5"	ROTARY - FC	36 GPM	.4"/HOUR	99 MINUTES
V-04	1.5"	ROTARY - FC	48 GPM	.4"/HOUR	99 MINUTES
V-05	1.5"	ROTARY - PC	42 GPM	.4"/HOUR	45 MINUTES
V-06	2"	BUBBLERS	53 GPM	.25 GPM (15 GAL/HR)	12 MINUTES
V-07 (B)	1"	ROTARY- FC	10 GPM	.4"/HOUR	99 MINUTES
V-08 (B)	1"	ROTARY- FC	14 GPM	.4"/HOUR	99 MINUTES
V-9	2"	ROTARY - PC	38 GPM	.4"/HOUR	45 MINUTES
V-10 (A)	2"	ROTARY - PC	34 GPM	.4"/HOUR	45 MINUTES

TOTAL RUNTIME WITH STATION GROUPING 7.6 HOURS  
TOTAL RUNTIME WITHOUT STATION GROUPING 10 HOURS

STATION RUN TIMES ARE CALCULATED TO APPLY 2/3" OF WATER ON TURF AREAS, 3 GALLONS OF WATER PER SHRUB AND 9 GALLONS OF WATER PER TREE/ PER CYCLE

PIPE SIZING CHART	
0-8 GPM	3/4" PIPE
9-12 GPM	1" PIPE
13-22 GPM	1-1/4" PIPE
23-30 GPM	1-1/2" PIPE
31-50 GPM	2" PIPE



# 1 IRRIGATION PLAN

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CITY ENGINEER APPROVAL CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT

THE TRAILS — OFFSITE IMPROVEMENT  
IRRIGATION AS BUILT

DESIGN REVIEW COMMITTEE				MO./DAY/YR.	MO./DAY/YR.
City Project No. 7300 89		Zone Map No. C-9-7	Sheet <b>7</b> Of <b>10</b>		

AS BUILT INFORMATION	DATE
CONTRACTOR <b>HEADS</b>	DATE
WORK	DATE
STARTED BY <b>Sun-Tek</b>	<b>5/10</b> DATE
ACCEPTANCE BY <b>SEC</b>	<b>5/10</b> DATE
FIELD	DATE
VERIFICATION BY <b>Sun-Tek</b>	<b>5/10</b> DATE
DRAWINGS	DATE
DESIGNED BY <b>Sun-Tek</b>	<b>5/10</b> DATE
RECORDED BY	DATE
NO.	

BENCH MARKS

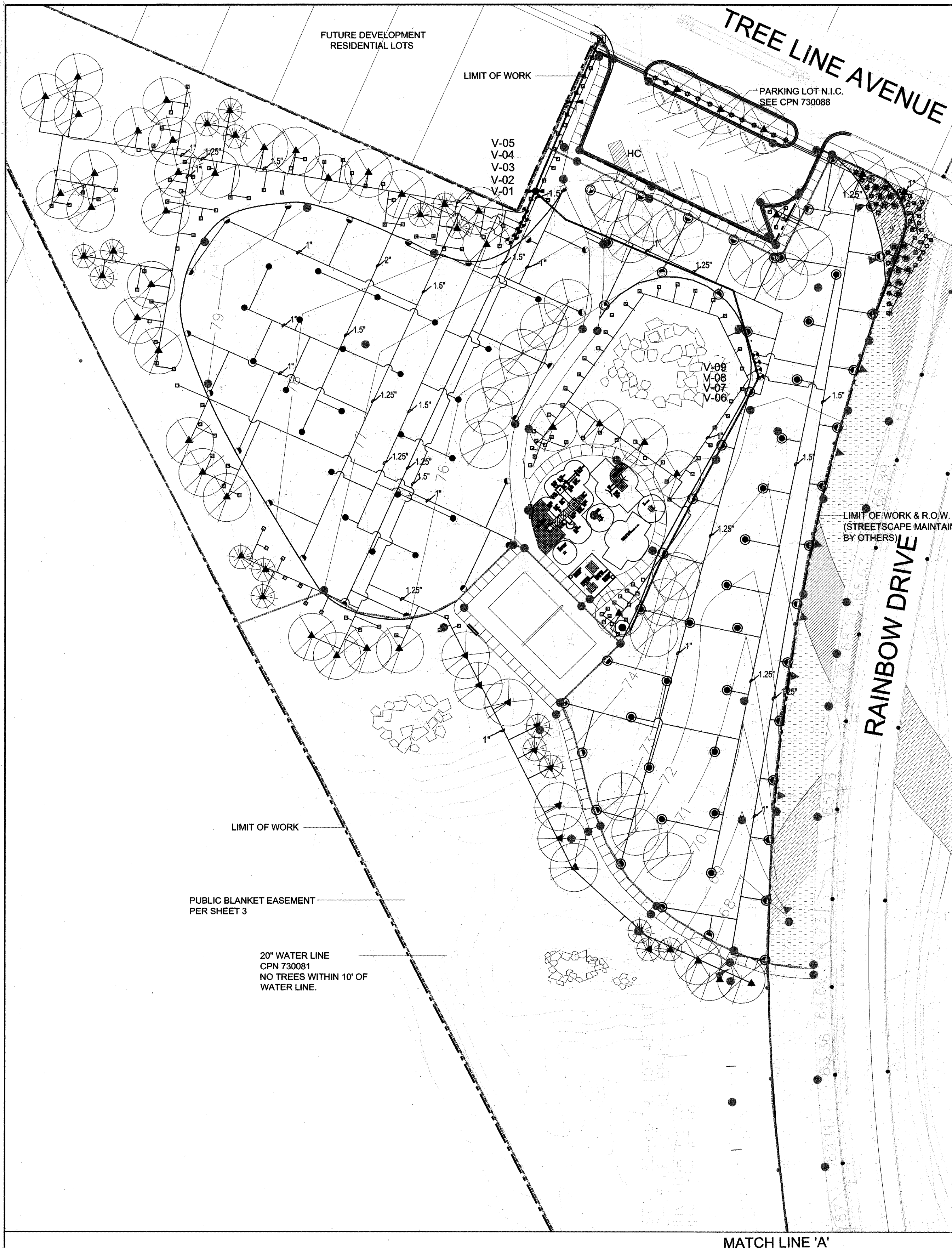
SURVEY INFORMATION

ENGINEER'S SEAL

NO.	DATE	REMARKS	BY
DESIGN			
DESIGNED BY	RIL	DATE	13.06
DRAWN BY	RIL	DATE	13.06



SCANNED  
BY *plu*



# 1 IRRIGATION PLAN

## IRRIGATION SCHEDULE

VALVE #	SIZE	SPRINKLER TYPE	FLOW RATE	PRECIPITATION RATE	MINUTES PER CYCLE
V-01 (A)	1.5"	ROTARY – FC	32.4 GPM	.4"/HOUR	99 MINUTES
V-02 (B)	1.5"	ROTARY – PC	27 GPM	.4"/HOUR	45 MINUTES
V-03 (B)	1.5"	ROTARY – PC	29.7 GPM	.4"/HOUR	45 MINUTES
V-04 (A)	1.5"	ROTARY – FC	29.7 GPM	.4"/HOUR	99 MINUTES
V-05 (C)	2"	BUBBLERS	48.75 GPM	.25 GPM (15 GAL/HR)	12 MINUTES
V-06	2"	ROTARY – PC	48 GPM	.4"/HOUR	45 MINUTES
V-07 (C)	1"	BUBBLERS	17.25	.25 GPM (15 GAL/HR)	12 MINUTES
V-08	2"	ROTARY – PC	40 GPM	.4"/HOUR	45 MINUTES
V-09	1.5"	ROTARY – FC	32 GPM	.4"/HOUR	99 MINUTES

