

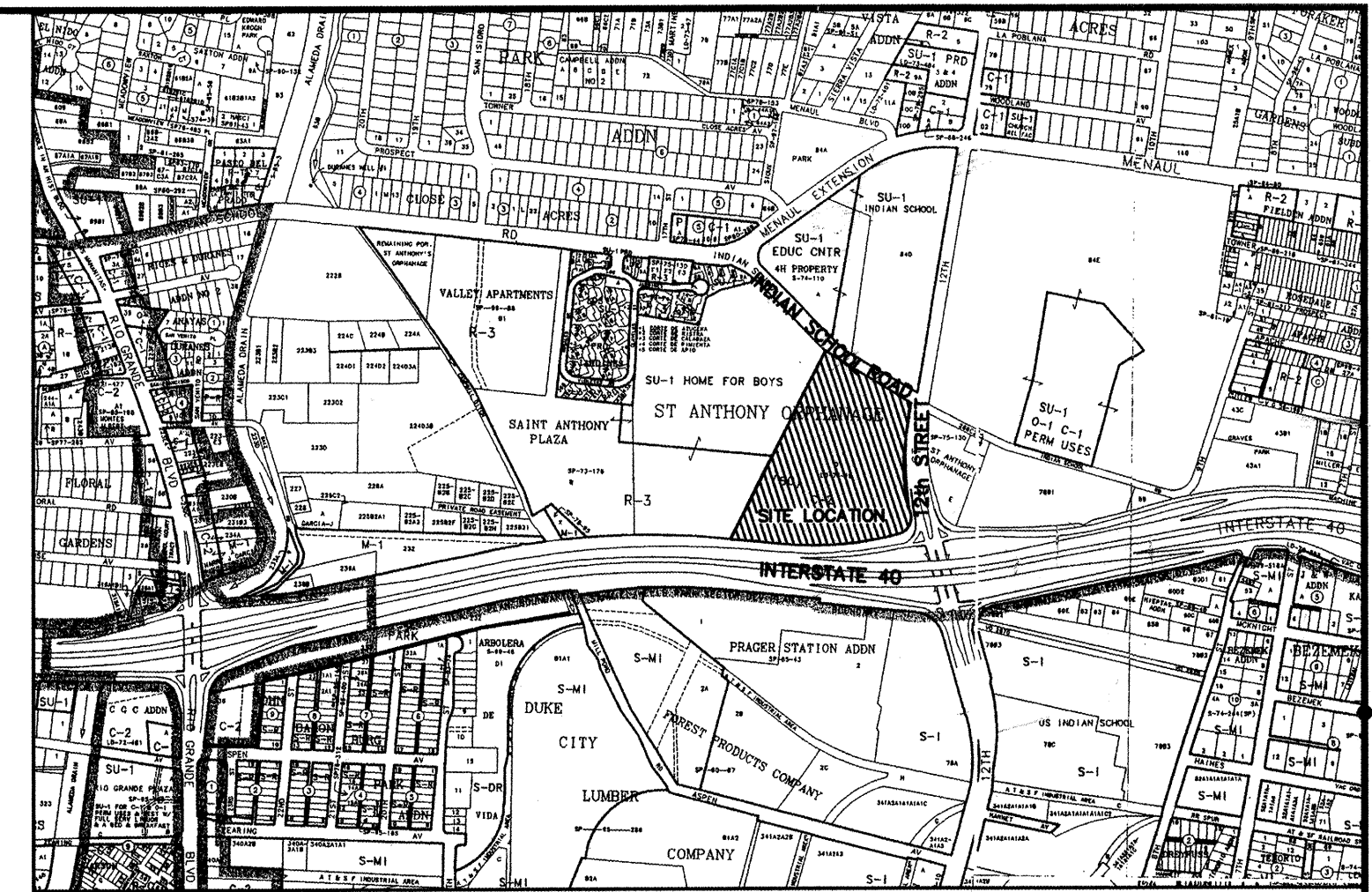
SCANNED  
BY PLAN



# CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

## CONSTRUCTION PLANS FOR

2 3 4 5 6 7 8 9 10 11 12 13 14 15  
216-17327.811 06



VICINITY MAP  
ZONE ATLAS MAP NO.H-13-Z

# LOWE'S OF CENTRAL ALBUQUERQUE PUBLIC INFRASTRUCTURE IMPROVEMENTS

## INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1
PLAT	1A, 1B
SITE UTILITY PLAN	2
12th STREET N.W. PLAN & PROFILE PAVING IMPROVEMENTS	3
INDIAN SCHOOL ROAD PAVING IMPROVEMENTS	4



I, Christopher A. Perea of the firm Wilson & Company, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and have been constructed in accordance with the plans and specifications approved by the city engineer and the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Christopher S. Croshaw NMPS number 14733.

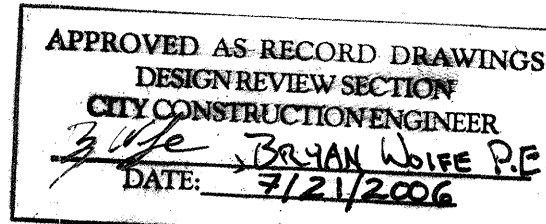
*Christopher A. Perea*  
Christopher A. Perea, P.E. NM 13686

6-14-6  
Date

"I, Christopher S. Croshaw, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief."

*Christopher S. Croshaw*  
Christopher S. Croshaw, P.S. NM 14733

14 JUNE 2006  
Date



### NOTES

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS AMENDED THROUGH UPDATE #7.

THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE EXECUTION OF THE WATER VALVE SHUT-OFF PLAN WITH THE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER UTILITIES.

TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALLS SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.

CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED:

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

### LEGEND

#### EXISTING

- ADJACENT PROPERTY LINE
- EASEMENT
- WL --- WATER LINE
- SD --- STORM DRAIN
- G --- UNDERGROUND GAS
- T --- UNDERGROUND TELEPHONE
- SAS --- SANITARY SEWER
- E --- UNDERGROUND ELECTRIC
- 4900 INDEX CONTOUR
- INTERMEDIATE CONTOUR
- DEPRESSION CONTOUR
- CHAIN LINK FENCE
- RETAINING WALL
- TREE & BRUSH LINE
- TREE
- BUILDING
- X4900 SPOT ELEVATION
- UTILITY POLE
- POST
- SINGLE POLE SIGN
- SIGN
- HANDICAPPED SIGN
- MAIL BOX
- TRAFFIC SIGNAL PULL BOX

#### PROPOSED

- LOWE'S PROPERTY LINE
- EASEMENT
- WL --- WATER LINE
- SAS --- SANITARY SEWER
- SD --- STORM DRAIN
- PAVEMENT REMOVAL
- SIDEWALK
- FIRE HYDRANT W/ VALVE
- WATER VALVE
- WATER METER
- CLEAN OUT
- SANITARY SEWER SERVICE W/CAP
- STORM DRAIN MANHOLE
- CURB INLET
- DROP INLET
- UTILITY POLE
- LIGHT POLE

RECORD DRAWING  
DATE 6-14-6

**WILSON  
& COMPANY**

2600 THE AMERICAN ROAD S.E.  
SUITE 100  
RIO RANCHO, NEW MEXICO  
87124  
(505) 898-8021

PROJECT NO. 1002805

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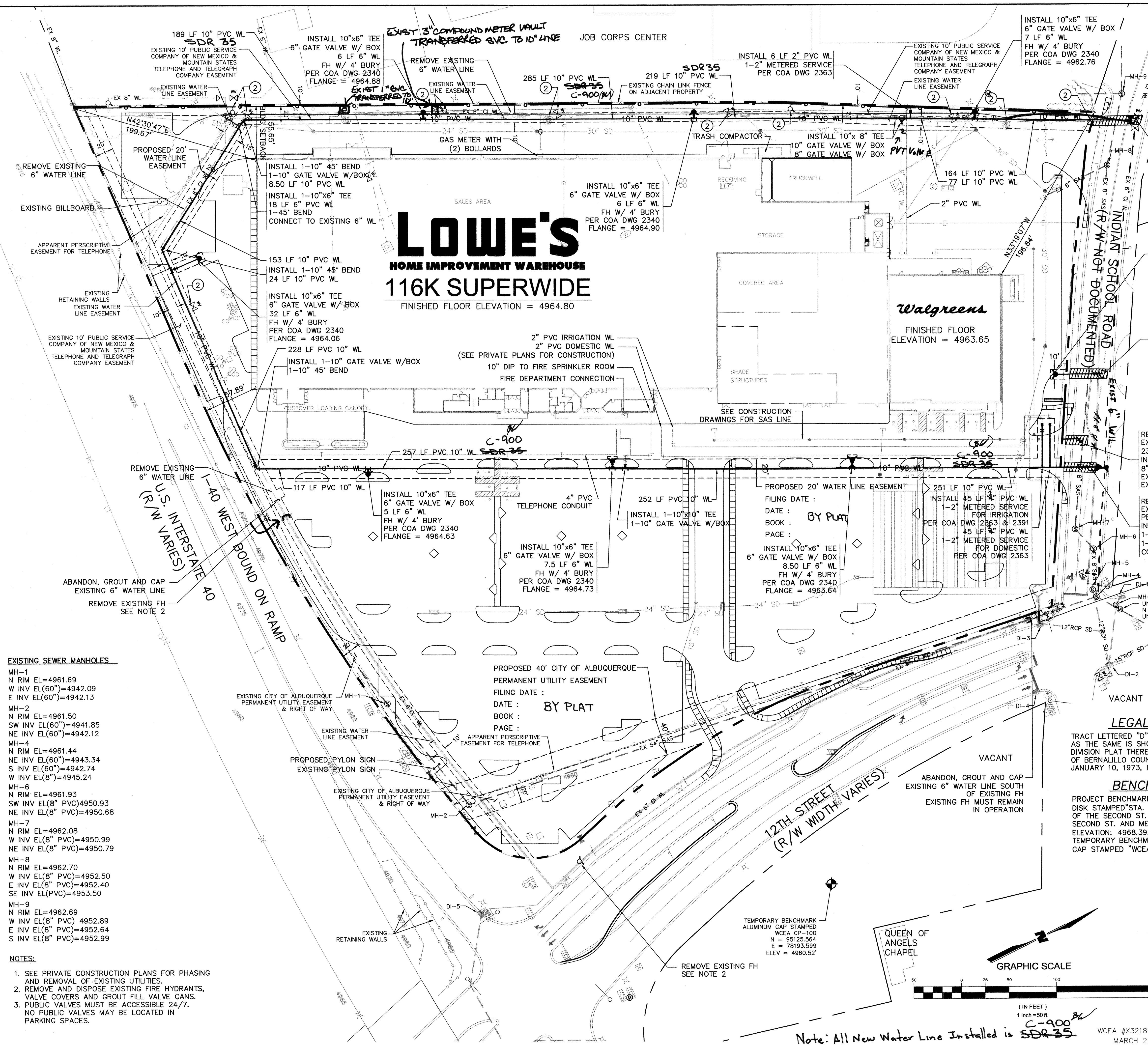








