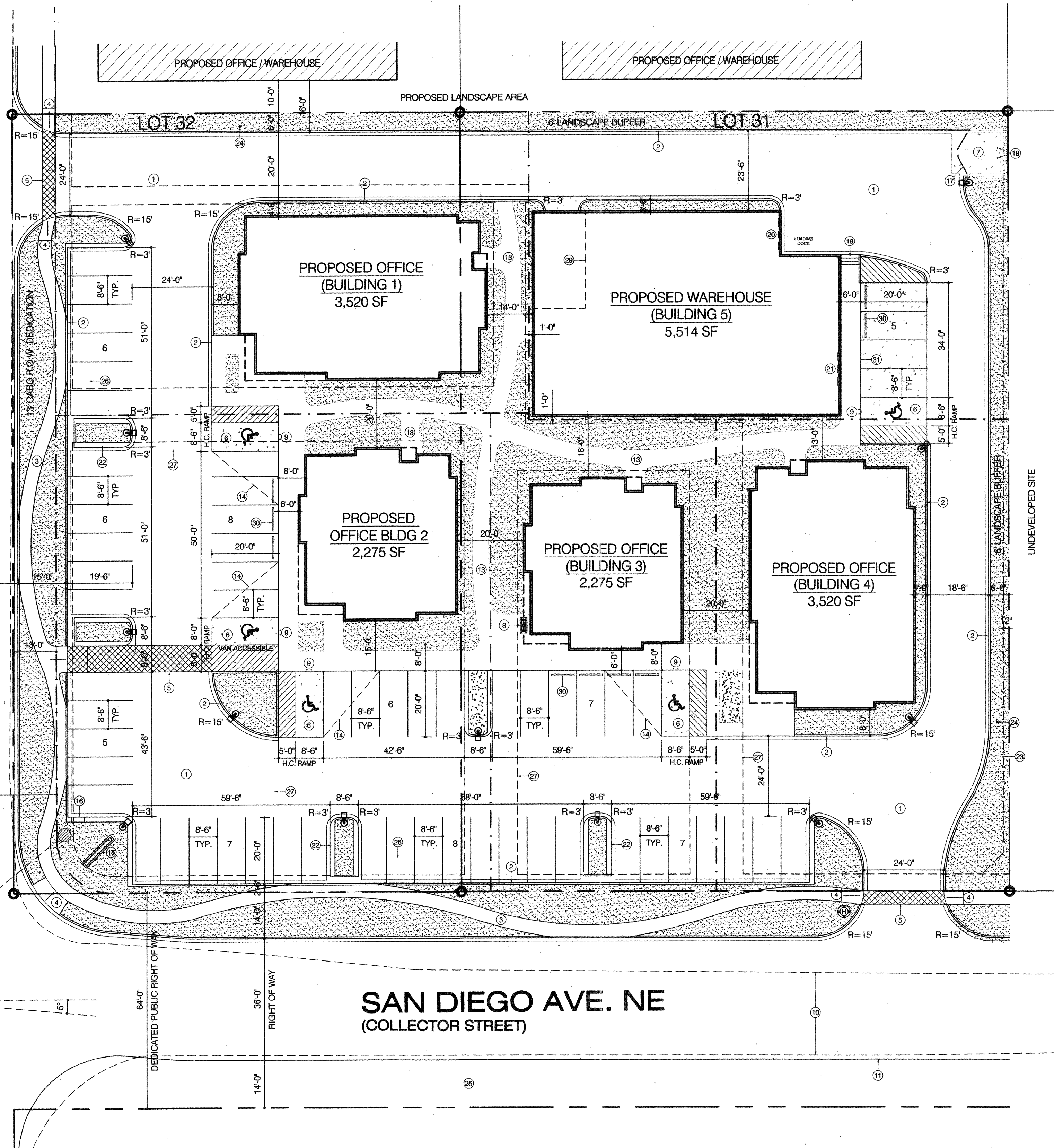
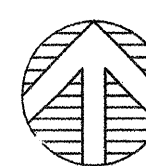


