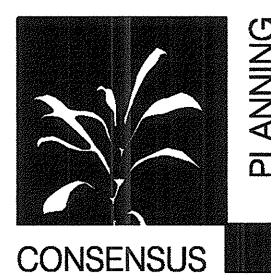


PIEDRAS MARCADAS PARK –
PHASE 1 PLAY AREA



City of Albuquerque
Managing Department:
Department of Municipal Development
Park Design and Construction Division

Owner:
Parks and Recreation Department



CONSENSUS PLANNING, INC.
PLANNING / LANDSCAPE ARCHITECTURE
302 EIGHTH STREET NW ALBUQUERQUE, NM 87102 (505) 764-9801

Property Information

Legal Description: Lot 3, Block 0000, AMAFCA Piedras
Marcadas Channel and Detention
Meter Address: 8101 Eagle Ranch Road NW
Total Site Area: 3.7 ac. (full build-out); 0.6 acres (Phase 1)
Total Landscape Area: 1.73 ac. (full build-out); 0 ac. (Phase 1)
Total Turf Area: 0.83 ac. (full build-out); 0 ac. (Phase 1)

Consultants

Civil Engineering
Bohannan Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109-4335

Index of Drawings

- 1 Cover Sheet
- 2 General Notes
- 3 Site Layout and Key Map
- 4 Site Plan
- 5 Dimension Plan
- 6 Grading and Drainage Plan
- 7 Horizontal Control Plan
- 8 Play Area and Site Details
- 9 Acceptance Forms

REDRAWN FOR
RECORD PURPOSES

RECORD DRAWINGS
THIS RECORD DRAWING HAS BEEN PREPARED, BASED UPON INFORMATION
FURNISHED BY THE CONTRACTOR. THE DESIGN PROFESSIONAL HAS NOT
INDEPENDENTLY REVIEWED THE ACCURACY OF THE INFORMATION PROVIDED.
THESE RECORD DRAWINGS ACCURATELY DEPICT THE FIELD CHANGES WHICH
WERE REPORTED BY THE CONTRACTOR.

NOTES for WORK IN AMAFCA R/W OR EASEMENT
1. AMAFCA Field Engineer shall be notified 48 hours prior to any work within the AMAFCA R/W at 884-2215.
2. No work will be performed in the AMAFCA R/W between May 15 and October 15 without written permission from AMAFCA: LM
3. All subgrade, backfill and embankment shall be compacted to 95% (modified proctor) within the AMAFCA R/W. Testing reports shall be provided to AMAFCA Field Engineer.
4. AMAFCA Field Engineer will be notified 48 hours prior to final inspection of any facilities within the AMAFCA R/W.
5. All disturbed ground areas shall be revegetated in accordance with City of Albuquerque Standard Specifications for Public Works Construction, Section 1012 Native Grass Seeding, as currently updated.
6. Any existing survey control monuments that are moved or destroyed as a result of the construction shall be replaced by a registered surveyor at the owner's expense.
7. Owner's contractor shall provide liability insurance naming AMAFCA as additional insured in the amount of \$2,000,000.00. Proof of insurance shall be provided to AMAFCA prior to construction: LM

APPROVED FOR CONSTRUCTION WITHIN AMAFCA RIGHT-OF-WAY / EASEMENT:

(for AMAFCA) 3-8-08 Date

SITE VICINITY

SITE



GRAPHIC SCALE
MAP NO. C-12



UTILITY COMPANY CONTACTS

CITY OF ALBUQUERQUE (WATER & SEWER)
BILL BLACH
Engineer/Utility Development
P.O. Box 1293
Albuquerque, New Mexico 87103
(505) 768-2729

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Engineering Representative
4201 Edith Boulevard NE
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(505) 241-3581

PNM-GAS CO.
JOE DUNLAP
Project Engineer
4625 Edith Boulevard NE
Albuquerque, New Mexico 87107
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QWEST LONG DISTANCE
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Albuquerque, New Mexico 87103
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Field Representative
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TIME WARNER TELECOM
ROY HARRISON
Plant Manager
3830 Singer Blvd. NE, Suite 1000
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LEVEL 3 COMMUNICATIONS, LLC
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XSPEDIOUS MANAGEMENT CO.
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Operations Support Manager
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OSO GRANDE TECHNOLOGIES
BUD LENSING
Resource Supervisor
505 Marquette Ave. NW, #119A
Albuquerque, New Mexico 87102
(505) 328-2675



NO.	DATE	REMARKS	BY				
1	8-7-08	ADD AMAFCA NOTES	CG				
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVED	ENGINEER		DATE	APPROVED FOR CONSTRUCTION	
		DRC Chairman				CITY ENGINEER	
		Transportation					
		Water/Wastewater					
		Hydrology					
		CIP					
		Constr. Mngmt.				DATE	
		Constr. Coord.					
PROJECT NUMBER				730906		SHEET 1 OF 9	

FINAL FOR CONSTRUCTION

PIEDRAS MARCADAS PARK
PHASE 1 PLAY AREA

PROJECT #730906
MARCH, 2009








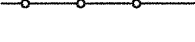

RECORD DRAWINGS

- 1
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.
- 2
- THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE CITY SURVEY SECTION MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE FINISHED ELEV. OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, HAVE THE CITY SURVEY SECTION ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.
- 3
- THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 7.
- 4
- ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWG. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.
- 5
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- 6
- ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- 7
- SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER IS CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
- 8
- THE CONTRACTOR WILL REPLACE ANY STRIPPING THAT HAS BEEN RUINED OR REMOVED IN THE COURSE OF CONSTRUCTION.
- 9
- ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 10
- ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
- 11
- THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.
- 12
- WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
- 13
- ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY. CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.
- 14
- WHEN REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK IS REQUIRED, REMOVE BACK TO NEAREST SUITABLE JOINT UNLESS OTHERWISE DIRECTED BY THE CITY FIELD ENGINEER.
- 15
- THE CONTRACTOR WILL NOTIFY THE NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.
- 16
- CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.
- 17
- CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.
- 18
- ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.
- 19
- CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.
- 20
- CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.
- 21
- ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.
- 22
- MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
- 23
- MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.
- 24
- THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
- 25
- ALL STRUCTURAL CONCRETE WILL BE 3000 PSI UNLESS OTHERWISE NOTED ON PLANS.
- 26
- ALL REINFORCING STEEL WILL BE GRADE 60.
- 27
- ALL EXPOSED EDGES ON CAST-IN-PLACE CONCRETE STRUCTURES WILL HAVE A 1" CHAMFER UNLESS OTHERWISE NOTED.
- 28
- ALL SPLICES IN REINFORCING STEEL TO BE 2-FOOT 6-INCH MINIMUM UNLESS OTHERWISE NOTED.

- 29
- PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- 30
- THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.
- 31
- TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.
- 32
- THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 857-8025, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 33
- ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.
- 34
- PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 35
- ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.
- 36
- THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- 37
- ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CITY OF ALBUQUERQUE PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 38
- EXISTING MEDIAN CURB AND GUTTER AND STANDARD CURB AND GUTTER, NOT DISTURBED BY CONTRACTOR, BUT OUT OF ALIGNMENT, DISPLACED VERTICALLY, BADLY BROKEN AND/OR DETERIORATED, WILL BE REPLACED AS DIRECTED BY THE FIELD ENGINEER AND PAID FOR AT CONTRACT UNIT PRICES.
- 39
- ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DRIVEWAY CLOSURES, UTILITY CONSTRUCTION OR FOR OTHER REASONS AND NOT SHOWN ON THE SIGNING PLANS WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.
- 40
- ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES AND THESE SHORING, SHEETING, AND SUPPORTS ARE CONSIDERED INCIDENTAL TO THIS PROJECT. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL PROMPTLY BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.
- 41
- THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.
- 42
- ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- 43
- STATIONS OF STORM DRAIN INLETS ARE TO THE CENTER OF GRATE. ALL STORM DRAIN INLETS WILL BE TYPE "A" UNLESS OTHERWISE NOTED ON THE PLANS.
- 44
- SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.
- 45
- THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- 46
- ALL STORM DRAIN AND CONNECTOR PIPE WILL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
- 47
- THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.
- 48
- CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVED CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.
- 49
- CONTRACTOR WILL CONSTRUCT TEMPORARY ASPHALT PAVEMENT AS DIRECTED BY THE FIELD ENGINEER TO PROVIDE ACCESS TO LOCAL BUSINESS, ETC. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF PRIOR TO PLACEMENT OF FULL WIDTH PAVEMENT SECTION. TEMPORARY PAVING SHALL BE PER COA STD. DWG. 2415 AND PAID FOR PER COA STD. SPECIFICATIONS.

- 50
- ALL CLASSES OF SEEDING SHALL BE DRY LAND MIX PLACED AT 1.5 LBS/1000 S.F. WITH FERTILIZER 21-12-12 PLACED AT 5 LBS/1000 S.F.
- 51
- ALL ASPHALTIC CONCRETE SHALL BE MINIMUM 1800 LB. STABILITY AND COMPACTED TO 95% MODIFIED MARSHALL DENSITY UNLESS OTHERWISE NOTED ON THE PLANS.
- 52
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
- 53
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 54
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN.
- 55
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- 56
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- 57
- CONTRACTOR SHALL ERECT TEMPORARY CHAIN LINK CONSTRUCTION FENCE. SUCH FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD AND REMOVED ONLY UPON FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
- 58
- QUANTITIES PROVIDED ON THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE IN ALL CASES.

EXISTING FEATURES LEGEND


- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING DROP INLETS
- EXISTING 8"x8" WOOD POST
- EXISTING SPOT ELEVATION
- EXISTING FENCE
- EXISTING CONTOUR (MAJOR)

SURVEY NOTES:

1. *Underground utility locations are based on physical features such as manholes, valves, pedestals and spotting in the field and are approximate only. No digging was performed to locate the actual locations of buried utilities. The surveyor does not guarantee the completeness or accuracy of the buried utility data shown heron. Actual locations should be verified prior to any excavating.*
2. *The coordinates shown hereon are modified (surface) N.M. State Plane Coordinates-Central Zone, NAD 83 and were derived by scaling State Plane Coordinates by the project combined factor of 1.000318381 The elevations shown hereon are referred to sea level, NAVD 88. The coordinates and elevations are expressed in US Survey Feet.*

REDRAWN FOR
RECORD PURPOSES

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 **CONSENSUS PLANNING, INC.**
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302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: PIEDRAS MARCADAS PARK - PHASE 1 PLAY AREA

GENERAL NOTES

Design Review Committee

City Engineer Approval

Last Design Update

City Project No. 730906

Zone Map No. C-12

Sheet 2 of 9

No. / Day / Yr.