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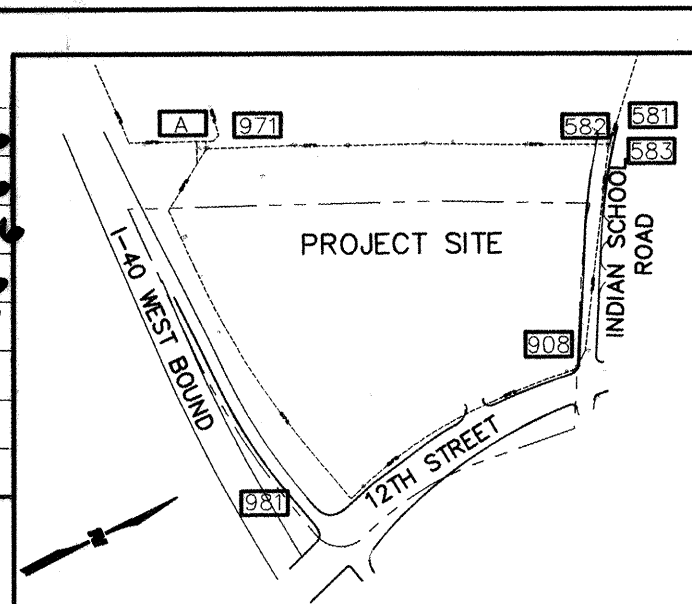


**AS-BUILT INFORMATION**

CONTRACTOR	TLC	DATE	2-2-04
WORK STARTED BY	Wilson & Co	DATE	2-2-04
INSPECTOR'S ACCEPTANCE BY	Wilson & Co	DATE	6-27-04
FIELD VERIFICATION BY	Wilson & Co	DATE	6-27-04
DRAWINGS CORRECTED BY	Wilson & Co	DATE	7-11-04
RECORDED BY		DATE	
NO.			

**MICRO-FILM INFORMATION**

RECORDED BY		DATE	
NO.			



**WATER SHUT-OFF PLAN**

CLOSE EXISTING VALVES 325, 582, 981 AND "A" DURING CONSTRUCTION\*\*

\* NO VALVE ID NUMBER FOUND FOR VALVE "A"  
\*\* VERIFY IN FIELD PRIOR TO CONSTRUCTION

**RESTRAINED JOINT TABLE**

LENGTH OF RESTRAINED PIPE EACH SIDE OF FITTING (FEET)							
PIPE SIZE	90°	45°	22-1/2°	11-1/4°	TEE RESTRAINED LENGTH ALONG EACH BRANCH (L <sub>T</sub> )	DEAD END OR VALVE	REDUCER
6"	8'	3'	2'	1'	1'	18'	-
8"	11'	-	-	-	1'	24'	-
10"	13'	5'	3'	1'	1'	29'	10"x8"-10"
12"	15'	-	-	-	1'	34'	12"x10"-12"

MINIMUM FULL PIPE JOINT LENGTH ON EITHER SIDE OF TEE RUN (L<sub>T</sub>) IS 10 FT.  
ALL FITTINGS MUST BE RESTRAINED.

**LEGEND**

EXISTING	PROPOSED	EXISTING	PROPOSED
8" WL	EASEMENT	10" PVC WL	EASEMENT
10" SD	WATER LINE	6" SAS	WATER LINE
G	STORM DRAIN		SANITARY SEWER
G	UNDERGROUND GAS		STORM DRAIN
T	UNDERGROUND TELEPHONE		FIRE HYDRANT W/ VALVE
SAS	SANITARY SEWER		WATER VALVE
E	UNDERGROUND ELECTRIC		CLEAN OUT
	CURB INLET		SANITARY SEWER SERVICE W/CAP
	AREA INLET		STORM DRAIN MANHOLE
	STORM MANHOLE		CURB INLET
	CLEANOUT		DROP INLET
	SANITARY SEWER MANHOLE		
	WATER METER		
	WATER VALVE		
	FIRE HYDRANT		
	GAS VALVE		
	T-RAIL		
	GAS METER		
	UTILITY POLE		

**LEGAL DESCRIPTION**

TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

**BENCH MARK**

PROJECT BENCHMARK USED IS A STANDARD NMSHC BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIAN STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION.  
ELEVATION: 4968.392 FT (NGVD 1929)  
TEMPORARY BENCHMARK IS A REBAR WITH AN ALUMINUM CAP STAMPED "WCEA CP-100" ELEVATION: 4960.52

\* AS-BUILT: PER PLAN UNLESS NOTED OTHERWISE \*

**WILSON & COMPANY**  
2600 THE AMERICAN ROAD S.E.  
SUITE 100  
RIO RANCHO, NEW MEXICO 87124  
(505) 898-8021



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LOWE'S OF CENTRAL ALBUQUERQUE SITE UTILITY IMPROVEMENTS			
Design/Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
APPROVED JUN - 9 2004 DESIGN REVIEW COMMITTEE	APPROVED CITY ENGINEER		
City Project No.	Zone Map No.	Sheet	Of
732781	H-13-Z	2	4