SAN MATEO DR. NE
(COLLECTOR STREET)

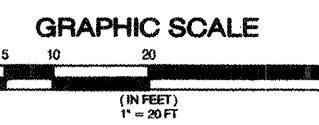


SAN DIEGO AVE. NE
(COLLECTOR STREET)



SITE PLAN

SCALE: 1"=20'



- GENERAL NOTES**
- [C1.1] ALL STANDARD PARKING SPACES SHALL BE 8'-6" W X 20'-0" D
- [C1.2] ALL HANDICAP PARKING SPACES SHALL BE 8'-0" W X 20'-0" D WITH ADJACENT 5' W STRIPED ACCESSIBLE AISLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL PAVEMENT MARKINGS.
- [C1.3] ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALKID STRIPING PAINT, TYP.
- [C1.5] ALL ASPHALT AREAS ARE CROSS ACCESS / PARKING EASEMENTS
- [C1.6] ALL CONCRETE WALKS ARE CROSS ACCESS UTILITY EASEMENTS
- KEYED NOTES**
- [1] ASPHALT PAVED SURFACE - SEE DETAIL 1/AS-102
- [2] CONCRETE CURB & GUTTER - SEE DETAILS 2/AS-102 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS
- [3] CONCRETE SIDEWALK - SEE DETAIL 3/AS-102 - TYPICAL SIDEWALK WIDTH SHALL BE 4'-0" UNLESS NOTED OTHERWISE
- [4] SIDEWALK RAMP - SEE DETAIL 4/AS-102
- [5] CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/AS-102
- [6] HANDICAP ACCESS RAMP - SEE DETAIL 8/AS-102
- [7] CAST IN PLACE 7" TALL CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL 9 & 10/AS-102
- [8] PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/AS-102
- [9] HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/AS-102
- [10] EXISTING PAVING SECTION @ SAN DIEGO
- [11] NEW (FUTURE) EDGE OF ASPHALT @ SOUTH SIDE SAN DIEGO RIGHT-OF-WAY
- [12] 5% EQUALS ALLOWABLE ALIGNMENT VARIATION FROM CENTERLINE
- [13] INTERIOR SIDEWALK TO BE COLORED CONCRETE W/ ROCK SALT FINISH
- [14] ASPHALT TAPER FROM HANDICAPPED STALL TO STANDARD STALL
- [15] COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS - SEE DETAIL 8 & 12/AS-102
- [16] STORM DRAIN - SEE GRADING & DRAINAGE PLAN
- [17] DUMPSTER ENCLOSURE - SEE DETAIL 13/AS-102
- [18] BOLLARDS - 5"Ø CONCRETE FILLED STEEL PIPE
- [19] CONCRETE STAIRS
- [20] 30' A.F.F. OVERHEAD DOCK DOOR
- [21] OVERHEAD DOOR @ GRADE
- [22] 12" CONCRETE STRIP ADJACENT TO PARKING STALL
- [23] 6" TALL WROUGHT IRON FENCE, BLACK MATTE PAINT
- [24] ONE-WAY TRAFFIC SIGN
- [25] POTENTIAL FUTURE CABO BIKE LANE
- [26] 6" GENERAL UTILITY EASEMENT - SEE REPLAT
- [27] WATER/SEWER LINE EASEMENT - SEE REPLAT
- [28] EXISTING STORM WATER INLET & 42" DRAIN PIPE - SEE GRADING & DRAINAGE PLAN
- [29] 30" GRADE CHANGE @ WAREHOUSE
- [30] CONCRETE PARKING BUMPER
- [31] ROLL CURB FOR OVERHEAD DOOR ACCESS

LEGEND

- NEW 14' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF, SHOE BOX TYPE), MOUNTED ON CONCRETE BASE
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT - SEE SITE UTILITY PLAN
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A FORMER, EXISTING LANDFILL DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS DEMONSTRATED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Michael Helton Feb. 9, 2004
ENVIRONMENTAL HEALTH DEPARTMENT

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
FEB 11 2004
SIGNATURE & DATE

RECORD DRAWING

LEGAL DESCRIPTION:
LOTS NUMBERED THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED FIVE (5), TRACT 'A', UNIT 'B', NORTH ALBUQUERQUE ACRES, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 24, 1936, IN VOLUME D, FOLIO 130.