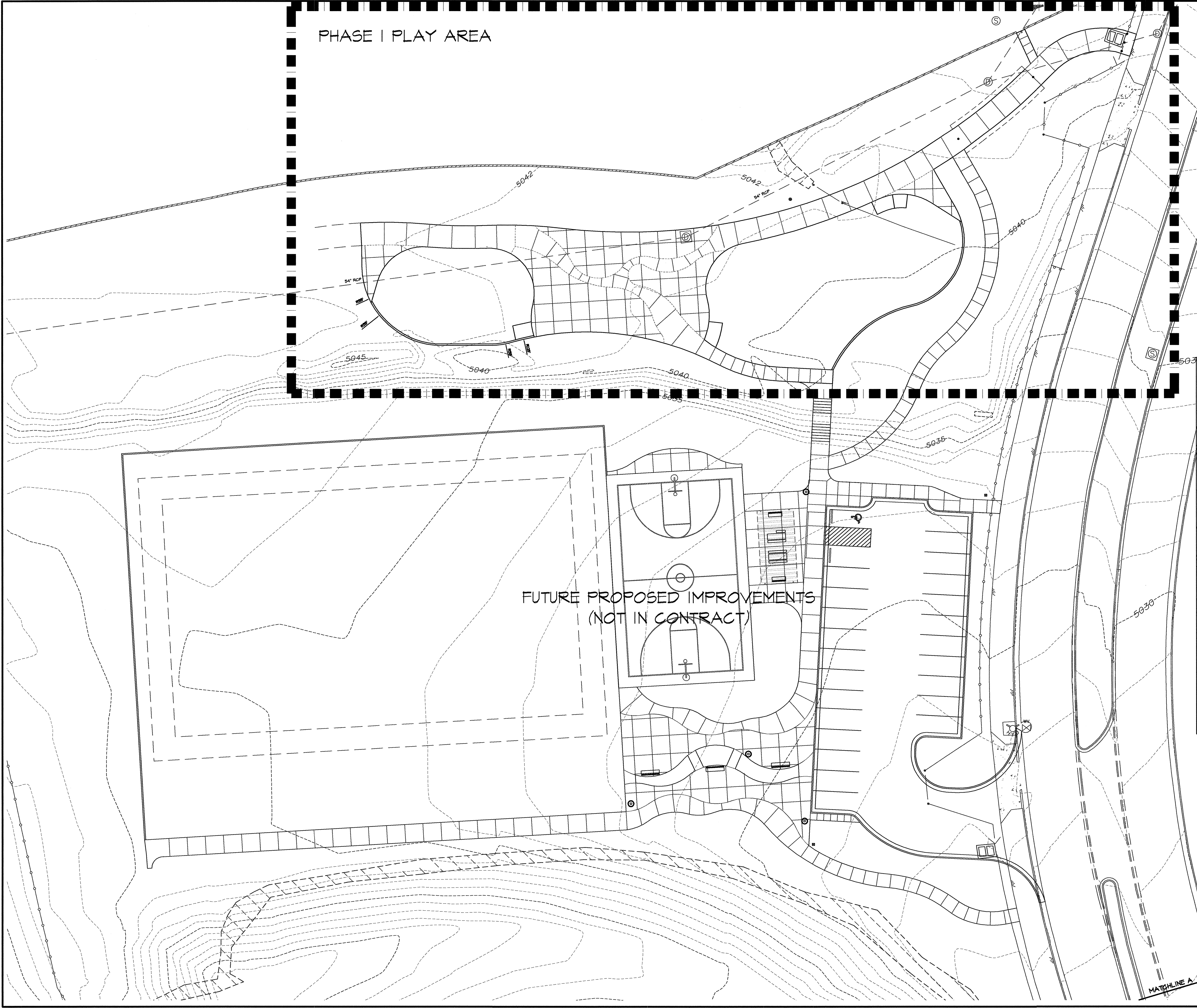
No. / Day / Yr.

RECORD DRAWINGS

PROJECT #730906
MARCH, 2008

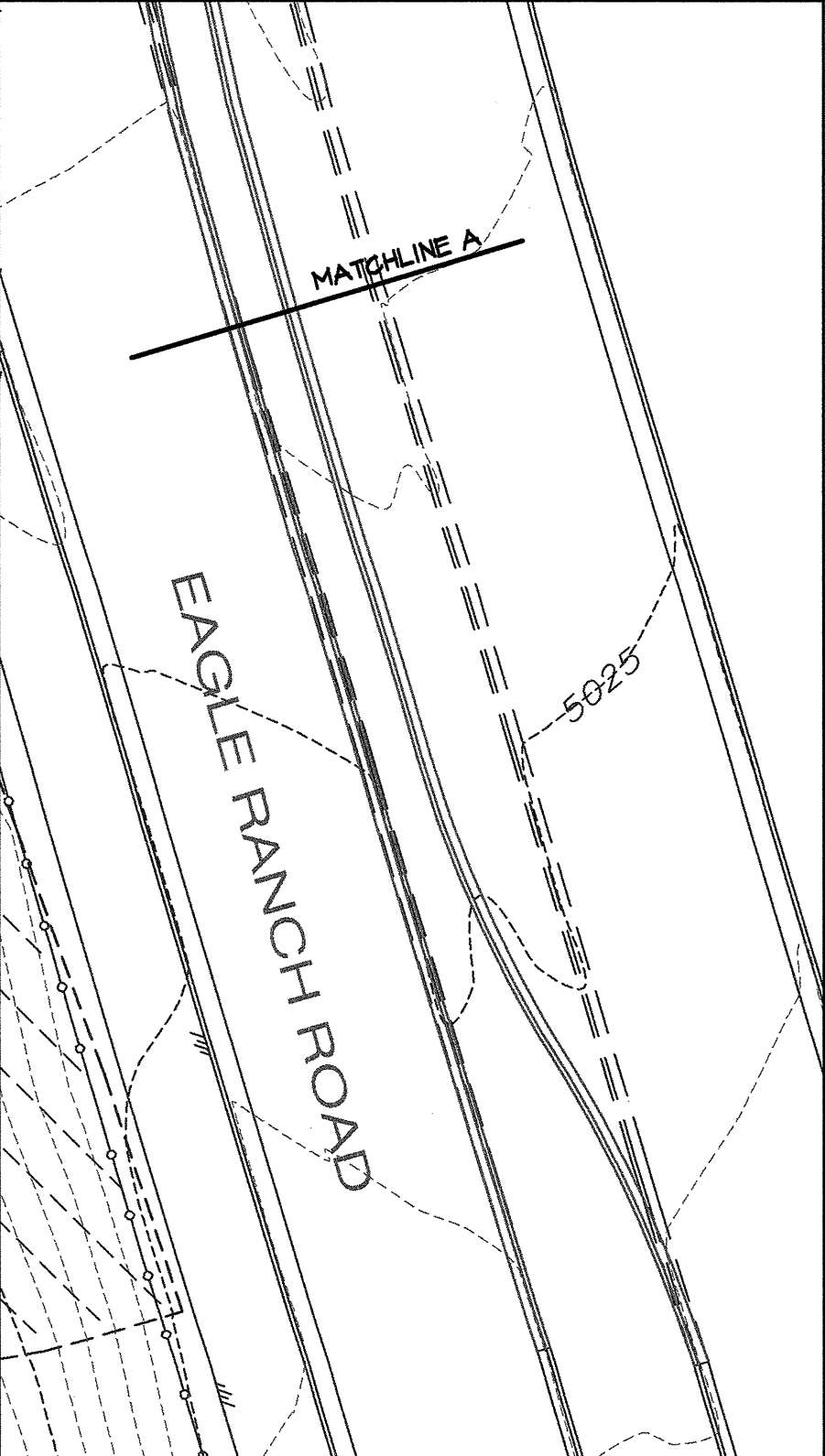
PIEDRAS MARCADAS PARK
PHASE 1 PLAY AREA

FINAL FOR CONSTRUCTION



REDRAWN FOR RECORD PURPOSES

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Scale 1" = 20'

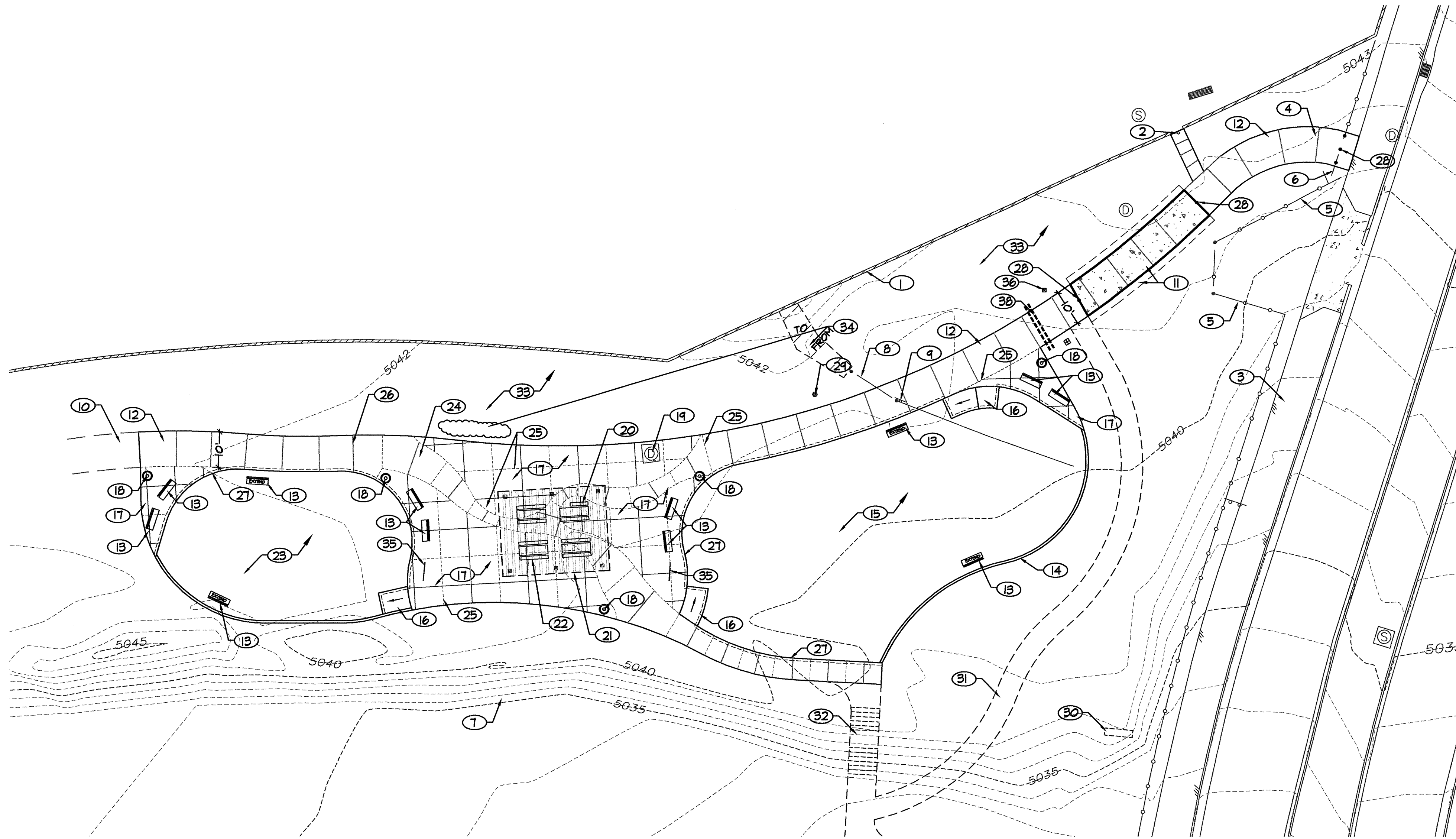
NORTH

10 0 20 40

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e-mail: cp@consensusplanning.com

