

PUBLIC IMPROVEMENT PLANS

FOR

OVERTURE ANDALUCIA

COORS BLVD, MIRANDELA ST. & ANTEQUERA RD.

IMPROVEMENTS

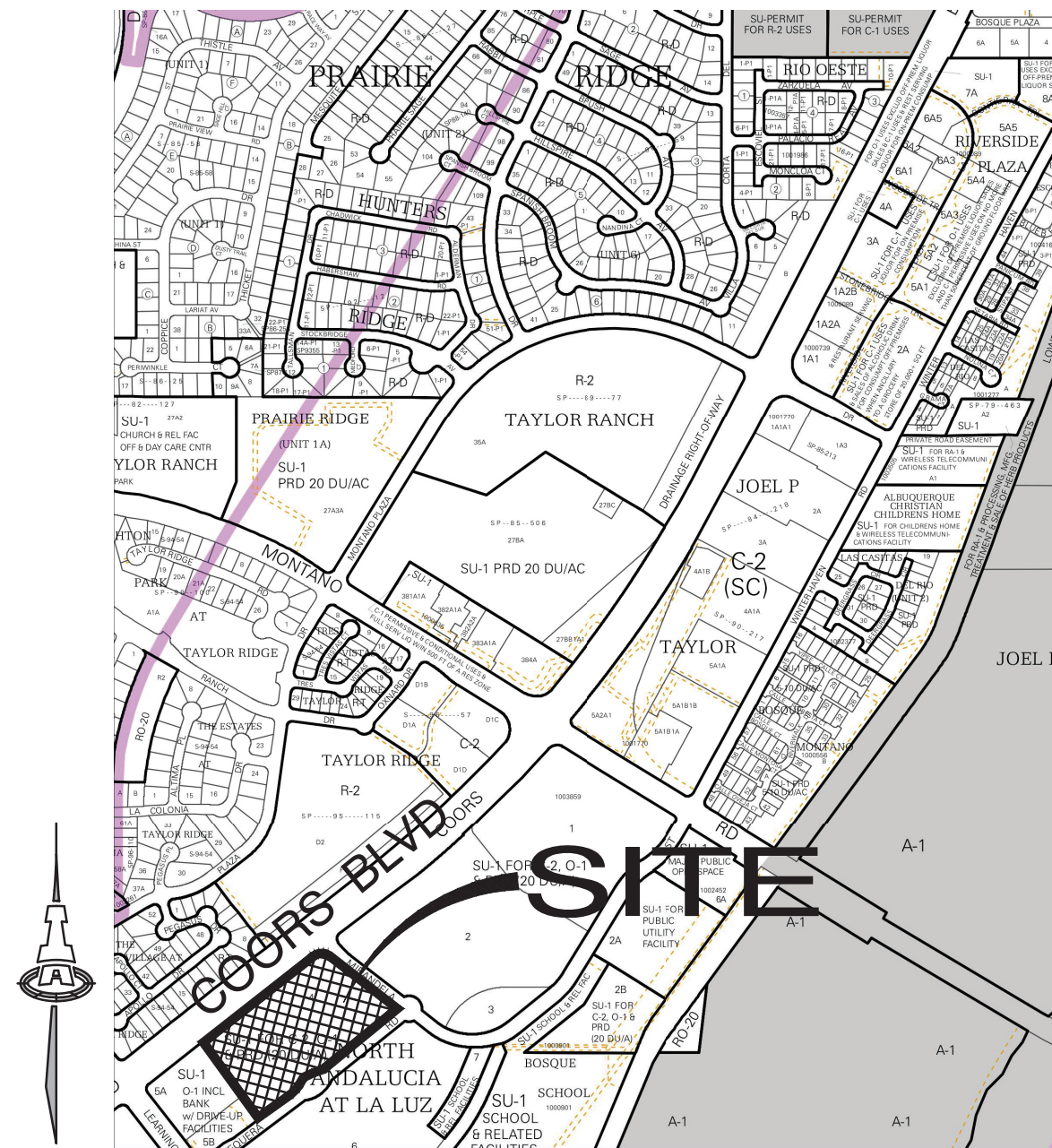
ALBUQUERQUE, NEW MEXICO

NOVEMBER 2021

PREPARED FOR:  
GREYSTAR DEVELOPMENT GROUP LP  
1717 W. 6TH ST, SUITE 262  
AUSTIN TX. 78703

PREPARED BY:  
ISAACSON & ARFMAN, INC.  
(PROJECT ENGINEER)  
128 MONROE ST. NE  
ALBUQUERQUE, NM 87108

APPROVED RECORD DRAWINGS	
City Inspector	Tim Sims
Contractor	Pavilion Construction
Construction Engineer	David Bishop
Date	2/25/2025



E-12

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION, AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- CONTRACTOR SHALL NOTIFY THE CITY ENGINEER (OR PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
- EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL THEN EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL THEN COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED. ANY DAMAGE CAUSED BY FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY EXISTING UTILITIES IS THE FULL RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS SHOWN. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY SUCH COSTS INCURRED.
- MATERIAL REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER & SEWER

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.
- MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY FOURTEEN (14) DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
- PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6"-48").
- ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.
- ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #9. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 5" POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
- TRACER WIRE SHALL BE INCLUDED FOR ALL PUBLIC WATER AND SEWER MAINS AND FOR WATER SERVICES IN ACCORDANCE WITH WATER AUTHORITY STANDARD DRAWINGS 2190, 2191, 2302, & 2303.
- CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE WU INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
- AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.
- ALL DESIGNS AND CONSTRUCTION OF ANY UNDERGROUND UTILITIES SHALL COMPLY WITH ADMINISTRATIVE INSTRUCTION NO. 9 FOR WORK NEARBY OR AFFECTING SAN JUAN CHAMA TRANSMISSION LINES AND APPURTENANCES. INFORMATION SHALL BE PROVIDED TO THE WATER AUTHORITY ONE (1) MONTH IN ADVANCE OF THE CONSTRUCTION START DATE. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEEDURES.ASPX](http://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
- REFER TO ABCWUA'S WATER AND SANITARY SEWER AVAILABILITY STATEMENT #200620 DATED 8/20/2020 FOR ADDITIONAL SERVICE INFORMATION AND REQUIREMENTS.

TRANSPORTATION

- ANY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH THERMO-PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

- CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
- THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
- CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE PROJECT ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
- AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS. PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
- CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW OUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION (ANTEQUERA STREET = LOCAL URBAN STREET).

OTHER COMMON NOTES

- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- WHEN DISTURBING MORE THAN ¼ ACRES, CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- IN ADVANCE OF CONSTRUCTION, CONTRACTOR SHALL DETERMINE IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR IS TO SUPPORT, PROTECT, AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND

UNSUITABLE MATERIAL SHALL BE ARRANGED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH OBTAINING A DISPOSAL SITE AND HAUL THERETO.

- IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT (505) 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT (505) 827-6320.

GENERAL NOTES USED SELECTIVELY, BASED ON SCOPE OF WORK:

- TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROPOSED PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING A DETOUR, OR CAUSE THE CLOSING OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS GOFF, OFFICE PHONE: 505-724-3137, CELL PHONE: 505-206-0151, AND E-MAIL: [DGOFF@CABQ.GOV](mailto:DGOFF@CABQ.GOV).
- STREET NAME SIGNS, REGULATORY SIGNAGE, AND ANY NECESSARY STRIPING ON PRIVATE STREETS ARE THE DEVELOPER'S/OWNER'S RESPONSIBILITY.
- IN ALL AREAS WHERE PUBLIC STREETS OR INFRASTRUCTURE ARE TO BE CONSTRUCTED OVER FILLS, THE GEOTECHNICAL ENGINEER SHALL CERTIFY THAT PLACEMENT, COMPACTION, AND ALL OTHER WORK HAS BEEN COMPLETED IN ACCORDANCE WITH COA SPECIFICATION SECTION 204. SAID CERTIFICATION, ALONG WITH SUPPORTING TESTING DOCUMENTATION, SHALL BE PROVIDED TO THE CONSTRUCTION ENGINEER PRIOR TO OR AT THE PRE-CONSTRUCTION CONFERENCE BEFORE WORK ORDER CONSTRUCTION.

I, Ian M N Anderson, NMPE#26441, of the firm Isaacson & Arfman, Inc., a licensed professional engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as a part of this project has been inspected by me or by a qualified person and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted on the record drawings. This certification is based on the inspections conducted on 3/15/23 and as-built survey performed by David R. Vigil NMPS No. 8911, on 10/3/22.

*I-MN Anderson*  
Ian M N Anderson  
3/25/23  
Date

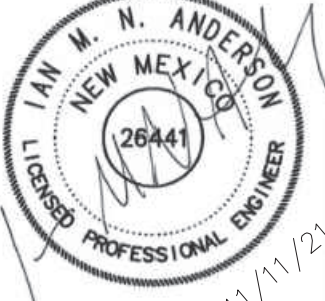



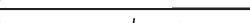



DRB NO. 2020-003658

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants

128 Monroe Street NE  
Albuquerque, NM 87108  
505-268-8828 | [www.iacivil.com](http://www.iacivil.com)



REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION				
		DRC Chairman		11/29/2021	 3/23/2022 City Engineer _____ Date _____				
		Transportation		11/17/2021					
		ABCWUA		11/23/21					
		Hydrology		11/17/21					
City Project No.		730880			Sheet 1 of 7				



TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following: 1012-062613183101

CIP-GREP Overture Andaluia LLC

*Nic R* 10/21/21 Date

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PSC") a New Mexico corporation (PSC Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
  - New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and related gas services, facilities reasonably necessary to provide natural gas services.
  - Quest for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
  - Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide television services.
- Included, is the right to build, repair, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right to install, maintain, repair, replace, modify, renew, operate and maintain the facilities for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, or pool (aboveground or structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be responsible for maintaining and repairing any structures adjacent to or near easements shown on this plat.
- Easements for electric transformer/switchgears as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

approving this plat, Public Service Company of New Mexico (PSC) and New Mexico Gas Company (NMGCO) did not conduct a Title Search of the properties shown hereon. Consequently, PSC and NMGCO do not waive or release any easement or easements shown on this plat, and which are not shown on this plat.