LEGAL NOTES:
LOT 31: CITY OF ALBUQUERQUE UPC NO. 101806502717130702
LOT 32: CITY OF ALBUQUERQUE UPC NO. 101806501117230701

SITE TOTALS
SITE AREA: 67,040 SF (1.54 ACRES)
LANDSCAPE AREA: 15,725 SF (23%)
(R.O.W. LANDSCAPING: 4,088 SF)
BUILDING AREA: 16,530 SF (25%)
PARKING SPACES REQUIRED: 55 + 3 HC SPACES & 1 VAN SPACE = 59
PARKING SPACES PROVIDED: 59 + 4 HC SPACES + 1 VAN SPACE = 64
BIKE RACK SPACES REQUIRED: 1/20 PARKING SPACES = 3
BIKE RACK SPACES PROVIDED: 3

BUILDING 1
USE: OFFICE/RETAIL
SITE AREA: 12,040 SF
GROSS BUILDING AREA: 3,520 SF (29%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 2
USE: OFFICE/RETAIL
SITE AREA: 18,841 SF
GROSS BUILDING AREA: 2,275 SF (12%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 3
USE: OFFICE/RETAIL
SITE AREA: 9,732 SF
GROSS BUILDING AREA: 2,275 SF (23%)
NET LEASABLE AREA: 2,100 SF
PARKING SPACES REQUIRED: 2,100 / 200 = 11
PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 4
USE: OFFICE/RETAIL
SITE AREA: 12,559 SF
GROSS BUILDING AREA: 3,520 SF (28%)
NET LEASABLE AREA: 3,300 SF
PARKING SPACES REQUIRED: 3,300 / 200 = 17
PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

BUILDING 5
USE: WAREHOUSE
SITE AREA: 13,322 SF
GROSS BUILDING AREA: 5,040 SF (38%)
NET LEASABLE AREA: 4,790 SF
PARKING SPACES REQUIRED: 4,790 / 2,000 = 3
PARKING SPACES PROVIDED: 4 + 1 HC SPACE = 5

PROJECT NUMBER: 100-3173
APPLICATION NUMBER: 04-00005

IS AN INFRASTRUCTURE LIST REQUIRED? ☒ YES ☐ NO IF YES, THEN SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Jeffrey A. ... 1-28-04
ENGINEERING TRANSPORTATION DIVISION DATE