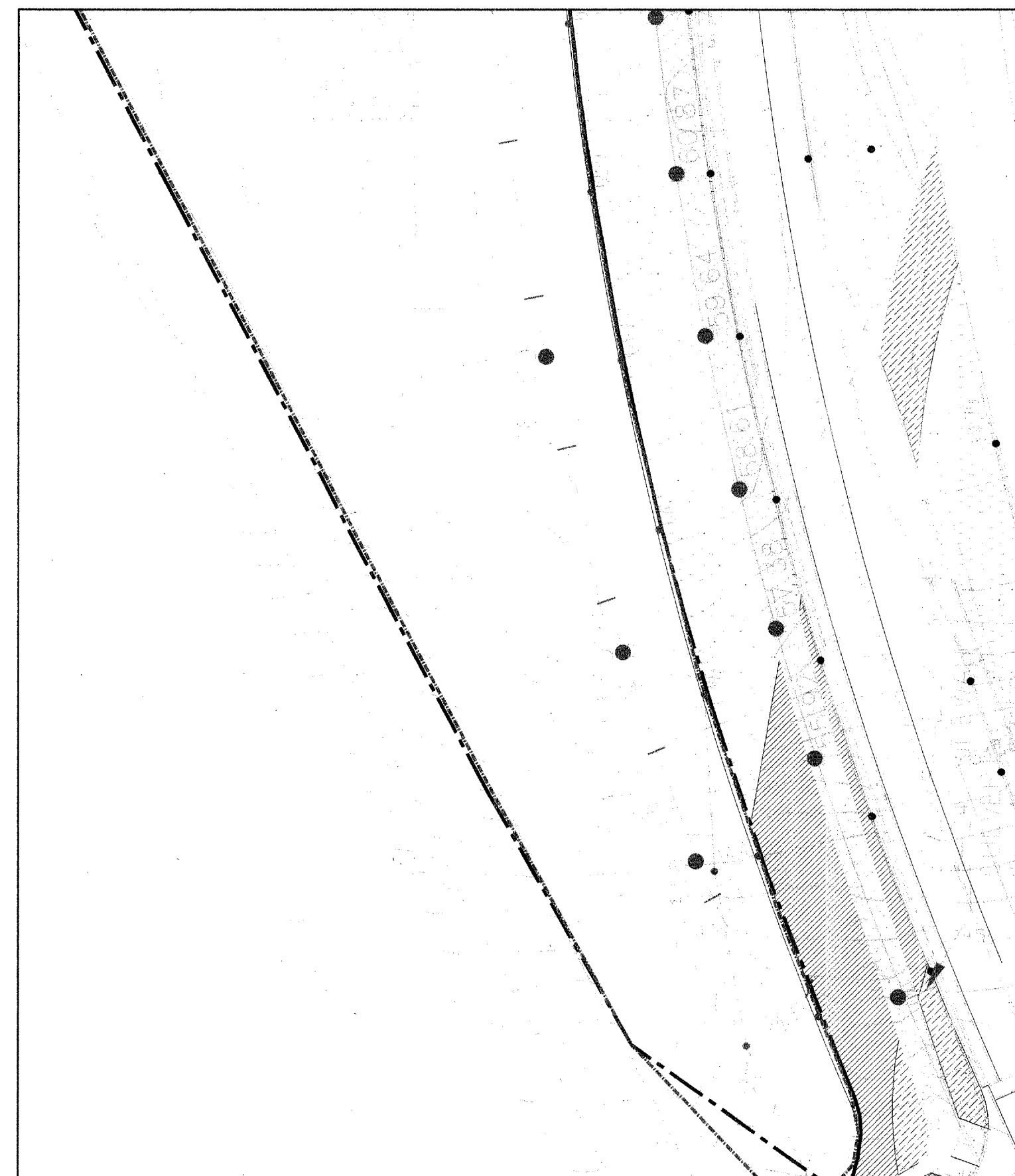
TOTAL RUNTIME WITH STATION GROUPING 5.75 HOURS  
TOTAL RUNTIME WITHOUT STATION GROUPING 8.35 HOURS

STATION RUN TIMES ARE CALCULATED TO APPLY 2/3" OF WATER ON TURF AREAS, 3 GALLONS OF WATER PER SHRUB AND 9 GALLONS OF WATER PER TREE/ PER CYCLE

## PIPE SIZING CHART

0-8 GPM	3/4" PIPE
9-12 GPM	1" PIPE
13-22 GPM	1-1/4" PIPE
23-30 GPM	1-1/2" PIPE
31-50 GPM	2" PIPE

MATCH LINE 'A'



### IRRIGATION LEGEND

- 2" WATER METER— CPN 730081  
 CONTROLLER IRRINET 16 STA. WITH STAINLESS STEEL INTERSPEC CABINET  
 SPEARS SCH. 80 TRUE UNION BALL VALVE 2"  
 PER C.O.A. STANDARD DWG. 2706  
 ISOLATION VALVE— SPEARS SCH. 80 TRUE UNION BALL VALVE 2"  
 PER C.O.A. STANDARD DWG. 2707  
 RBPB (2" WILKENS 975-200 PER C.O.A. STANDARD DWG 2701 AND  
 MASTER VALVE ASSEMBLY WITH FLOWMETER (2"  
 WEATHERMATIC SERIES, SUBSTITUTING ARAD  
 FLOWMETER FOR BERMAD PER C.O.A. STANDARD DWG.  
 2701-A  
 AUTOMATIC VALVE (WEATHERMATIC 21000 SERIES  
 IN CARSON 1730 VALVE BOX PER C.O.A.  
 STANDARD DWG. 2703 (SIZE AS PER PLAN)  
 QUICK COUPLER  
 RB 1400 SERIES BUBBLER .25 GPM- 3 PER TREE  
 INSTALL PER C.O.A. STANDARD DWG. 2710  
 RB 1400 SERIES BUBBLER .25 GPM- 1 PER SHRUB  
 INSTALL PER C.O.A. STANDARD DWG. 2711  
 INSTALL ALL ROTORS PER C.O.A. STANDARD DWG. 2709  
 360° HUNTER I-20-360-3.0- SS ROTOR  
 180° HUNTER I-20-ADJ-3.0-SS ROTOR  
 90° HUNTER I-20-ADJ-3.0-SS ROTOR  
 360° HUNTER I-20-360-2.0-SS ROTOR  
 180° HUNTER I-20-ADJ-2.0-SS ROTOR  
 90° HUNTER I-20-ADJ-2.0-SS ROTOR

- SCH. 40 PVC MASTERLINE  
 — SCH. 40 PVC LATERAL  
 == PVC SLEEVE  
 TWO SIZES LARGER THAN PIPE ENCLOSED  
 PIPE SIZES NOT SHOWN ARE 3/4"
- NOTES:

1. MINIMUM WATER PRESSURE:  
THIS IRRIGATION SYSTEM REQUIRES A MINIMUM DYNAMIC WATER PRESSURE AT THE CITY WATER METER OF 90 PSI @ 95GPM. THE CONTRACTOR SHALL VERIFY THIS CONDITION PRIOR TO INSTALLING ANY IRRIGATION COMPONENTS. IF PRESSURE IS LESS THAN 90 PSI THE CONTRACTOR SHALL INSTALL A BOOSTER PUMP.
2. SPRINKLER STAKING:  
THE SPRINKLER LOCATIONS SHALL BE PRECISELY LOCATED BY THE USE OF SURVEY GRADE GPS EQUIPMENT OR CONVENTIONAL SURVEY METHODS.
3. CERTIFIED LANDSCAPE IRRIGATION AUDIT:  
THE CONTRACTOR SHALL INSTALL ALL SPRINKLER HEADS WITH THE SPECIFIED NOZZLES AND ADJUST ALL PRESSURE REGULATORS SO THAT THE LAST SPRINKLER (FURTHEST FROM VALVE) ON EACH ZONE IS OPERATING AT 50 PSI. THE CONTRACTOR SHALL ADJUST ALL SPRINKLER ARCS SO THAT OVERSPRAY ONTO HARDSCAPE IS MINIMIZED. PRIOR TO THE INSTALLATION OF SEED, SOD OR TREES, THE CONTRACTOR SHALL HIRE A CERTIFIED LANDSCAPE IRRIGATION AUDITOR TO PERFORM AN IRRIGATION AUDIT OF THE ROTARY SPRINKLER SYSTEM. THE AUDIT RESULTS SHALL MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE CITY OF ALBUQUERQUE'S WASTEWATER ORDINANCE BEFORE PLANTING. THE RESULTS SHALL BE PRESENTED IN WRITING TO THE IRRIGATION CONSULTANT. THE COSTS OF THESE SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. SPECIFICATIONS AND DETAIL DRAWINGS:  
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ALL TREES MUST BE A MINIMUM OF 10FT FROM HEADS & VALVES.

*Growing  
Better* **Up**  
**Heads**

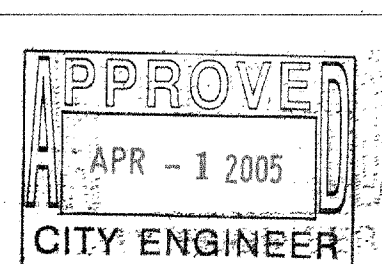
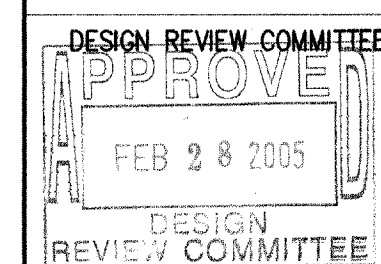
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CITY ENGINEER APPROVAL

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT

THE TRAILS – OFFSITE IMPROVEMENT  
IRRIGATION PLAN

CONTRACTOR <b>Hanks Up</b>		FIELD NOTES			
WORK STARTED BY <b>Sam-Tek</b>	DATE <b>6/94</b>	NO.	BY	DATE	
INSPECTOR'S FIELD DISTANCE BY <b>600</b>	DATE <b>5/94</b>				
VERIFICATION BY <b>Sam-Tek</b>	DATE <b>6/94</b>				
DRAWING PROVIDED BY <b>Sam-Tek</b>	DATE <b>5/94</b>				
<b>MICRO-FILM INFORMATION</b>					
RECORDED BY	DATE				
NO.					

STATE OF NEW MEXICO  
DEPARTMENT OF TRANSPORTATION  
JOHN BULLIS, RAIL  
FEB 28 1994  
LANDSCAPE

NO.	DATE	REMARKS	BY		
DESIGN					
DESIGNED BY	RIL	DATE	12/21/04		
DRAWN BY	RIL	DATE	12/21/04		
CHECKED BY	JGB	DATE	12/21/04		

PROJECT

STATEMENT

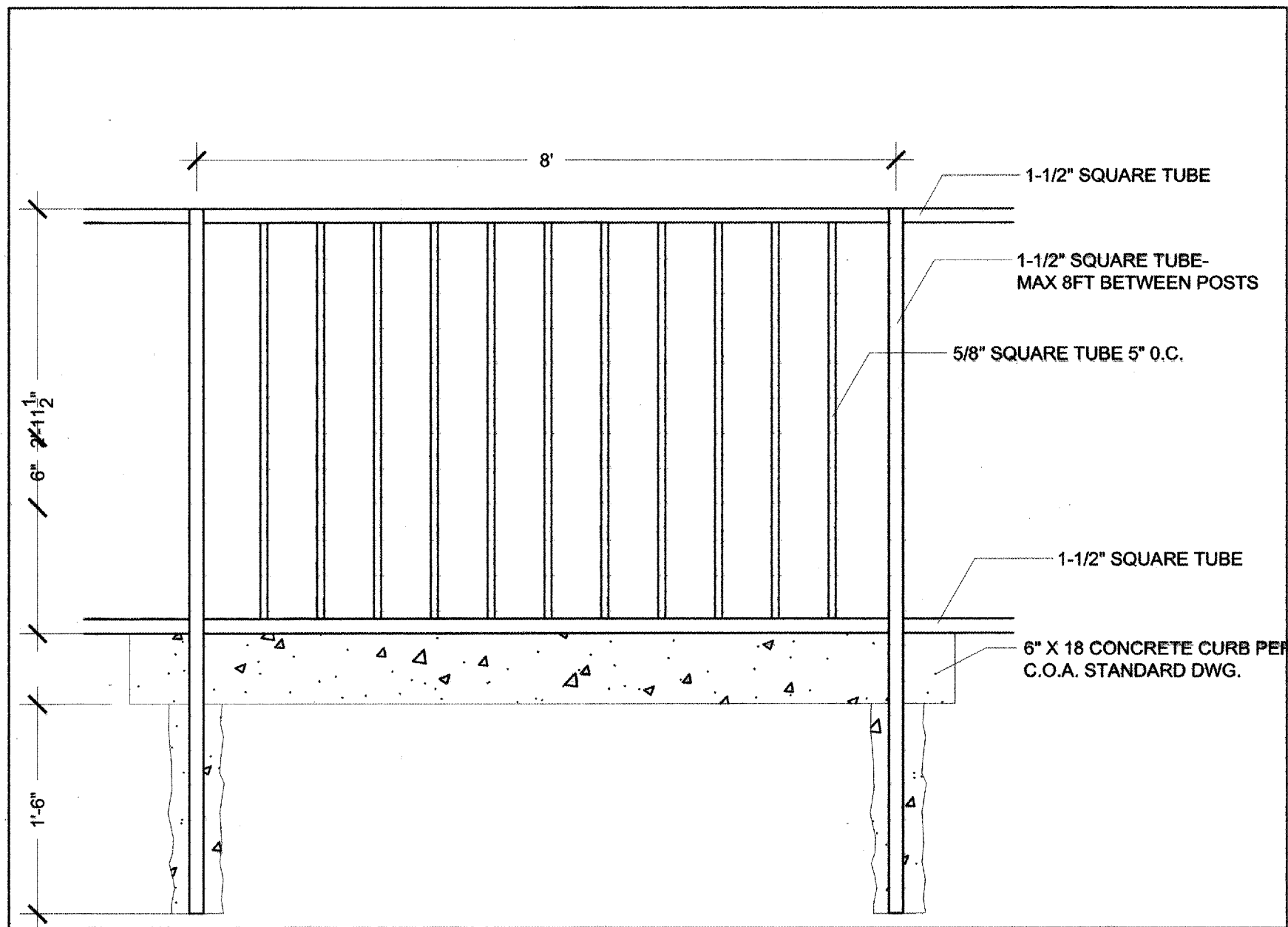
NO./DAY/YR.