**EXISTING SEWER MANHOLES**

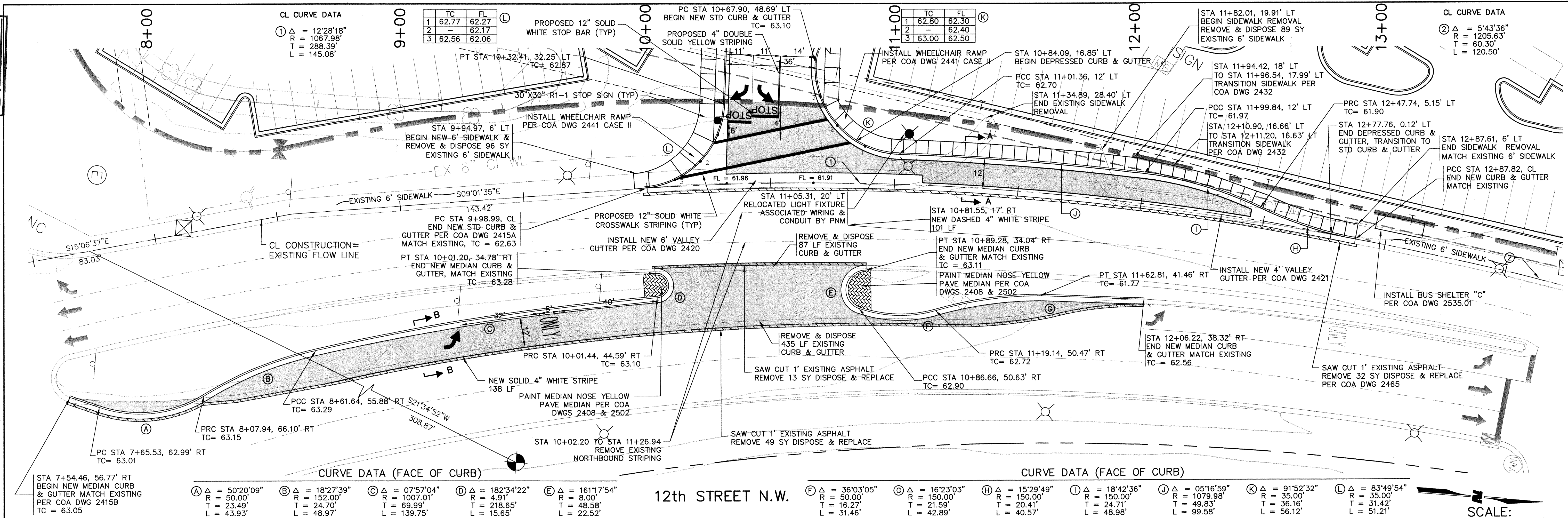
- MH-1  
N RIM EL=4961.69  
W INV EL(60")=4942.09  
E INV EL(60")=4942.13
- MH-2  
N RIM EL=4961.50  
SW INV EL(60")=4941.85  
NE INV EL(60")=4942.12
- MH-4  
N RIM EL=4961.44  
SE INV EL(60")=4943.34  
S INV EL(60")=4942.74  
W INV EL(8")=4945.24
- MH-6  
N RIM EL=4961.93  
SW INV EL(8" PVC)=4950.93  
NE INV EL(8" PVC)=4950.68
- MH-7  
N RIM EL=4962.08  
W INV EL(8" PVC)=4950.99  
NE INV EL(8" PVC)=4950.79
- MH-8  
N RIM EL=4962.70  
W INV EL(8" PVC)=4952.50  
E INV EL(8" PVC)=4952.40  
SE INV EL(PVC)=4953.50
- MH-9  
N RIM EL=4962.69  
W INV EL(8" PVC)=4952.89  
E INV EL(8" PVC)=4952.64  
S INV EL(8" PVC)=4952.99

