

PUBLIC IMPROVEMENT PLANS
FOR
WINDMILL MANOR PLACE
ALBUQUERQUE, NEW MEXICO

MARCH 2004

PREPARED FOR:

THE STROSNIDER COMPANY
6121 INDIAN SCHOOL RD NE, STE. 275
ALBUQUERQUE, NM 87110

PREPARED BY:

ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

INDEX TO DRAWINGS

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4	GRADING DETAILS		
	PAVING PLAN & PROFILE SHEETS		
5	MASTER PAVING PLAN		
6	PAVING DETAILS & SECTIONS		
7	TIERRA AMADA ST. & DELLYNE AVE.		

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

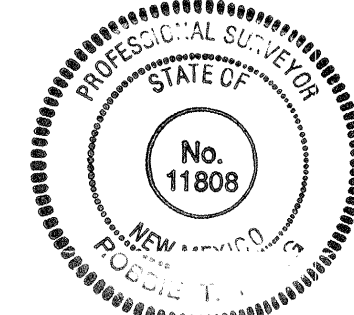
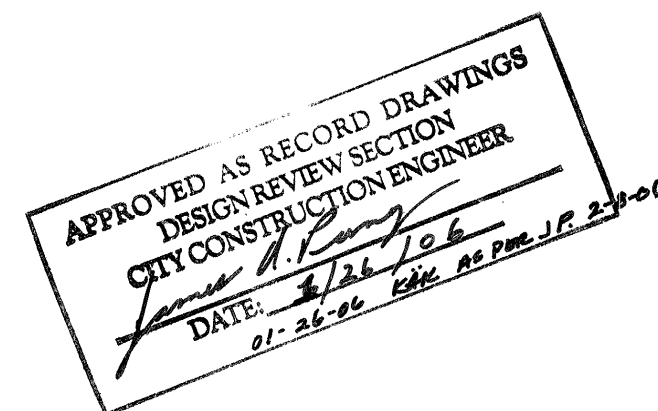
I, FRED C. ARFMAN, P.E. of the firm of ISAACSON & ARFMAN, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by SURV-TEK, INC., NMPS number 11808.

Fred C. Arfman
Fred C. Arfman, NMPE No. 7322

SURVEYORS CERTIFICATION

I, Robbie T. Hugg, New Mexico Professional Surveyor Number 11808, Herby Certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

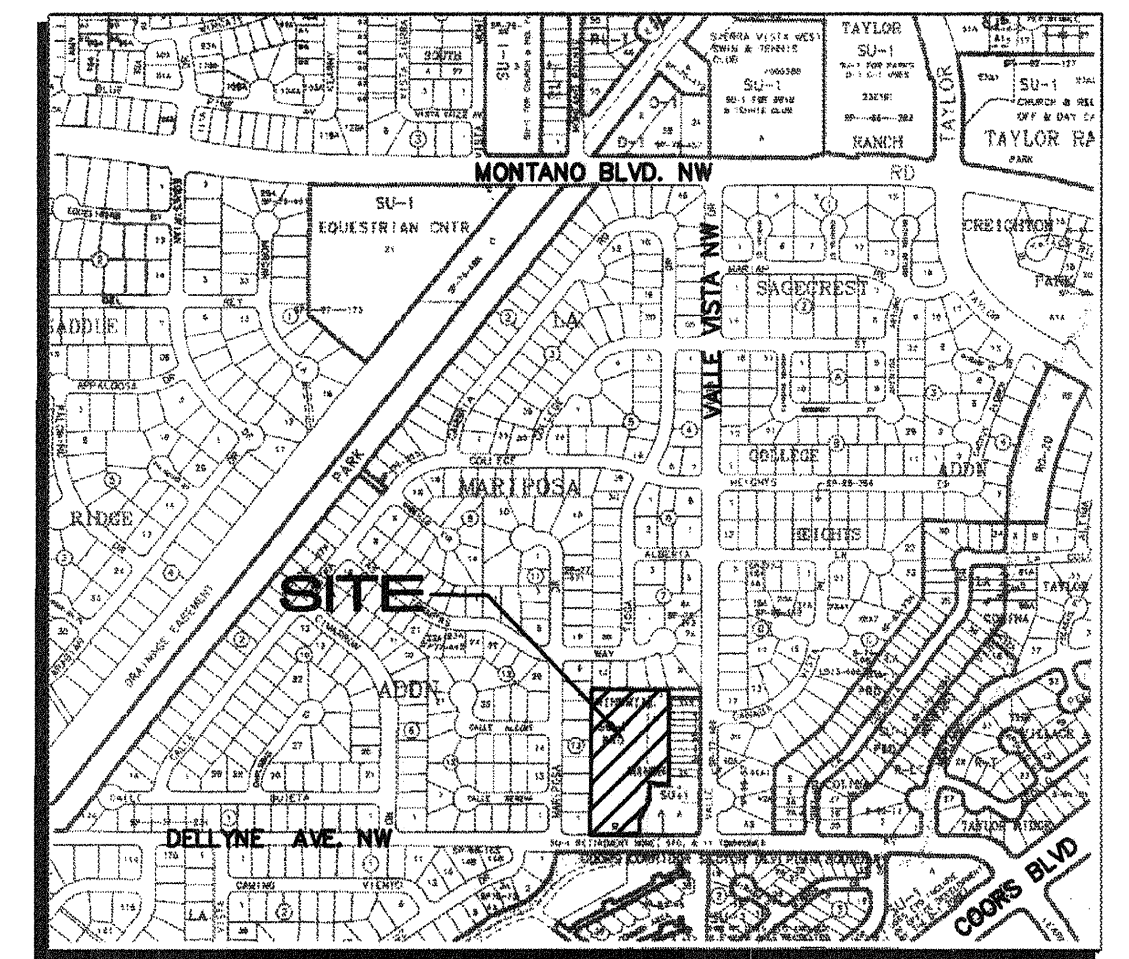
Robbie T. Hugg
NMPS No. 11808
December 15, 2004



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATER-LINE AND/OR SEWERLINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING—EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

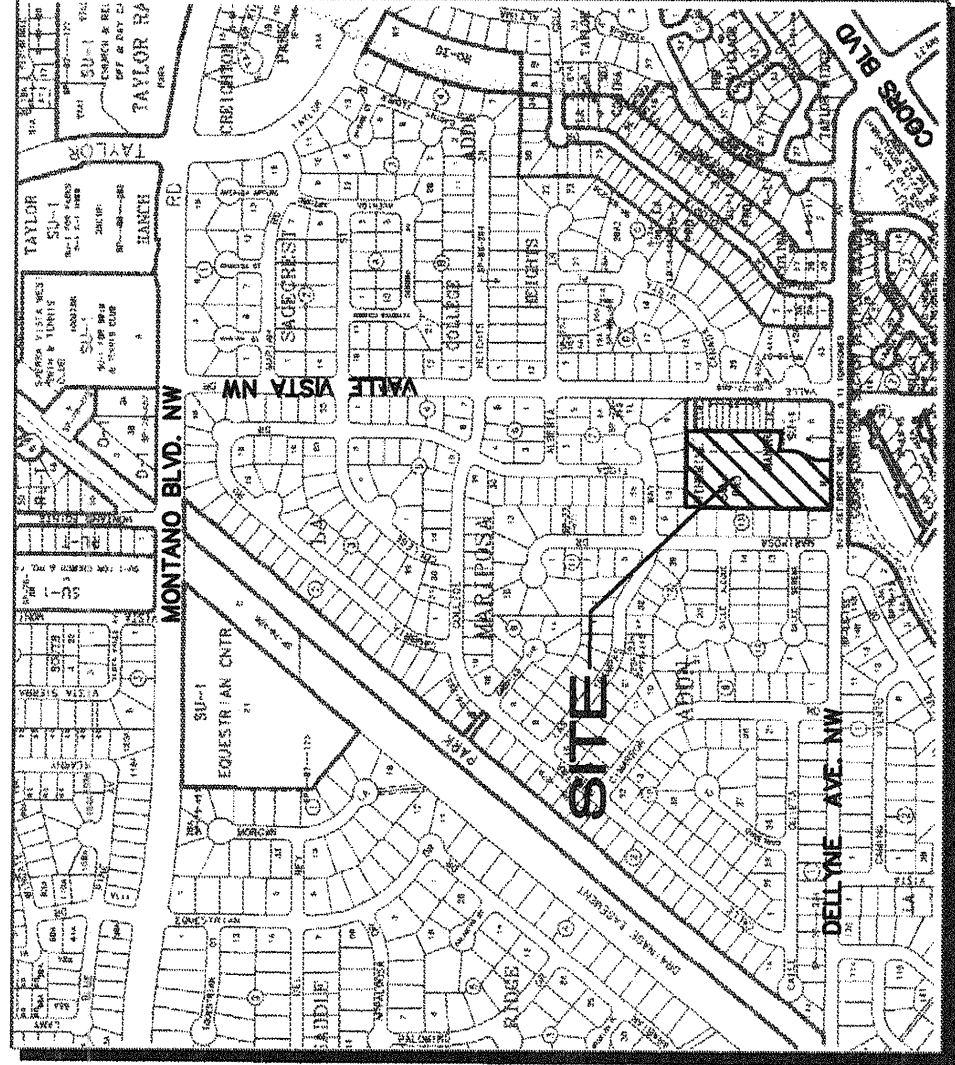
THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- TWO-WAY TRAFFIC MUST BE MAINTAINED ON DELLYNE AVENUE AT ALL TIMES.
- ARTERIAL/COLLECTOR ROAD USAGE FEES OF \$0.01 PER SQUARE FOOT OF BARRICADED AREA PER DAY WILL BE ASSESSED ON ALL LANE CLOSURES ON DELLYNE AVENUE.



E-11
VICINITY MAP
1"=750'

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman		<u>[Signature]</u>	4/2-04	APPROVED FOR CONSTRUCTION	
		Transportation		<u>[Signature]</u>	4/1/04		
		Water/Wastewater		<u>[Signature]</u>	4/6/04		
		Hydrology		<u>[Signature]</u>	3/31/04		
		AMAFCA		<u>[Signature]</u>			
Constr. Mngmt.		<u>[Signature]</u>	4-2-04	City Engineer		Date	
Constr. Coord.		<u>[Signature]</u>					
City Project No.		732481		Sheet		1	Of 9

TALOS LOG NO.: 2004113485



E-11

VICINITY MAP

SUBDIVISION DATA / NOTES

1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 21
3. Total Number of Tracts created: 3
4. Gross Subdivision Acreage: 3.4924 Ac.
5. Total Mileage of Full Width Streets Created: 0.10 mi.
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
7. Distances are ground distances.
8. Bearings and distances in parenthesis are record.
9. Basis of boundary are the following plots (and documents) of record entitled:
Plot of Windmill Manor (10/31/85, C28-151)
Plot of La Mariposa, Unit 1-C (3/4/77, D7-135)
Plot of La Mariposa, Unit 1 (4/17/75, D6-141)
Plot of Lots 1-A thru 11-A, Windmill Manor (97C-18)
10. Field Survey performed in June, 2003
11. Subject property is located within Zone X, designated areas determined to be outside the 500-year flood plain, according to the Flood Insurance Rate Map of Bernalillo County, New Mexico, and Incorporated Areas, per Panel No. 35001C01140, effective date September 20, 1996.
12. City Standard Utility Note B: "City of Albuquerque Water and Sanitary Sewer Survey, 1996, must be verified and coordinated with the Public Works Department, City of Albuquerque."
13. Centerline (in lieu of R/W) monumentation to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS #8686".
14. Unless otherwise noted all corner points are "SET 1/2" RBR with cap "GRITSKO L58686".