NO./DAY/YR.

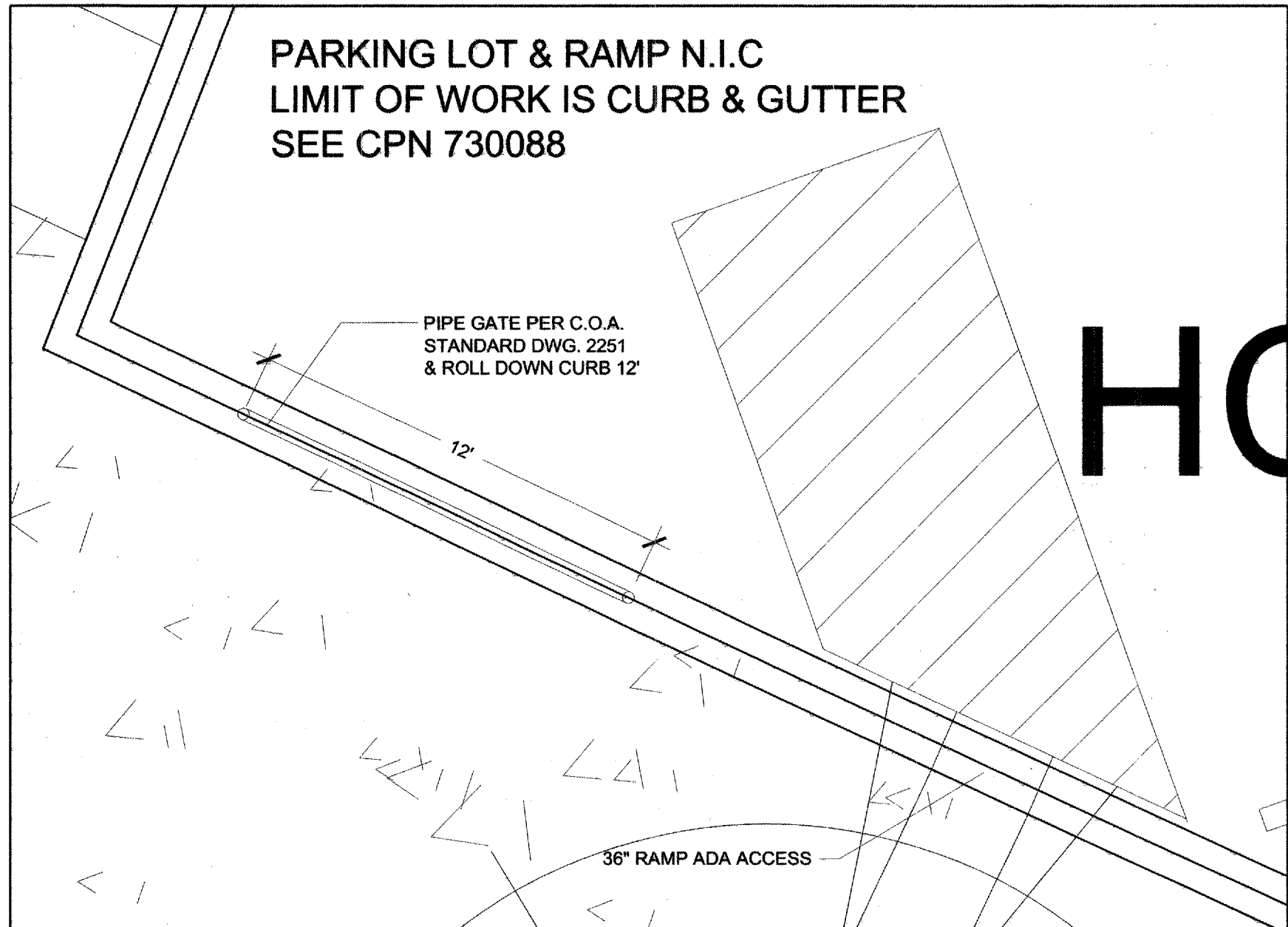
Sheet **7** Of **10**

NO./DAY/YR.