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT	
TITLE: PIEDRAS MARCADAS PARK- PHASE 1 PLAY AREA SITE LAYOUT AND KEY MAP	
Design Review Committee	City Engineer Approval
Last Design Update	
City Project No. 730906	Zone Map No. C-12
Sheet 3 of 9	

ENGINEERS SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE		CONTRACTOR	
REVISIONS				DATE		WORK BY	DATE
				DATE		INSPECTOR'S	DATE
				DATE		ACCEPTANCE BY	DATE
				DATE		VERIFICATION BY	DATE
				DATE		DRAWINGS	DATE
				DATE		DESIGNED BY	DATE
				DATE		DRAWN BY	DATE
				DATE		CHECKED BY	DATE
				DATE		RECORDED BY	DATE
				DATE		NO.	

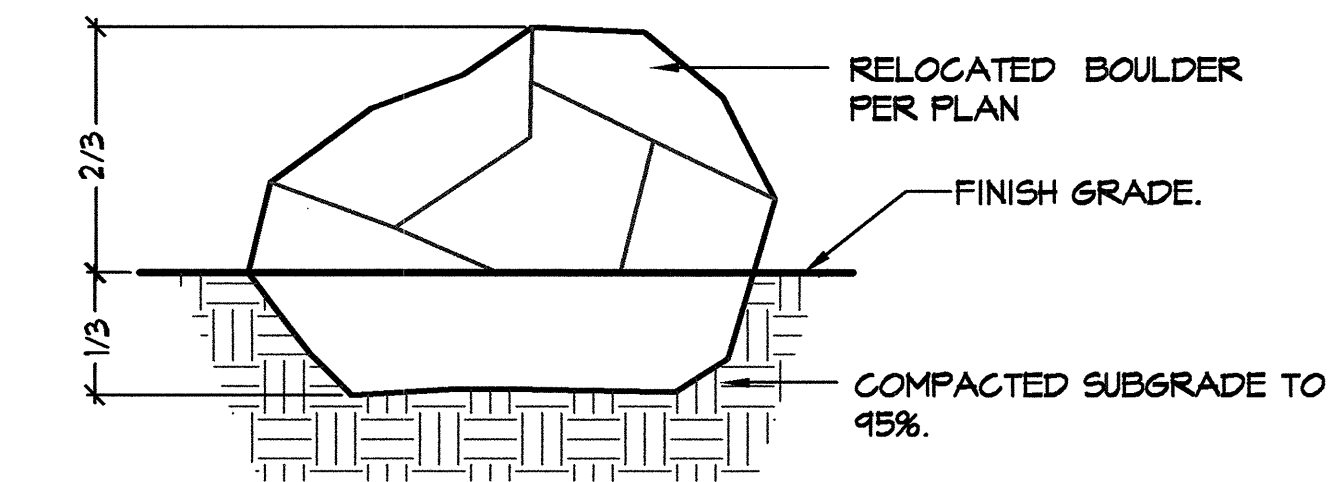


SITE AMENITIES LEGEND

SYMBOL	QTY.	MANUFACTURER	MODEL #	DESCRIPTION
	1	LITCHFIELD	8324P-2	CUSTOM PITTSBURGH ALL STEEL "BARREL VAULTED" GABLE END SHELTER 24' X 30', 6 COLUMN DESIGN, LK FRAMEWORK, 24 GAUGE PRE-CUT METAL ROOF; ROOF COLOR: REGAL BLUE; FRAME COLOR: BLACK
	1	DUMOR, INC.	100-60-PL-S-2	8' HANDICAP ACCESSIBLE PICNIC TABLE; SURFACE MOUNT. COLOR: BLACK FINISH WITH 'CEDAR' PLASTIC
	3	DUMOR, INC.	100-80PL-S-2	8' LONG PICNIC TABLE; SURFACE MOUNT. COLOR: BLACK FINISH WITH 'CEDAR' PLASTIC
	4	DUMOR, INC.	88-60PL-S-1	6' LONG BENCH WITH BACK AND ARMS; 36"- EMBEDMENT MOUNT WITH EXTENDED POSTS. COLOR: BLACK FINISH WITH 'CEDAR' PLASTIC
	8	DUMOR, INC.	88-60PL-S-2	6' SURFACE MOUNT BENCH WITH BACK AND ARMS. COLOR: BLACK FINISH WITH 'CEDAR' PLASTIC
	2	DUMOR, INC.	125-30-S-1	BIKE RACK (WITH 3 PEAKS) COLOR: BLACK
	5	McCLINTOCK METAL 800-350-3588	RSO-25	TRASH RECEPTACLE COLOR: BLACK
	1	JJB SOLUTIONS	JJB008 JJB002	MUTT MITT BIODEGRADABLE BAGS ON CARDS

MANUFACTURER REPRESENTATIVES

EXERPLAY, INC. 1-800-457-5444	TRIPLE M RECREATION LLC 505-321-0453
DUMOR LANDSCAPE STRUCTURES, INC.	LITCHFIELD
JJB SOLUTIONS	



1 BOULDER INSTALLATION DETAIL
NOT TO SCALE

GENERAL NOTES

- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN CONTRACT DOCUMENTS.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
- CONTRACTOR TO REFER TO ANNOTATED DIMENSIONS ONLY. CONTRACTOR NOT TO SCALE OFF DRAWINGS.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE, TYP.
- ALL DISTURBED AREAS SOUTH, EAST AND WEST OF NEW CONSTRUCTION NOT RECEIVING SPECIFIC TREATMENT PER THESE PLANS SHALL BE REVEGETATED PER CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 1012. DO NOT SEED NORTH OF NEW CONCRETE IN MAINTENANCE ACCESS AREA.
- PROVIDE SMOOTH TRANSITION ON APPROACH GRADE, BOTH SIDES, AND AT END OF CONCRETE WALK ON WEST SIDE. TRANSITION AWAY FROM NEW CONCRETE WALK AT NO GREATER THAN 5:1 SLOPE.
- ALL ELEMENTS IDENTIFIED IN KEYED NOTES FOR REMOVAL AND SALVAGE TO AMAFCA SHALL BE COORDINATED WITH KURT WAGENER 505-884-2215.