ACS STA 1-E11
X = 367041.31
Y = 150551.77
ELEV. = 5113.93
G-G = .99867536
AA = -0°15'22"
NEW MEXICO STATE PLANE
COORDINATES, CENTRAL ZONE
NAD 1927/NGVD 1925

VALLE VISTA DRIVE NW
(64' R/W)

NOTE:
ROTATE RECORD BEARINGS
0°01'24"
COUNTER-CLOCKWISE TO
OBTAIN NEW MEXICO STATE
PLANE GRID BEARINGS.
(CENTRAL ZONE)

DELLYNE AVENUE NW
(64' R/W)

WINDMILL MANOR PLACE
BEING A REPLAT OF
WINDMILL MANOR, TRACT B
SECTION 26, T. 11 N, R. 2 E, NMP.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTRY, NEW MEXICO
MARCH 2004

PLAT FOR

WINDMILL MANOR PLACE

BEING A REPLAT OF

WINDMILL MANOR, TRACT B
SECTION 26, T. 11 N, R. 2 E, NMP.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTRY, NEW MEXICO
MARCH 2004

128BPT1.DWGrev 3/12/04

SHEET 1 OF 3

SURVEYS SOUTHWEST, LTD.
333 LOMAS BLVD., N.E.
ALBUQUERQUE, NEW MEXICO 87102
PHONE: (505) 998-0303
FAX: (505) 998-0306

Notary Public

My Commission Expires: _____

This instrument was acknowledged before me on
2004, by Patrick Stroinsider, Managing Member of Windmill Manor Place, LLC,
a New Mexico Limited Liability Company, on behalf of said company.

ACKNOWLEDGMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }

PATRICK STROINSIDER, MANAGING MEMBER
WINDMILL MANOR PLACE, LLC

Date

OWNER
WINDMILL MANOR PLACE, LLC

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s) and/or Proprietor(s) do hereby dedicate all public street rights-of-way shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant to the City of Albuquerque all easements shown hereon including the right to construct, operate, inspect, maintain, alter, improve, and use any and all public utility easements shown hereon for the common and joint use of gas, electrical power, and communication services for overhead and/or buried distribution lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tracts into three tracts (Tracts A, B & C), to vacate residential lots shown hereon, and to grant those easements to dedicated public utility easements necessary to serve the residential development.

LEGAL DESCRIPTION

Tract B of Windmill Manor, a subdivision within Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat of the County Clerk of Bernalillo County, New Mexico, on October 31, 1985, in Volume C28, folio 151, and containing 3.4924 acres more or less.

APPROVALS

DRB PROJECT NO. 1003111
Utility Approvals

PNM ELECTRIC SERVICES DIVISION	DATE
PNM GAS SERVICES DIVISION	DATE
QWEST	DATE
COMCAST	DATE
NEW MEXICO UTILITIES	DATE
City Approvals	
CITY SURVEYOR	DATE
REAL PROPERTY DIVISION	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION

I, Gary E. Gritsko, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that I have personally supervised and controlled the survey, and my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for subdivision shown hereon. I have also personally supervised the Land Surveying in the State of New Mexico (Effective November 1, 1989 and revisions effective December 25, 1991 and February 2, 1994 and October 2000), and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko, P.S. No. 8686

Date

SHEET 1 OF 3

N 74°52'56" E (GRID)
465.73
(GROUND)

VALLE VISTA DRIVE NW
(64' R/W)

NOTE:
ROTATE RECORD BEARINGS
0°01'24"
COUNTER-CLOCKWISE TO
OBTAIN NEW MEXICO STATE
PLANE GRID BEARINGS.
(CENTRAL ZONE)

DELLYNE AVENUE NW
(64' R/W)

WINDMILL MANOR PLACE
BEING A REPLAT OF
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SECTION 26, T. 11 N, R. 2 E, NMP.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTRY, NEW MEXICO
MARCH 2004

PLAT FOR

WINDMILL MANOR PLACE

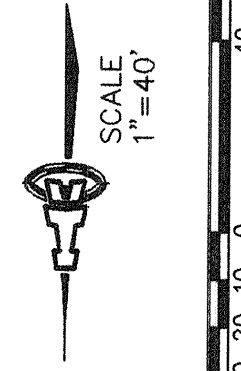
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BERNALILLO COUNTRY, NEW MEXICO
MARCH 2004

LOTS 9-13, BLOCK 7, LA MARIPOSA
FILED: APRIL 17, 1975, VOL. D6, FOLIO 141

TRACT A, WINDMILL MANOR
FILED: OCTOBER 31, 1985,
VOL. C28, FOLIO 151

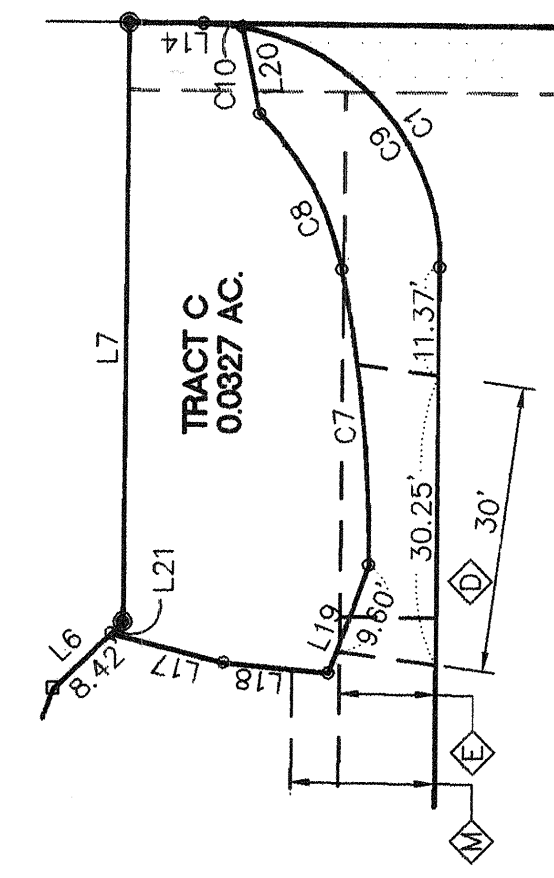
STA NM 448-N6A
X = 365457.30
Y = 150730.30
ELEV. = 5058.889
G-G = .9986794
AA = -0°15'24"
NEW MEXICO STATE PLANE
COORDINATES, CENTRAL ZONE
NAD 1927/NGVD 1925



- NOTES:**
1. SEE SHEET 3 OF 3 FOR LINE AND CURVE TABLE, EASEMENT NOTES AND LOT AREA TABLE.
 2. DISTANCES IN BRACKETS REFER TO CENTERLINE MONUMENTS.

LEGEND

- FOUND CORNER AS NOTED.
- SET 1/2" REBAR W/ YELLOW PLASTIC CAP STAMPED "GRITSKO L58686" UNLESS OTHERWISE NOTED.
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- △ CENTERLINE MONUMENT



DETAIL 'A'
1"=20'

FOR INFORMATION ONLY

SHEET 2A OF 9

128BPT1.DWGrev 3/12/04

SHEET 2 OF 3

EASEMENT NOTES

- A Tract A shall be covered by a Private Access and Drainage Easement, which is granted to and shall be maintained by the Homeowners' Association of Lots 1-A through 11-A. After final plat has been recorded, Tract A shall be deeded to the Homeowner's Association of Lots 1-A through 11-A.
- B Tract B shall be covered by a common Use and Enjoyment Easement, which is granted to and shall be maintained by Windmill Manor Place Homeowners' Association.
- C Tract C shall be covered by a Private Landscape and Access Easement, which is granted to and shall be maintained by the Owner of Tract A, Windmill Manor. After final plat has been recorded, Tract C shall be deeded to the Owner of Tract A, Windmill Manor.
- D 30' Private Access Easement is granted to and shall be maintained by the owner of Tract A, Windmill Manor.
- E 10' Public Utility Easement granted by this plat.
- F Public waterline easement granted to the City of Albuquerque by this plat, the northerly 7 feet being non-exclusive.
- G Existing Private Common Drainage & Ponding Easement (10-31-85, C28-151) Drainage Covenant (BK Misc. 287-A, Pg. 17), portion not contained within Tract A vacated by Application 03DRB-01987.
- H Existing Reciprocal Cross Access and Drainage Easement (8/2/96, BK 96-21, Pg. 3469-3475; 1/2/97, BK 97-1, Pg. 119-127), portion contained within Lot 21 vacated by Application 03DRB-01987.
- I Existing 10' Public Utility Easement (1/13/97, 97C-18)
- J Existing 7' Public Utility Easement (10/31/85, C28-151).
- K Shaded portion of existing 7' Public Utility Easement (10/31/85, C28-151) vacated by Application
- L 80'x65' Private Drainage Easement (Recorded as Instrument on 1/2/97 in BK. 97-1, pp. 119-127). Shown for information only.
- M 15' Public Pedestrian Access Easement granted to the City of Albuquerque by this plat.

LOT AREA TABLE		
LOT AREA (SF)	LOT	AREA (SF)
1 5248	12	4725
2 4620	13	3907
3 4620	14	4282
4 4620	15	4813
5 4620	16	4589
6 4620	17	4592
7 4620	18	4595
8 4620	19	4598
9 4620	20	4601
10 4620	21	5640
11 4620		

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°13'25" E	33.93 (N 00°14'49" E) (34.00)
L2	N 81°09'20" W	70.61 (N 81°03'04" W) (70.53)
L3	S 08°44'23" W	43.86 (S 08°56'56" W) (43.80)
L4	S 11°13'56" W	38.36 (S 11°02'37" W) (38.58)
L5	S 20°36'39" W	52.49 (S 20°38'09" W) (52.51)
L6	N 45°43'21" E	10.15 (N 00°18'11" E) 62.37
L7	S 44°10'01" E	12.01
L8	S 00°18'59" W	7.06
L10	S 89°39'57" E	6.99
L12	S 00°12'53" W	10.06
L13	S 00°00'46" W	15.23
L14	S 89°41'49" E	7.75
L15	N 81°09'20" W	8.34
L16	S 08°44'23" W	7.98
L17	N 75°34'29" W	12.21
L18	N 84°28'09" W	11.01
L19	S 20°15'22" W	12.03
L20	S 11°49'33" E	9.19
L21	S 45°43'21" W	1.73

CURVE TABLE				
CURVE	RADIUS	LENGTH	TANGENT CHORD	BEARING
C1	25.00	39.28	25.01 35.36	S 44°41'25" E 90°00'48"
C2	25.00	39.26	24.99 35.35	N 45°18'35" E 89°59'12"
C3	20.00	31.41	19.99 28.28	N 44°40'29" W 82°58'56"
C4	20.00	31.42	20.01 28.29	S 45°19'31" W 90°01'04"
C5	15.00	23.37	14.81 21.08	N 44°51'21" E 89°16'56"
C6	15.00	23.37	14.81 21.08	S 44°51'21" W 89°16'56"
C7	151.49	31.14	15.63 31.09	S 05°32'00" E 11°48'42"
C8	31.25	18.52	9.94 18.23	S 28°24'07" E 33°57'32"
C9	25.00	35.20	21.22 32.36	S 40°00'51" E 80°39'41"
C10	25.00	4.08	2.04 4.08	S 85°01'15" E 9°21'07"

PLAT
FOR
WINDMILL MANOR PLACE

BEING A REPLAT OF
WINDMILL MANOR, TRACT B
SECTION 26, T. 11 N. R. 2 E. N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2004

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER RELATED UTILITIES; AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES; INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD GAS LINES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN UTILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS FROM THE PUBLIC HIGHWAYS, EASEMENTS, AND ADJACENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. ADJACENT OWNERS SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS, EASEMENTS, AND CONSENTS FOR ANY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

PUBLIC SERVICE COMPANY OF NEW MEXICO, FOR ITS ELECTRIC AND GAS SERVICES, HEREBY RELEASES, RELEASING, REMOVING, AND DISCHARGES ITS RIGHT, TITLE AND INTEREST IN THE EASEMENTS (GRANTED BY PRIOR PLAT, REPLAT OR DOCUMENT) SHOWN TO BE VACATED ON THIS PLAT.