Roger A. ... 1-28-04
UTILITIES DEVELOPMENT DATE

Christina ... 1-28-04
PARKS & RECREATION DEPARTMENT DATE

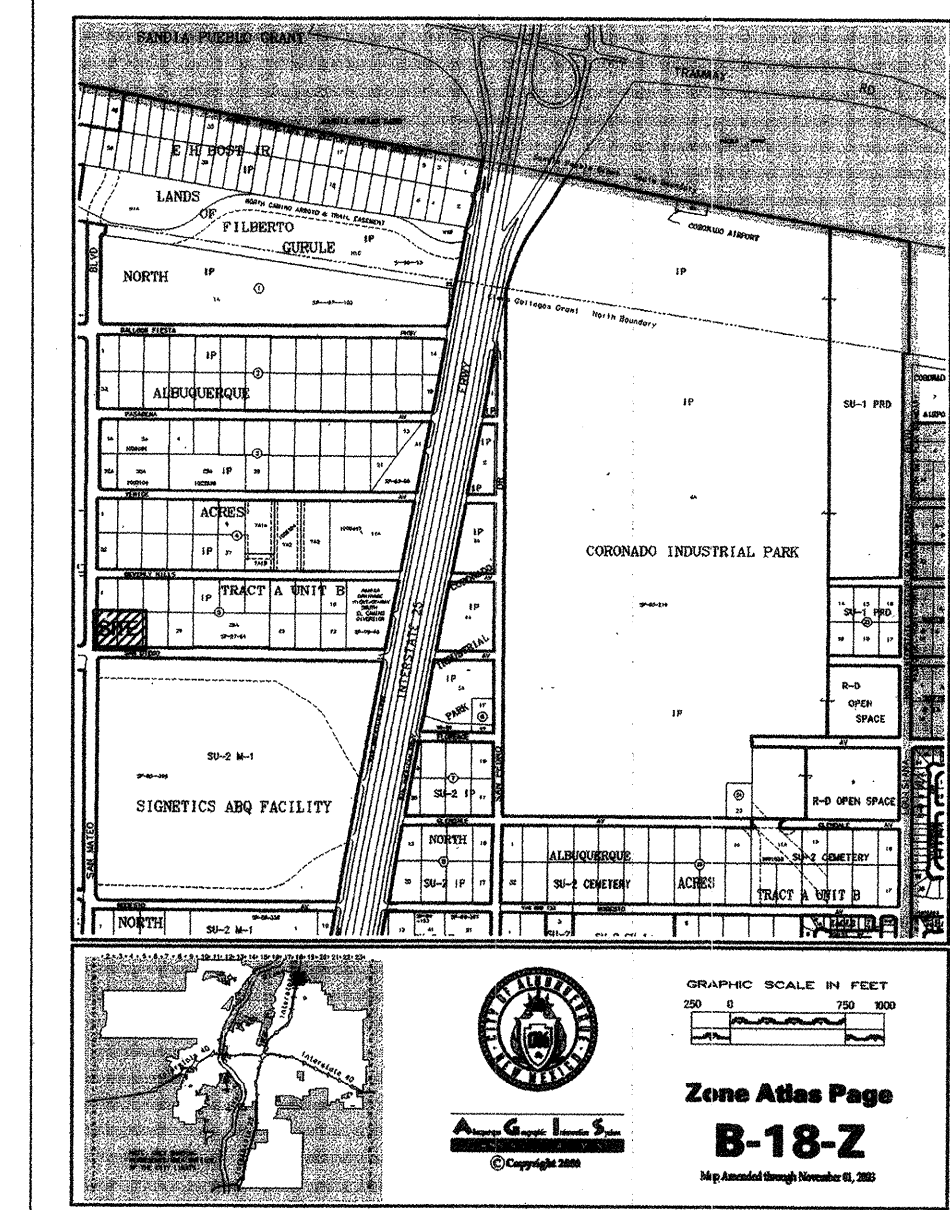
CITY ENGINEER: *N/A* DATE

ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE

Michael Helton 1-23-04
SOLID WASTE MANAGEMENT DATE

Sharon Watson 2/9/04
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

*Environmental Health, if necessary



CITY PROJECT NO. 733281

For Information Only

INSITE WORKS

ADDRESS: 67 ROCK POINT PLACE NE
ALBUQUERQUE, NM 87122
TELEPHONE: (505) 268-3100
FAX: (505) 268-1000
WEBSITE: www.insiteworks.com
KS email: kslg@insiteworks.com

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT

**SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT**

verano PLAZA

DATE ISSUED: 1/22/04
EDITION: DRB SUBMITTAL / BUILDING PERMIT
PROJECT ID: VERANO PLAZA
CONSULTANT: INSITEWORKS

SHEET INDEX
AS-101 ARCHITECTURAL SITE PLAN
AS-102 SITE PLAN DETAILS
L-101 LANDSCAPE PLAN
C-1.0 GRADING & DRAINAGE PLAN
C-2.0 UTILITIES SITE PLAN
A-201 BUILDING ELEVATIONS
REPLAT DRAFT REPLAT