**NOTES:**

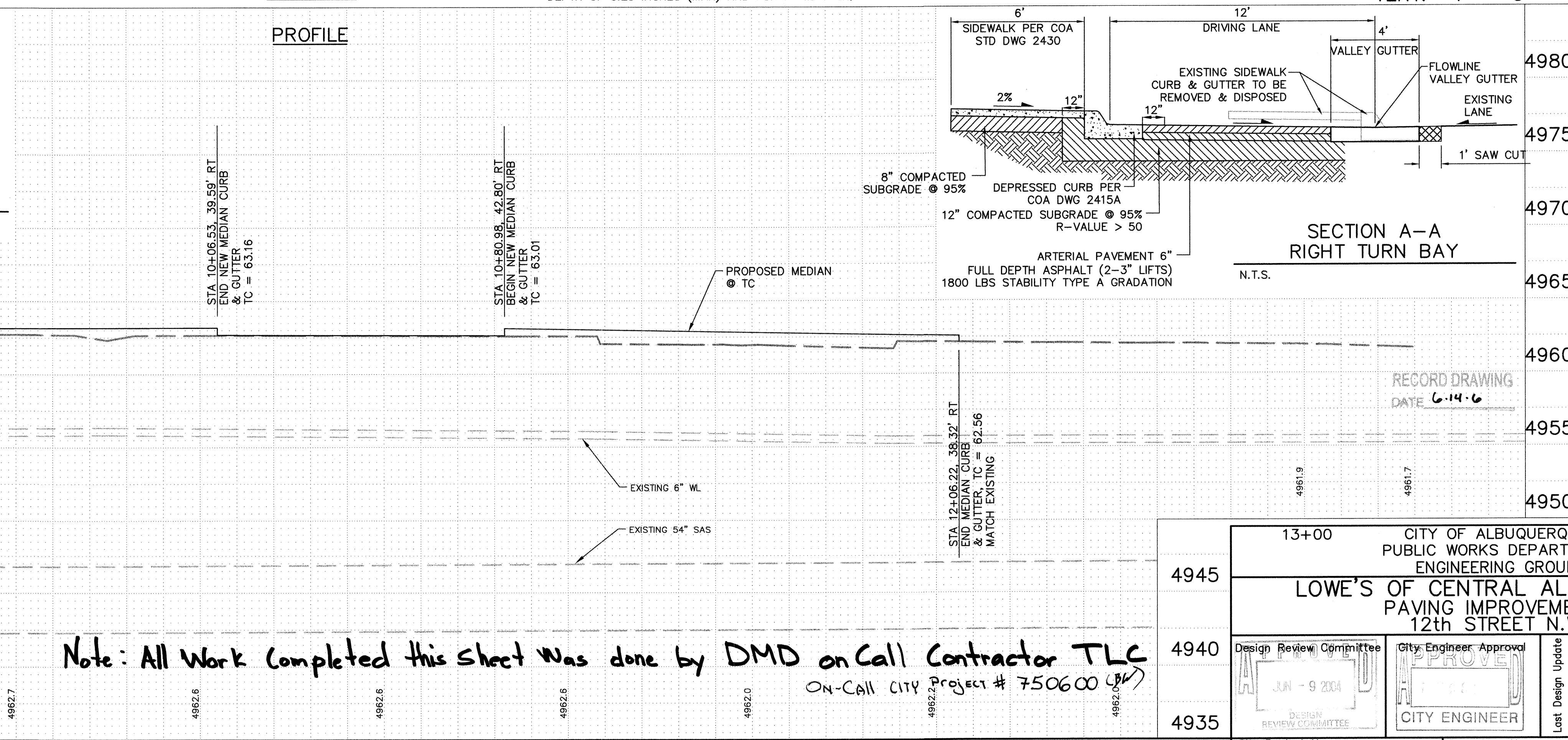
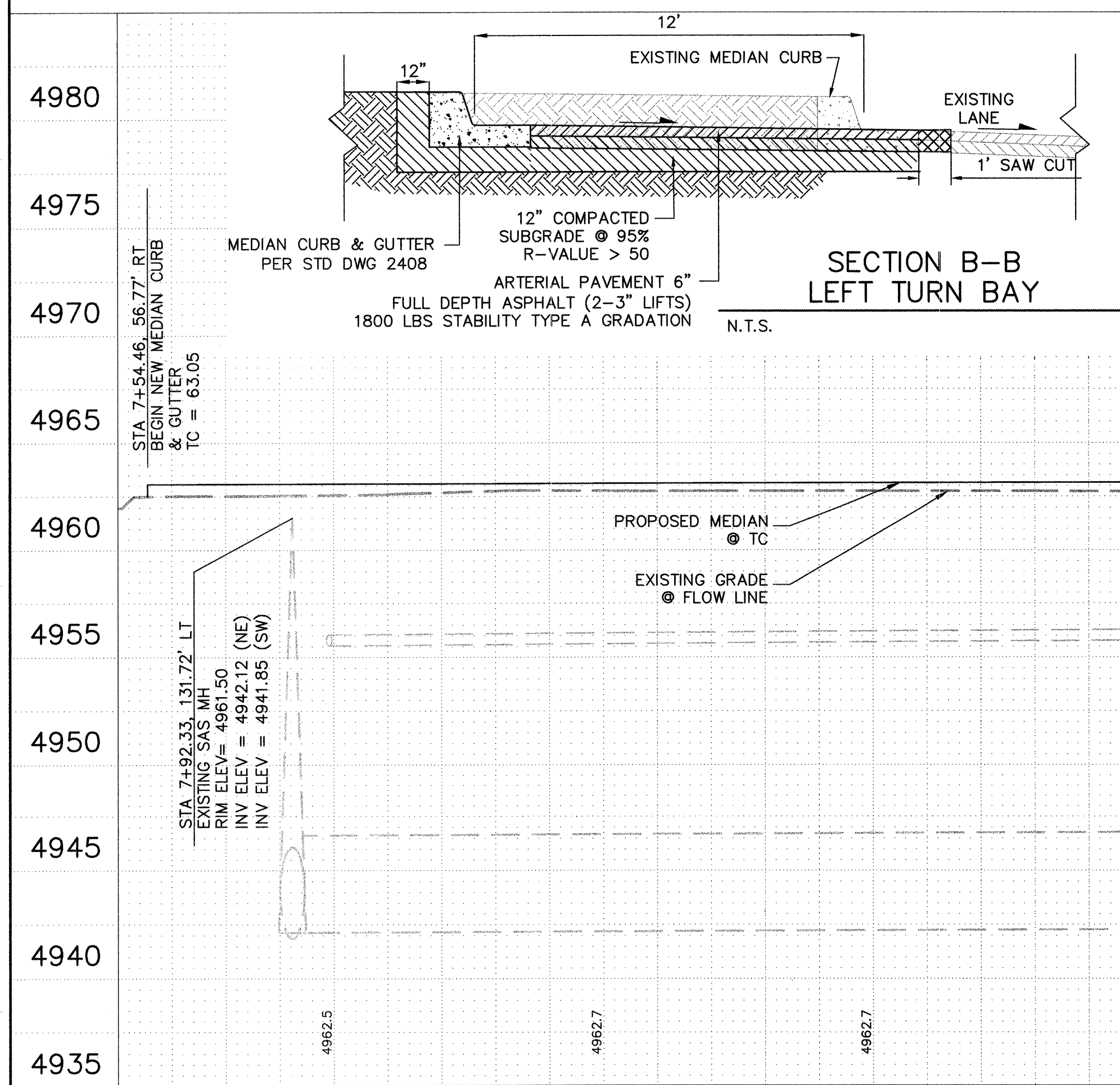
- SEE PRIVATE CONSTRUCTION PLANS FOR PHASING AND REMOVAL OF EXISTING UTILITIES.
- REMOVE AND DISPOSE EXISTING FIRE HYDRANTS, VALVE COVERS AND GROUT FILL VALVE CANS.
- PUBLIC VALVES MUST BE ACCESSIBLE 24/7. NO PUBLIC VALVES MAY BE LOCATED IN PARKING SPACES.