PNM ELECTRIC AND GAS SERVICES

By: _____

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

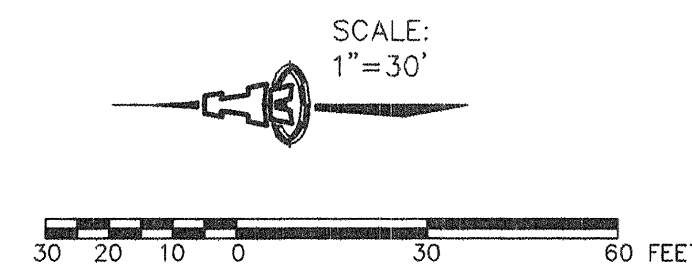
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ OF PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION, ON BEHALF OF SAID CORPORATION.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____

FILED: APRIL 17, 1975, VOL. D6, FOLIO 141

SCANNED BY
MESA REPRO



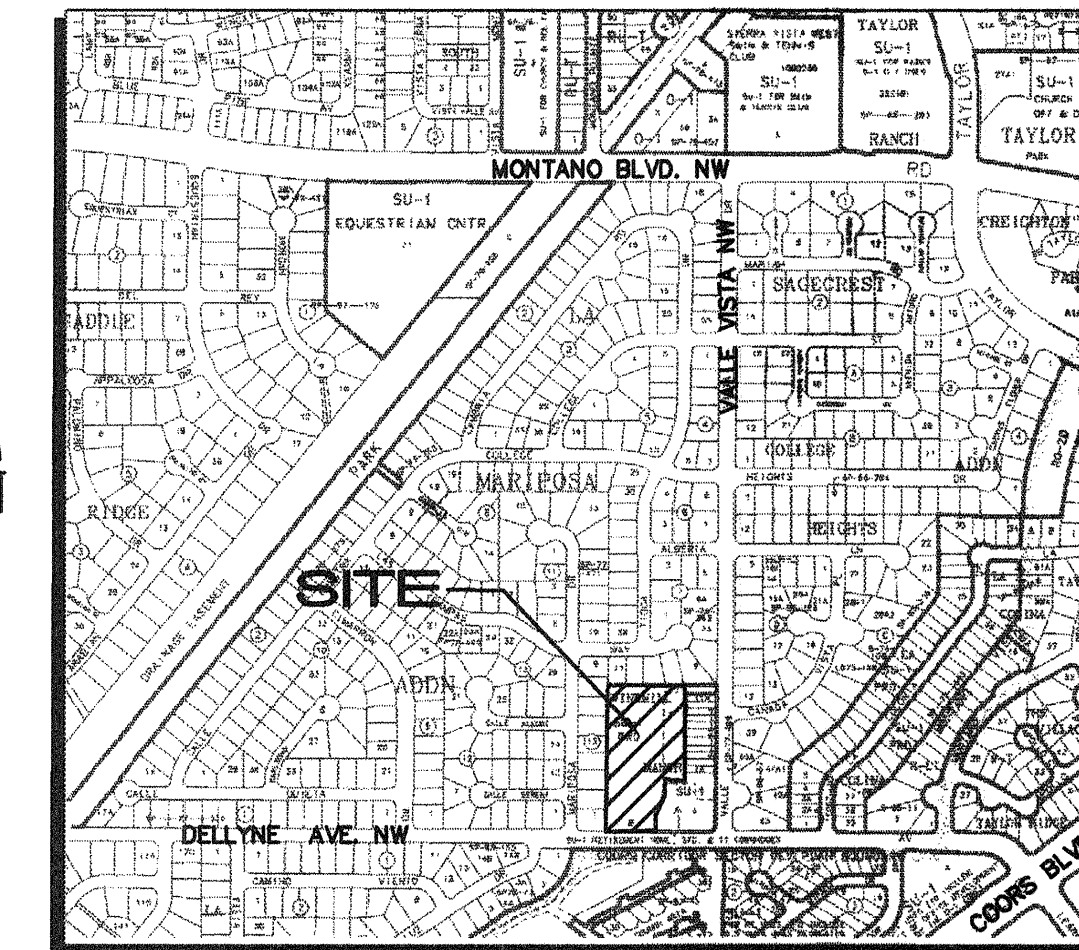
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 00°13'25" E	33.93
	(N 00°14'49" E)	(34.00)
L2	N 81°09'20" W	70.61
	(N 81°03'04" W)	(70.53)
L3	S 08°44'23" W	43.86
	(S 08°56'56" W)	(43.80)
L4	S 11°13'56" W	38.36
	(S 11°02'37" W)	(38.58)
L5	S 20°36'39" W	52.49
	(S 20°38'09" W)	(52.51)
L6	N 45°43'21" E	10.15
L7	N 00°18'11" E	62.37

VALLE VISTA DRIVE NW
(64' R/W)

WINDMILL MANOR
FILED: JANUARY 19, 1997, VOL. 97C, FOLIO 18

TRACT A, WINDMILL MANOR
FILED: OCTOBER 31, 1985,
VOL. C28, FOLIO 151

DELLEYNE AVENUE NW
(64' R/W)



E-11

VICINITY MAP

1"=750'

LEGAL DESCRIPTION

TRACT B, WINDMILL MANOR (3/3/85, C28-151),
ALBUQUERQUE, NEW MEXICO

AREA

3.4924 ACRES

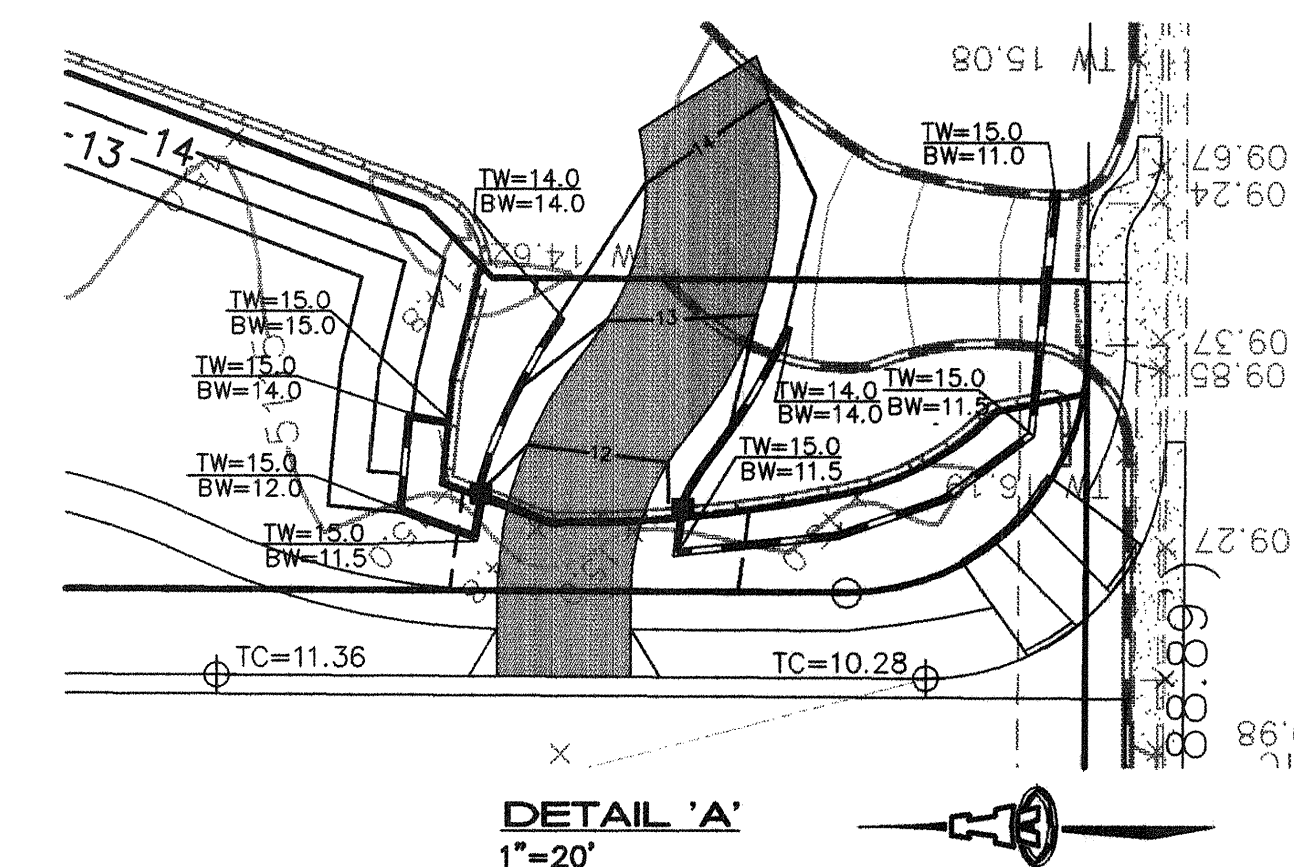
ACS BENCHMARK

ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM
11-E11" EPOXIED TO TOP OF CONCRETE CURB, ENE
QUADRANT OF DELLEYNE AVE & VALLE VISTA DR.

ELEV=5103.70

SURVEYOR

THOMAS D. JOHNSTON, NMPS 14269
TOPOGRAPHIC SURVEY PERFORMED NOVEMBER 2003.