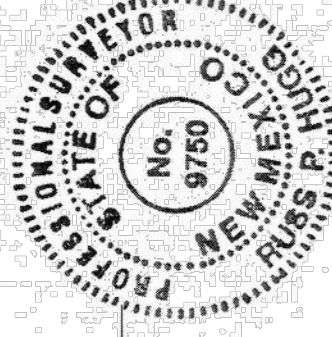
PURPOSE OF PLAT

The purpose of this plat is to:

- Reconfigure the existing right of way line along Antequera Road previously constructed.
- Show the location of Antequera Road right of way. Vacated by DRB-301-2021-00040.
- Dedicate additional public street right of way for Antequera Road N.W. as shown hereon.

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision, that it meets the requirements of the Statute for Professional Engineers and Professional Surveyors, that it meets the minimum requirements for surveys and monumentation as set forth in the Statute, and that it is true and correct to the best of my knowledge and belief.



Russ P. Hugg  
N.M.P.S. No. 9750  
January 20, 2021

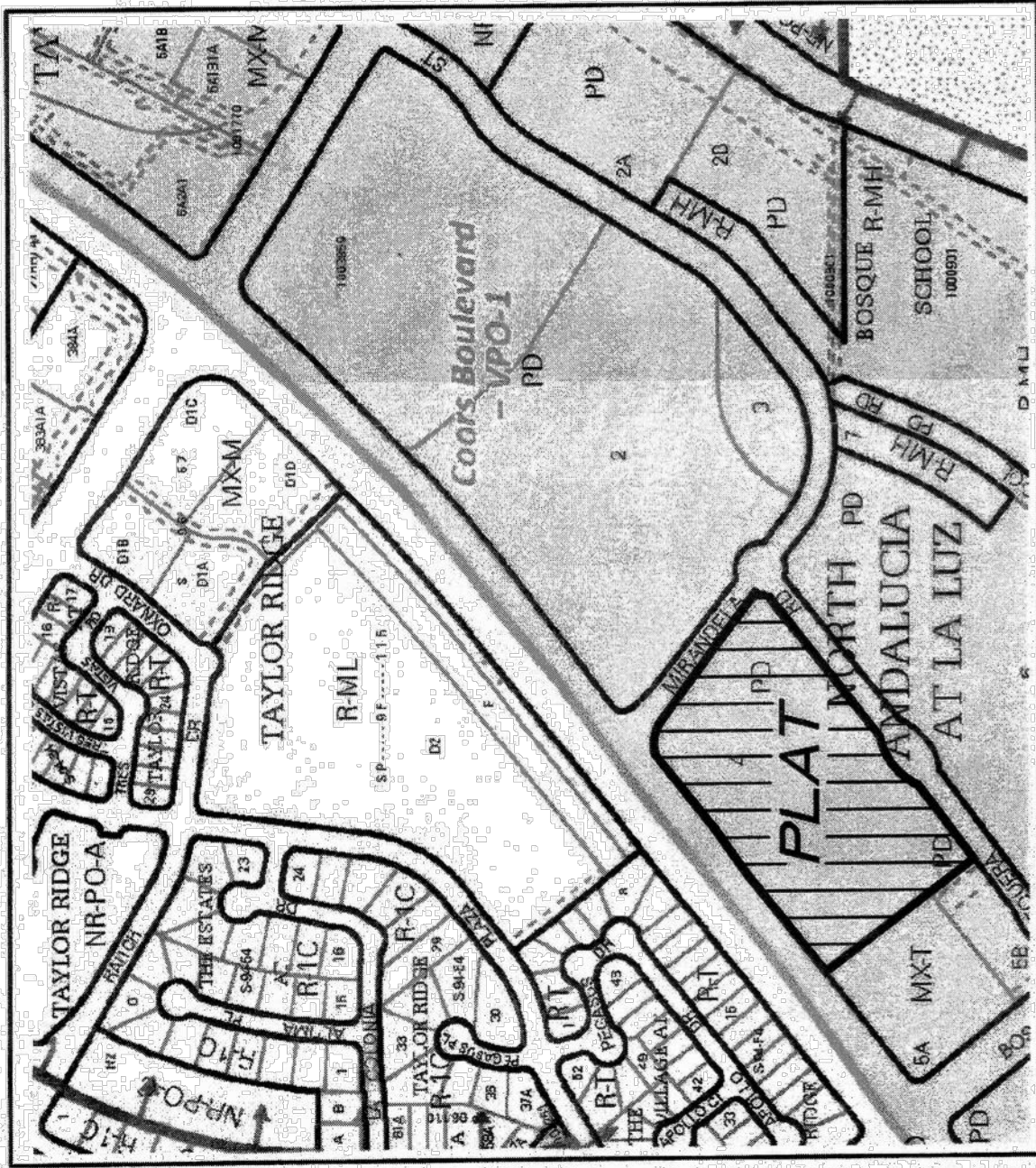
210001, DWG

SHEET 1 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
P.O. Box 6866, Albuquerque, New Mexico 87114

Phone: 505-300-4792



VICINITY MAP  
Not to Scale

GENERAL NOTES

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page E-12.

SUBDIVISION DATA

- Total number of existing Tracts: 1
- Total number of Tracts created: 1
- Public Street right of way. Dedicated by this plat 0.0222 Ac.
- Public Street right of way. Vacated by this plat 0.0168 Ac.
- Gross Subdivision acreage: 7.7061 acres.

DOCUMENTS USED IN THE PREPARATION ON THIS SURVEY:

- Plat entitled "PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the Office of the County Clerk, Bernalillo County, New Mexico on October 13, 2005 in Plat Book 2005C, Page 342.

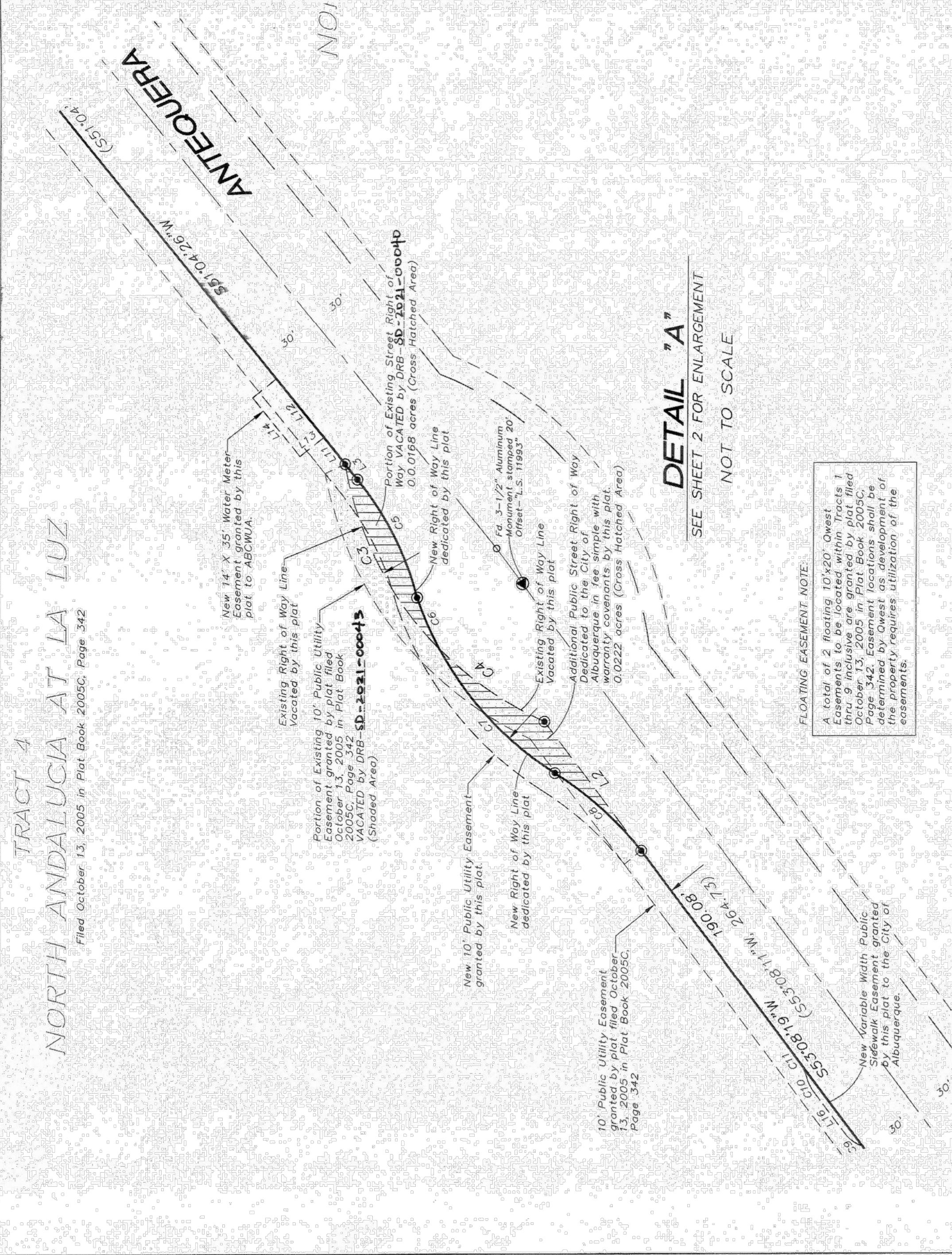
LEGAL DESCRIPTION

That certain parcel of land, situate within the Town of Albuquerque, Bernalillo County, New Mexico, and comprising all of the North and South Ranges, East, New Mexico, Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising All of Tract 4, North Andaluia at La Luz as the same is shown and designated on the plat entitled "PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO" filed in the Office of the County Clerk, Bernalillo County, New Mexico on October 13, 2005 in Plat Book 2005C, Page 342.

FLOOD ZONE DETERMINATION

The subject property lies within a Zone X (Areas determined to be outside the 0.2% annual chance floodplain) as shown on the National Flood Insurance Program Flood Insurance Rate Maps Panel 35001C03325, dated September 26, 2008.