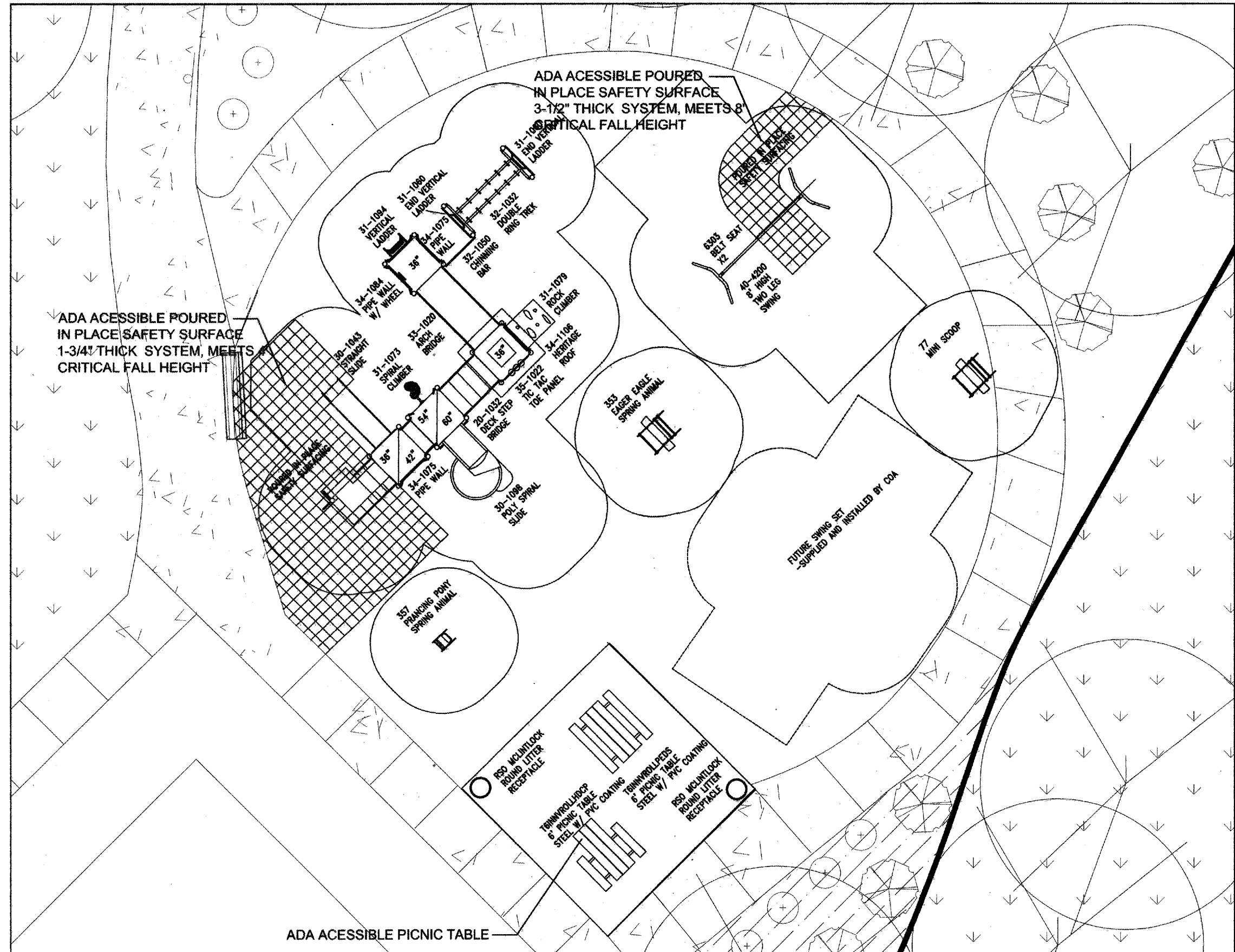




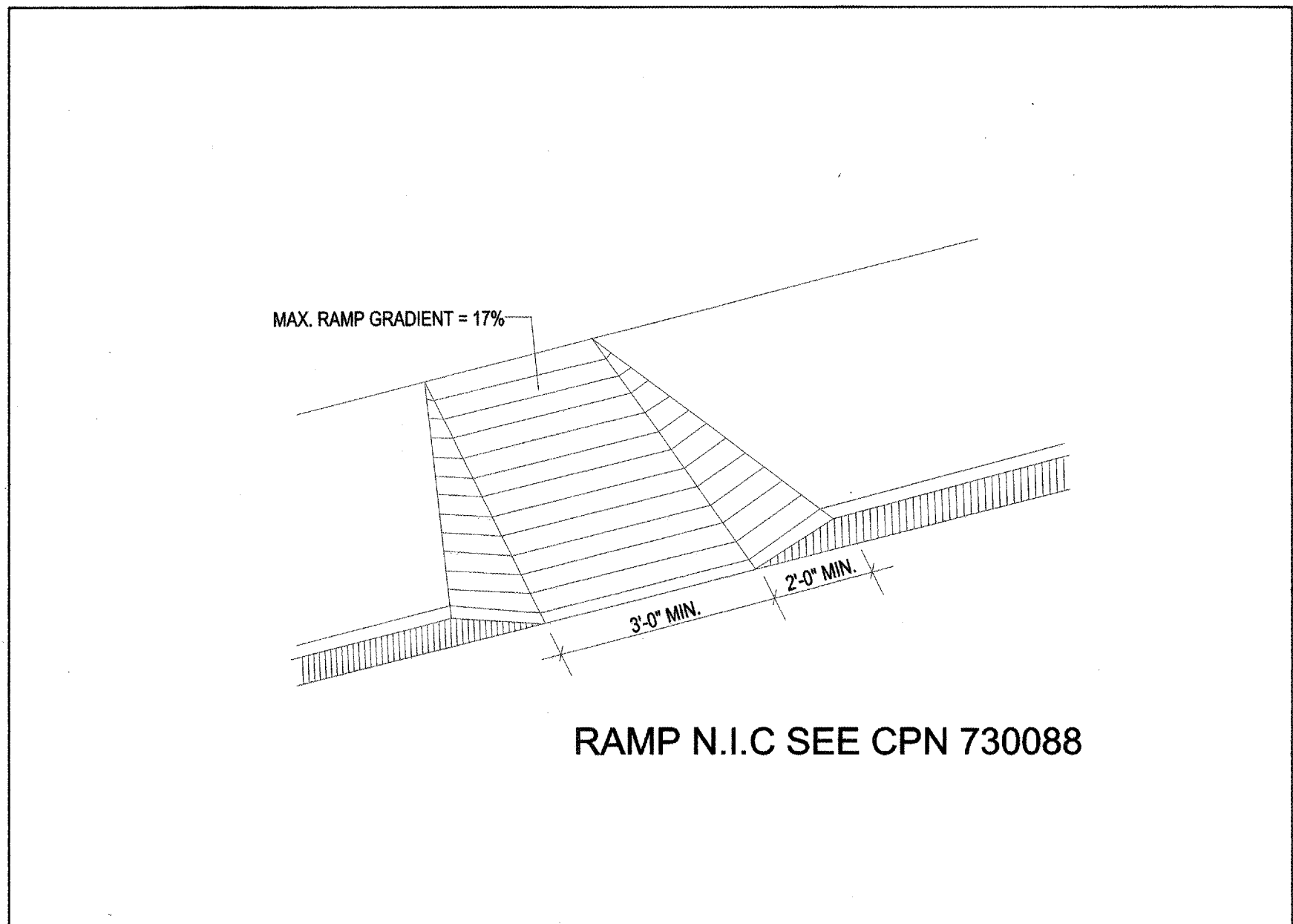
**1 WROUGHT IRON FENCE**  
N.T.S.