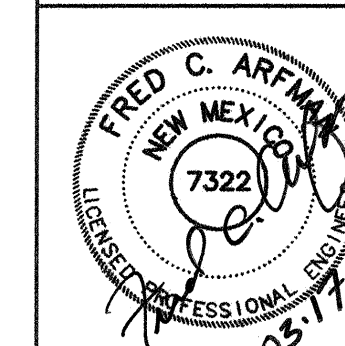
DETAIL 'A'
1"=20'

LEGEND

- 5115 — EXISTING CONTOUR
- 414.2 — EXISTING SPOT ELEVATION
- 09 — PROPOSED CONTOUR
- ◆ 78.3 — PROPOSED SPOT ELEVATION
- — FLOW ARROW
- PG=5113.4 — PAD GRADE ELEVATION
- TC 81.9
FL 81.4 — TOP OF CURB
FLOWLINE ELEVATION
- — RETAINING WALL
- TW=14.5
BW=13.2 — TOP OF RETAINING WALL
BOTTOM OF RETAINING WALL ELEVATION
- — BASIN BOUNDARY
- — BASIN ID

WINDMILL MANOR PLACE

GRADING & DRAINAGE PLAN



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

1288GRD.DWGaww 3/16/04

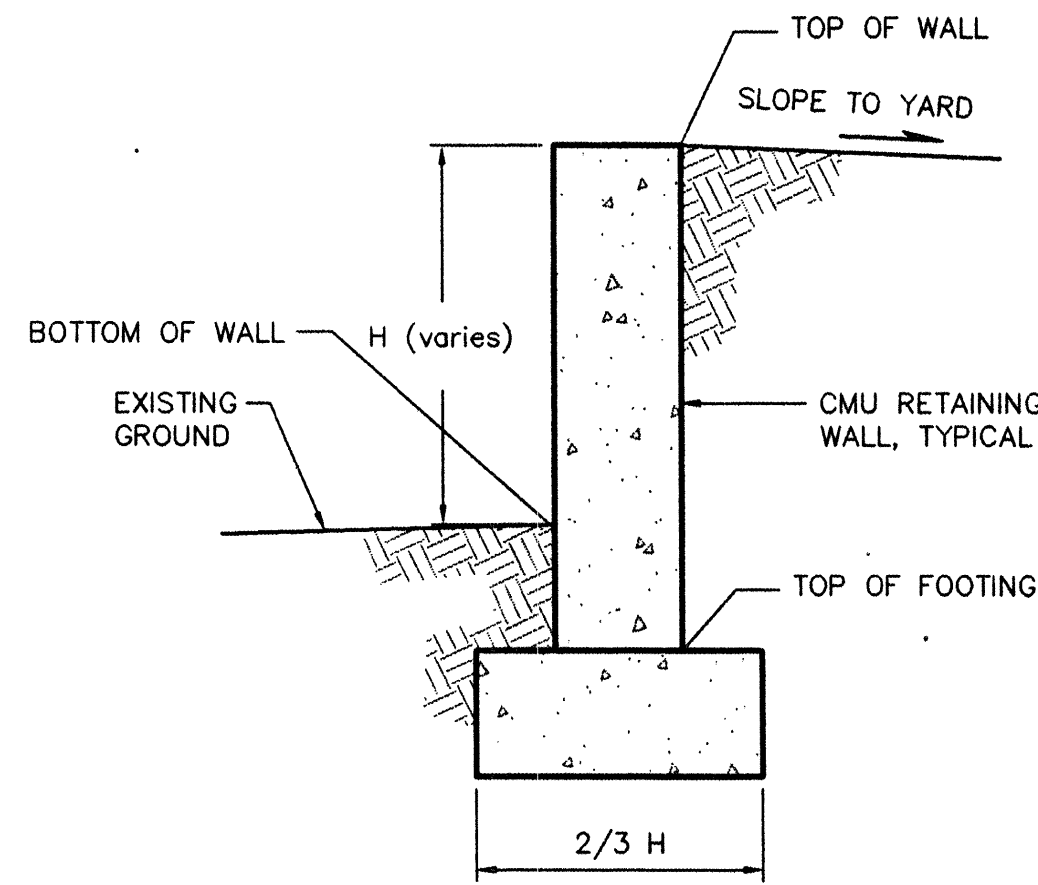
SHEET 3 OF 9

LOTS 1-8, BLOCK 13, LA MARIPOSA
FILED: MARCH 04, 1977, VOL. D7, FOLIO 135

732481

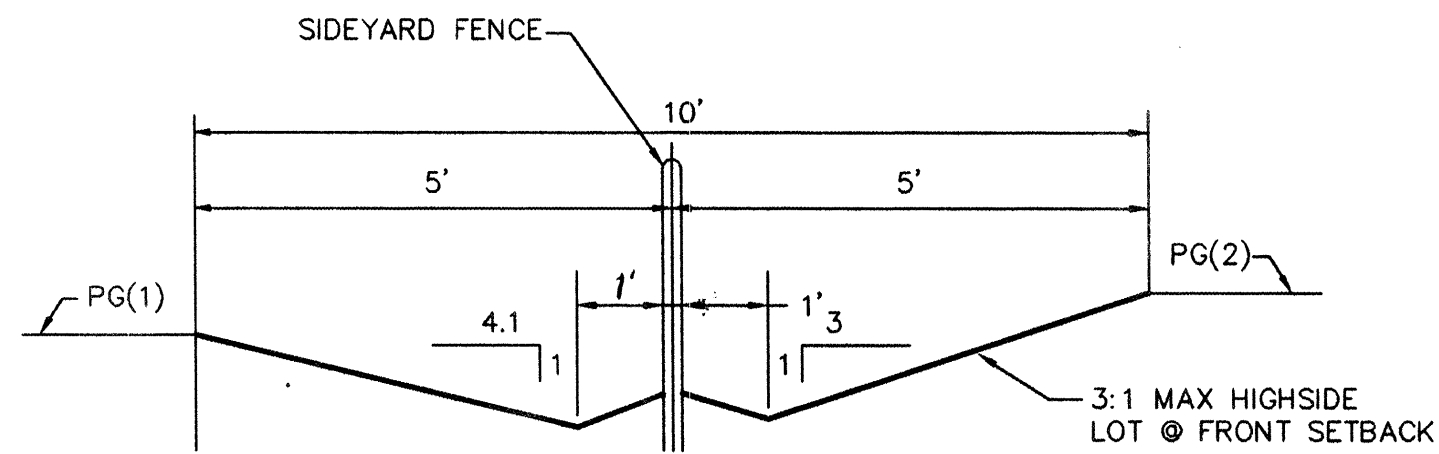
GRADING NOTES:

1. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
2. ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
3. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
4. CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
5. SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
6. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
7. MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
8. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
9. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
10. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT ERODED AND WASHED DOWN THE STREET.
11. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHALL COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
12. OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
13. SEE STORM WATER POLLUTION PREVENTION PLAN FOR EROSION CONTROL.

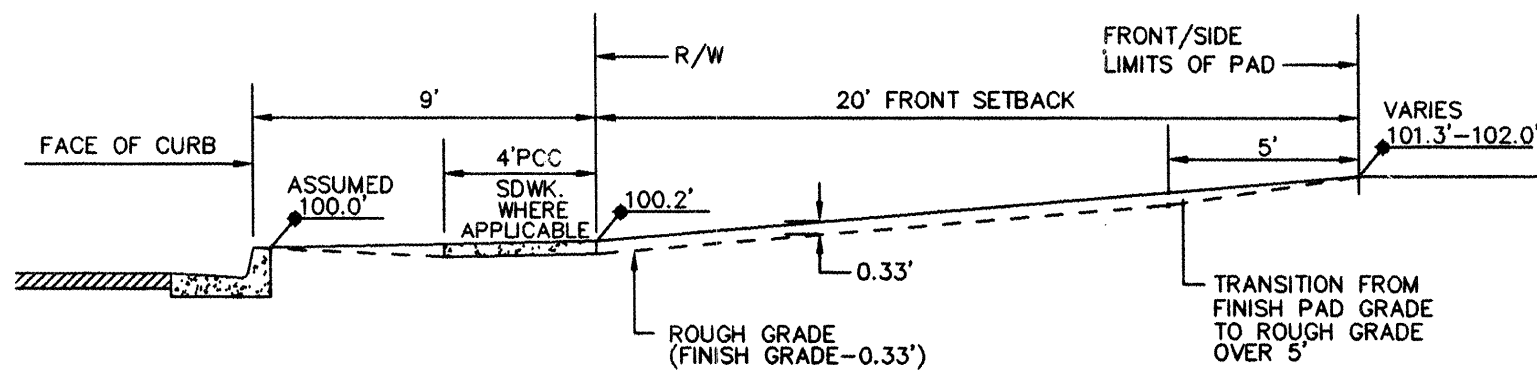


**RETAINING WALL
TYPICAL SECTION**
SCALE: 1"=1'-0"

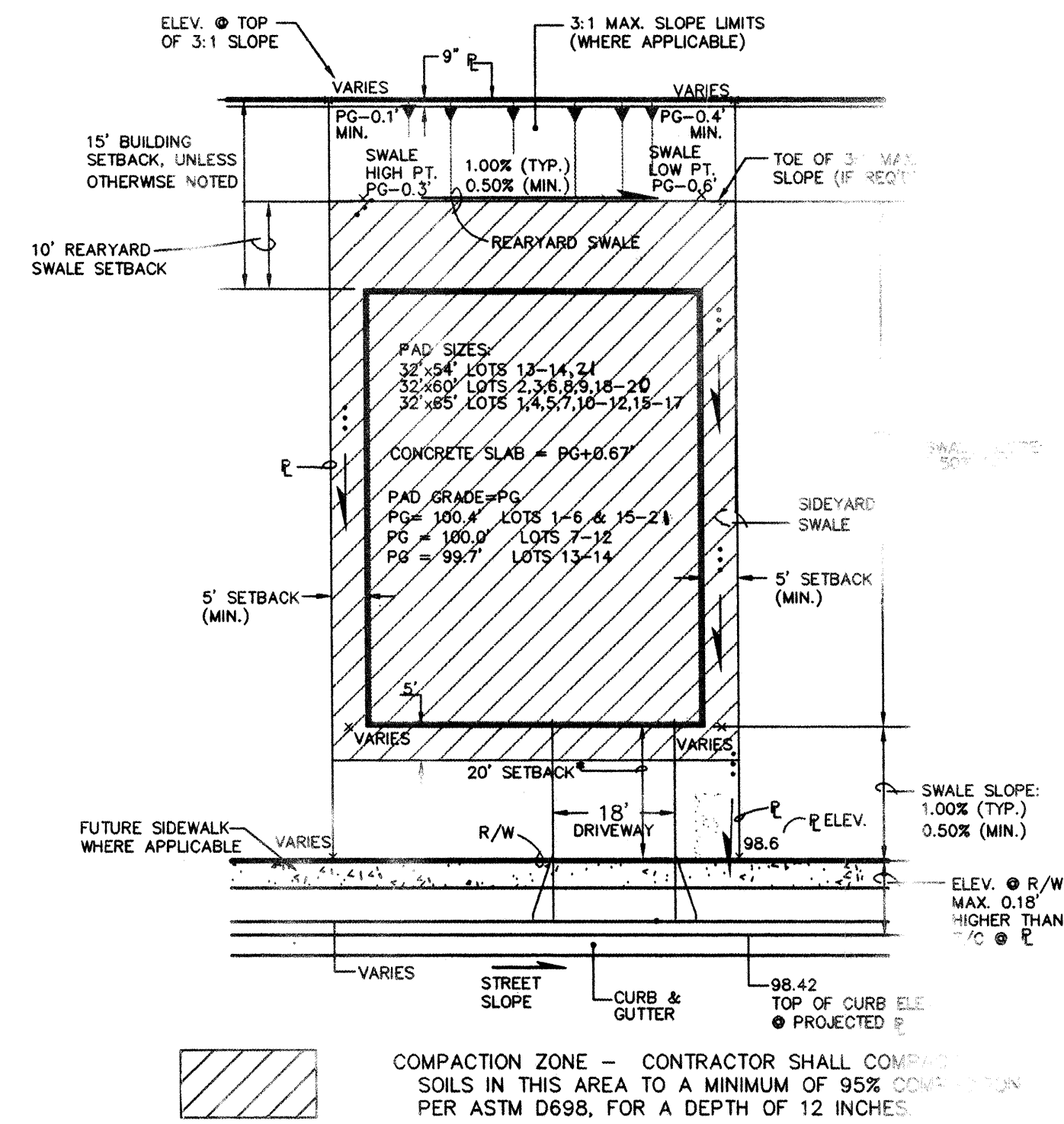
NOTE: RETAINING WALL TO BE
DESIGNED BY STRUCTURAL ENGINEER



**SIDEYARD
DRAINAGE SWALE**
NOT TO SCALE

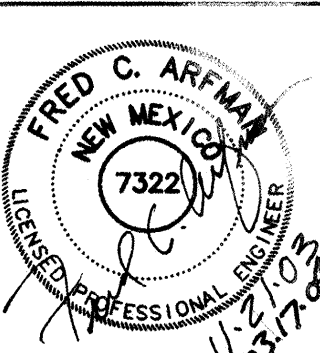


FRONT/SIDE YARD GRADING
SCALE: 1"=5'-0"