AS-101

DESIGNED BY
MESA REPRO

SAN MATEO DR. NE

SAN DIEGO AVE. NE

FACE OF CURB CURVE DATA

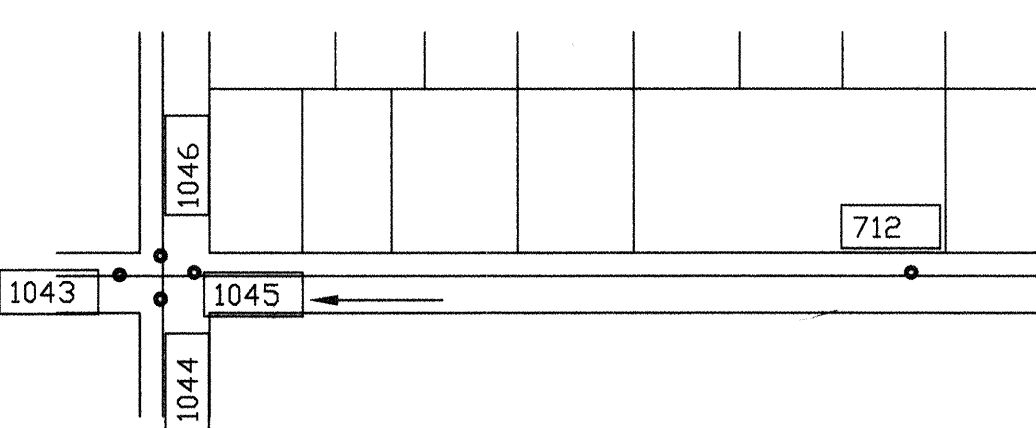
CURVE NO.	DELTA	RADIUS(F.T.)	LENGTH(F.T.)
(F)	5°00'00"	86	7.50

KEYED NOTES

- CONSTRUCT 6" DIA TYPE E MANHOLE PER COA STD DWG 2102. MATCHING EXIST. INVERT OF 42" RCP. NEATLY SAWCUT, REMOVE AND REPLACE PAVEMENT ABOVE PIPE WITH PAVEMENT SECTION PER DETAIL A/3.
- INSTALL 48 LF OF 24" RCP(III).
- INSTALL DOUBLE C INLET PER COA STD DWG 2205.
- INSTALL 49LF 18" RCP(III).
- INSTALL DOUBLE A STORM INLET PER COA STD DWG 2201, BUT WITH TWO GRATES.
- STA 138+01.11, 24.91'LT, INSTALL FIRE HYDRANT (4' BURY) PER COA STD DWG 2340. MAKE PRESSURIZED CONNECTION TO EXIST. 10" MAIN WITH 10" X 6" TAPPING SLEEVE AND VALVE. INSTALL VALVE BOX PER COA STD DWGS 2326 AND 2328, AND 4.58' OF 6" PVC PIPE (C-900) WITH RESTRAINED JOINTS, OR FLANGED SPOOL PIECES.
- STA137+60.11, 20.39'LT. INSTALL THREE 1" WATER METER SERVICE LINES WITH TWO BOXES PER COA STD DWG 2362.
- STA 136+92.11, 20.49'LT. INSTALL TWO 1" WATER METER SERVICE LINES WITH ONE BOX PER COA STD DWG 2362.
- STAB+27, 14'RT. INSTALL 6" DIRECTIONAL WYE OR SADDLE AND NEW 6" SERVICE LINE PER COA STD DWG 2125. INSTALL 6" SAS LINE (SDR-35) TO R.O.W. LINE, WITH 6" DEPTH AT R.O.W. LINE. NEATLY SAWCUT, REMOVE, AND REPLACE PAVEMENT AND CURB OVER SEWER LINE PER SECTION INDICATED ON DETAIL A/3. ALL BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
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- INSTALL GAS BARRIER ACROSS UTILITY TRENCH PER DETAILS ON SHEET 3.
- BOLLARDS TO BE INSTALLED AT FRONT OF PARKING SPACE PER ARCHITECTURAL SITE PLAN.