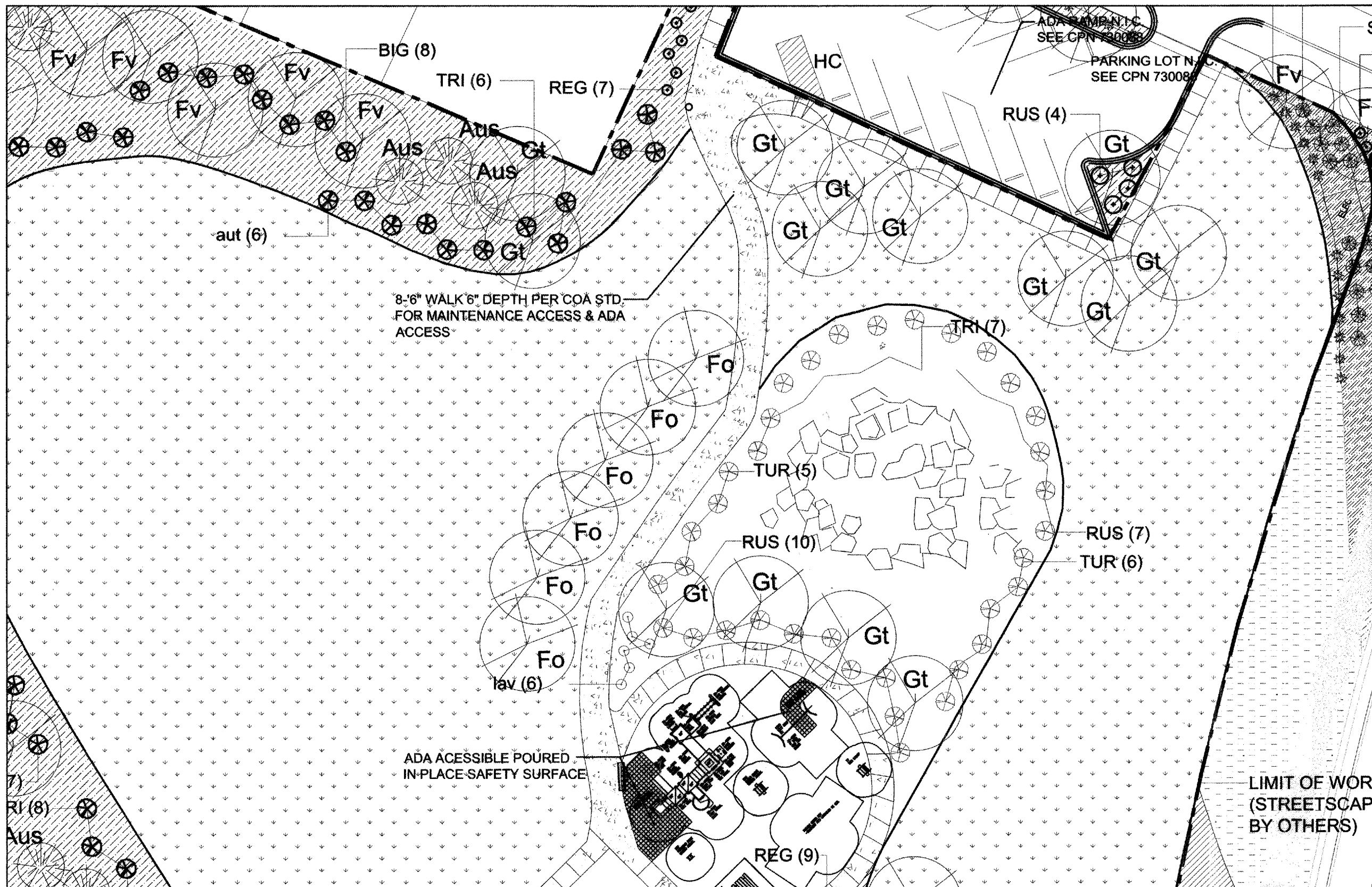
**2 ENLARGED PIPE GATE & SIDEWALK ACCESS**  
1/4"=1'-0"



**3 ENLARGED PLAY AREA**  
1"=10'-0"



**4 ADA RAMP DETAIL**  
N.T.S.



**5 ADA PARK ACCESS**  
N.T.S.

**Growing Better Heads Up**  
LANDSCAPE CONTRACTORS  
www.headsuplandscape.com  
7525 Second NW  
Albuquerque, NM 87107  
505.898.9615  
505.898.2105 (fax)

CITY ENGINEER APPROVAL  
CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
TRANSPORTATION DEVELOPMENT

THE TRAILS - OFFSITE IMPROVEMENT  
DETAIL SHEET

DESIGN REVIEW COMMITTEE  
**APPROVED**  
FEB 28 2005  
DESIGN REVIEW COMMITTEE

**APPROVED**  
APR 1 2005  
CITY ENGINEER

City Project No.  
7300.89

Zone Map No.  
C-9-Z

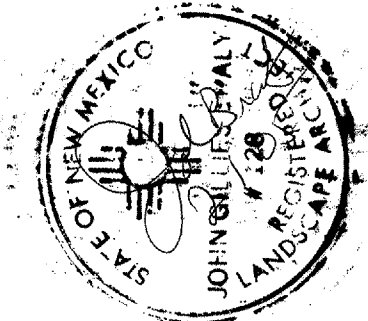
Sheet **8** Of **10**

AS BUILT INFORMATION			
CONTRACTOR	Heads Up	DATE	06/04/05
INSPECTED BY	Don Tek	DATE	06/04/05
REVIEWED BY	Don Tek	DATE	06/04/05
VERIFICATION BY	Don Tek	DATE	06/04/05
CORRECTED BY	Don Tek	DATE	06/04/05
MICRO-FILM INFORMATION			
RECORDED BY		DATE	
NO.			

BENCH MARKS

SURVEY INFORMATION  
FIELD NOTES  
NO. BY DATE

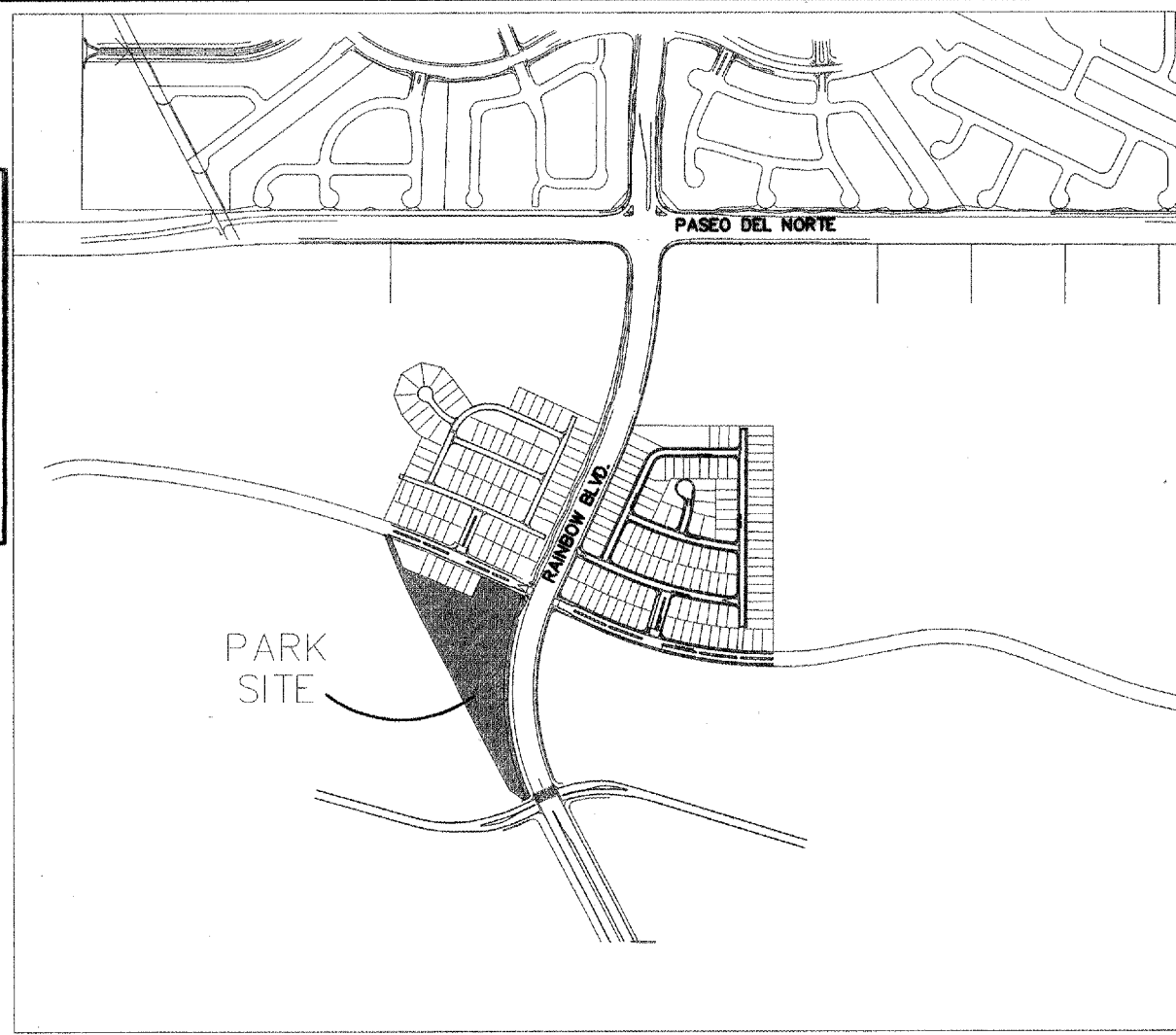
ENGINEER'S SEAL



REMARKS		BY	
NO.	DATE	NO.	DATE
DESIGNED BY	RIL	DATE	12/21/04
DRAWN BY	RIL	DATE	12/21/04
CHECKED BY	JGB	DATE	12/21/04



SCANNED BY *RU*



ZONE ATLAS MAP = C-9-Z

DRAINAGE PLAN:

LEGAL DESCRIPTION: TRACT E, THE TRAILS SUBDIVISION

SITE AREA: 6.16 ACRES

BENCHMARK: ACS BRASS TABLET STAMPED "2-B10" 1980  
SLD 1929 ELEVATION = 5429.35

FLOOD HAZARD STATEMENT: F.E.M.A. FLOODWAY BOUNDARY AND FLOODWAY MAP DATED NOVEMBER 19, 2003 (PANEL NO. 350001C0111E) INDICATES A FLOOD HAZARD ZONE X WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

EXISTING DRAINAGE CONDITIONS:

THE PROPERTY IS LOCATED ON RAINBOW BOULEVARD SOUTH OF TREE LINE AVENUE. THE PROPERTY DRAINS FROM NORTHWEST TO SOUTHEAST. OFFSITE FLOWS FROM THE WEST DRAINS TO THE PROPERTY AT THE NORTH END OF THE SITE.

THE DRAINAGE ANALYSIS FOR THIS SITE IS IN ACCORDANCE WITH THE CITY OF RIO RANCHO DRAINAGE POLICY WHICH FOLLOWS THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL SECTION 22.2, HYDROLOGY. THE PROPERTY IS LOCATED IN ZONE 1. THE 100-YEAR, 6-HOUR STORM IS 2.20 INCHES. UNDER EXISTING CONDITIONS THE PROPERTY IS ALL LAND TREATMENT A.

DEVELOPED DRAINAGE CONDITIONS:

THE DRAINAGE PLAN FOR THE SITE INCLUDES PROVIDING A TEMPORARY RETENTION POND TO COLLECT THE OFFSITE RUNOFF FROM THE WEST. THIS TEMPORARY POND WILL BE REMOVED ONCE THE TRACT TO THE NORTH IS DEVELOPED BY LONGFORD HOMES AND A DRAINAGE SYSTEM IS CONSTRUCTED TO DIVERT THE FLOWS AWAY FROM THIS SITE. BASIN 2 INCLUDES THE TURF AREAS, PLAY AREA, AND WALKING PATHS. RUNOFF FROM BASIN 2 IS COLLECTED IN A SWALE AND IS DISCHARGED THROUGH 2-12" CULVERTS UNDER THE WALKING PATH ON SITE TO THE SWALE IN BASIN 1. BASIN 1 INCLUDES THE SOUTHERN PART OF THE SITE, WHICH IS MOSTLY UNDEVELOPED. RUNOFF FROM BASIN 1 AND BASIN 2 IS COLLECTED IN A SWALE, WITH ROCK CHECK DAMS EVERY 50 FEET TO REDUCE EROSION, AND DISCHARGED THROUGH 3-24" SIDEWALK CULVERTS TO WOODMONT ROAD DIRECTLY SOUTH OF THE SITE. RUNOFF FROM WOODMONT ROAD DRAINS EAST TO AN INTERIM RETENTION POND SOUTH OF HERITAGE AT THE TRAILS SUBDIVISION. BASIN 3 INCLUDES THE PARKING AREA ALONG TREE LINE AVENUE. BASIN 3 DRAINS TO TREELINE AVENUE IN SANTA FE AT THE TRAILS SUBDIVISION.

APPROVED FOR ROUGH GRADING

SIGNATURE

DATE

NOTICE TO CONTRACTOR

AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.

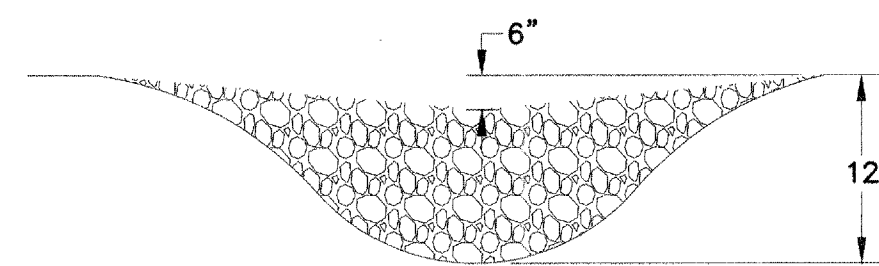
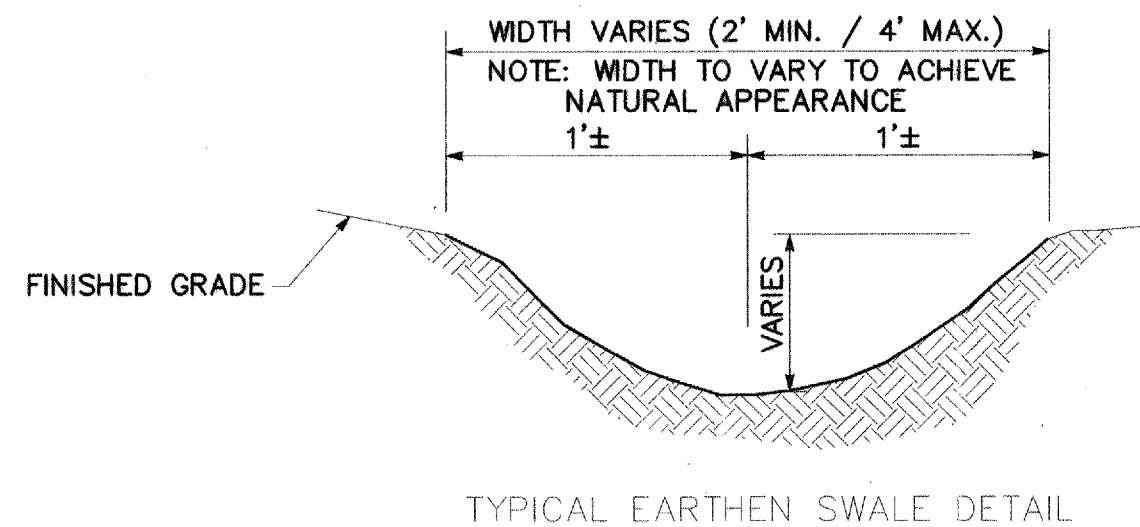
MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME:	DATE:
INSPECTOR		