TYPICAL LOT GRADING

WINDMILL FOR ESTATES
GRADING & DRAINAGE DETAIL



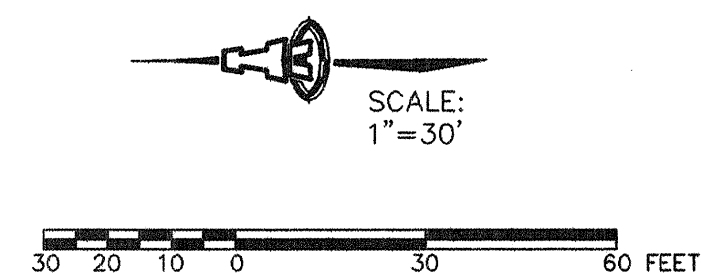
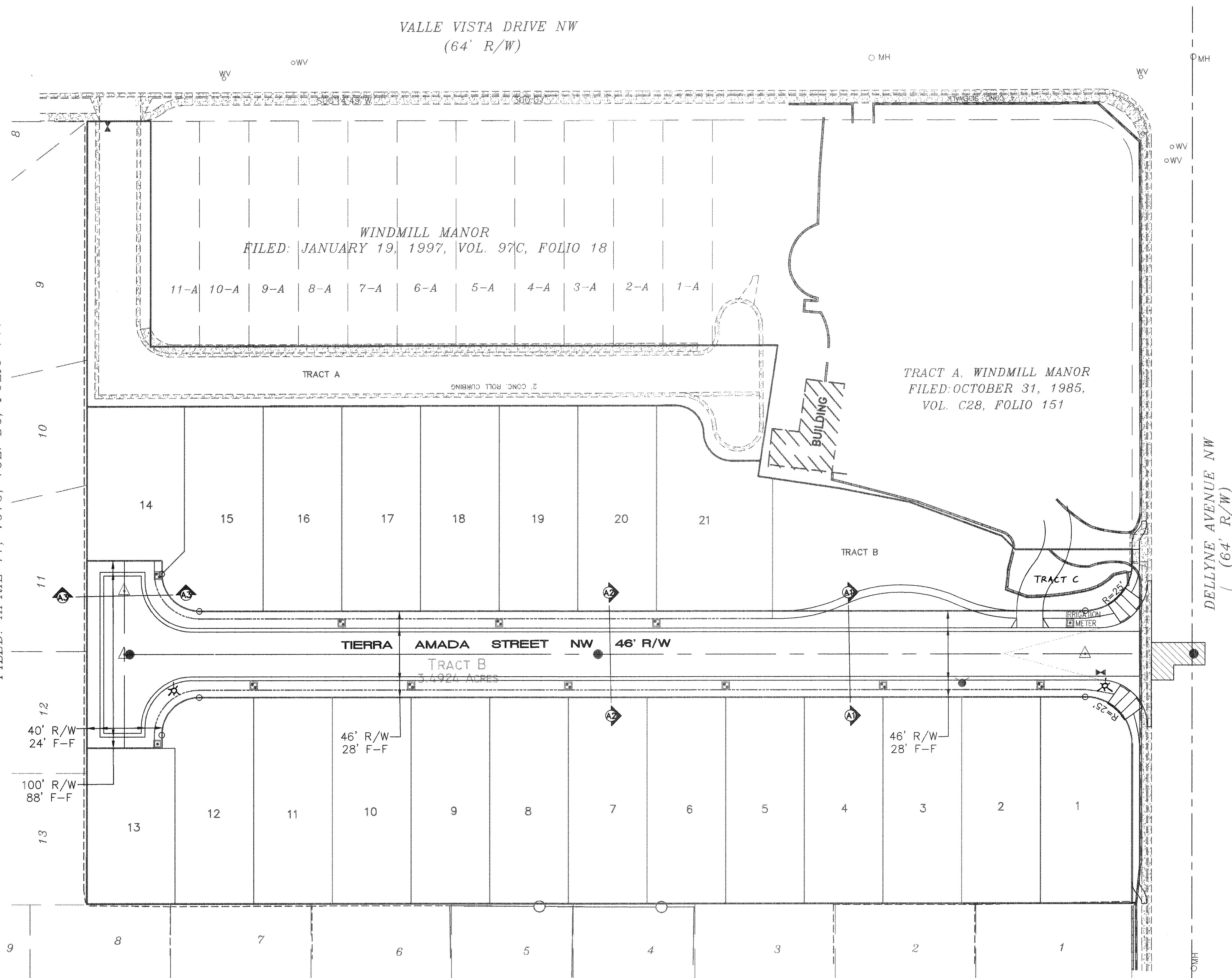
OSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico

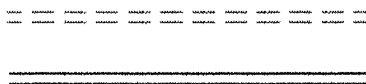
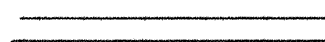
11/20/03

732481

LOTS 9-13, BLOCK 7, LA MARIPOSA
FILED: APRIL 17, 1975, VOL. D6, FOLIO 141

LOTS 1-8, BLOCK 13, LA MARIPOSA
FILED: MARCH 04, 1977, VOL. D7, FOLIO 135

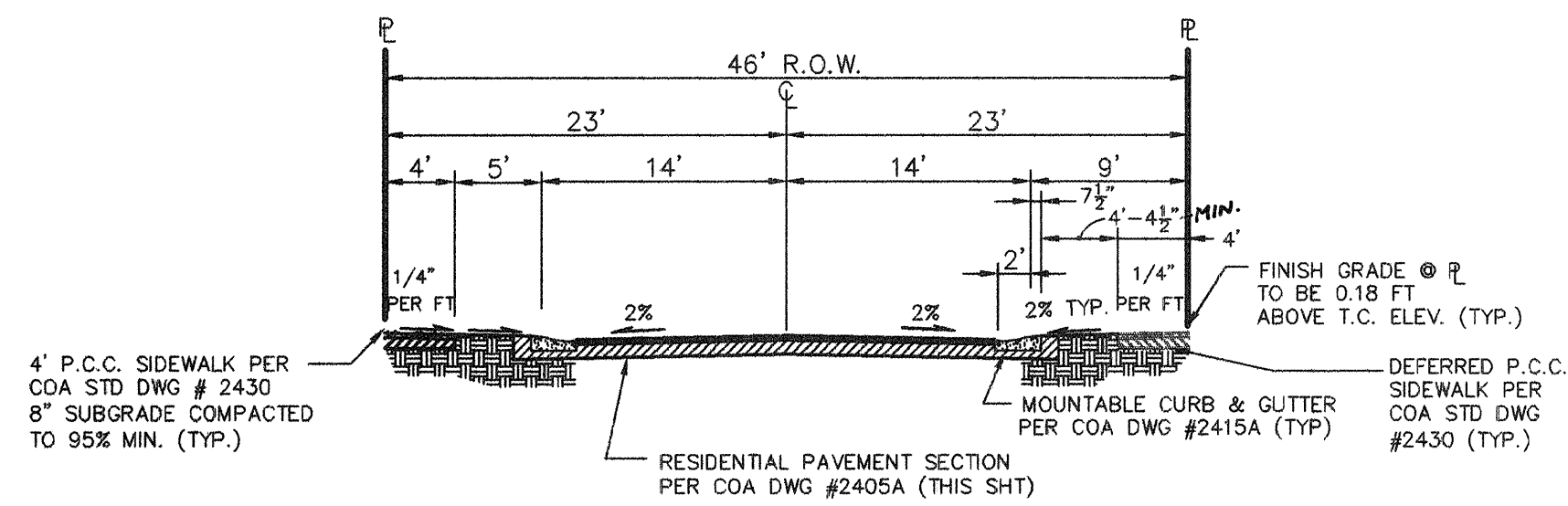


	EXISTING STREET IMPROVEMENTS
	PROPOSED STREET IMPROVEMENTS
	WHEEL CHAIR RAMP
	VALLEY GUTTER
20	LOT NO.
	PROPOSED STREET LIGHT
	PROPOSED 4' WIDE SIDEWALK
	DEFERRED 4' WIDE SIDEWALK
	PAVING SECTION - SEE SHEET 6
	SAS MANHOLE
	WATER METER
	FIRE HYDRANT
	CENTERLINE MONUMENT

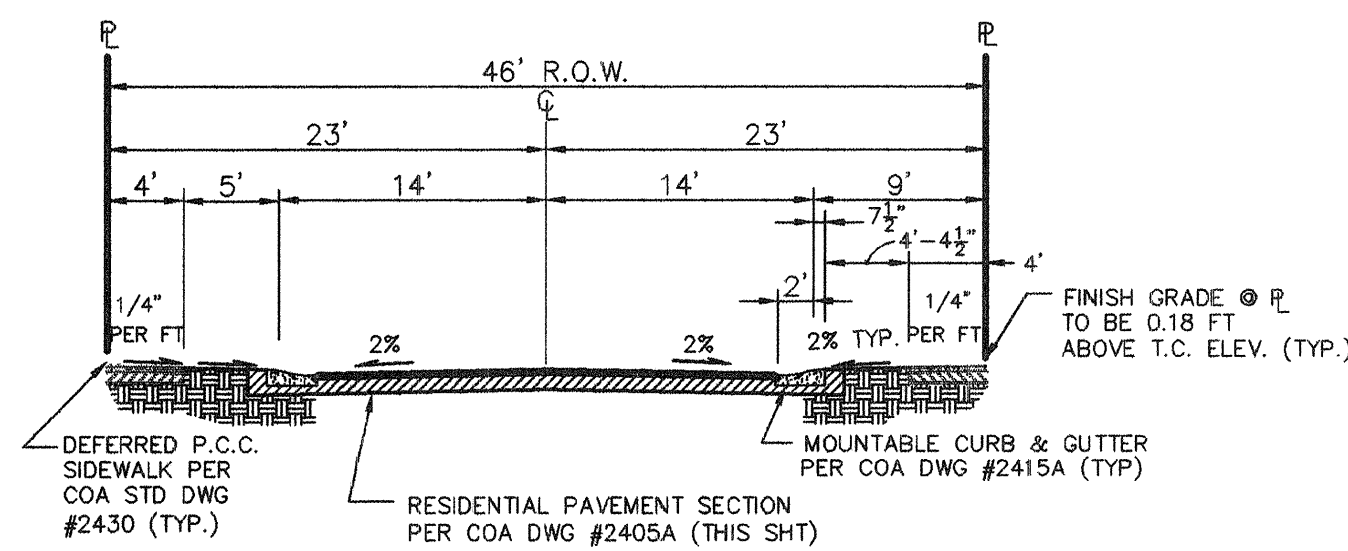
 **ISAACSON & ARFMAN, P.A.**
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1288PMSTR.DWGanw 3/16/04

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP													
TITLE:		WINDMILL MANOR PLACE MASTER PAVING PLAN											
Design Review Committee 		City Engineer Approval 											
City Project No. 732481		Zone Map No. E-11											
Sheet 5 Of 9		Last Design Update <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%; padding: 5px;">Mo./Day/Yr.</th> <th style="width: 50%; padding: 5px;">Mo./Day/Yr.</th> </tr> </thead> <tbody> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> <tr><td style="height: 20px;"></td><td></td></tr> </tbody> </table>		Mo./Day/Yr.	Mo./Day/Yr.								
Mo./Day/Yr.	Mo./Day/Yr.												