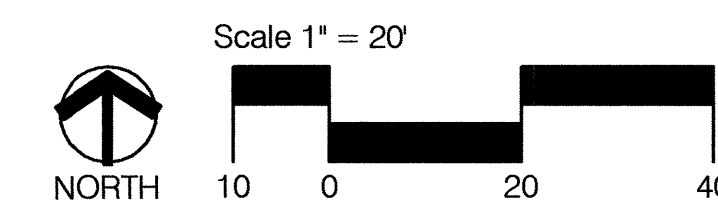
KEYED NOTES

- EXISTING BLOCK WALL.
- EXISTING BOLLARD TO REMAIN.
- EXISTING ASPHALT TRAIL TO REMAIN; PROTECT FROM DAMAGE BY CONSTRUCTION TRAFFIC.
- REMOVE EXISTING HORSE WALKOVER AND DISPOSE.
- EXISTING AMAFCA FENCE AND GATE TO REMAIN.
- REMOVE EXISTING FENCE TO CREATE 14' OPENING FOR WALKWAY; INSTALL NEW TERMINAL POSTS.
- EXISTING SPILLWAY SIDE SLOPE - SEE GRADING PLAN, SHEET 6.
- REMOVE EXISTING FENCE AND GATE AND SALVAGE TO AMAFCA (KURT WAGENER, 505-884-2215).
- REMOVE AND SALVAGE SIGN TO AMAFCA (KURT WAGENER, 505-884-2215).
- PROVIDE SMOOTH TRANSITION FROM NEW CONCRETE TO EXISTING MAINTENANCE ACCESS ROAD.
- 6" THICK, 3000 PSI CONCRETE REINFORCED WITH 6" X 6" X NO. 6 SA. WIRE MESH (HATCHED AREA). PLACE 2" WIDTH, 3" DEPTH, ASPHALT MILLINGS ALONG 6" CONCRETE WALK AND PROVIDE SMOOTH TRANSITION ON APPROACH GRADE, BOTH SIDES, FOR TRAFFIC CROSSING WALKWAY.
- 4" THICK, CONCRETE WALKWAY PER CITY STANDARD DRAWING 2120 EXCEPT AS MODIFIED: 3000 PSI CONCRETE; FOR 10' WIDE WALKWAY, CONTROL JOINTS TO BE 10' O.C., EXPANSION JOINTS AT 20' O.C.
- METAL AND RECYCLED PLASTIC BENCH (TYP. OF 12). SEE SITE AMENITIES LEGEND, SHEET 4. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE WITH OWNER TO FIELD LOCATE EXTENDED BENCHES WITHIN PLAY AREA IN PROXIMITY TO SHADE STRUCTURES.
- CONCRETE EDGER WALL AT PLAY AREA PER CITY STANDARD DRAWING #2129.
- PLAY AREA FOR 5-12 YR. OLDS; SEE SHEET 8 FOR DETAILS AND LEGEND. SAFETY SURFACE TO BE ENGINEERED WOOD FIBER, COMPACTED TO 12" DEPTH.
- CONCRETE ACCESS RAMP TO PLAY AREA (TYP. OF 3). SEE DIMENSION PLAN, SHEET 5.
- CONCRETE PLAZA: 3000 PSI CONCRETE, WITH 8' X 8' SCORE PATTERN, ANGLE AS SHOWN; MEDIUM BROOM FINISH, OVER 12" SUBGRADE COMPACTED TO 95% MODIFIED PROCTOR. EXPANSION JOINTS AS SHOWN ON SHEET 8.
- TRASH RECEPTACLE (TYP. OF 5). SEE SITE AMENITIES LEGEND, SHEET 4. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- RESET EXISTING MANHOLE COVER FLUSH WITH NEW CONCRETE. SEE GRADING AND DRAINAGE PLAN, SHEET 6 AND HORIZONTAL CONTROL PLAN, SHEET 1.
- ACCESSIBLE PICNIC TABLE. SEE SITE AMENITIES LEGEND, SHEET 4 AND DIMENSION PLAN, SHEET 5.
- 24' X 30' SHADE STRUCTURE; SEE SITE AMENITIES LEGEND, SHEET 4, AND DIMENSION PLAN, SHEET 5. STAMPED, ENGINEERED CONSTRUCTION PLANS TO BE PROVIDED BY MANUFACTURER. CONTRACTOR SHALL SUBMIT PLANS AND FULL BUILDING PERMIT FOR SHELTER. ALL REVIEW AND PERMIT FEES SHALL BE PAID BY CONTRACTOR.
- PICNIC TABLE; SEE SITE AMENITIES LEGEND, SHEET 4, AND DIMENSION PLAN, SHEET 5. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PLAY AREA FOR 2-5 YR. OLDS; SEE SHEET 8 FOR DETAILS AND LEGEND. SAFETY SURFACE TO BE ENGINEERED WOOD FIBER, COMPACTED TO 12" DEPTH.
- "WAVE" PATTERNED CONCRETE; HEAVY BROOM FINISH, SCORE JOINTS AS SHOWN. SEE DIMENSIONING OF SCORE PATTERN, SHEET 5.
- EXPANSION JOINTS (TYP.) PER COA STANDARD SPECIFICATIONS. SEE DIMENSION PLAN, SHEET 5.
- TOOLED CONTROL JOINT PER COA STANDARD SPECIFICATIONS.
- 8' X 18" TURN DOWN CONCRETE EDGE PER CITY STANDARD DWS 2128.
- REMOVABLE GUARD POST (TYP. OF 5) PER COA STANDARD DWS. 2250.
- REMOVE AND SALVAGE EXISTING MUTT MITT TO AMAFCA (KURT WAGENER, 505-884-2215).
- AMAFCA MONUMENT SIGN TO BE INSTALLED IN FUTURE PHASE (NOT INCLUDED IN CONTRACT).
- FUTURE ADA ACCESS RAMP (NOT INCLUDED IN CONTRACT).
- FUTURE STAIRS TO BE INSET IN SPILLWAY SIDE SLOPE (NOT INCLUDED IN CONTRACT).
- ACCESS ROUTE FOR AMAFCA MAINTENANCE VEHICLES; SEE GRADING AND DRAINAGE PLAN, SHEET 6.
- REMOVE BOULDERS TO PROVIDE ACCESS ROUTE FOR AMAFCA; PLACE BOULDERS ALONG WALKWAY. NEW LOCATION SHOWN IS APPROXIMATE, EXACT LOCATION TO BE DETERMINED IN THE FIELD WITH OWNER/OWNERS REPRESENTATIVE. SEE DETAIL 1, THIS SHEET.
- BIKE RACK; SEE SITE AMENITIES LEGEND, SHEET 4. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- REMOVE AND DISPOSE OF EXISTING MOOD BOLLARD.
- NOT USED.
- INSTALL 2 (TWO) 14" LONG (MIN.) X 3" CLASS 200 PVC SLEEVES FOR FUTURE IRRIGATION, 18" DEPTH; MARK ENDS TO ENSURE FUTURE LOCATION.

REDRAWN FOR RECORD PURPOSES

RECORD DRAWINGS

THIS RECORD DRAWING HAS BEEN PREPARED, BASED UPON INFORMATION FURNISHED BY THE CONTRACTOR. THE DESIGN PROFESSIONAL HAS NOT INDEPENDENTLY REVIEWED THE ACCURACY OF THE INFORMATION PROVIDED. THESE RECORD DRAWINGS ACCURATELY DEPICT THE FIELD CHANGES WHICH WERE REPORTED BY THE CONTRACTOR.



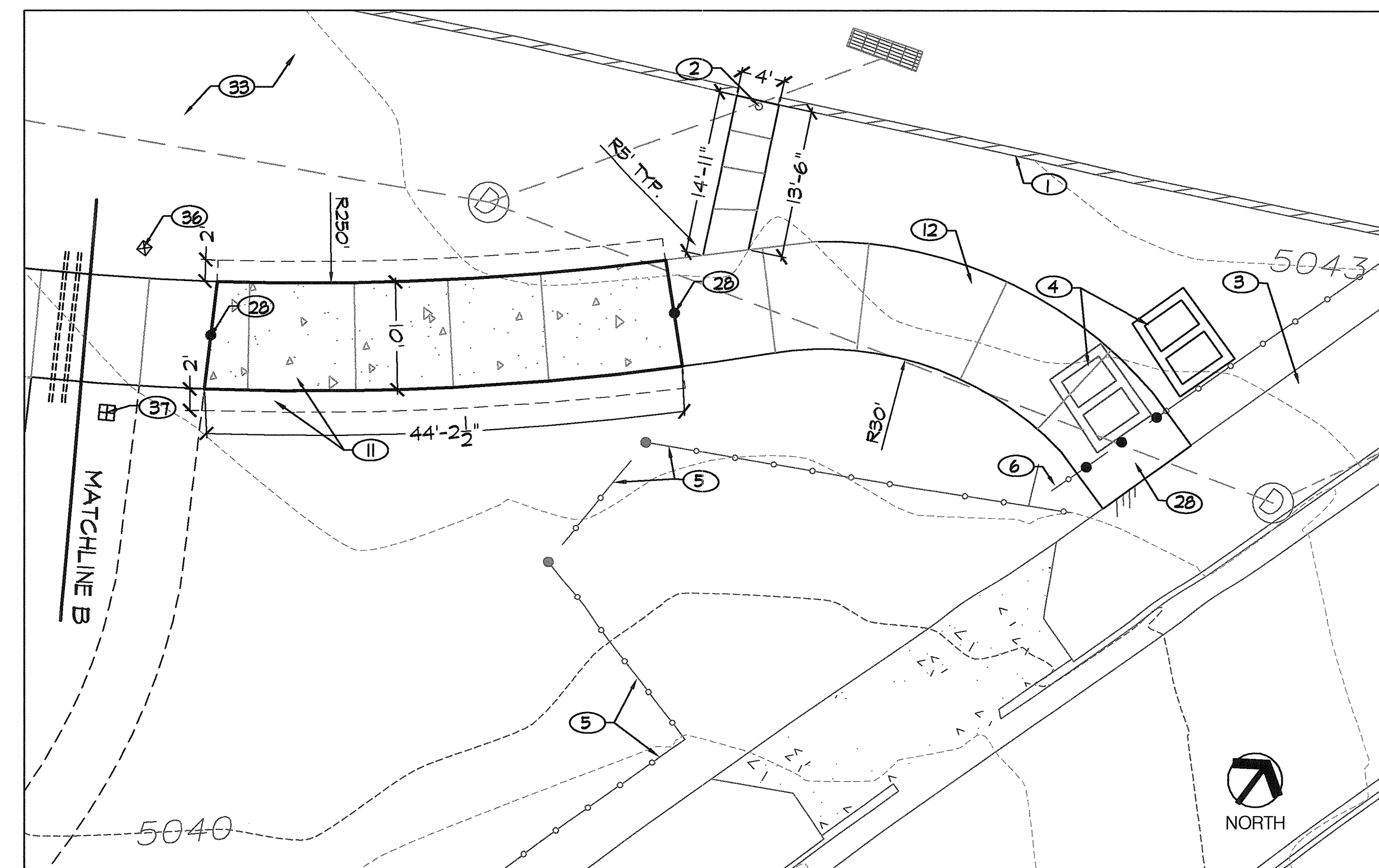
		CONSensus PLANNING, INC. Planning / Landscape Architecture 302 Eighth Street NW Albuquerque, NM 87102 (505) 764-9801 Fax 842-5495 e-mail: cp@consensusplanning.com	
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN & CONSTRUCTION DIVISION			
TITLE: PIEDRAS MARCADAS PARK - PHASE 1 PLAY AREA SITE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.
City Project No.	730906	Zone Map No.	C-12
Sheet	4	of	9

FINAL FOR CONSTRUCTION

PIEDRAS MARCADAS PARK
PHASE 1 PLAY AREA

PROJECT #730906
MARCH, 2009

RECORD DRAWINGS



DRAINAGE MANAGEMENT PLAN

PURPOSE AND SCOPE

The purpose of this plan is to provide drainage criteria necessary to manage and control storm water runoff. This plan illustrates the grading and drainage improvements required to properly discharge flows created by the site during the 6-hour, 100-year storm. The drainage concept shown on this plan was developed in concert with AMAFCA.