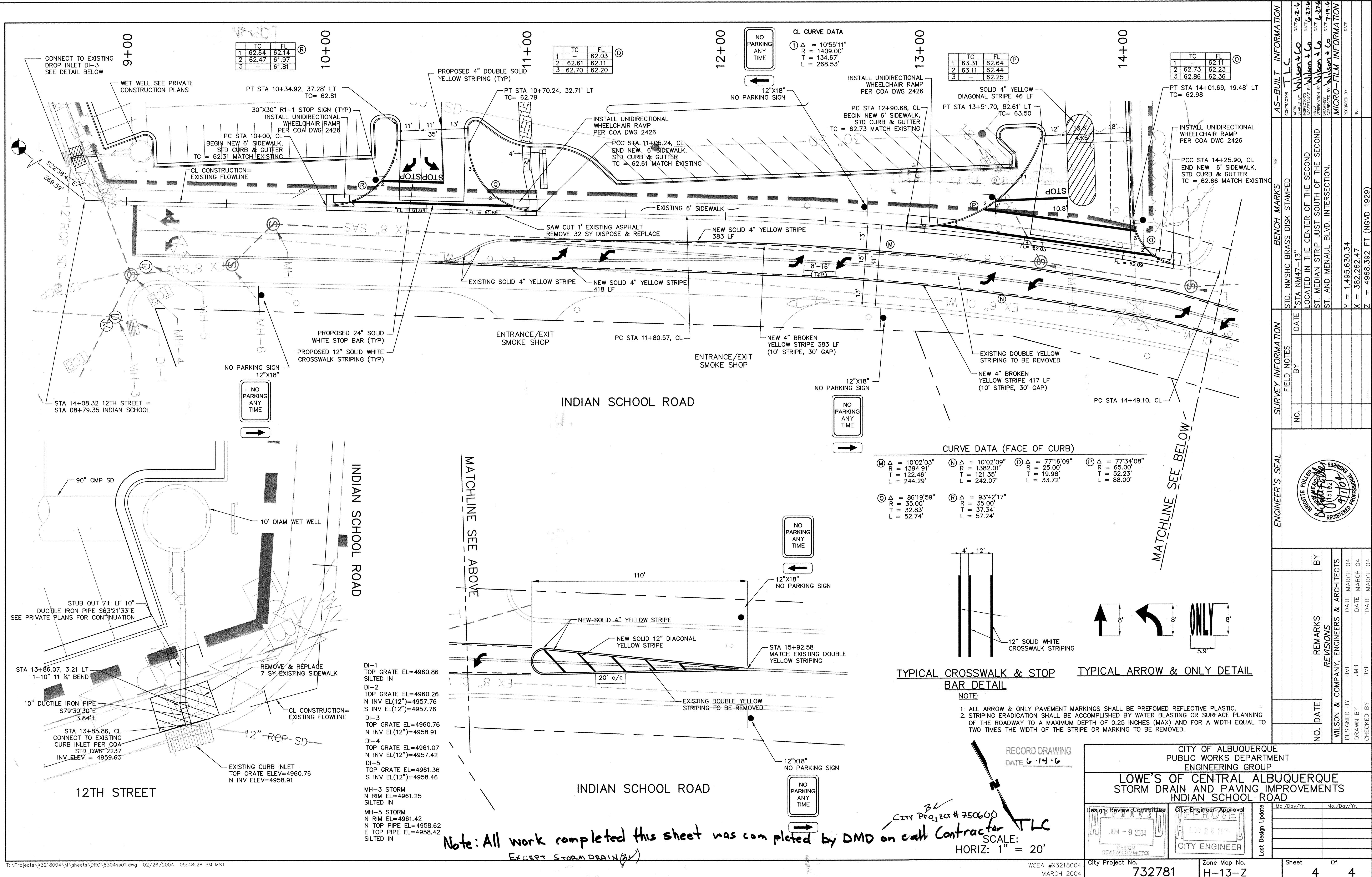
SCANNED BY *PLN*



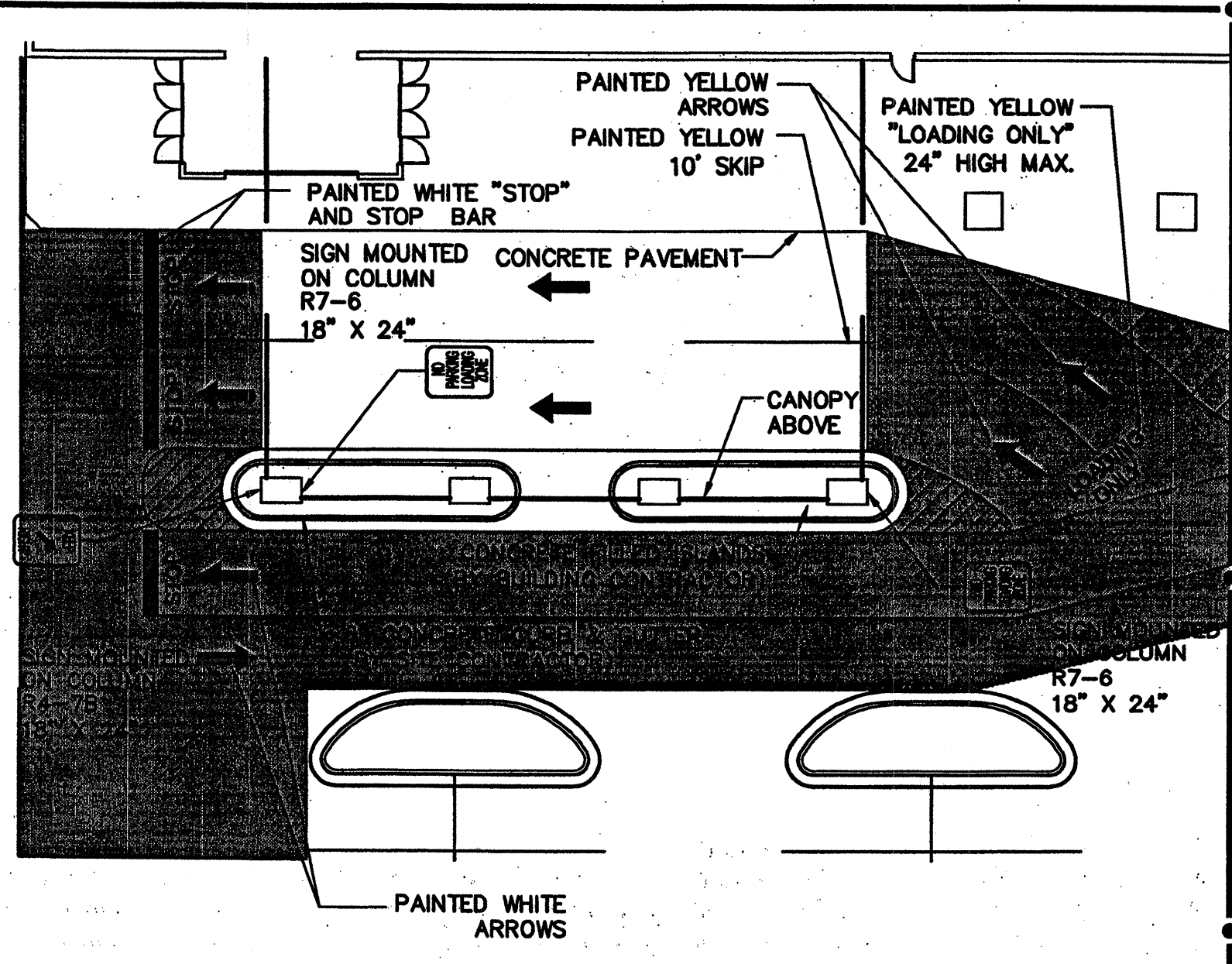
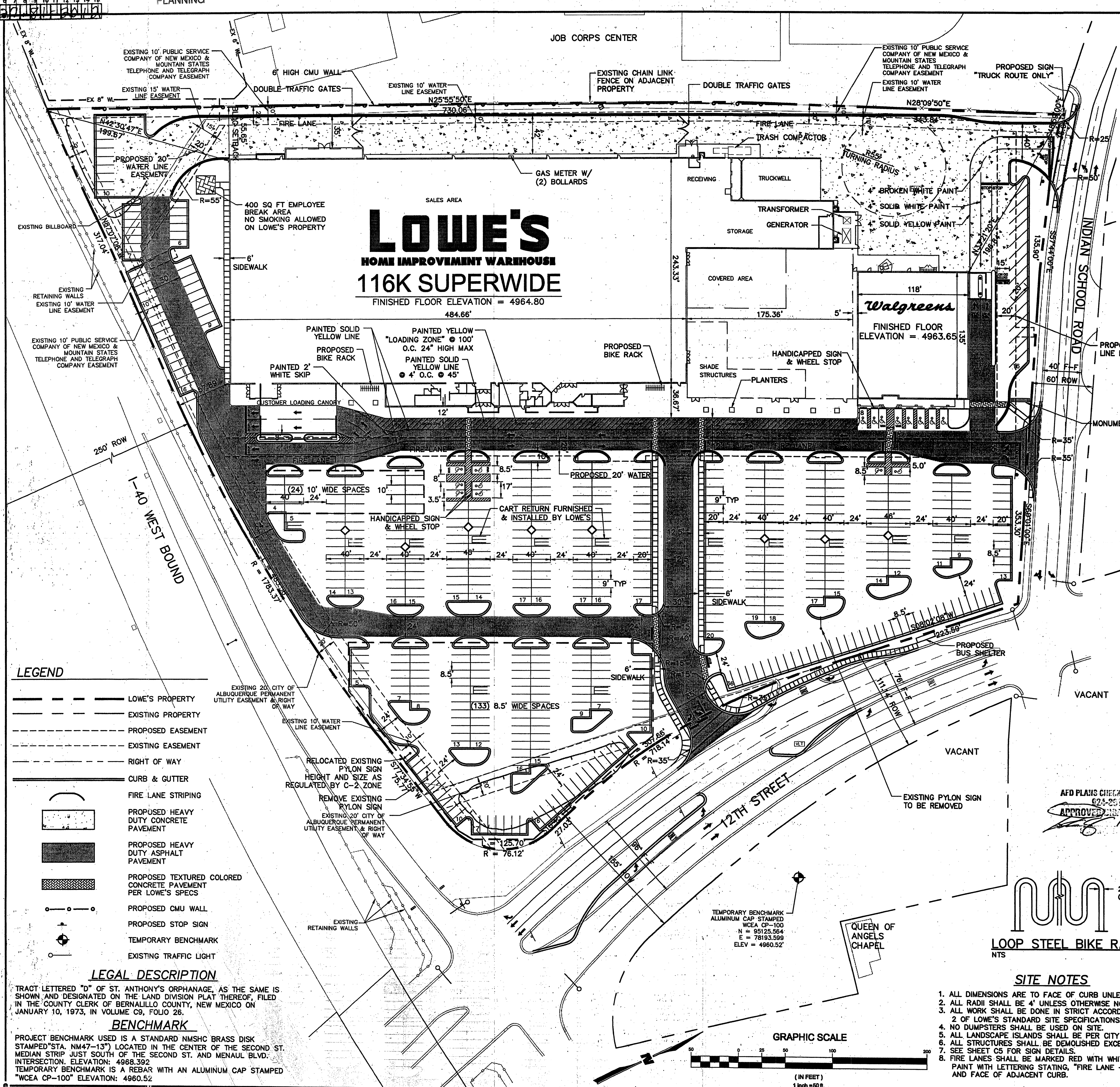
SPECIAL PROJECT TRAFFIC CONTROL NOTE:  
TWO WAY TRAFFIC ON 12TH STREET MUST BE MAINTAINED AT ALL TIMES.