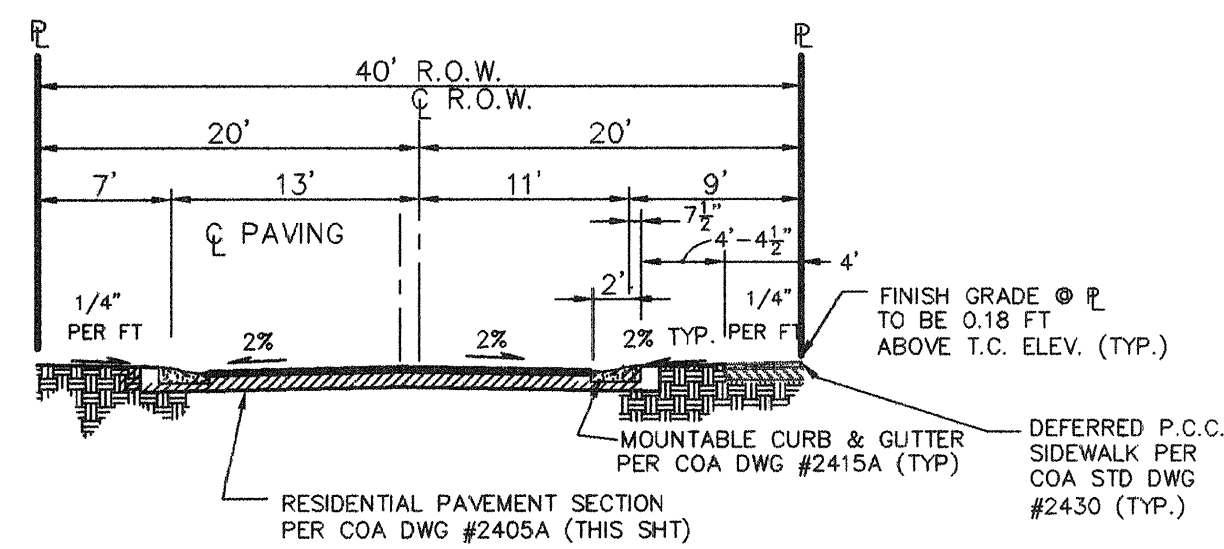
SCANNED BY
MESA REPRO



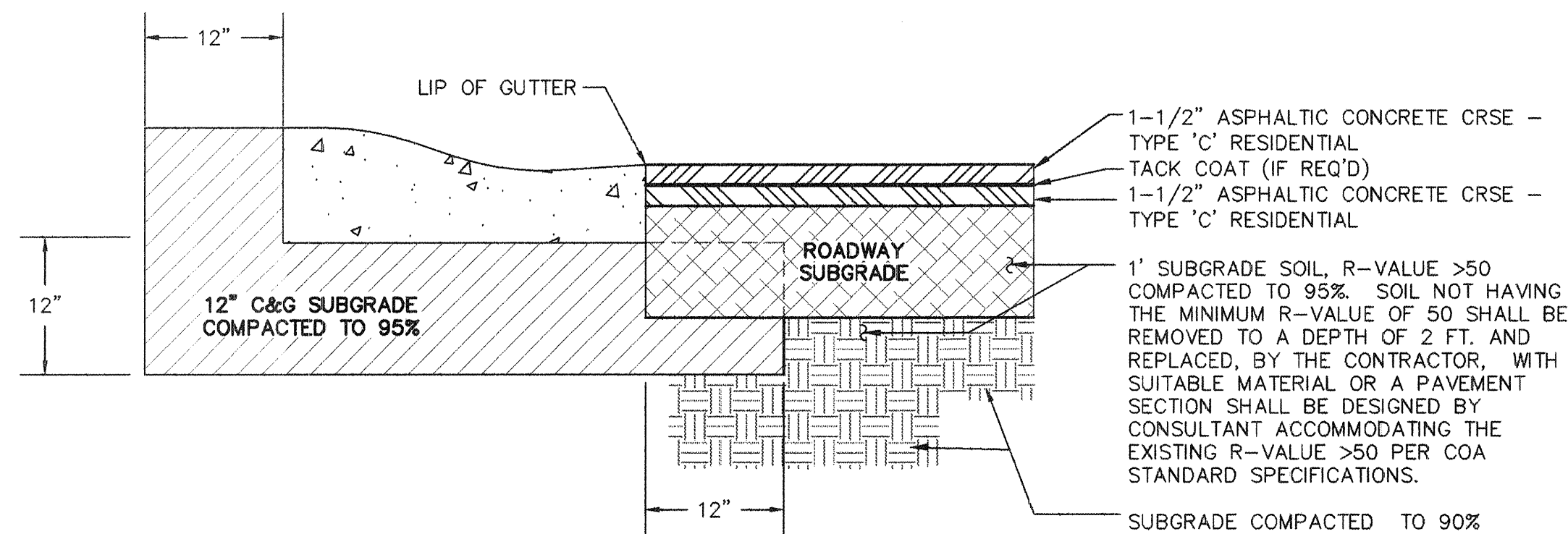
SECTION A1-A1
TYPICAL 46' R.O.W. RESIDENTIAL STREET SECTION
1"=10'
TIERRA AMADA ST.



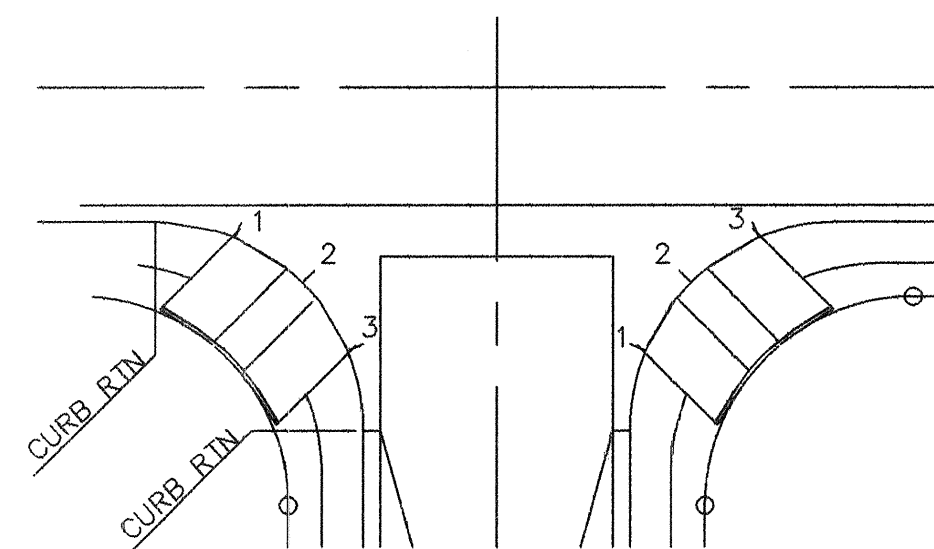
SECTION A2-A2
TYPICAL 46' R.O.W. RESIDENTIAL STREET SECTION
1"=10'
TIERRA AMADA ST.



SECTION A3-A3
TYPICAL 40' R.O.W. RESIDENTIAL STREET SECTION
1"=10'
HAMMERHEAD--TIERRA AMADA ST



RESIDENTIAL PAVING SECTION
SCALE: 1"= 1'-0" (PER COA STD. DWG. No. 2405A)



QUARTER POINT DETAIL
NTS

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACCS 1-3/4" ALUMINUM DISK STAMPED "ACCS BM 11-E11"	DATE	FIELD NOTES	DATE		
INSPECTOR'S NAME	DATE	TO TOP OF CONCRETE CURB, ONE QUADRANT OF DELINE AVE. & VALLE VISTA DR. NW.	DATE	1. WAYJOHN SURVEYING 9/03	DATE		
INSPECTOR'S NAME	DATE		DATE		DATE	REMARKS	BY
INSPECTOR'S NAME	DATE		DATE		DATE	DESIGN	DATE
INSPECTOR'S NAME	DATE		DATE		DATE	DESIGNED BY	DATE
INSPECTOR'S NAME	DATE		DATE		DATE	DRAWN BY	DATE
INSPECTOR'S NAME	DATE		DATE		DATE	CHECKED BY	DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico 87102
1288PVDL.DWGaw 3/16/04

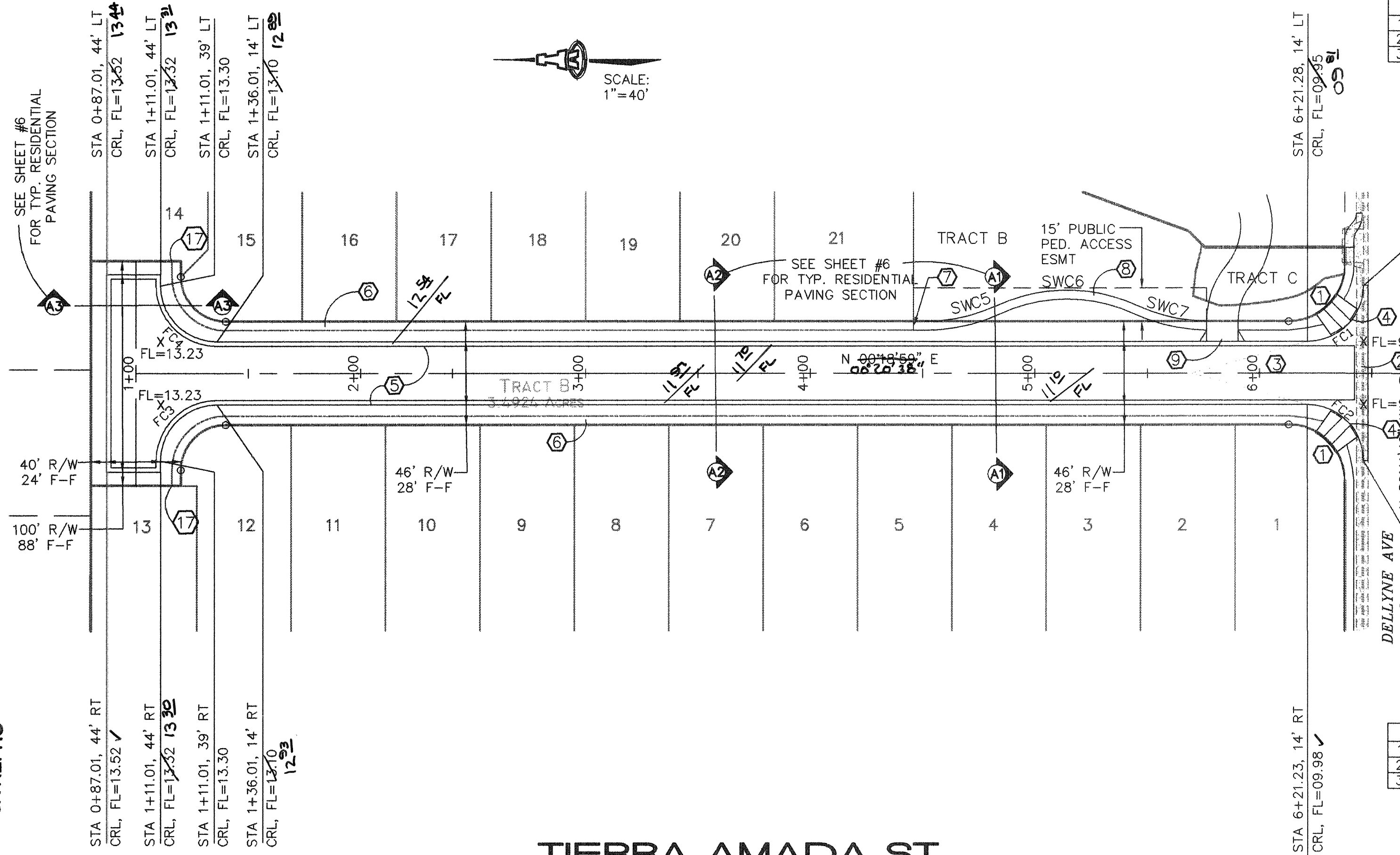
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **WINDMILL MANOR PLACE
PAVING DETAILS & SECTIONS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVE			
DESIGN REVIEW COMMITTEE			
City Project No. 732481	Zone Map No. E-11	Sheet 6	Of 9