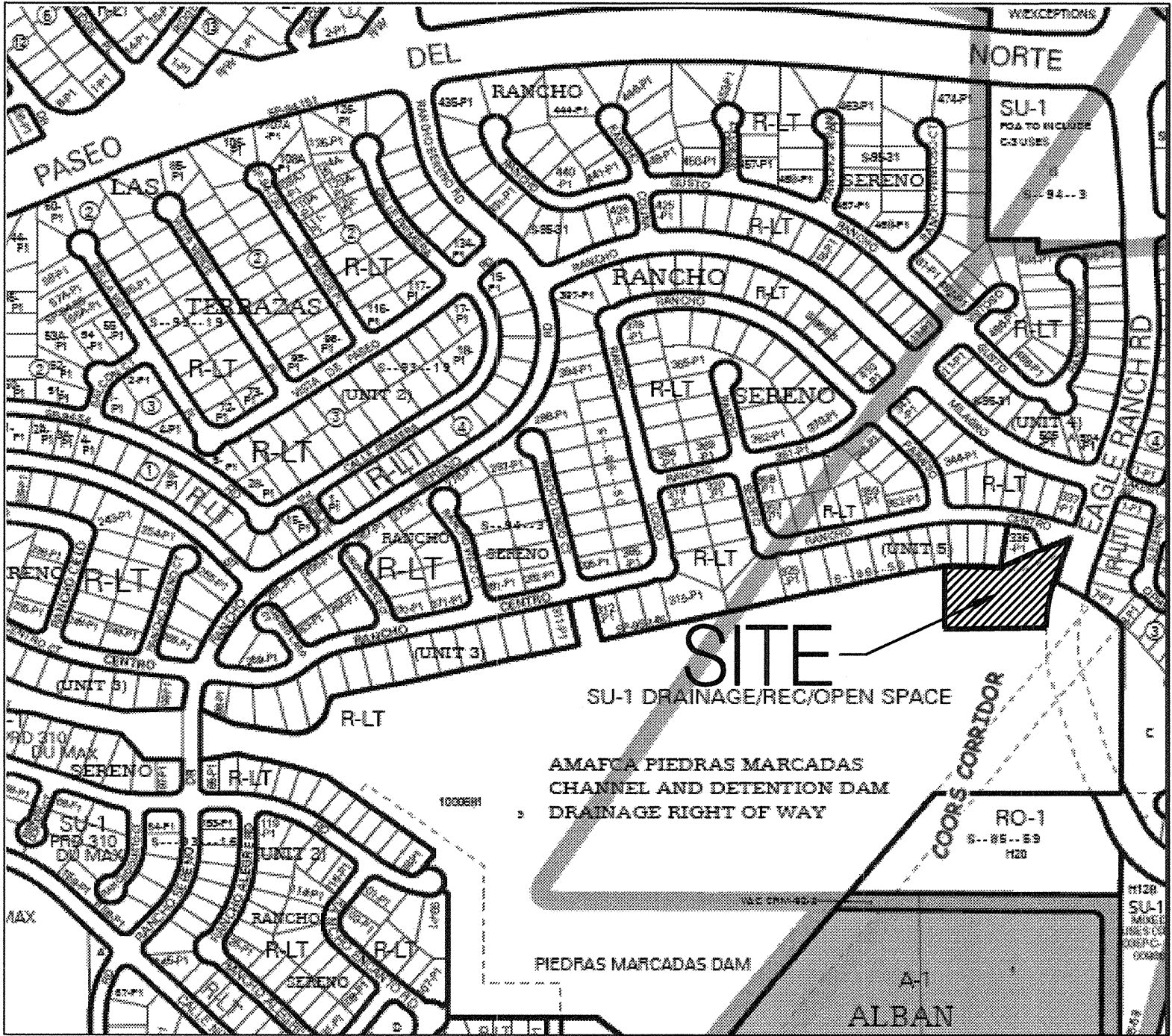
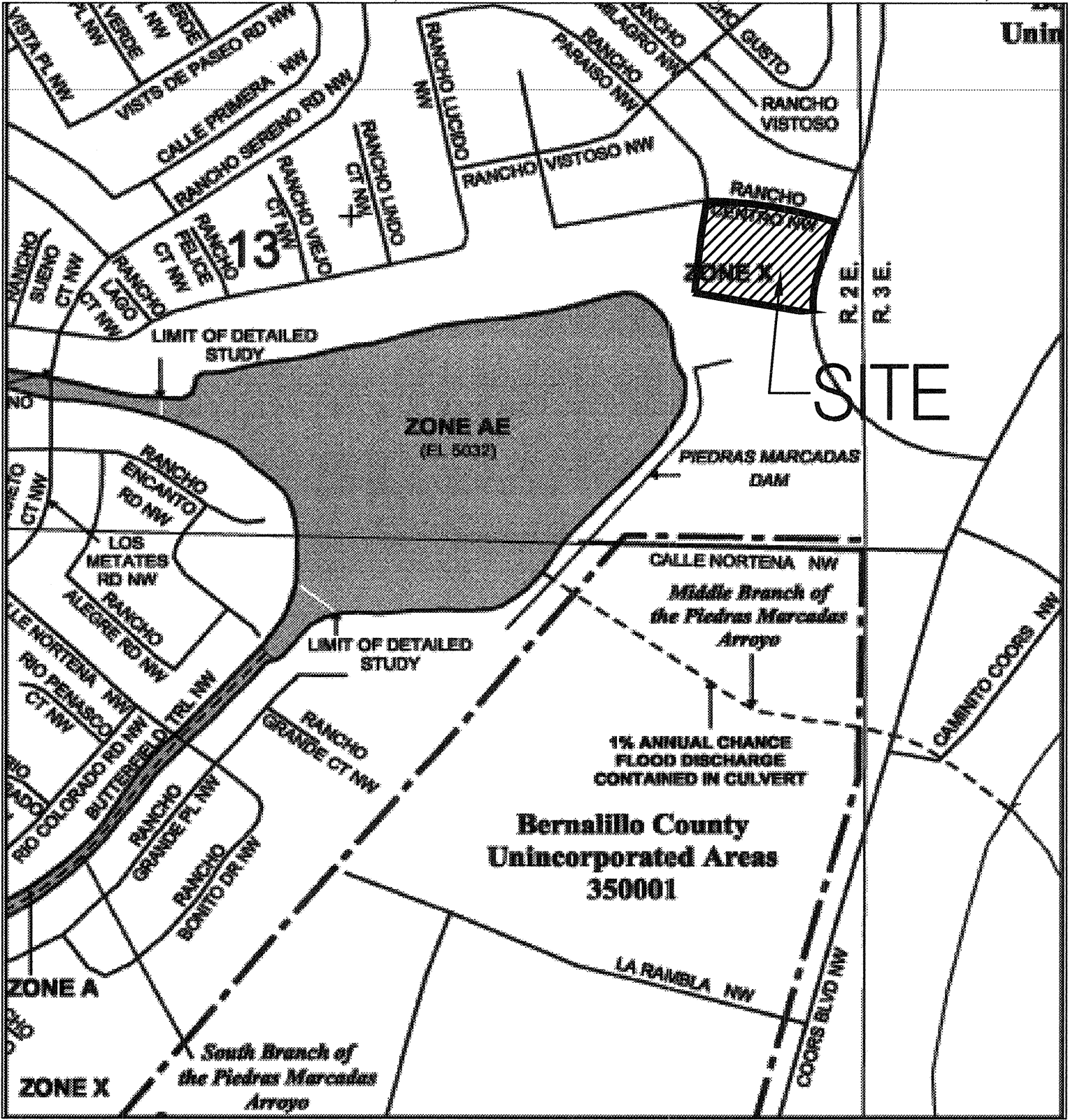
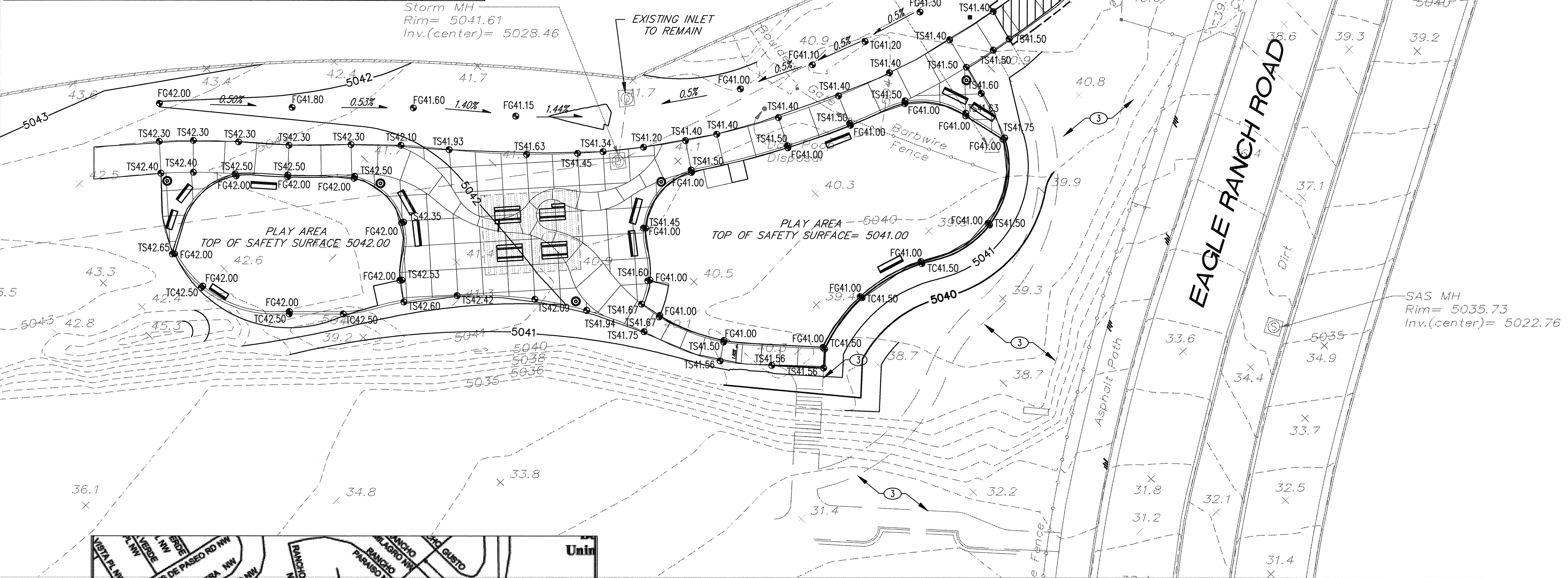
EXISTING CONDITIONS

The approximately .9 acre site consists of mostly unimproved ground with light vegetation. All existing flows are discharged into the existing Piedras Marcadas Dam spillway.

PROPOSED CONDITIONS

In accordance with AMAFCA's recommendation, all impervious areas will drain to the north into a new Type 'U' storm drain inlet. (See Inlet Table) The inlet will receive flow from all impervious surfaces (.80 cfs) as well as the landscaping area to the north (.53 cfs) and approximately 1 cfs from the offsite property north of the park. The inlet drains into an existing storm drain system. With this submittal we are requesting grading approval.

INLET TABLE						
INLET #	CONTRIBUTING BASIN	INLET TYPE	TOP OF GRATE FT	ACTUAL FLOW CFS	AVAIL HEAD FT	CAPACITY CFS
IN1	Piedras Marcadas	1-SGL D	40.75	2.33	0.58	10.46
						Sump



KEYED NOTES

- 3. FUTURE PHASE II DEVELOPMENT.