100-YEAR HYDROLOGIC CALCULATIONS

BASIN ID	AREA (ac.)	LAND TREATMENT				V (24-hr)	V (10-day)	Q (cfs)
		A	B	C	D			
EXISTING CONDITIONS								
EXISTING	6.16	6.16	-	-	0.227		7.94	
OFF-SITE	3.83	3.83	-	-	0.140	0.140	4.94	
PROPOSED CONDITIONS								
1	2.36	2.01	0.21		0.14	0.113	3.63	
2	3.62	1.43	1.94	0.19	0.186	0.186	4.67	
3	0.18				0.18	0.030	0.23	

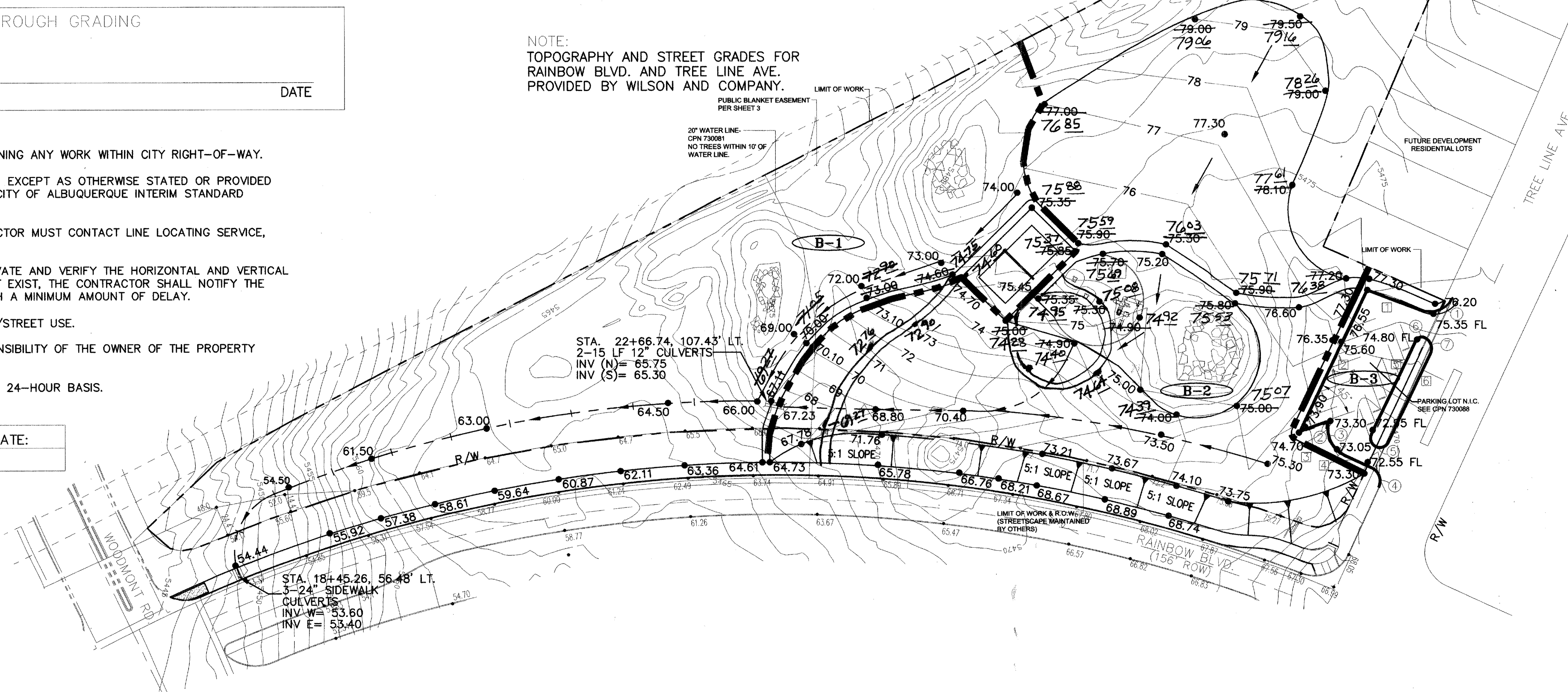


SWALE W/ROCK CHECK DAM  
NTS

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED EARTHEN SWALE
- PROPOSED EARTHEN SWALE W/ROCK CHECK DAM @ 50' INTERVALS
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLOW DIRECTION
- PROPOSED BASINS
- PROPOSED BASIN NUMBER

NOTE:  
TOPOGRAPHY AND STREET GRADES FOR  
RAINBOW BLVD. AND TREE LINE AVE.  
PROVIDED BY WILSON AND COMPANY.



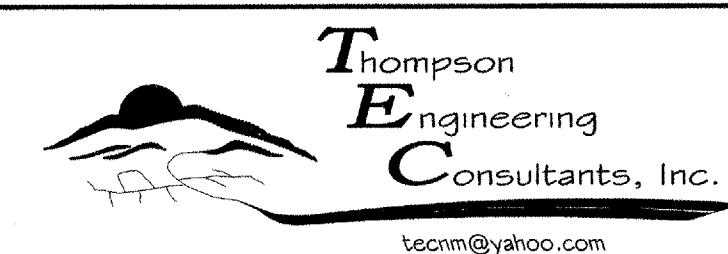
SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, Hereby Certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

*Russ P. Hugg*  
Russ P. Hugg  
NMPS No. 9750  
1-10-2006



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS		DESIGN		CITY OF ALBUQUERQUE	
CONTRACTOR	Heads of	NO.	DATE	FIELD NOTES	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORK	STARTED BY	DATE	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE
ACCEPTANCE	BY	DATE	DATE										
FIELD	DATE	DATE	DATE										
DRAINING	DATE	DATE	DATE										
CORRECTED BY	DATE	DATE	DATE										
MICRO-FILM	DATE	DATE	DATE										
INFORMATION	DATE	DATE	DATE										
NO.	DATE	DATE	DATE										



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT	
THE TRAILS - OFFSITE IMPROVEMENT GRADING PLAN	
DESIGN REVIEW COMMITTEE APPROVE FEB 28 2005 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVE APR - 1 2005 CITY ENGINEER
City Project No. 7300.89	Zone Map No. C-9-Z
Sheet 9	Of 10



## MATERIALS KEYED NOTES

- 

## MATERIALS LEGEND

- 

<div style="text-align: center;"> <i>Growing Better</i>  <b>Up</b>  <b>Heads</b> </div> <div style="text-align: center; margin-top: 10px;"> <b>LANDSCAPE CONTRACTORS</b>  <b>www.headsuplandscape.com</b>  <b>7525 Second NW</b>  <b>Albuquerque, NM 87107</b>  <b>505.898.9615</b>  <b>505.898.2105 (fax)</b> </div>		REV	DES	DESIGNED BY	RIL	DRAWN BY	CHECKED BY	JOB
		NO.	DATE	RIL	BY	BY	BY	BY
CITY ENGINEER APPROVAL	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TRANSPORTATION DEVELOPMENT  THE TRAILS - OFFSITE IMPROVEMENT LANDSCAPE PLAN W. GRADING OVERLAY							

**APPROVED**  
 DESIGN REVIEW COMMITTEE  
 FEB 28 2005

REVIEWED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 COMMITTEE

**APPROVE**  
 APR - 1 2005

CITY ENGINEER

MO./DAY/YR.	MO./DAY/YR.

City Project No.  
 7300.89

Zone Map No.  
 C-9-Z

Sheet **10** Of **10**