TRACT 4  
NORTH ANDALUCIA AT LA LUZ  
Filed October 13, 2005 in Plat Book 2005C, Page 342



210001, DWG

SHEET 2 OF 3

**SURV TEK, INC.**

Consulting Surveyors  
P.O. Box 6866, Albuquerque, New Mexico 87114

Phone: 505-300-4792

ACKNOWLEDGMENT

STATE OF TEXAS  
COUNTY OF TRAVIS

The foregoing instrument was acknowledged before me this 5th day of April 2021, by NIC WHITAKER

*Tiffany Ragan* 2/25/2023  
Notary Public My commission expires



RECORDED FINAL PLAT  
FOR INFORMATION ONLY  
SHEET 2 OF 7

RECORD DRAWING







GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ROOF EQUIPMENT SHALL BE SCREENED FROM VIEW IF VISIBLE FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED PER THE REQUIREMENTS OF THE INTEGRATED DEVELOPMENT ORDINANCE.
- SIGNAGE SHALL BE IN COMPLIANCE WITH THE PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION DESIGN GUIDELINES AND SHALL BE SEPARATELY PERMITTED.
- LIGHTING SHALL BE IN COMPLIANCE WITH THE PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION DESIGN GUIDELINES REGARDING HEIGHT AND NIGHT SKY COMPLIANCE.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
- A MINOR REPLANT WILL BE REQUIRED TO ENSURE THE RIGHT-OF-WAY FOR ANTEQUERA ROAD IS CONSISTENT WITH THE AS-BUILT CONDITIONS AT THE EGG-A-BOUT.
- THE COORS BOULEVARD CP0-2 AND VPO-1 REGULATIONS APPLY TO THIS SITE. WHERE THIS SITE PLAN IS SILENT, PROVISIONS OF THE IDO APPLY.

SITE DATA:

LEGAL DESCRIPTION: TRACT 4 OF NORTH ANDALUCIA AT LA LUZ

ZONING: PD - PLANNED DEVELOPMENT (SU-1 FOR C2, O-1, OR PRD (24 DU/AC))

SITE AREA: 7.71 ACRES

LAND USE: SENIOR INDEPENDENT LIVING, MULTI-FAMILY APARTMENTS (AGE-RESTRICTED 55+)

PEDESTRIAN, BICYCLE AND VEHICULAR INGRESS AND EGRESS:

TWO DRIVEWAY ENTRANCES WILL PROVIDE VEHICULAR ACCESS FROM

ANTEQUERA ROAD, ONE OF WHICH (SOUTH EASTERN MOST) IS FOR EMERGENCY VEHICLES ONLY. PEDESTRIAN ACCESS IS PROVIDED TO ANTEQUERA ROAD AT SEVERAL LOCATIONS.

INTERNAL CIRCULATION REQUIREMENTS: NORTHEAST PARKING AREA ADJACENT TO THE CLUBHOUSE IS ACCESSIBLE TO VISITORS AND RESIDENTS. THE REMAINING PARKING AREAS ARE GATE CONTROLLED. KNOX BOXES WILL PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL GATES.

MAXIMUM BUILDING HEIGHT ALLOWED: HEIGHTS SHALL COMPLY WITH COORS CORRIDOR PLAN DESIGN STANDARDS' VIEW AND HEIGHT RESTRICTIONS, SEE VARIOUS ANALYSIS SHEETS.

MINIMUM BUILDING SETBACK: SETBACKS SHALL COMPLY WITH COORS CORRIDOR PLAN AND THE PREVIOUSLY APPROVED SITE DEVELOPMENT PLAN FOR SUBDIVISION.

- COORS 35' MIN. WITH 50 PERCENT LANDSCAPE COVERAGE.
- FRONT 15' MIN.; SIDE 5' MIN. AND 10' MIN. FROM STREET; REAR 15' MIN.
- NOT LESS THAN 10' BETWEEN APARTMENT AND OFF-STREET PARKING AND VEHICULAR CIRCULATION AREAS.

MAXIMUM TOTAL DWELLING UNITS:

185 DU (24/AC) ALLOWED (PER AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION)

171 DU PROPOSED

PHASING: NONE PROPOSED - ONE PHASE

STRUCTURE LOCATIONS: NO EXISTING STRUCTURES, THE SITE IS VACANT. PROPOSED STRUCTURES PER SITE PLAN

PARKING FACILITIES: PARKING REQUIRED: 214 SPACES (PER AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION)

MAXIMUM ALLOWED : 235 (10% ABOVE MINIMUM PER SITE PLAN FOR SUBDIVISION)

TOTAL PARKING PROVIDED: 234 SPACES

COMPACT PARKING SPACES (20% ALLOWED): 6 (2.6%)

ELECTRIC VEHICLE PARKING SPACES (2% REQ.): 6 (2.6%)

ADA PARKING REQUIRED: 8 SPACES (2 VAN ACCESSIBLE)

ADA PARKING PROVIDED: 11 SPACES (6 VAN ACCESSIBLE, 1 VAN STALL LOCATED IN DETACHED SINGLE-STORY GARAGE)

BICYCLE PARKING REQUIRED: 23 SPACES

BICYCLE PARKING PROVIDED: 24 SPACES

LOADING FACILITIES: RESIDENT MOVE-IN LOADING AREA PROVIDED AT SOUTHWEST CORNER OF MAIN STRUCTURE. LOADING SPACE LOCATED AT SOUTH END OF GARAGES.

NON-AUTO TRANSPORTATION:

TRANSIT - ROUTES 155, 96, AND 790 ON COORS BOULEVARD; ROUTES 157 AND 162 ON MONTANO BOULEVARD

BICYCLE - BIKE LANES ON COORS BOULEVARD, ANTEQUERA ROAD, AND MIRANDELA STREET

TRAILS - MIRANDELA STREET PROVIDES ACCESS TO THE TRAIL HEAD LOCATED AT MONTANO BOULEVARD. THIS TRAIL HEAD PROVIDES ACCESS TO NUMEROUS TRAILS INCLUDING THE PASEO DEL BOSQUE MULTI-USE TRAIL ON THE EAST SIDE OF THE RIO GRANDE.

SENSITIVE LANDS:

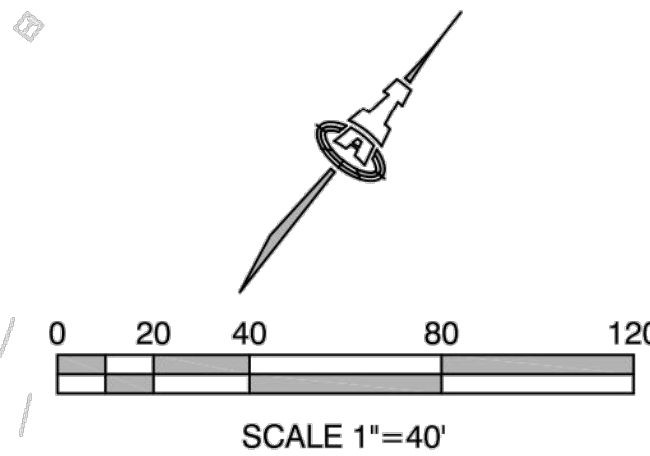
NO SENSITIVE LANDS ARE PRESENT EXCEPT FOR STEEP SLOPES ADJACENT TO COORS BOULEVARD. THE DEVELOPMENT AVOIDS THESE SLOPES BY LOCATING BUILDINGS ALONG ANTEQUERA AND MIRANDELA. SEE GRADING AND DRAINAGE PLAN FOR HOW STORMWATER RUNOFF IS HANDLED AND THE SLOPES ARE STABILIZED.

Unit Mix and Usable Open Space (UOS) Requirements

UNIT TYPE	BEDS	NET	GROSS	LVL 1	LVL 2	LVL 3	TOTAL	REQUIRED UOS PER UNIT	TOTAL REQUIRED UOS PER UNIT TYPE
S1	1 BED	526	566	2	2	2	6	200 sq. ft.	1,200 sq. ft.
A1	1 BED	598	598	7	9	8	24	200 sq. ft.	4,800 sq. ft.
A1A	1 BED	598	598	1	0	0	1	200 sq. ft.	200 sq. ft.
A1B	1 BED	598	598	1	0	0	1	200 sq. ft.	200 sq. ft.
A2	1 BED	675	675	16	18	11	45	200 sq. ft.	9,000 sq. ft.
A3	1 BED	752	825	5	5	5	15	200 sq. ft.	3,000 sq. ft.
A3A	1 BED	752	825	6	5	4	15	200 sq. ft.	3,000 sq. ft.
A3B	1 BED	752	825	0	2	1	3	200 sq. ft.	600 sq. ft.
A3-HC	1 BED	752	825	1	1	1	3	200 sq. ft.	600 sq. ft.
A4	1 BED	1046	1223	1	0	0	1	200 sq. ft.	200 sq. ft.
A5	1 BED	676	676	2	0	0	2	200 sq. ft.	400 sq. ft.
B1	2 BED	999	999	1	4	4	9	250 sq. ft.	2,250 sq. ft.
B1A	2 BED	999	999	1	0	0	1	250 sq. ft.	250 sq. ft.
B2	2 BED	1236	1296	0	2	1	3	250 sq. ft.	750 sq. ft.
B2A	2 BED	1236	1296	2	0	0	2	250 sq. ft.	500 sq. ft.
B2B	2 BED	1276	1336	1	0	0	1	250 sq. ft.	250 sq. ft.
B2C	2 BED	1276	1336	0	1	1	2	250 sq. ft.	500 sq. ft.
B3	2 BED	1143	1218	0	1	0	1	250 sq. ft.	250 sq. ft.
B3-HC	2 BED	1143	1218	1	0	0	1	250 sq. ft.	250 sq. ft.
B4	2 BED	1248	1479	3	4	2	9	250 sq. ft.	2,250 sq. ft.
B4A	2 BED	1248	1486	3	3	3	9	250 sq. ft.	2,250 sq. ft.
B4B	2 BED	1248	1486	0	0	1	1	250 sq. ft.	250 sq. ft.
MAIN BUILDING TOTAL UNITS				54	57	44	155		
COTTAGE	2 BED	1576	1969	16	-	-	16	250 sq. ft.	4,000 sq. ft.
				TOTAL UNITS			171	TOTAL REQUIRED UOS	36,950 sq. ft.
								BALCONY/PATIO UOS	8,455 sq. ft.
								LANDSCAPE AREA UOS	101,433 sq. ft.
								TOTAL PROVIDED UOS	109,888 sq. ft.

LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	BUILDING
---	STRIPING
①	PARKING COUNT
---	ADA ACCESSIBLE PATH
ⓔ	ELECTRIC VEHICLE SPACE



10' PUBLIC UTILITY EASEMENT

PROPERTY LINE

60' RIGHT OF WAY

REFUSE ENCLOSURE DETAILS

N.T.S.

PROPERTY LINE

8" CMU BLOCK WITH STUCCO FINISH, PAINT COLOR TO MATCH BUILDING

SELF-CLOSING HARDI BOARD (OR EQUIVALENT) GATE ON GALV. WTL. TUBE BRACING PAINTED TO MATCH BUILDING

26'-8"

10'-8"

8'-0" TO TOP OF CMU WALL

35' SETBACK

(156' R.O.W.)