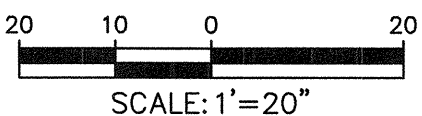
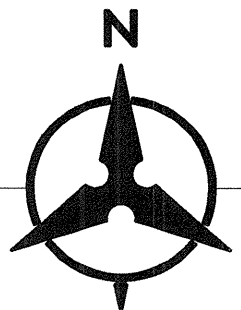
REDRAWN FOR RECORD PURPOSES

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LEGEND

- EXISTING CONTOURS
- EXISTING GROUND SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- TOP OF GRATE ELEVATION



Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

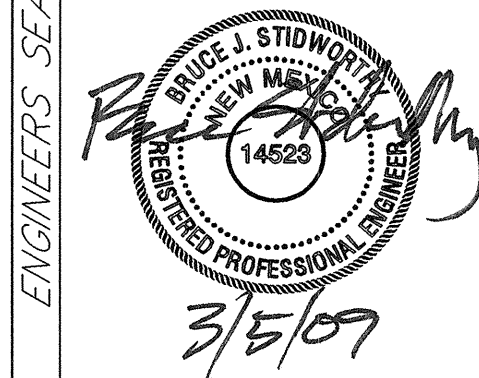
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

TITLE: PIEDRAS MARCADAS PARK
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	City Project No.	730906	Zone Map No.	C-12	Sheet	6 of 9
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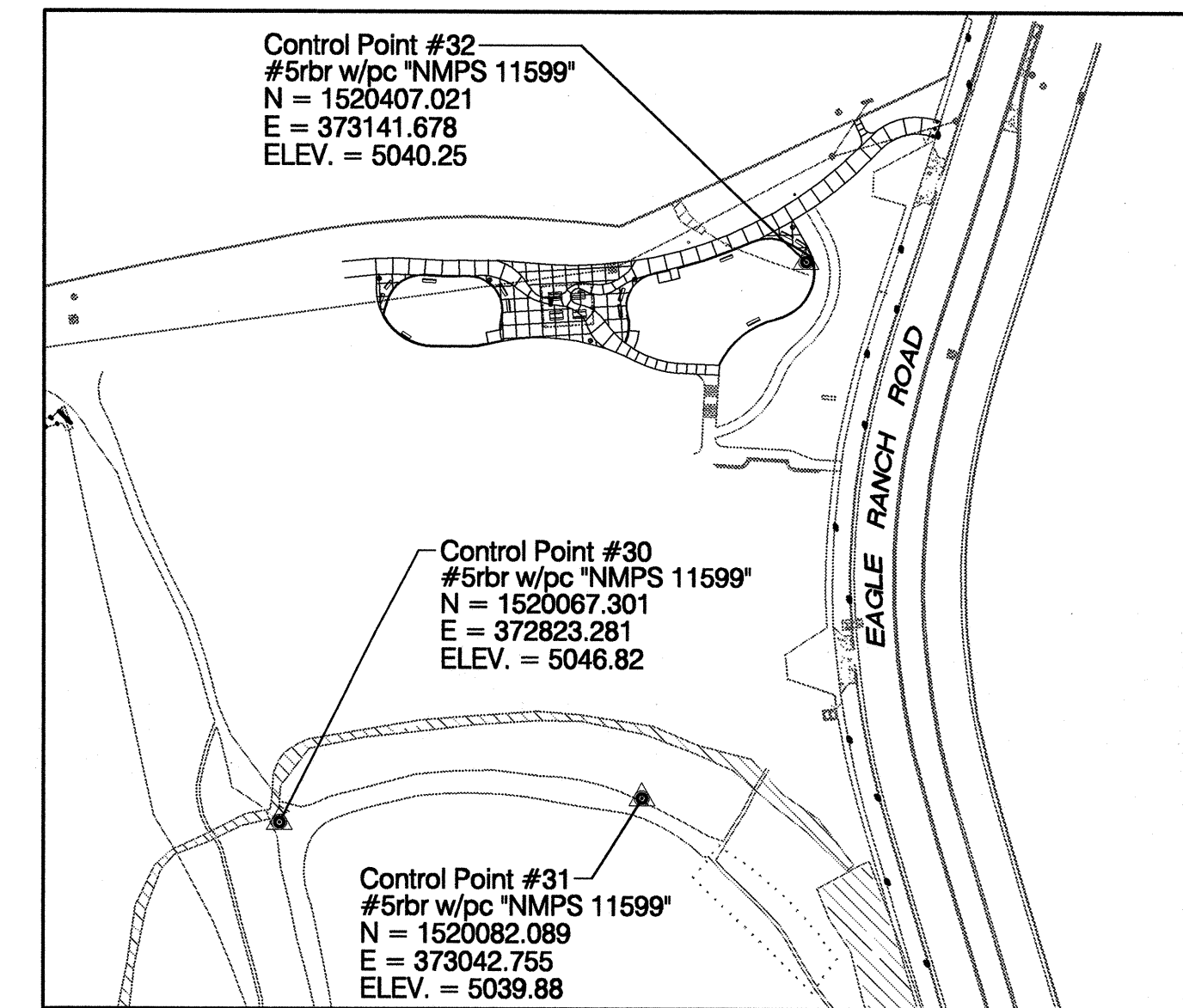
NO.	DATE	REMARKS	BY
REVISIONS			
DESIGNED BY	BJS	DATE	10/23/07
DRAWN BY	RDA	DATE	10/23/07
CHECKED BY	BJS	DATE	10/23/07

RECORD DRAWINGS

PROJECT #730906
MARCH, 2009

PIEDRAS MARCADAS PARK
PHASE 1 PLAY AREA

FINAL FOR CONSTRUCTION



CONTROL PONT # 30
CONTROL PONT # 31
CONTROL PONT # 32


(AS SHOWN ABOVE)

1. THE COORDINATES SHOWN HEREON ARE MODIFIED (SURFACE) N.M. STATE PLANE COORDINATES--CENTRAL ZONE, NAD 83 AND WERE DERIVED BY SCALING STATE PLANE COORDINATES BY THE PROJECT COMBINED FACTOR OF 1.000318381 THE ELEVATIONS SHOWN HEREON ARE REFERRED TO SEA LEVEL, NAVD 88. THE COORDINATES AND ELEVATIONS ARE EXPRESSED IN US SURVEY FEET.

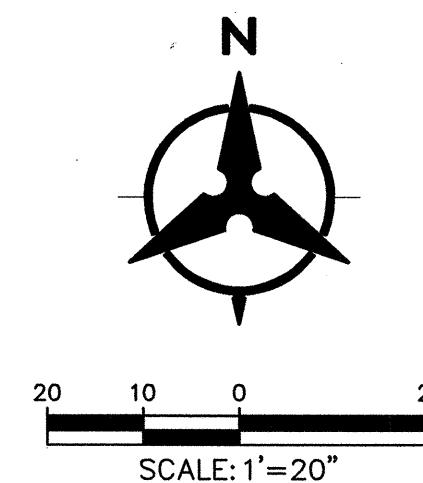
2. ALL COORDINATE POINTS & CURVE DATA ARE TO EDGE OF SIDEWALK, FACE OF HEADER CURB, OR CENTER OF STORM DRAIN INLET UNLESS NOTED OTHERWISE.
3. CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

RECORD DRAWINGS

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	Point Table	
	NORTHING	EASTING
36	1520398.12	372939.49
37	1520388.62	372867.97
38	1520380.07	372992.22
39	1520365.92	373009.92
40	1520354.06	373020.11
41	1520391.91	372973.76
42	1520387.96	372995.29
43	1520393.61	373008.78
44	1520398.42	373043.72
45	1520390.57	373027.04
46	1520388.48	373006.65
47	1520381.04	373002.93
48	1520370.48	373019.84
49	1520357.69	373031.80
50	1520345.01	373065.44
51	1520374.53	373033.06
52	1520400.25	373049.03
53	1520419.73	373108.58
54	1520418.18	373132.72
55	1520397.02	373065.10
56	1520395.87	373060.24
57	1520394.10	373052.44
58	1520364.28	373040.41
59	1520363.32	372947.90
60	NOT USED	—
61	1520451.29	373140.70
62	1520477.50	373172.32
63	1520467.69	373182.31
64	1520438.23	373147.88
65	1520354.61	372937.58
66	1520355.89	372946.98

Curve Table						
ID	RADIUS	ARC	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	40.00'	35.03'	50°10'55"	18.73'	S77°27'39"W	33.92'
C2	5.00'	8.97'	102°46'15"	6.26'	N76°14'41"W	7.81'
C3	5.00'	6.15'	70°27'01"	3.53'	S102°15'58"W	5.77'
C4	250.00'	154.03'	35°18'07"	79.55'	S63°14'32"W	151.61'
C5	250.00'	69.09'	15°50'07"	34.77'	S88°48'39"W	68.87'
C6	175.54'	15.01'	04°33'53"	7.51'	N85°25'15"W	15.00'
C7	224.66'	17.91'	04°34'02"	8.96'	S89°51'52"W	17.90'
C8	190.00'	25.99'	07°50'13"	13.01'	N88°46'57"W	25.97'
C9	210.00'	29.86'	08°08'47"	14.95'	N88°56'15"W	29.83'
C10	35.00'	15.53'	25°25'23"	7.90'	S134°44'3"E	15.41'
C11	35.00'	38.82'	6°33'22"	21.68'	S58°13'44"E	36.86'
C12	35.00'	9.52'	15°34'42"	4.79'	N82°12'39"E	9.49'
C13	125.00'	63.51'	29°06'38"	32.46'	S86°06'05"E	62.83'
C14	125.00'	19.85'	09°06'01"	9.95'	S66°59'46"E	19.83'
C15	65.00'	27.96'	24°38'41"	14.20'	S74°46'06"E	27.74'
C16	50.00'	45.81'	52°29'30"	24.65'	N51°02'36"E	44.22'
C17	30.00'	49.81'	95°08'04"	32.82'	N29°43'19"E	49.48'
C18	30.00'	6.42'	12°15'14"	3.22'	N23°58'19"W	6.40'
C19	260.00'	68.48'	15°05'26"	34.44'	N51°15'42"E	68.28'
C20	30.00'	29.44'	56°13'08"	16.02'	N71°49'33"E	28.27'
C21	21.70'	29.27'	77°17'04"	17.35'	N54°21'45"E	27.10'
C22	199.33'	26.76'	07°41'25"	13.40'	S88°42'34"E	26.73'
C23	20.67'	38.41'	106°29'06"	27.67'	S39°18'43"E	33.12'
C24	25.33'	7.46'	16°52'40"	3.76'	S05°29'30"W	7.44'
C25	34.40'	30.74'	51°12'03"	16.48'	S73°23'57"E	29.73'
C26	36.87'	26.64'	41°23'46"	13.93'	S68°29'48"E	26.66'
C27	18.47'	24.40'	75°40'57"	14.35'	S51°21'13"E	22.06'
C28	20.87'	16.03'	44°00'54"	8.43'	S40°40'46"E	15.64'
C29	32.90'	25.44'	44°18'07"	13.39'	S50°48'50"E	24.81'
C30	13.45'	25.57'	108°58'28"	18.84'	S79°36'44"E	21.89'
C31	12.35'	15.65'	72°37'06"	9.08'	N67°16'43"E	14.63'
C32	25.15'	35.72'	81°23'48"	21.63'	N64°19'51"E	32.79'
C33	50.05'	18.54'	21°13'10"	9.38'	S64°47'22"W	18.43'
C34	18.29'	21.67'	67°52'21"	12.31'	S86°55'17"W	20.42'
C35	4.78'	17.59'	210°42'56"	-----	S23°49'37"W	9.23'
C36	25.00'	20.50'	46°59'22"	10.87'	S85°02'10"E	19.93'
C37	59.04'	17.59'	17°04'02"	8.86'	S43°04'30"E	17.52'
C38	59.01'	36.53'	35°28'01"	18.87'	S69°21'21"E	35.95'
C39	25.33'	17.22'	38°56'56"	8.96'	N04°16'04"E	16.89'
C40	20.69'	33.96'	94°01'40"	22.20'	N31°50'09"E	30.27'
C41	259.33'	62.81'	13°52'38"	31.56'	N71°53'14"E	62.66'
C42	25.17'	25.23'	57°26'56"	13.79'	S86°19'38"E	24.19'
C43	125.00'	10.74'	04°55'18"	5.37'	S76°52'57"E	10.73'