SCANNED BY
MESA REPRO

LOTS 9-13, BLOCK 7, LA MARIPOSA



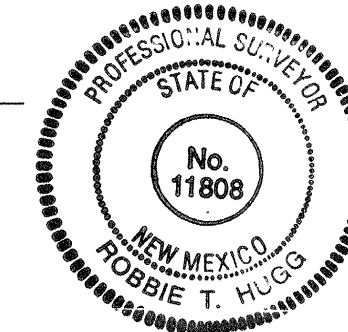
TC	FL
1	10.06
2	09.57
3	10.09
4	09.76

TC	FL
1	10.13
2	09.80
3	09.63
4	09.56

SURVEYORS CERTIFICATION

I, Robbie T. Hugg, New Mexico Professional Surveyor Number 11808, Hereby Certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

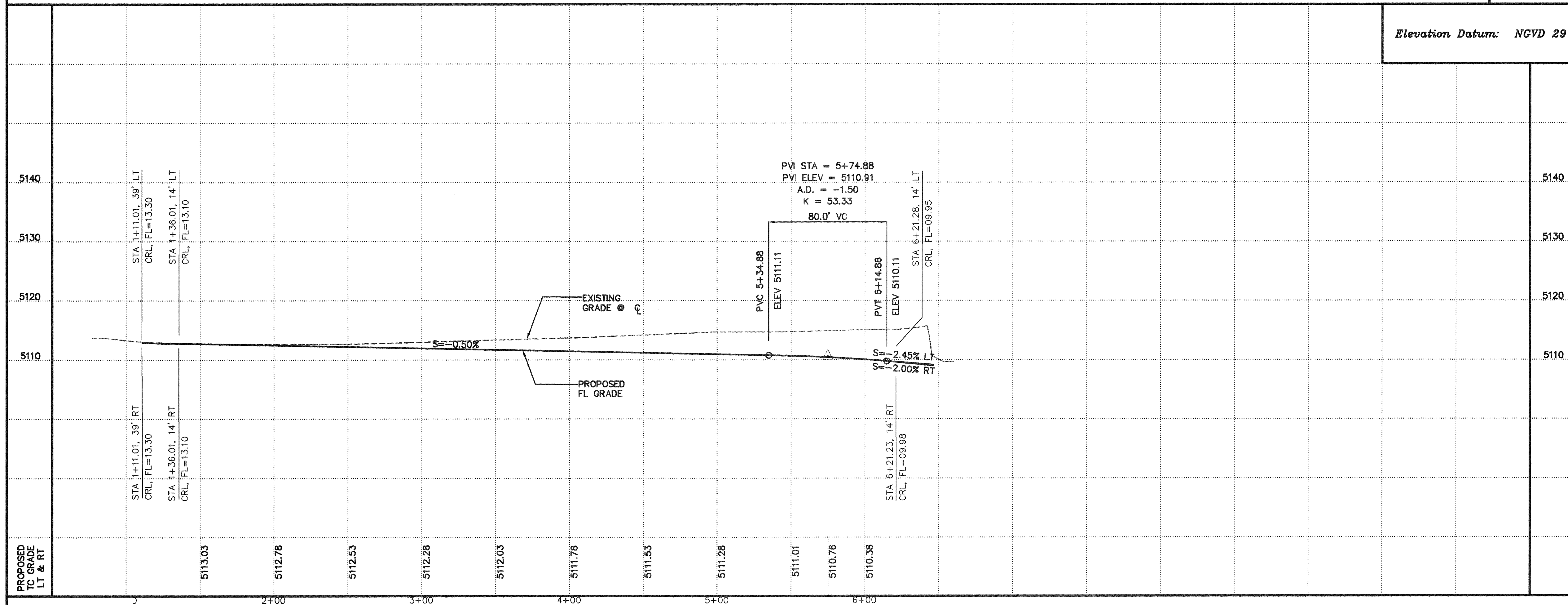
Robbie T. Hugg
N.M.P.S. No. 11808
DECEMBER 19, 2004



DELLYNE AVE.

SCALES:
1"=40' HOR.
1"=10' VERT.

Elevation Datum: NGVD 29



KEYED CONSTRUCTION NOTES

- CONSTRUCT HANDICAP RAMP PER COA STD DWG #2441, CASE II.
- STA CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420.
- CROWN TO NO CROWN TRANSITION 50' MIN. LENGTH PER COA STD DWG # 2401.
- TRANSITION FROM MOUNTABLE TO STANDARD CURB PER COA STD DWG #2418.
- MOUNTABLE CURB & GUTTER PER COA STD DWG #2415A.
- DEFERRED 4' PCC SIDEWALK.
- STA 4+46.04 BEGIN 4' PCC SIDEWALK CONSTRUCTION.
- CONSTRUCT 4' PCC SIDEWALK PER COA STD DWG #2430.
- STA 5+83.35 CONSTRUCT 14' WIDE PCC DRIVEPAD PER COA STD DWG #2425.
- REMOVE & DISPOSE 51 SY PCC SIDEWALK.
- REMOVE & DISPOSE 19 SY PCC DRIVEPAD. CONSTRUCT 24 LF STANDARD CURB & GUTTER PER COA STD DWG #2415B.
- STA 1+60.99 - 2+38.99 REMOVE & DISPOSE 78 LF PCC CURB & GUTTER.
- STA 0+67.00 - 0+78.63 TRANSITION FROM EXISTING 3'± SIDEWALK ADJACENT TO BACK OF CURB TO 4' SIDEWALK ADJACENT TO RIGHT-OF-WAY PER COA STD DWG #2432.
- STA 2+59.18 - 2+71.00 TRANSITION 4' SIDEWALK TO MATCH EXISTING 3'± SIDEWALK PER COA STD DWG #2432.
- STA 0+67.00 - 2+47.00 REMOVE & DISPOSE EXISTING CMU RETAINING WALL.
- STA 2+46.52 - 2+67.47 STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- 1+16.01, LT & RT BEGIN DEFERRED 4' PCC SIDEWALK.

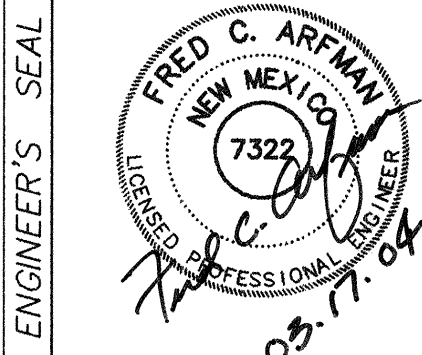
CURVE	RADIUS	LENGTH	DELTA
FC1	25.00	39.25	89°57'31"
FC2	25.00	39.25	89°57'31"
FC3	27.00	42.41	90°00'00"
FC4	27.00	42.41	90°00'00"

CURVE	RADIUS	LENGTH	DELTA
SWC5	75.00	32.66	24°57'05"
SWC6	75.00	65.32	49°54'09"
SWC7	75.00	31.40	23°59'13"

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico
1288FV1.DWGonw 2/16/04

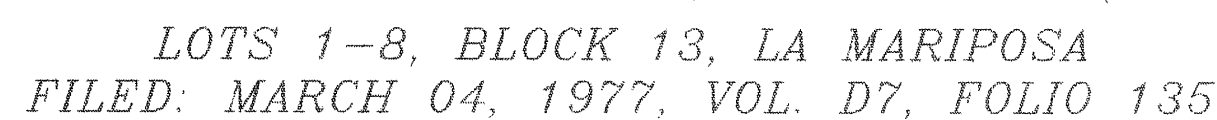
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: WINDMILL MANOR PLACE TIERRA AMADA ST. & DELLYNE AVE. PAVING PLAN & PROFILE	
Design Review Committee APPROVED APR - 2004 DESIGN REVIEW COMMITTEE	City Engineer Approval
City Project No. 732481	Zone Map No. E-11
Sheet 7	Of 9



NO.	DATE	REMARKS
1.	02/04	DESIGN
2.	02/04	REVISED
3.	02/04	REVISED
4.	02/04	REVISED
5.	02/04	REVISED
6.	02/04	REVISED
7.	02/04	REVISED
8.	02/04	REVISED
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10.	02/04	REVISED
11.	02/04	REVISED
12.	02/04	REVISED
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94.	02/04	REVISED
95.	02/04	REVISED
96.	02/04	REVISED
97.	02/04	REVISED
98.	02/04	REVISED
99.	02/04	REVISED
100.	02/04	REVISED

LOTS 9-13, BLOCK 7, LA MARIPOSA
FILED: APRIL 17, 1975, VOL. D6, FOLIO 141



- | | |
|---|--------------------------|
|  | SINGLE WATER METER & BOX |
|  | DOUBLE WATER METER & BOX |
|  | GATE VALVE W/ VALVE BOX |
|  | FIRE HYDRANT |
|  | WATER LINE W/ FITTING |
|  | SAS MANHOLE |
|  | SAS SERVICE |



SHUT-OFF VALVES 1, 2, 3, 4 & 5 TO PROVIDE NON-PRESSURE CONNECTION. THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) 7 WORKING DAYS PRIOR TO SHUT-OFF OR TURN-ON AT VALVES. ONLY CITY PERSONNEL ARE ALLOWED TO OPERATE VALVES.

RESTRAINED JOINT LENGTHS, L_r, FOR REDUCERS, (FT.) MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE.					
SIZE	LARGE SIDE	SMALL SIDE	SIZE	LARGE SIDE	SMALL SIDE
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
12x4	74	213	8x4	43	84
10x8	24	30	8x4	24	35

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

SCALE:
1" = 30'