COORS BOULEVARD, N.W.

15' YARD SETBACK

7' MST&T EASEMENT

10' PUBLIC UTILITY EASEMENT

TRACT 5-A ZONING: MX-T LAND USE: BANK WITH DRIVE-UP FACILITY

PROPERTY LINE

EXISTING SITE WALL

TRACT 5-B ZONING: MX-T LAND USE: VACANT

FOUND NO. 4 REBAR W/ YELLOW POLYMER CAP TYP. 11x15x5"

MAXIMUM 2 CU. YD. TRASH COMPACTOR BINS

APARTMENTS THREE-STORY (47,946 sq. ft. PER FLOOR)

APARTMENTS TWO-STORY (13,970 sq. ft. PER FLOOR)

COURTYARD

APARTMENTS 180,556 sq. ft. TOTAL

COURTYARD

TALLEST PORTION OF BUILDING, SEE ELEVATIONS

CLUB HOUSE SINGLE-STORY WITH POSSIBLE ROOFTOP PATIO (8,778 sq. ft.)

PROP. PROPERTY LINE & 10'-FT PUE SHIFT TO FOLLOW PROP. SIDEWALK LIMITS, TO BE DEDICATED BY PLAT

SLIDING GATE

PORTION OF EXIST. PROPERTY LINE AND PUE TO BE VACATED BY PLAT

CLEAR SITE TRIANGLE

EX 10' PUBLIC

60' RIGHT OF WA

ANTEQUERA ROAD, N.W. (60' ROW)

CLEAR SITE TRIANGLE

15' YARD SETBACK

7' MST&T EASEMENT

10' PUBLIC UTILITY EASEMENT

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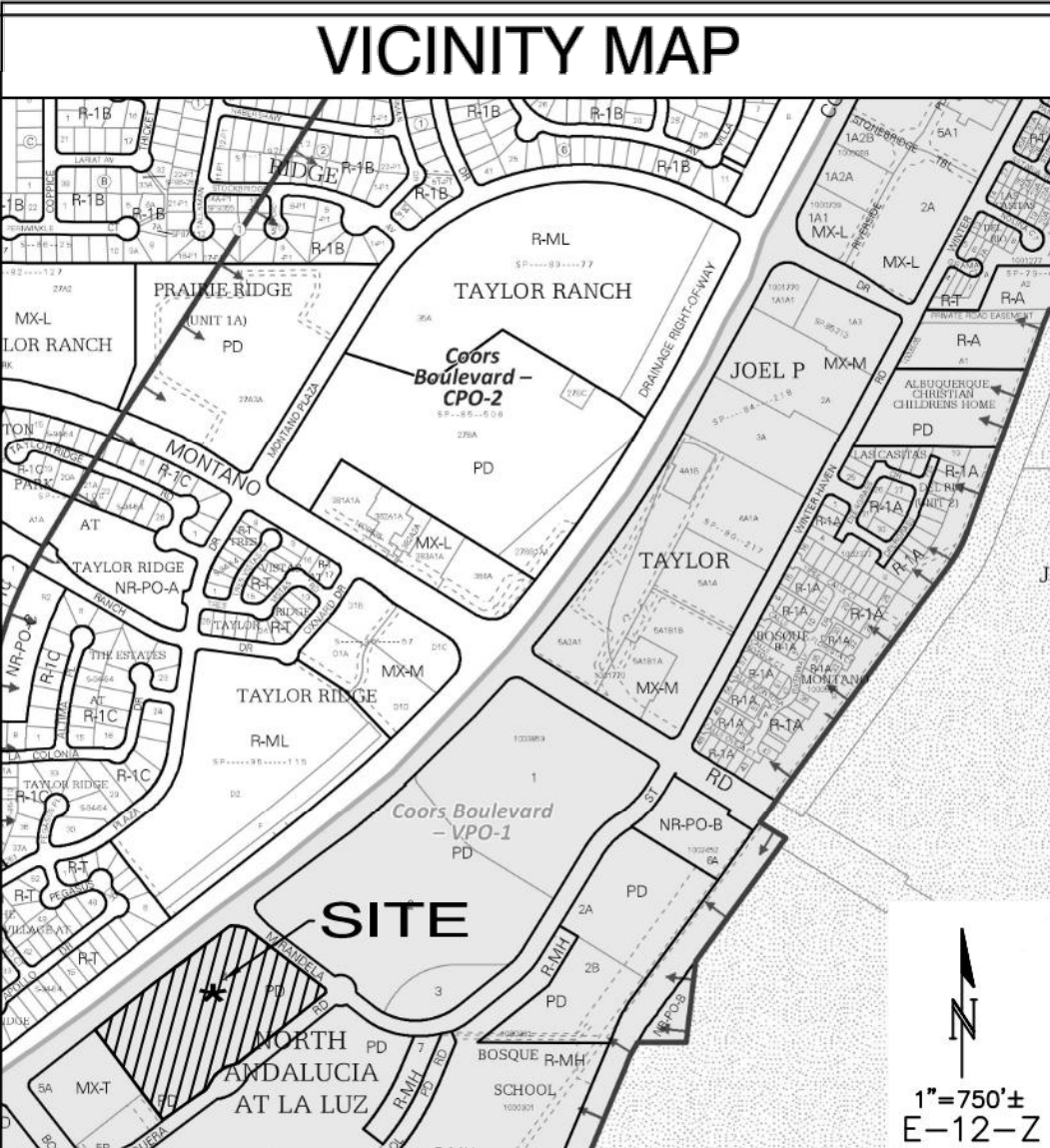
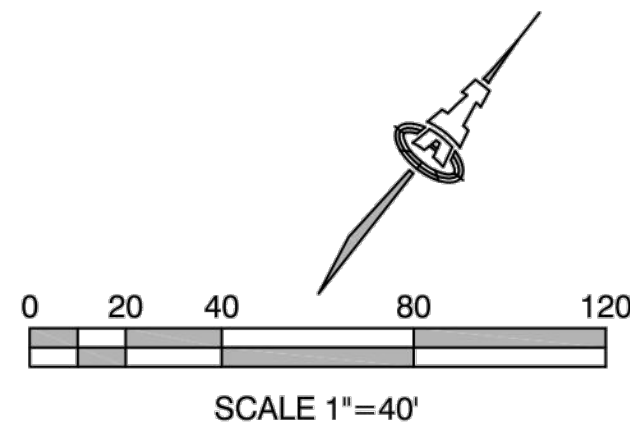
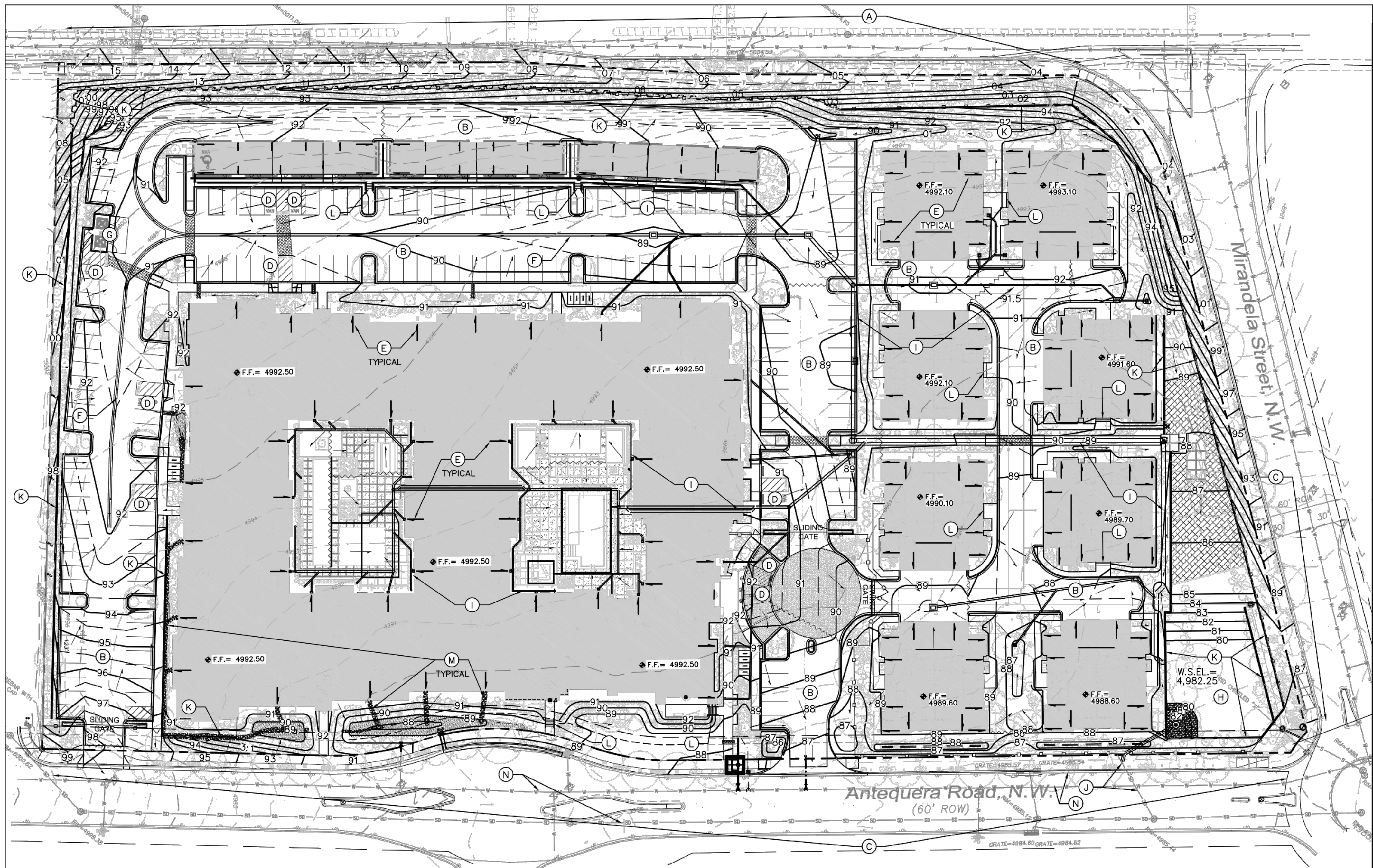
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PORTION OF EXIST. PROPERTY LINE AND PUE TO BE VACATED BY PLAT