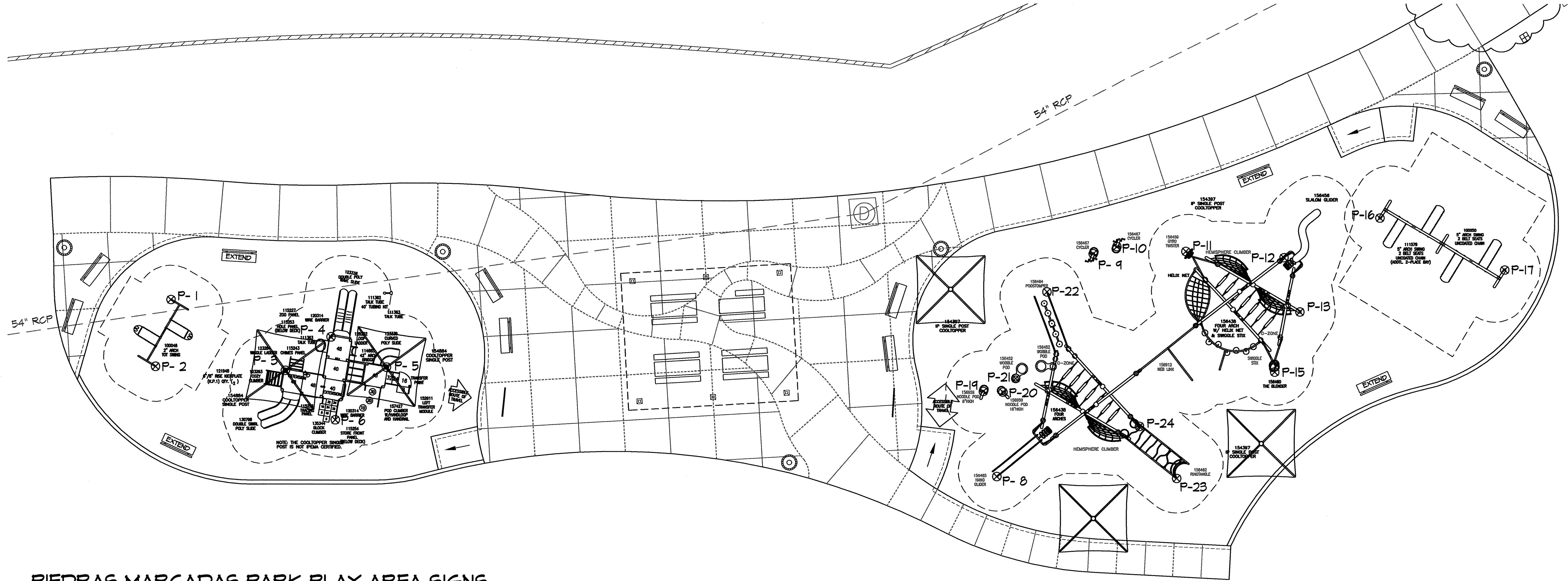
Bohannon Huston INC.

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

[illegible]

PROJECT #730906
MARCH, 2009

RECORD DRAWINGS



PIEDRAS MARCADAS PARK PLAY AREA SIGNS

PLAY EQUIPMENT COMPONENT LIST

DISTRIBUTOR: EXERPLAY (505-281-0151)

MANUFACTURER: LANDSCAPE STRUCTURES, INC. (www.playlsi.com)

PLAYBOOSTER FOR AGE 2-5

QUANTITY	ITEM NUMBER	DESCRIPTION	COLOR
POSTS			
4	111404D	124 ALUM. POST D.B.	COOL SILVER
5	111404E	116 ALUM. POST D.B.	COOL SILVER
1	111404I	84 ALUM. POST D.B.	COOL SILVER
1	154888B	241 STEEL POST FOR ROOF	COOL SILVER
1	154888C	233 STEEL POST FOR ROOF	COOL SILVER
DECKS			
1	152911B	CURVED TRANSFER MOD LEFT	
2	121948A	KICK PLATE FOR 8 RISE	
4	111228A	SQUARE TENDERDECK	
2	111224A	SQUARE DECK EXTENSION	
ROOFS			
2	154884A	COOLTOPPER SINGLE POST	BLUE
ENCLOSURES			
2	120314A	WIRE BARRIER	BLUE
PERMALENE PANELS			
1	115243A	CHIMES PANEL (ABOVE DECK)	BLUE
1	115230A	TRACING PANEL (ABOVE DECK)	BLUE/YELLOW
1	115253A	HOLE PANEL	BLUE
1	115227A	ZOO PANEL (ABOVE DECK)	BLUE
1	115254A	STORE FRONT PANEL	RED
SLIDES			
1	123336A	DOUBLE WAVE POLY SLIDE 40 DECK	GRANITE
1	130798A	DOUBLE SWIRL POLY SLIDE 40 DECK	GRANITE
BRIDGES			
1	114665A	ARCH BRIDGE (42)	BLUE BARRIERS
CLIMBERS			
1	135344B	BLOCK CLIMB GRND-DK W/PERM HANDLE	BLUE/TAN
1	123243B	COZY CLIMBER W/PERM HANDHOLD	BLUE
1	122252A	LOOP LADDER D.B.	BLUE
1	157427D	POD CLIMBER W/LOOP AND RAIL	RED
1	123284C	WIGGLE LADDER W/PERM 40 DECK D.B.	BLUE
MORE FUN			
1	111363F	TALK TUBE (NO POST)	RED
1	111363A	TALK TUBE (NO POST)	RED
1	111362A	TALK TUBE 40' TUBING KIT	RED
1	24450-1-1	CURVED POLY SLIDE PB	GRANITE
INDEPENDENT SWINGS			
1	100048A	2 ARCH TOT SWING 2 PLACE	BLUE

EVOS STRUCTURE FOR AGE 5-12

QUANTITY	ITEM NUMBER	DESCRIPTION	COLOR
EVOS MAIN STRUCTURES			
1	156438A	EVOS 4 ARCH	COOL SILVER
1	156438D	EVOS 4 ARCH W/HELIX	*
EVOS ARCH CLAMPS			
4	156439A	CLAMP NO FACES (O-O)	BLUE
9	156440A	CLAMP ONE FACE (A-A)	BLUE
1	156441A	CLAMP TWO FACES 90 DEG (A-B)	BLUE
1	156442A	CLAMP TWO FACES 180 DEG (C-C)	BLUE
1	156443A	CLAMP THREE FACES (B-B)	BLUE
GLIDERS			
1	156465A	HANG GLIDER	COOL SILVER
1	156456A	SLALOM GLIDER	BLUE
CLIMBERS			
1	156460A	THE BLENDER	*
1	156462A	RINGTANGLE	*
1	156912A	WEB LINK	*
O-ZONE CLIMBERS (INCLUDED)			
1	156464A	PODSTOMPER	BLUE
BRIDGES			
1	156464A	PODSTOMPER	
MORE FUN			
2	156467A	CYCLER	*
1	156459A	GYRO TWISTER	*
1	156959A	NOODLE POD 8 HEIGHT	RED
1	156959B	NOODLE POD 16 HEIGHT	RED
2	156452A	WOBLE POD	BLUE
* POWDERCOAT COLOR MUST MATCH ARCHES			

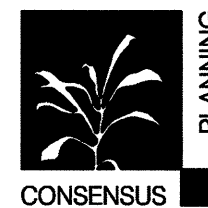
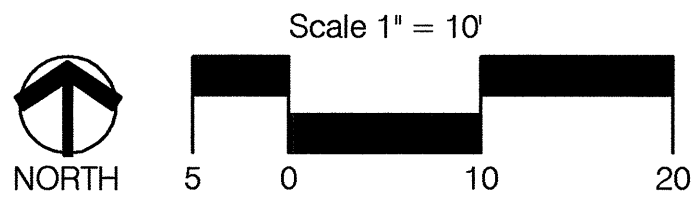
ARCH SWINGS FOR AGE 5-12

QUANTITY	ITEM NUMBER	DESCRIPTION	COLOR
INDEPENDENT COMPONENTS			
3	154397A	SINGLE POST COOLTOPPER DB	ROYAL BLUE FABRIC/ SILVER POST
INDEPENDENT SWINGS			
1	100050C	ARCH SWING DB ONLY UNCOATED Two Belt Seats	BLUE
1	111579C	ARCH SWING ADD BAY DB ONLY SCT Two Belt Seats	BLUE

#	Northing	Easting
P-1	1520387	972402.13
P-2	1520375.45	972899.34
P-3	1520374.74	972422.3
P-4	1520380.44	972430.36
P-5	1520375.31	972440.14
P-6	1520366.03	972431.1
P-7	1520382.25	973048.7
P-8	1520356.05	973047.85
P-9	1520345.25	973064.84
P-10	1520346.5	973069.02
P-11	1520345.68	973081.2
P-12	1520344.54	973098.51
P-13	1520384.93	973101.32
P-14	1520368.21	973087.46
P-15	1520374.54	973096.86
P-16	1520401.68	973115.44
P-17	1520342.42	973137.45
P-18	1520402.18	973048.48
P-19	1520371.7	973045.46
P-20	1520371.03	973048.91
P-21	1520373.44	973051.7
P-22	1520388.45	973056.64
P-23	1520355.74	973074.58
P-24	1520364.99	973073

GENERAL INSTALLATION NOTES

- PRIOR TO BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
- CONTRACTOR SHALL COORDINATE LOCATION FOR INDEPENDENT SINGLE POST COOL TOPPERS AND EXTENDED BENCHES TO BE INSTALLED WITHIN THE PLAY AREA WITH OWNER/OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLAY AREA SHALL BE SURFACED WITH 12" COMPACTED "WOODCARPET" ENGINEERED WOOD FIBER AS MANUFACTURED BY ZEAGER BROS., INC. (1-800-346-8524), OR APPROVED EQUAL.