ENLARGED CUSTOMER LOADING CANOPY  
SCALE: 1"=20'

SITE DATA			
<b>Zoning</b>			
Community commercial / shopping center			
<b>Acres:</b>			
Total	13.53		
Developed	13.53		
<b>Main Building:</b>			
Sales Floor	117,936 S.F.		
Office Area	3,894 S.F.		
Receiving/Storage	10,082 S.F.		
Utility Rooms	1,380 S.F.		
<b>Vestibules:</b>			
Main Entrance	1,049 S.F.		
Main Exit	331 S.F.		
Lumber	480 S.F.		
Lowe's Main Building	135,152 S.F.		
<b>Garden Center:</b>			
Shade Structures	5,954 S.F.		
Covered Area	6,552 S.F.		
Open Area	15,700 S.F.		
Garden Center Total	28,206 S.F.		
<b>Walgreens Building</b>			
Building	15,882 S.F.		
<b>Parking Requirements:</b>			
Lowe's Parking Required:			
Standard		558	
Handicapped		12	
Total Parking Required		570	
Ratio = 3.77 (spaces/1000 sf)			
<b>Local Parking Required</b>			
Standard		530	
Handicapped		16	
Total Parking Required		546	
Ratio = 5.0 (spaces/1000 sf) Main Building			
Ratio = 2.5 (spaces/1000 sf) Garden Center			
Less 15% for Bus Shelter and Transit Route			
<b>Parking Provided:</b>			
Standard		554	
Handicapped		16	
Total Parking Provided		570	
Ratio w/ GC = 3.18			
Ratio = 5.0 (spaces/1000 sf) for 0 - 15,000 sf			
Ratio = 4.0 (spaces/1000 sf) for 15,000 - 45,000 sf			
Ratio = 3.33 (spaces/1000 sf) for over 45,000 sf			
<b>Bicycle Parking Required:</b>			
Bicycle Parking Required		28	
Ratio = 1 per 20 parking spaces			
<b>Bicycle Parking Provided</b>			
Bicycle Parking Provided		36	

LEGEND

- LOWE'S PROPERTY
- EXISTING PROPERTY
- PROPOSED EASEMENT
- EXISTING EASEMENT
- RIGHT OF WAY
- CURB & GUTTER
- FIRE LANE STRIPING
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED TEXTURED COLORED CONCRETE PAVEMENT PER LOWE'S SPECS
- PROPOSED CMU WALL
- PROPOSED STOP SIGN
- TEMPORARY BENCHMARK
- EXISTING TRAFFIC LIGHT

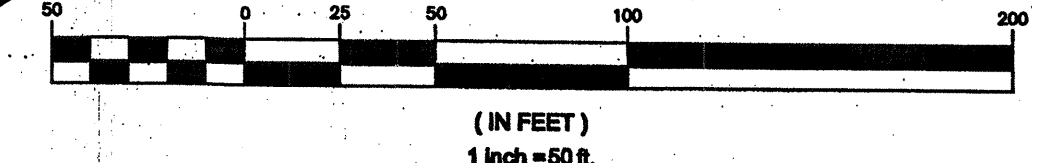
LEGAL DESCRIPTION

TRACT LETTERED "D" OF ST. ANTHONY'S ORPHANAGE, AS THE SAME IS SHOWN AND DESIGNATED ON THE LAND DIVISION PLAT THEREOF, FILED IN THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 10, 1973, IN VOLUME C9, FOLIO 26.

BENCHMARK

PROJECT BENCHMARK USED IS A STANDARD NMHC BRASS DISK STAMPED "STA. NM47-13" LOCATED IN THE CENTER OF THE SECOND ST. MEDIAN STRIP JUST SOUTH OF THE SECOND ST. AND MENAUL BLVD. INTERSECTION. ELEVATION: 4968.392  
TEMPORARY BENCHMARK IS A REBAR WITH AN ALUMINUM CAP STAMPED "WCEA CP-100" ELEVATION: 4960.52

GRAPHIC SCALE



SITE NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.
- NO DUMPSTERS SHALL BE USED ON SITE.
- ALL LANDSCAPE ISLANDS SHALL BE PER CITY OF ALBUQUERQUE DPM.
- ALL STRUCTURES SHALL BE DEMOLISHED EXCEPT THE SIGNAGE.
- SEE SHEET C5 FOR SIGN DETAILS.
- FIRE LANES SHALL BE MARKED RED WITH WHITE WEATHER RESISTANT PAINT WITH LETTERING STATING, "FIRE LANE - NO PARKING" ON TOP AND FACE OF ADJACENT CURB.

PROJECT NO \_\_\_\_\_  
DRB APP NO \_\_\_\_\_

APPROVAL SIGNATURES

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

**REVISIONS**

DATE	DESCRIPTION

**WILSON & COMPANY**

2600 THE AMERICAN ROAD SE  
RIO RANCHO, NEW MEXICO 87124  
(505) 898-8021

**LOWE'S**

LOWE'S HOME CENTERS, INC.  
HWY. 268 EAST, EAST DOCK  
N. WILKESBORO, NC 28659  
336.658.4000 (N) 336.658.3257 (F)

**APPROVAL SIGNATURES**

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

UTILITIES DEVELOPMENT DATE

PARKS AND RECREATION DEPARTMENT DATE

CITY ENGINEER DATE

ENVIRONMENTAL HEALTH DEPARTMENT DATE

SOLID WASTE MANAGEMENT DATE

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

**ORIGINAL**  
ISSUE DATE: 12/17/03  
PERMIT SET  
ISSUE DATE:  
CONSTRUCTION SET  
ISSUE DATE:  
DRAWING NUMBER:  
**C2**