CLEAR SITE TRIANGLE



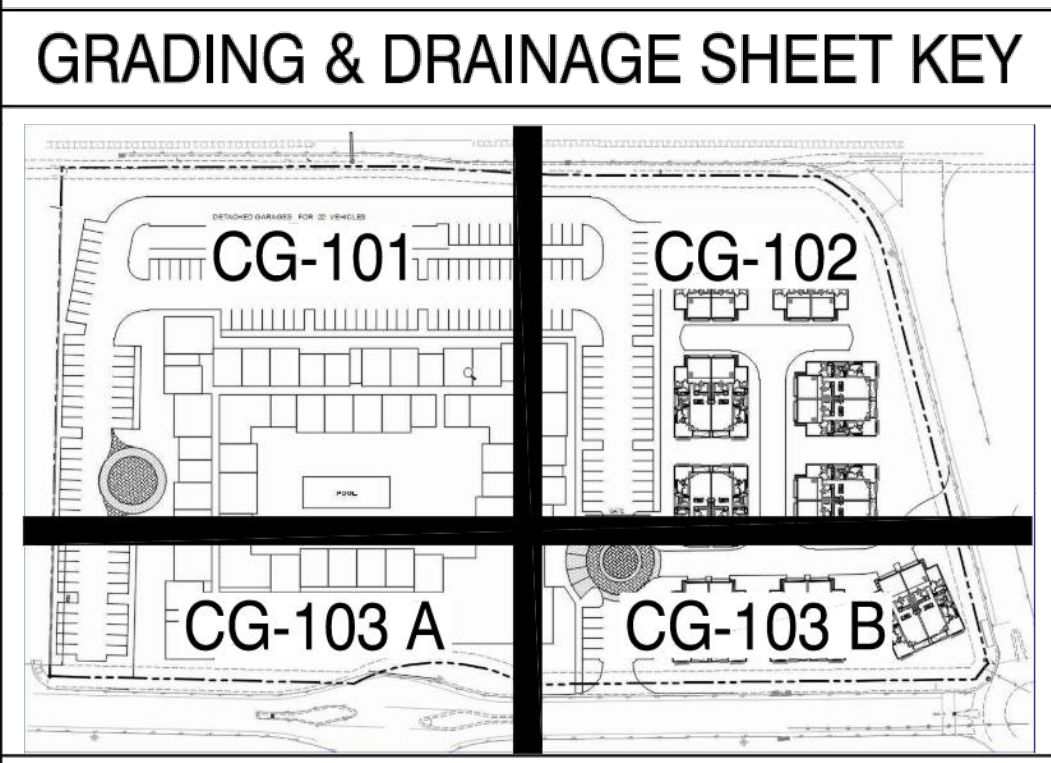


- ### KEYED NOTES
- THE OVERALL GRADING & DRAINAGE PLAN IS PROVIDED FOR INFORMATION ONLY. SEE CG-101, CG-102 AND CG-103 FOR DETAILED GRADING AND NOTES.
- ALL WORK WITHIN NMDOT ROW SHALL MEET NMDOT STANDARD SPECIFICATIONS, CURRENT EDITION. THE CONTRACTOR SHALL RE-SEED ALL AREAS OF DISTURBANCE WITHIN NMDOT ROW PER NMDOT SPECIFICATION 632.3.6, 2019 EDITION.
  - NEW PAVING. SEE PAVING PLAN FOR MATERIAL, EXTENTS, JOINTS AND PAVING SECTIONS.
  - SEE PUBLIC WORK ORDER PLANS (PWO) FOR CONSTRUCTION WITHIN ALL P.W.'S INCLUDING ACCESS DRIVES, CURBS AND GUTTER, ADA COMPLIANT RAMPS, PUBLIC SIDEWALKS, CONNECTION TO PUBLIC STORM DRAIN, COVERED SIDEWALK CULVERTS, ETC. NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
  - SLOPE WITHIN ADA COMPLIANT PARKING AREAS TO BE MAXIMUM 2% IN ANY DIRECTION. SEE ADA COMPLIANCE NOTE THIS SHEET.
  - ROOF DISCHARGE LOCATION. SEE PLANS FOR ROOF DRAINS DISCHARGING TO SURFACE AND ROOF DRAINS PIPED TO STORM DRAIN SYSTEM.
  - 2' WIDE CONCRETE ALLEY GUTTER.
  - CONCRETE DUMPSTER PAD.
  - STORMWATER RETENTION POND REQUIRED BY DRAINAGE MASTER PLAN.
  - PRIVATE STORM DRAIN SYSTEM.
  - EXISTING STORM DRAIN STUB TO PROPERTY.
  - SITE RETAINING WALL(S) TO ACHIEVE REQUIRED GRADE DIFFERENCE. STRUCTURAL DESIGNS BY WALL CONTRACTOR (FOOTINGS, GUARDRAILS, REINFORCING, WATERPROOFING, WEPEHOLES, ETC.).
  - CONCRETE STEPS TO ACHIEVE REQUIRED GRADE DIFFERENCE.
  - ANGULAR ROCK EROSION PROTECTION.
  - CLEAR SITE TRIANGLE

- ### LEGEND
- 88 — PROPOSED 1.0' CONTOUR
  - - - 88.5 - - - PROPOSED 0.5' CONTOUR
  - ◆ 88.3 PROPOSED SPOT ELEVATION
  - SURFACE FLOW DIRECTION
  - FF = 4992.50 FINISH FLOOR ELEVATION
  - ⊙ PROPOSED STORM DRAIN / INLET
  - ▨ PROPOSED EROSION PROTECTION
  - ROOF DISCHARGE LOCATION

### ADA COMPLIANCE

SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%  
ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7%  
LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).  
ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION



RETENTION POND STAGE STORAGE TABLE				
ELEV	AREA (sq. ft.)	DEPTH (ft)	CONIC INC. VOL. (cu. ft.)	CONIC TOTAL VOL. (cu. ft.)
4,980.00	3,968.70	N/A	N/A	0.00
4,981.00	4,300.95	1.00	4133.71	4133.71
4,982.00	4,624.49	1.00	4461.74	8595.45
4,982.25	4,704.01	0.25	1166.05	9761.50

### DRAINAGE MASTER PLAN RETENTION

THE REVISED DRAINAGE MASTER PLAN (DMP) INCORPORATED THE REQUIREMENT TO RETAIN THE FIRST 0.44" OF PRECIPITATION ON-SITE FOR THIS PROPERTY (BASIN A-5). THE DMP CALCULATED THIS RETENTION VOLUME AS 0.28 AC.FT (12,196.9 CF).

SUBTRACTING THE INITIAL ABSTRACTION (THE PRECIPITATION DEPTH THAT MUST BE EXCEEDED BEFORE DIRECT RUNOFF BEGINS), THE REQUIRED RETENTION VOLUME WITHIN THE PROVIDED RETENTION POND IS BASED ON THE FOLLOWING LAND TREATMENTS:

LAND TREATMENT A; IA=0.65" (NO ADD'L RETENTION REQUIRED)  
LAND TREATMENT B; IA=0.50" (NO ADD'L RETENTION REQUIRED)  
LAND TREATMENT C; IA=0.35" (0.09" ADD'L RETENTION REQUIRED)  
LAND TREATMENT D; IA=0.10" (0.34" ADD'L RETENTION REQUIRED)

THE FULLY DEVELOPED SITE IS CALCULATED AS:

LAND TREATMENT B; 26% = 87,276 SF (NO ADD'L PONDING AFTER INITIAL ABSTRACTION)  
LAND TREATMENT D; 74% = 248,402 SF @ 0.34" = 7,038 CF.

### STORMWATER QUALITY

FOR NEW CONSTRUCTION, THE CABQ STORMWATER QUALITY (S.Q.) VOLUME IS BASED ON THE 90TH PERCENTILE STORM EVENT 0.42" FOR ALL IMPERVIOUS AREA. THEREFORE, THE RETENTION VOLUME REQUIRED IS CALCULATED AS:

LAND TREATMENT D; 74% = 248,402 SF @ 0.42" = 8,694 CF.

THE PROPOSED MAIN POND WILL PROVIDE 9,761 CF OF STORAGE AT A DEPTH OF 2.25' > 8,694 CF.

### PROJECT INFORMATION

**PROPERTY:** THE SITE IS A PREVIOUSLY GRADED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP E-12. THE SITE IS BOUND TO THE NORTHEAST BY MIRANDELA ST., TO THE NORTHWEST BY COORS BLVD., TO THE SOUTHEAST BY ANTEQUERA RD. AND TO THE SOUTHWEST BY DEVELOPED COMMERCIAL PROPERTY.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-STORY MULTI-FAMILY APARTMENT BUILDING AND EIGHT DUPLEX HOUSING UNITS WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, SITE AMENITIES, AND LANDSCAPING.

**LEGAL:** TRACT 4 PLAT OF NORTH ANDALUCIA AT LA LUZ, ALBUQUERQUE, NEW MEXICO.

**AREA:** 7.7061 AC

**ADDRESS:** 5301 ANTEQUERA RD NW, ALBUQUERQUE NM 87120

**BENCHMARK:** NAVD 1988 FROM AGRS MONUMENT "NM\_448\_N8", PUBLISHED ELEVATION (FEET) = 5021.651

**OFF-SITE:** NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

**FLOOD HAZARD:** PER FEMA FLOOD HAZARD MAP 35001C0114H, EFFECTIVE DATE 8/16/2012, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

#### DRAINAGE PLAN CONCEPT:

THE NORTH ANDALUCIA DRAINAGE MASTER PLAN PREPARED BY BOHANNAN HUSTON WITH STAMP DATE 2/19/13, ESTABLISHED THE CRITERIA FOR NORTH ANDALUCIA, TRACTS 1-8 AND BOSQUE SCHOOL, TRACTS 1-2. THIS 7.71 ACRE PROPERTY IS IDENTIFIED AS BASIN A-5.

THE SITE IS PERMITTED FREE DISCHARGE (LESS MDP / STORMWATER QUALITY VOLUME REQUIREMENTS) TO THE NORTH ANDALUCIA DRAINAGE POND 'A' BASED ON AN ANTICIPATED RATE OF 3.66 CFS/ACRE (28.19 CFS).

AN EXISTING 24"Ø STORM DRAIN STUB TO THE PROPERTY WITH FULL CAPACITY FLOWRATE OF 29.92 CFS WAS PROVIDED FOR ON THE MASTERPLAN WHICH WILL ACCEPT THE DISCHARGE FROM BASIN A-5.