CONSensus PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN & CONSTRUCTION DIVISION

TITLE: **PIEDRAS MARCADAS PARK - PHASE 1 PLAY AREA
PLAY AREA AND SITE DETAILS**

Design Review Committee

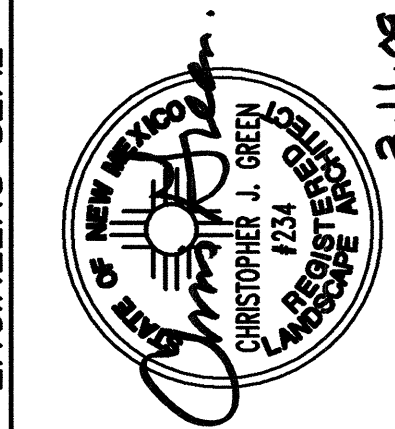
City Engineer Approval

Last Design Update

City Project No. 730906

Zone Map No. C-12

Sheet 8 of 9



NO.	DATE	REVISIONS	BY
1	9/18/08	CHANGED ALIGNMENT OF HEADER WALL AND REVISED PLAY AREA CONTROL POINTS	DESIGN

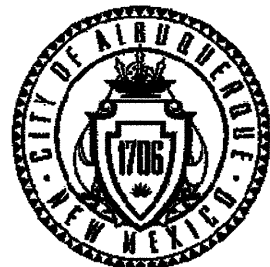
DESIGNED BY	CVO	DATE	3/09
DRAWN BY	CVO	DATE	3/09
CHECKED BY	CG	DATE	3/09

RECORD DRAWINGS

PROJECT #730906
MARCH, 2009

PIEDRAS MARCADAS PARK
PHASE 1 PLAY AREA

FINAL FOR CONSTRUCTION



City of Albuquerque
Martin J. Chavez, Mayor

Department of Municipal Development
John R. Castillo, P.E., Director

Project Information Form

Date: 01/05/09

T

Subject: Piedras Marcadas Dam/Park - Phase 1/Play Area

- Substantial Completion - 01/05/09

PRD, Park Management Division Accepts Maintenance Responsibility

As of (date): 01/05/09

Project ID#: 730906

Name of Facility: Piedras Marcadas Park

Address: 8101 Eagle Ranch Rd NW

Albuquerque, NM

CD: 5

Park Zoning: SU-1

... is officially assigned to the Park Management Division, Parks & Recreation Department, City of Albuquerque for maintenance. Outlined below is a description of work completed:

☐ Renovation ☒ Developed

Detailed Park Summary Information:

Total Park Acreage: 3.7 acres

Acres Developed: 13,600 sq/31 acre

Description of Project:

Acres of Irrigated Turf	0	cool / warm season
Turf Removal:	0	square feet
Landscape Area Trees & Shrubs:	0	square feet
Tree Count:	0	Deciduous/Evergreen
Recycled Construction Materials:	0	truckload
Recycled Benches	12	
Recycled Tables	4	
Engineered Wood Fibers	9000	square feet

Park property developed: per FINAL FOR CONSTRUCTION DOCUMENTS DATED 01/05/09 and COA specifications.

New:

- Site furnishings: (1) shade structure, (1) 2-5 year old play area with engineered wood chips and with (2) shade canopies, (1) 5-12 year old play area with engineered wood chips and with (3) shade canopies, benches, picnic tables, bike loops and trash receptacles.
- Hardscape: concrete sidewalks, turnaround in play area, score concrete pattern in plaza area, (3) handicap access ramps, (3) removable bollards painted traffic yellow.
- Park signage.

Project Name: Piedras Marcadas Dam/Park - Phase 1/Play Area

Amenities	Total Existing	#Removed	#Added	Current Total
Benches			12	12
Bike Racks (capacity)			2	2
Exercise Stations				
Mutt Mitt Dispensers				
Picnic Tables-ADA (8')			1	1
Picnic Tables-(8')			3	3
Play Areas				
Play Areas-wood fiber (sf)			9000	9000
Play Structures (2 to 5 yrs)	w(2) shade canopy		1	1
Play Structures (5 to 12 yrs)	w(3) shade canopies		1	1
Swings Sets			2	2
Shade Structure			1	1
Trash Receptacles			5	5

Tubular Fence - 4'				
Chain Link Fence - 4'				
Parking Spaces-ADA				
Parking Spaces-standard				

Light Pole-Single Std Fixture				
Light Pole - Double Std Fixture				
Basketball Courts (Full)				
Basketball Courts (Half)				
Off Leash Dog Area wood fiber				
Recreation Fields				
Skate Facility, Modular				
Softball Fields (Lit)				
Softball Fields (Unlit)				
Tennis Courts (Lit)				
Tennis Courts (Unlit)				

Effective date: 01/05/09

NO MORE CHARGES for new water, electric and gas

...will be accepted by the contractor:

City of Albuquerque, DMD, Class II Crews, Saiz Earthmoving and Trucking

...are to occur against activity numbers:

7294080

Contacts:

Project Manager, City of Albuquerque, Park Design & Construction, DMD

Project Manager: Colleen K. Frenz, RLA, ASLA

Phone: (505) 768-3826

Email: cfrenz@ciabq.gov

Fax: (505) 768-2310

Consultant: AE#7309.01

Design Consultant: Consensus Planning

Address: 302 Eighth Street NW, Albuquerque, 87102

Project Manager: Chris Green, ASLA

Phone: (505) 764-9801

Email: cgreen@consensusplanning.com

Application: Design Liability

Landscape Architect of Record: Chris Green

Address: 302 Eighth Street NW, Albuquerque, 87102

Phone: (505) 764-9801

Email: Cgreen@consensusplanning.com

Contractor Information:

Contractor: City of Albuquerque, DMD, Class II Crews

Contact Name: Manuel Avila

Phone: (505) 857-8655

Scope of Work: Phase 1- Purchase and install of all site furnishings and hardscape.

Warranty: One (1) year labor and materials

Warranty Start Date: - Expiration Date: 01/05/09 - 01/05/10

Contractor: Saiz Trucking

Contact Name: Larry Saiz

Phone: (505) 450-7232

Scope of Work: Complete site grading.

Warranty: One (1) year labor and materials

Warranty Start Date: 01/05/09 - Finish Date: 01/05/10

Warranty and Vendor Information:

The following is a listing of all labor, vendors and product warranties pertaining to project:

Piedras Marcadas Dam/Park

During the first year all calls regarding warranty information will go to the contractor. After one year calls regarding warranty go directly to the vendor.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Dumor Site Furnishings
Product: (4) 6' Bench w/center arms rests
Model#: 88-60PL/S1, color: black with cedar plastic planks
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Dumor Site Furnishings
Product: (8) 6' Bench w/center arms rests
Model#: 88-60PL/S2, color: black with cedar plastic planks
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Dumor Site Furnishings
Product: (2) Bike racks, 3 seats, holds 7 bikes
Model#: 100-68-PL/S2, color: black with cedar plastic planks
Manufacture structural warranty: 20 yrs.

Vendor: BearSaver
Phone: (800) 350-5588
Application: Site Furnishings
Product: (5) Trash receptacles
Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Dumor Site Furnishings
Product: (3) 8ft Picnic Table
Model#: 100-80-PL/S2, color: black with cedar plastic planks
Manufacture structural warranty: 20 yrs.

Audit Information for Play Equipment, Irrigation System and Backflow Preventor

Auditor: PlaySafe LLC
Phone: (505) 899-9532
Inspector Name: Sam DeFillippo
Inspection Date: 12/17/08
Products Inspected: All Play Equipment and Surfacing

Auditor:
Phone:
Inspector Name:
Inspection Date:
Products Inspected: Backflow Prevention Assembly

Auditor:
Phone:
Inspector Name:
Inspection Date:
Products Inspected: Landscape Irrigation Water Audit

Water Meter:

Reading: _____

Address: _____

Serial Number: _____

Type: _____

Final billing date: _____

New Service JV: _____

Electric Meter:

Reading: _____

Number: _____

Serial Number: _____

Type: _____

> Maintenance Documents

- Keys (5-trash receptacles)
- Benches
- Tables
- Play Structures
- Shade Structures (engineered drawings and footing details)
- Lights
- Booster Pump
- Irrigation Controller
- Permits (date approved)
- Electrical ()
- SWPPP/NOI ()
- Building (12/16/08)
- Dust Control
- Water Meter Tap ()
- Concrete Tests
- Compaction Tests

> Punch list complete date: 02/02/09

- Record drawings per General Conditions section 6.10
- Reproducible as built Record Drawings for entire park project completed by a certified draftsman.
- same scale as plans.
- Legible, reduced laminate layout drawings of irrigation system for each controller.
- color coded by each valve front of copy.
- irrigation legend and scheduled back of copy.
- irrigation schedule back of copies.
- 11"x17" format.

Email copies to:

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) 2-5 Year Old PlayBooster
Model#: n/a
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) EVOS
Model#: n/a
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) 2in Arch Tot Swing, 2 Place, w/coated chain
Model#: LSI 100048A
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (3) Single Post Cool Topper
Model#: LSI 154397A, color: blue
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) Arch Belt Swing, 2 Place, uncoated chain, w/2 seat belts
Model#: LSI 1000050C
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) Additional Bay for Arch Belt Swing, uncoated chain
Model#: LSI 111579C
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) Age Appropriate Sign 2-5 years w/2 post
Model#: LSI 100105A
Manufacture structural warranty: 20 yrs.

Vendor: Exerplay, Inc.
Phone: (505) 281-0151
Application: Landscape Structures
Product: (1) EVOS Age Appropriate Sign 5-12 years
Model#: LSI 158650A
Manufacture structural warranty: 20 yrs.

Vendor: Triple M Recreation
Phone: (480) 315-9103
Application & Product: Litchfield Shade Structures
Model#: (1) #8324P-2, Custom All Steel Barrel Vaulted
Gable End Shelter, (6) Column Design, 24-Gauge pre-cut metal roof, color: Black
Manufacture structural warranty: 20 yrs.

Vendor: Gro Well
Phone: (480) 877-8670
Application: Playground Surfacing
Product: Engineered Wood Fibers
Contract#: 690042; expires 10/07/09
Manufacture structural warranty: n/a

REDRAWN FOR RECORD PURPOSES

RECORD DRAWINGS
THIS RECORD DRAWING HAS BEEN PREPARED, BASED UPON INFORMATION FURNISHED BY THE CONTRACTOR. THE DESIGN PROFESSIONAL HAS NOT INDEPENDENTLY REVIEWED THE ACCURACY OF THE INFORMATION PROVIDED. THESE RECORD DRAWINGS ACCURATELY DEPICT THE FIELD CHANGES WHICH WERE REPORTED BY THE CONTRACTOR.



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN DIVISION

TITLE: PIEDRAS MARCADAS PARK - PHASE 1 PLAY AREA
FINAL ACCEPTANCE FORM

Design Review Committee	City Engineer Approval	Update	No. / Day / Yr.	No. / Day / Yr.
City Project No.	730906	Zone Map No.	C-12	Sheet 9 of 9

FINAL FOR CONSTRUCTION

PIEDRAS MARCADAS PARK
PHASE 1 PLAY AREA

PROJECT #730906
MARCH, 2009

RECORD DRAWINGS