RECORD DRAWING

WATER SHUTOFF PLAN



- CALL WATER UTILITY DIVISION AT 857-8200 MIN. 7 WORKING DAYS IN ADVANCE TO ARRANGE SHUT-OFF.
- ONLY CITY CREWS MAY OPERATE VALVES.
- SHUT OFF VALVE NO. 1045.

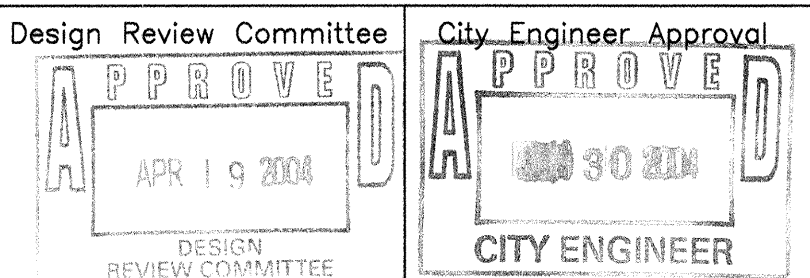
MARCH 31, 2004 VERANO-PnP.dwg

JC Engineering, LLC

1924 Roanoke Dr. NE, Rio Rancho, NM 87144-5532
(505)263-9032 Fax(505)867-9304 www.jcengineering.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

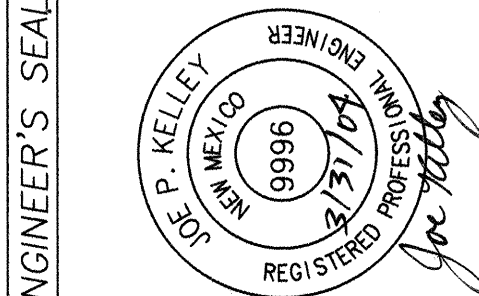
TITLE: VERANO PLAZA
SAN DIEGO INFRASTRUCTURE
PLAN & PROFILE



City Project No. 733281

Zone Map No. B-18

SHEET 2 OF 3



NO.	DATE	REVISIONS	BY
1	3/19/2004	DESIGN	J. KELLEY
2	3/19/2004	DESIGN	J. KELLEY
3	3/19/2004	DESIGN	J. KELLEY

APPROVED BY
JESSE REPRO

SAN MATEO DR. NE

SAN DIEGO AVE. NE

Scale 1" = 20'

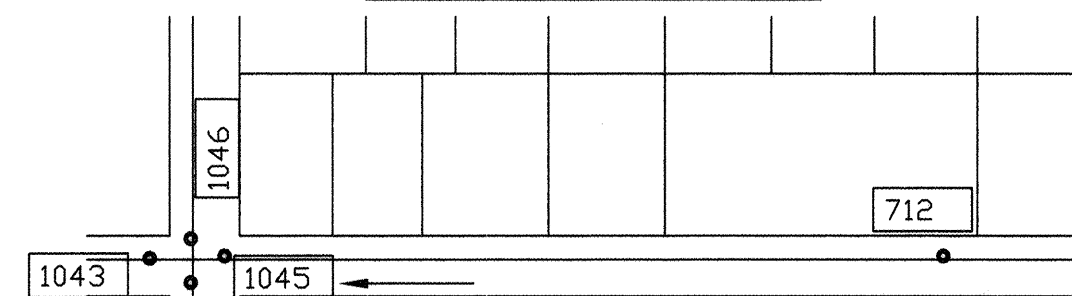
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FACE OF CURB CURVE DATA

CURVE NO.	DELTA	RADIUS(FT.)	LENGTH(FT.)
(F)	5°00'00"	86	7.50

WATER SHUTOFF PLAN



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MARCH 31, 2004 VERANO-PnP.dwg