FOR INFORMATION ONLY  
SHEET 5 OF 7

**Isaacson & Arfman, Inc.**  
Civil Engineering Consultants  
128 Monroe Street NE  
Albuquerque, NM 87108  
505-266-8828 | www.iacivil.com



**OVERTURE ANDALUCIA**  
Albuquerque, New Mexico  
a development of  
Greystar Development Group, LP

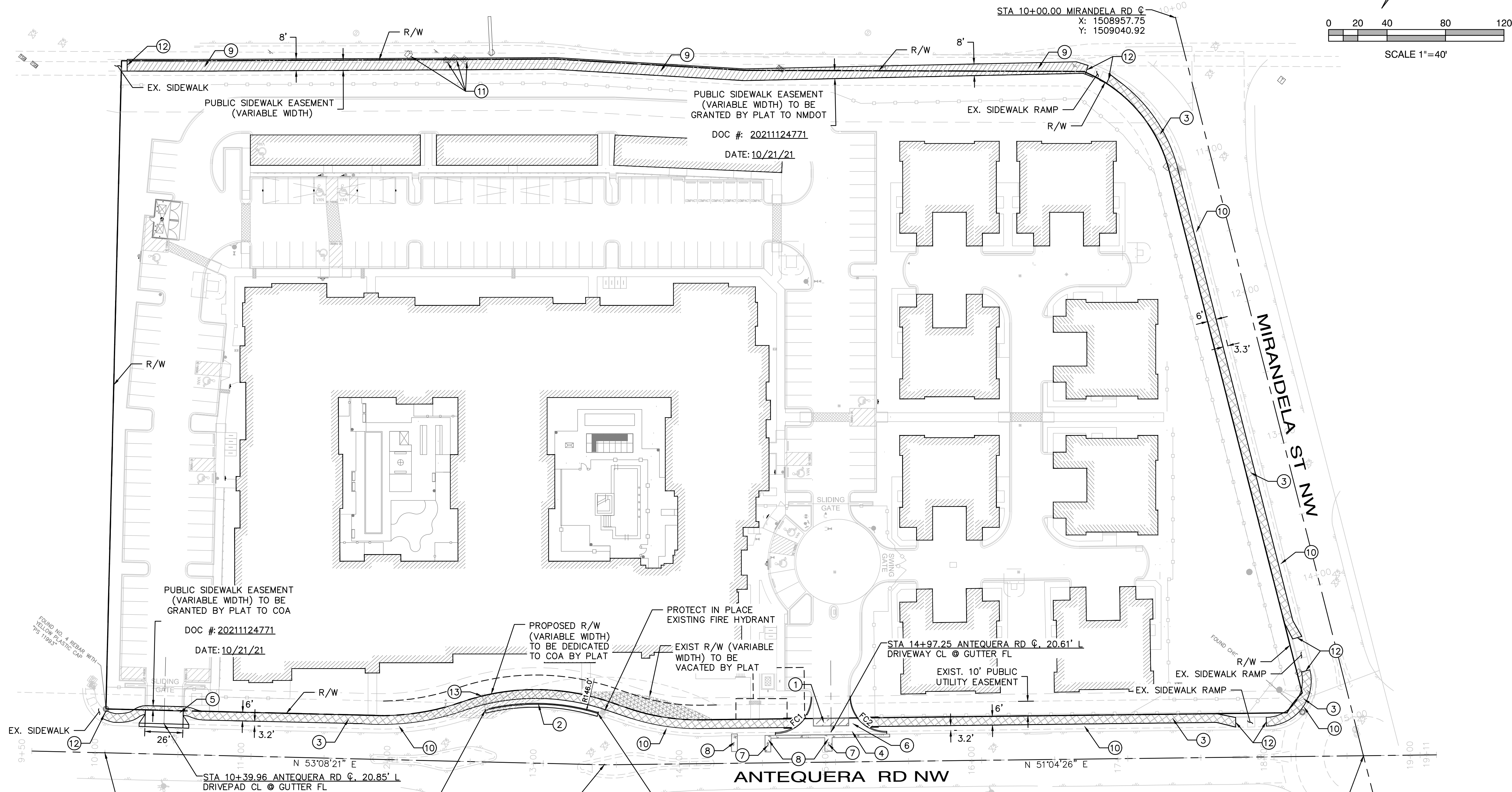
ISSUE DESIGN DEVELOPMENT		PROJECT NUMBER: IA 2360		DRAWN BY: BJB		CHECKED BY: FCA		DATE: 03-10-2021	
No	Date	Description	Progress Pricing Set	Issue for Permit	G&D Submittal				
1	12/04/20								
2	01/29/21								
3	03/10/21								

SHEET TITLE	
<b>Overall Grading &amp; Drainage Plan</b>	
SHEET NUMBER	
<b>CG-100</b>	

RECORD DRAWING



COORS BLVD NW



LEGEND

- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- COA FLEXIBLE (ASPHALT) PAVING
- COA PCC SIDEWALK
- NMDOT SIDEWALK
- COA FLEXIBLE (ASPHALT) PAVEMENT RECONSTRUCTION
- EXISTING RIGHT-OF-WAY TO BE VACATED BY PLAT
- PROPOSED RIGHT-OF-WAY TO BE DEDICATED BY PLAT

GENERAL NOTES

- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- REMOVE AND REPLACE EXISTING PAVEMENT PER COA STD DWG
- REMOVAL OF CURB & GUTTER AND SIDEWALK FOR NEW CONSTRUCTION SHALL BE TO THE NEAREST STONE.

KEYED NOTES

- COA LOCAL FLEXIBLE (ASPHALT) PAVEMENT, PER COA STD DWG 2405A
- REMOVE EXISTING ASPHALT CURB AND CONSTRUCT PCC STD CURB AND GUTTER, PER COA STD DWG 2415A.
- 6' WIDE PCC SIDEWALK, PER COA STD DWG 2430.
- PCC VALLEY GUTTER, PER COA STD DWG 2420.
- PCC DRIVE PAD, PER COA STD DWG 2425.
- PCC PAVING PRIVATE ENTRANCE, PER COA STD DWG 2426 & 'QUARTER POINT & ADA PATH' DETAIL THIS SHEET.
- ADJUST VALVE BOXES TO FINISHED GRADES.
- PAVEMENT CUTS FOR UTILITIES PER COA STD DWG 2465.
- 8' WIDE PCC SIDEWALK, PER NMDOT STD DWG 608-001-7 & STD SPEC SECTION 608.
- LANDSCAPE BUFFER SWALE, PER DETAIL THIS SHEET
- PROVIDE MIN. 4' CLEAR PATHWAY AROUND EXISTING DRY UTILITY PEDESTALS/STRUCTURES PER COA STD DWG 2431
- PROVIDE SMOOTH CONNECTION TO EXISTING SIDEWALK & SIDEWALK RAMP W/ EXPANSION JOINTS PER COA STD DWG 2430 & 2451. REMOVE WEEDS AND DEBRIS FROM EXISTING ADA RAMPS TO RESTORE FUNCTION.
- 1.5' WIDE SIDEWALK CULVERT, PER COA STD DWG 2236.

SURVEYORS CERTIFICATION

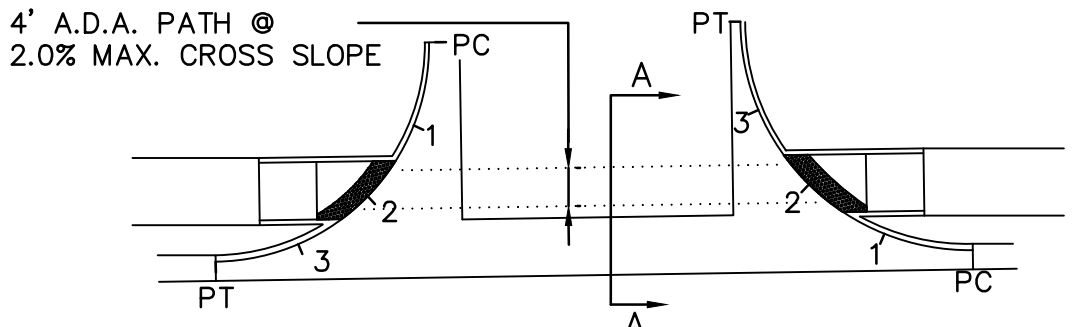
I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information as-built information collected on October 3, 2022 shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

David R. Vigil  
NMPS No. 8911  
October 3, 2022

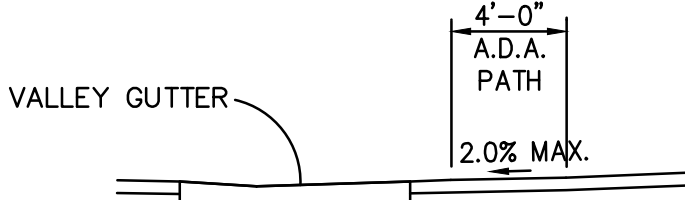


FC1 - 25' RADIUS			
	FL	TC	
PC	87.74	88.33	
1	87.35	87.72	
2	87.01		
3	86.76	87.42	
PT	86.80	87.45	

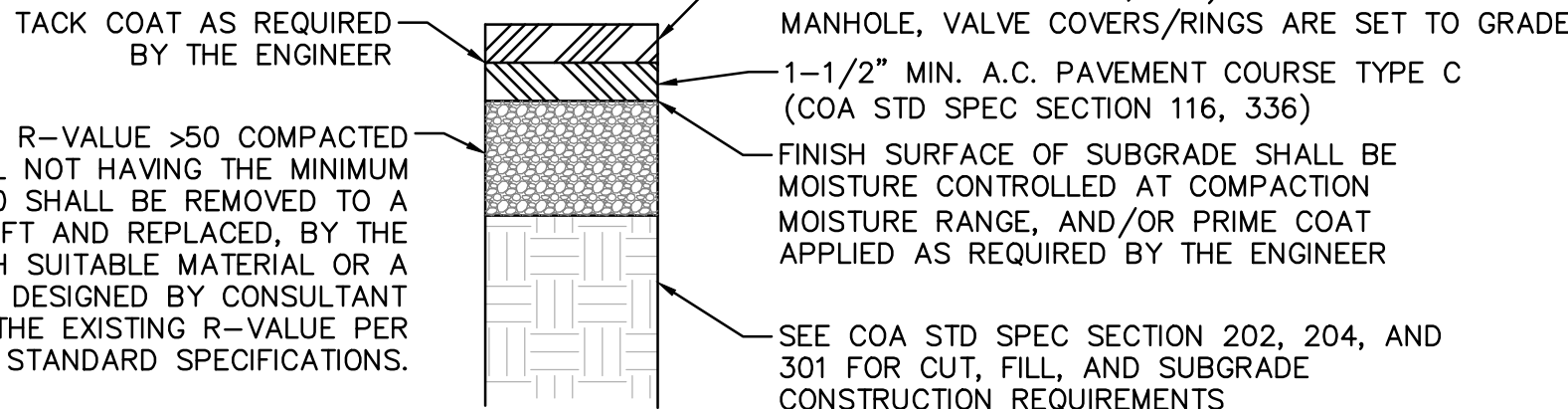
FC2 - 25' RADIUS			
	FL	TC	
PC	86.06	86.68	
1	86.13	86.75	
2	86.42		
3	86.77	87.20	
PT	87.02	87.50	



NOTE:  
QUARTER POINT GRADES ARE REFERENCED AS 1, 2 & 3  
ALONG THE FACE OF CURB BETWEEN CURB RETURNS  
IN A CLOCKWISE DIRECTION.