20 10 0 30 60 FEET

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE:	WINDMILL MANOR PLACE MASTER UTILITY PLAN

APR - 7 1966

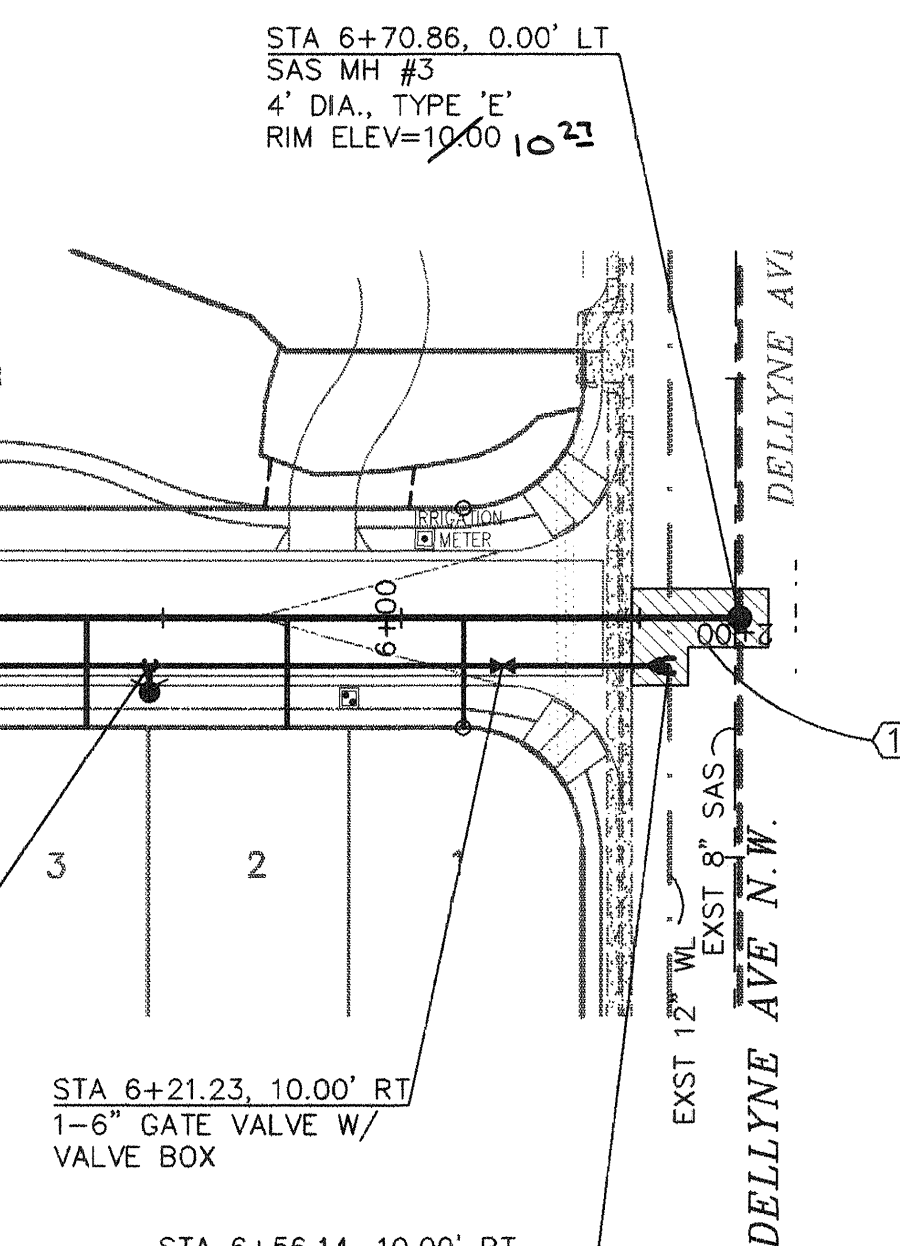
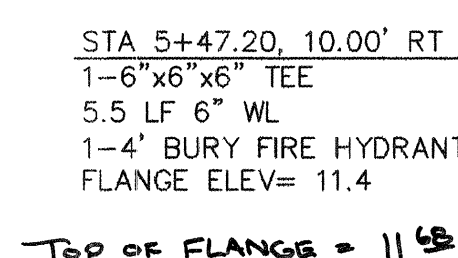
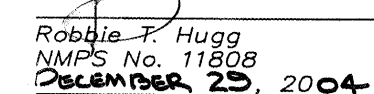
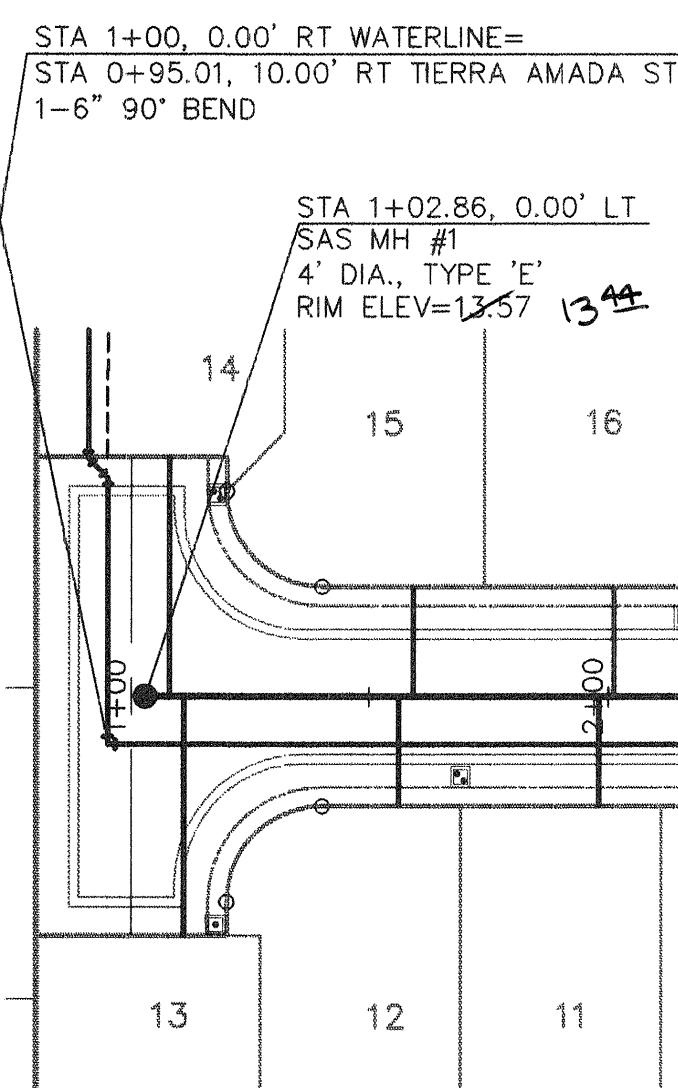
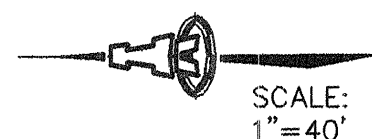
DESIGN
REVIEW COMMITTEE

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Zone Map No.
E-11

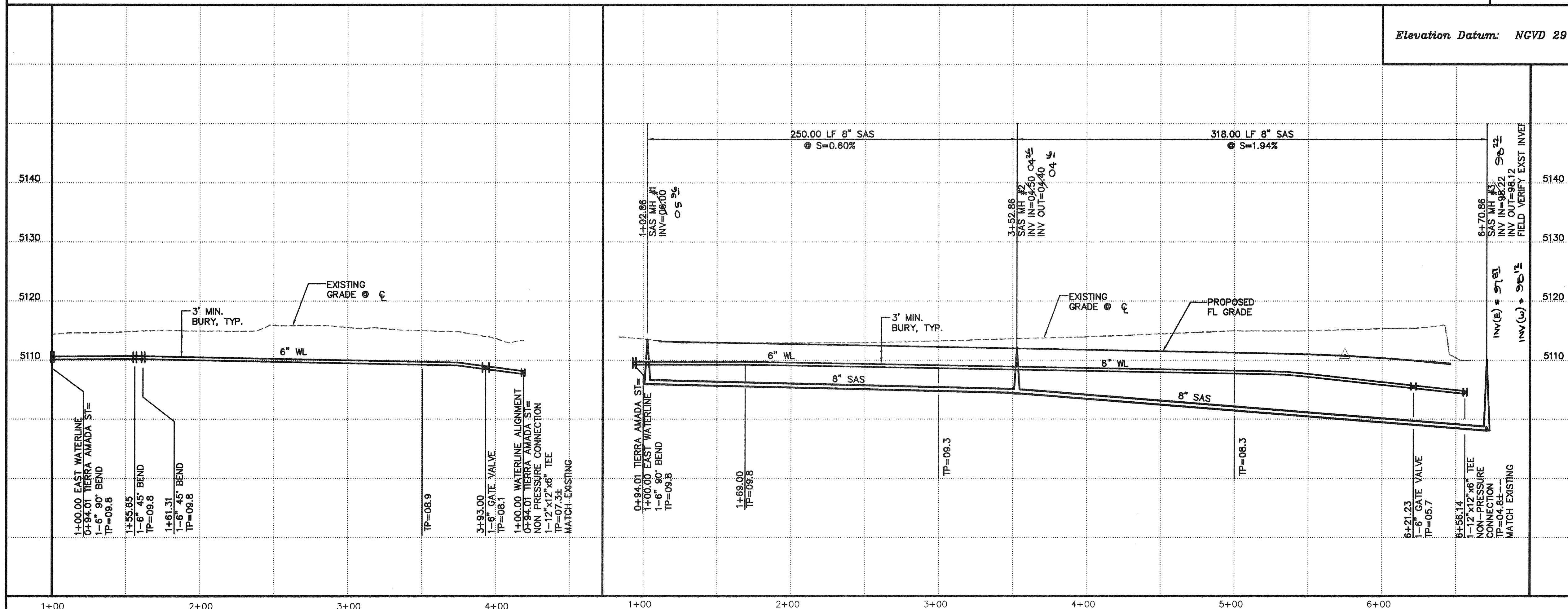
Sheet **8** Of **9**

[illegible]



BEARING
N 89° 39' 37" W
S 45° 20' 23" W
S 89° 39' 37" E

TIERRA AMADA ST.



1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
2. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
3. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG'S #2361, #2362, & #2363.
4. SEE SHEET #8 FOR WATER SHUT-OFF PLAN.
5. SEE SHEET #8 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.

1. SAWCUT, REMOVE & REPLACE
49 SY EXISTING PAVING PER
COA STD DWG #2465.

LOT NO.	STATION		SAS IN @ R/V
	WATER, LENGTH	SAS, LENGTH	
1	5+89.05, 7'	6+12.96, 23'	05.5
2		5+76.24, 23'	06.1
3	5+05.04, 7'	5+34.04, 23'	06.4
4		4+92.04, 23'	06.7
5	4+21.04, 7'	4+50.04, 23'	06.9
6		4+08.04, 23'	07.1
7	3+37.04, 7'	3+66.04, 23'	07.3
8		3+24.04, 23'	07.5
9	2+53.04, 7'	2+82.04, 23'	07.7
10		2+40.04, 23'	07.9
11	1+69.04, 7'	1+98.04, 23'	08.1
12		1+56.04, 23'	08.3
13	1+17.73, 38' (S)	1+10.90, 50'	08.7
14	1+20.01, 22'	1+09.50, 50'	08.7
15		1+59.23, 23'	08.3
16		2+01.24, 23'	08.1
17	2+16.04, 27'	2+43.04, 23'	07.9
18		2+85.04, 23'	07.7
19	3+00.04, 27'	3+27.04, 23'	07.5
20		3+68.04, 23'	07.3
21	3+84.04, 27'	4+11.24, 23'	07.1

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque New Mexico
 1288UT1.DWGonw 3/16/04

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: WINDMILL MANOR PLACE
VALLE VISTA DR. WL CONNECTION & TIERRA AMADA ST

UTILITY PLAN & PROFILE																
APPROVED DESIGN REVIEW COMMITTEE APR - 2 2021 DESIGN REVIEW COMMITTEE	City Engineer Approval	<table border="1"> <thead> <tr> <th>Mo./Day/Yr.</th> <th>Mo./Day/Yr.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	Mo./Day/Yr.	Mo./Day/Yr.												
Mo./Day/Yr.	Mo./Day/Yr.															
	Last Design Update															

AS-BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S	DATE
MADE BY	DATE	APPROVED BY	DATE
ACCEPTANCE	DATE	FIELD	DATE
REVISION	DATE	REVISION	DATE
DRAWINGS	DATE	DRAWINGS	DATE
CORRECTED BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.	

BENCH MARKS
ACS 1-3/4" ALUMINUM DISK STAMPED "ACS BM 11-E11", EPOXIED TO TOP OF CONCRETE CURB, ENE QUADRANT OF DELLYNE AVE. & VALLE VISTA DR. NW.
ELEV=5103.70

[illegible][illegible]

ACE
* TIERRA AMADA ST.