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VERANO PLAZA
SAN DIEGO INFRASTRUCTURE
PLAN & PROFILE

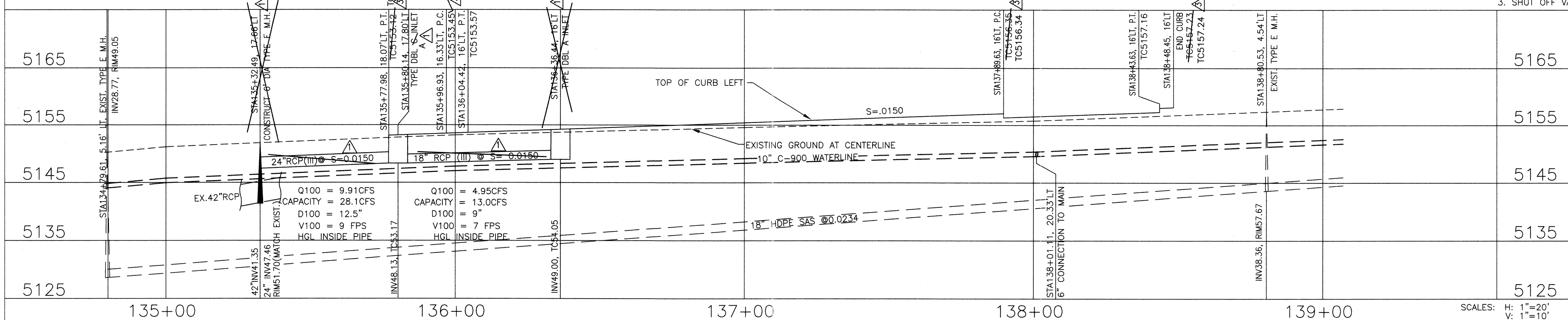
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			
City Project No.	733281	Zone Map No.	B-18
SHEET	28	OF	3

AS BUILT INFORMATION			
CONTRACTOR	WORK	DATE	DATE
INSPECTOR'S	DATE	DATE	DATE
FIELD	DATE	DATE	DATE
VERIFICATION BY	DATE	DATE	DATE
CORRECTED BY	DATE	DATE	DATE
MICRO-FILM INFORMATION	RECORDED BY	DATE	DATE