SECTION A-A  
QUARTER POINT & ADA PATH DETAIL



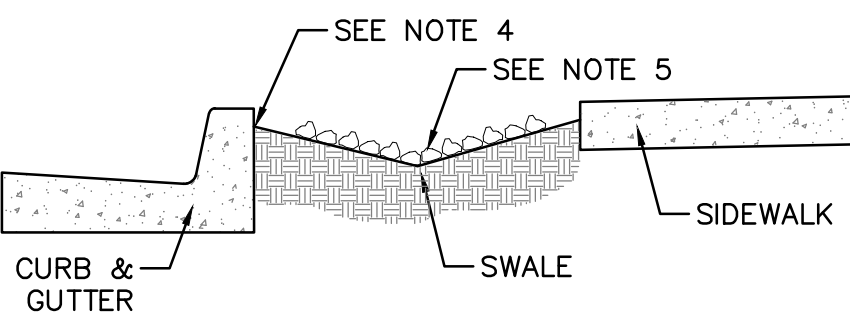
LOCAL URBAN STREET PAVEMENT SECTION

ANTEQUERA ST - FUNCTIONAL CLASSIFICATION: LOCAL URBAN STREETS  
PER COA STD DWG #2405A

LANDSCAPE BUFFER SWALE

REVISION TO CITY STANDARD DRAWINGS  
2405A & 2405B

- SWALE TO BE 6" DEEP WHEN THE DISTANCE BETWEEN BACK OF CURB AND THE SIDE WALK IS 5 FEET.
- SWALE TO BE 1" DEEPER THAN THE DISTANCE IN FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK FOR LANDSCAPE BUFFERS DIFFERENT THAN 5 FEET WIDE.
- FOR WIDE LANDSCAPE BUFFERS, GREATER THAN 10 FEET, THE MAXIMUM DEPTH IS 10".
- FINAL GRADE OF DIRT TO BE 1" TO 2" BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
- SURFACE BETWEEN BACK OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM 3"), COBBLES OR RIP-RAP. DO NOT FILL ENTIRE SWALE.
- A CHECK DAM WILL BE REQUIRED FOR SWALES ON STEEPER LONGITUDINAL SLOPES AND LONGER SECTIONS. THE ENGINEER WILL DETERMINE LOCATION.
- LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED, IT IS TO BE PERMEABLE.
- DETAIL IS TO BE BUILT FOR ALL NEW CONSTRUCTION. IN THE CASE WHERE SIDEWALK IS EXISTING AND THE LANDSCAPE BUFFER IS IMPROVED WITH LANDSCAPING AND/OR SOME FORM OF EROSION PROTECTION, THIS REQUIREMENT DOES NOT APPLY.



**Isaacson & Arfman, Inc.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico | 505-268-8828 | www.iacivil.com

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

OVERTURE ANDALUCIA

PAVING PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL



City Project No.

730880

Zone Map No.

E-12

Sheet

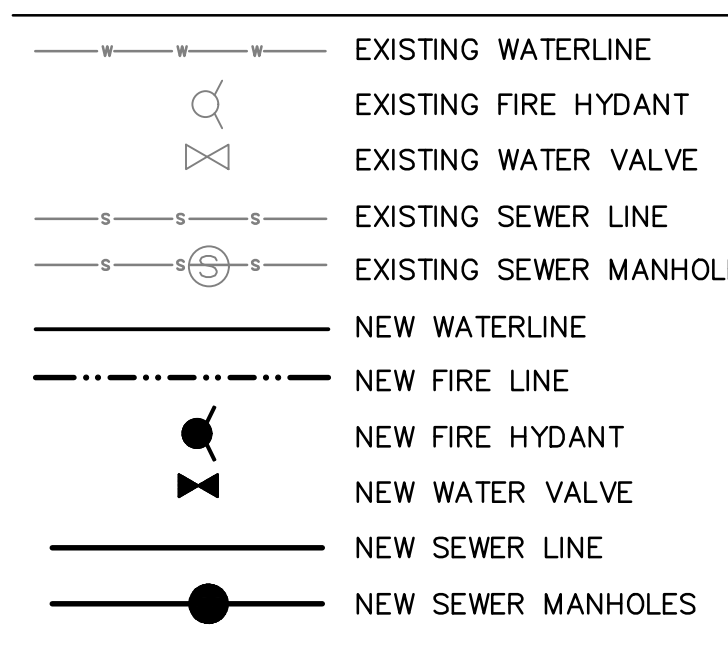
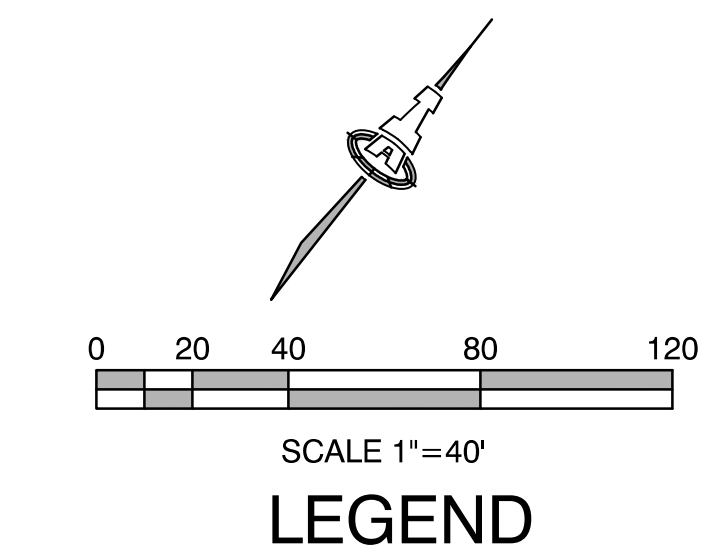
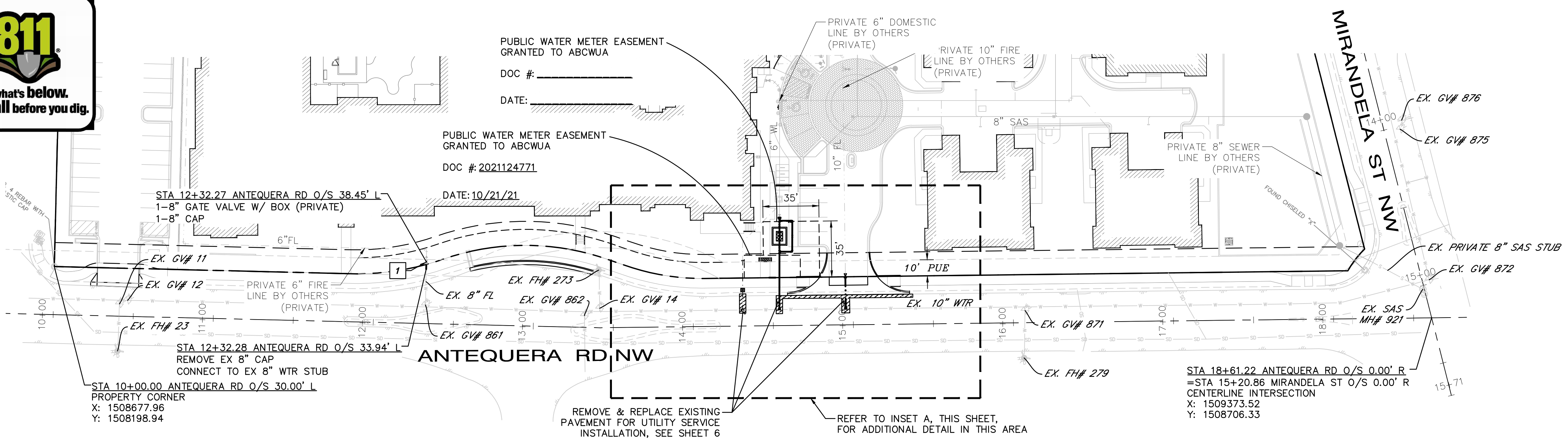
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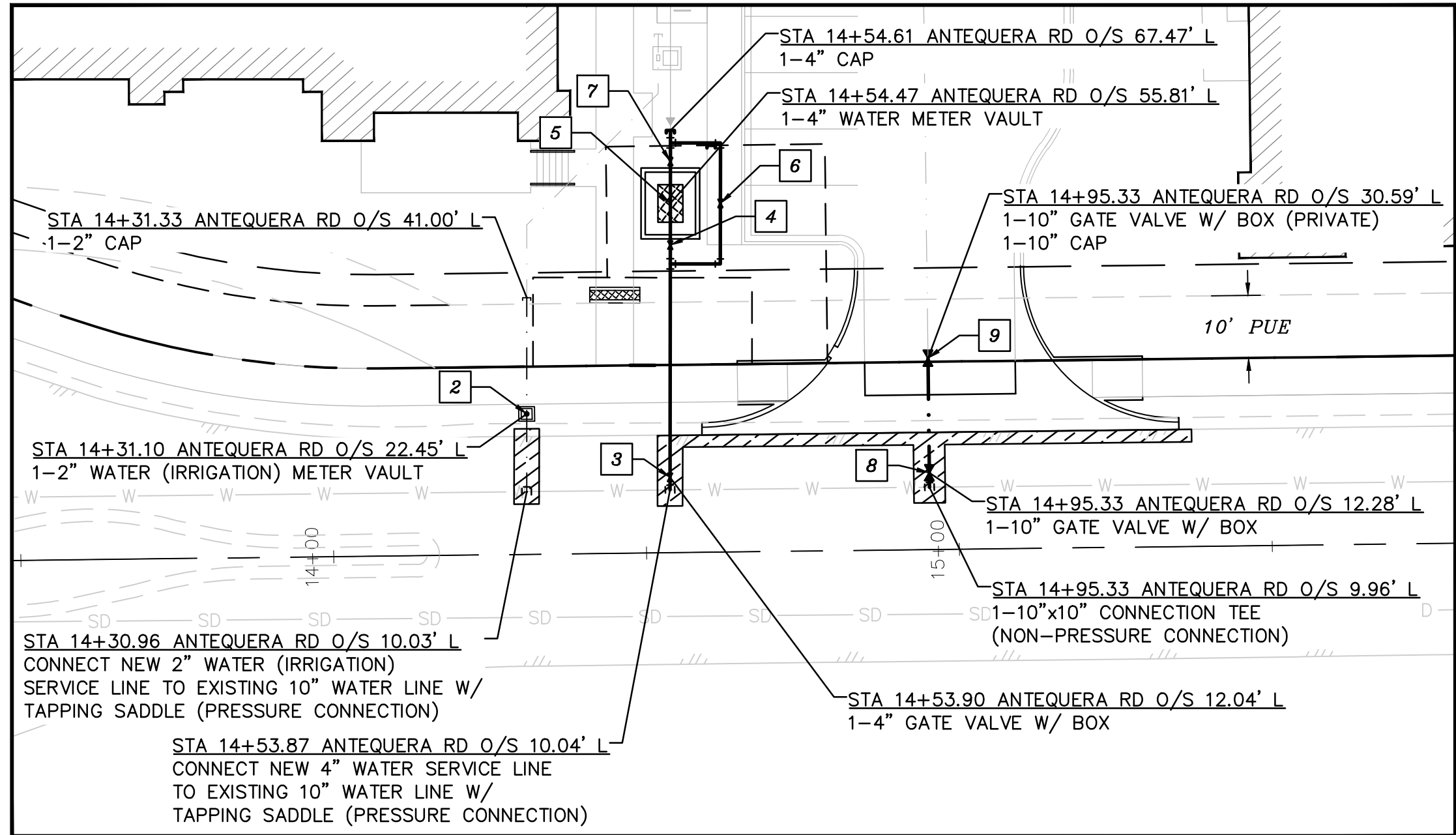
RECORD DRAWING



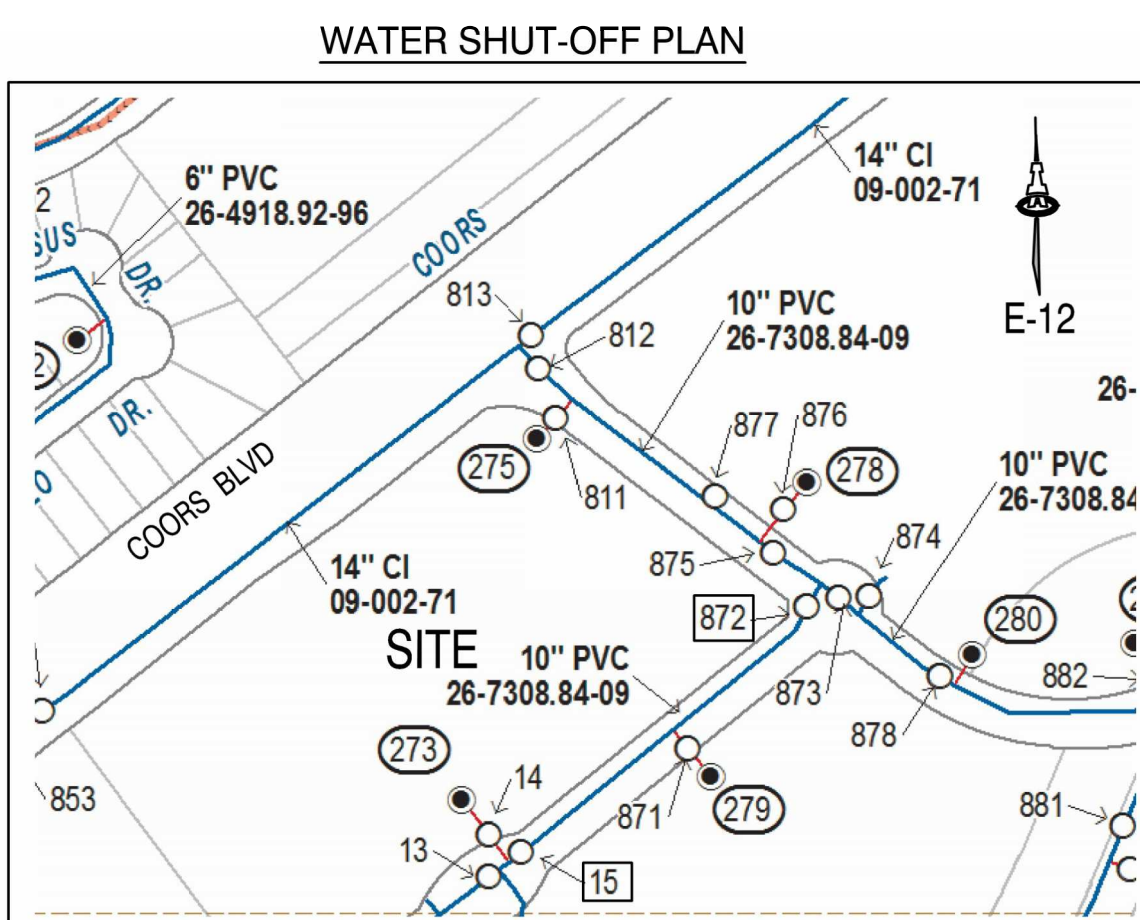


GENERAL & CONSTRUCTION NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS (4"-12").
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS PER CRITERIA ON THIS SHEET.
- TRACER WIRE SHALL BE SECURED TO ALL PUBLIC INFRASTRUCTURE.
- SUPPLEMENTAL SPECIFICATION: BACKFILL FOR WATER AND SEWER LINE TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557.
- ALL WATER VALVE BOXES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- CONNECT NEW WATERLINE TO EXISTING PER ABCWUA STD DWG 2301.
- INSTALL 2" METER SERVICE PER ABCWUA STD DWG 2362 & 2368.
- INSTALL METER VAULT FOR 4" WATER METER PER ABCWUA STD DWG 2369. COORDINATE WITH GILBERT MARIN, LARGE METER CREW SUPERVISOR AT 505-289-3331, INCLUDING PLACEMENT OF VAULT.
- REMOVE AND REPLACE PAVEMENT AT PAVEMENT CUTS FOR UTILITY INSTALLATION PER COA STD DWG 2465.
- PRIVATE FIRE HYDRANTS SHALL BE PAINTED SAFETY ORANGE.
- INSTALL GATE VALVES W/ BOX PER ABCWUA STD DWG 2326, 2328, & 2329.



INSET A  
SCALE: 1" = 20'



PROJECT IS NOT A MASTER PLAN LINE. NON-PRESSURE CONNECTIONS ON ANTEQUERA RD. SHUT OFF VALVES 15 AND 872.

SHUT-OFF EXISTING VALVE AS INDICATED ABOVE TO PROVIDE NON-PRESSURE CONNECTION. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 7 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT:

[http://www.abcwua.org/Water\\_Shut\\_off\\_and\\_Turn\\_on\\_Procedures.aspx](http://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx)

RESTRAINED JOINT CRITERIA  
FOR WATERLINE FITTINGS

ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTINGS PER KEYED NOTES THIS SHEET.

THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE KEYED NOTES.

THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

DEPTH OF BURY: 3.0 FT. MINIMUM  
FACTOR OF SAFETY: 1.50  
MATERIAL: PVC  
SOIL TYPE: GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.

TEST PRESSURE: 150 PSI

TRENCH TYPE 4: PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWUA.

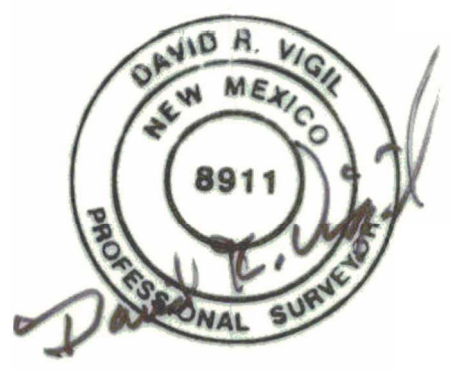
RESTRAINED JOINT LENGTHS, L <sub>T</sub> , FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT.)					
SIZE	HORZ. BENDS				VALVES & DEAD ENDS
	90°	45°	22 1/2°	11 1/4°	
12	37	15	8	4	102
10	31	13	7	4	87
8	27	11	6	3	72
6	20	9	4	2	55
4	15	6	3	2	39

RESTRAINED JOINT LENGTHS, L <sub>T</sub> , FOR REDUCERS, (FT.)			
MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.			
SIZE	LARGE SIDE	SIZE	LARGE SIDE
12x10	30	10x6	53
12x8	54	10x4	71
12x6	74	8x6	31
12x4	89	8x4	52
10x8	29	6x4	29

SURVEYORS CERTIFICATION

I, David R. Vigil, New Mexico Professional Surveyor Number 8911, hereby certify that the as-built information as-built information collected on October 3, 2022 shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

David R. Vigil  
NMPS No. 8911  
October 3, 2022



VALVE / METER COORDINATES				
NOS.	X	Y	Z	OWNERSHIP
1	1508849.21	1508347.46	4988.227	PRIVATE
2	1509021.52	1508464.37	TOP OF PIPE 4983.84	PUBLIC
3	1509049.09	1508460.51	4983.39	PUBLIC
4	1509026.45	1508489.15	4986.63	PUBLIC
5	1509021.99	1508495.22	4988.79	PUBLIC
6	1509028.12	1508499.67	4986.17	PUBLIC
7	1509017.71	1508500.74	4986.55	PUBLIC
8	1509080.78	1508486.34	4983.72	PUBLIC
9	1509071.85	1508498.58	4983.50	PRIVATE

NOT INSTALLED



CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP  
OVERTURE ANDALUCIA  
UTILITY PLAN

DESIGN REVIEW COMMITTEE  
APPROVED  
Nov. 12, 2021  
DESIGN REVIEW COMMITTEE

QTY ENGINEER APPROVAL  
APPROVED  
March 23, 2022  
CITY ENGINEER

City Project No. 730880  
Zone Map No. E-12  
Sheet 7 of 7

Mo./DAY/YR. Mo./DAY/YR.  
DESIGNED BY IMNA  
DRAWN BY BRB  
CHECKED BY FCA

RECORD DRAWING