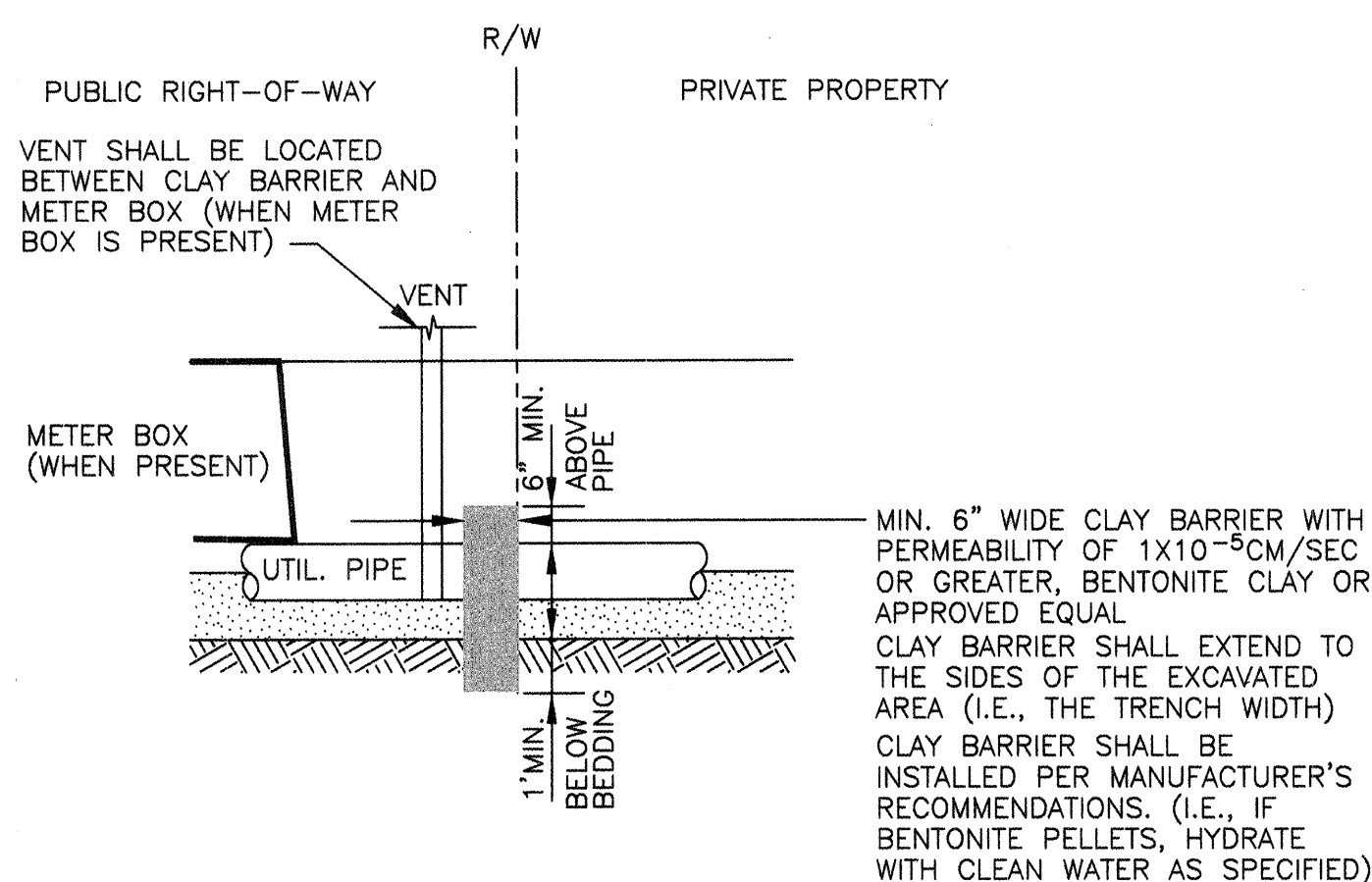
BENCH MARKS			
NM SHC MONUMENT "I-25-11"	NM STATE	PLANE COORDINATES	CENTRAL ZONE (NAD 1927) X=401,988.77 Y=1,526,246.66 ELEV=5206.94

SURVEY INFORMATION			
FIELD NOTES	BY	DATE	
		NO.	

ENGINEER'S SEAL			
JPK	JPK	JPK	BY
REMARKS	REVISIONS	DESIGN	
DESIGNED BY	J. KELLEY	DATE	3/19/2004
DRAWN BY	J. KELLEY	DATE	3/19/2004
CHECKED BY	J. KELLEY	DATE	3/19/2004



CANNED BY
MESA REPRO



2" DIA GALVANIZED VENT PIPE

12" MIN.

2" ID GALVANIZED WELL POINT PIPE WITH 0.01" SCREEN OPENINGS, NO LONGER THAN ONE 5' SECTION OF PIPE.

TRENCH WALLS

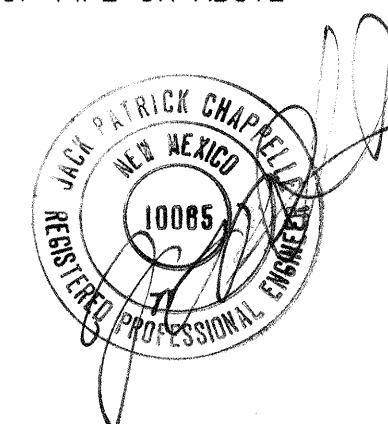
1/4" CLEAN GRAVEL SHALL BE INSTALLED A MINIMUM OF 6" THICKNESS AROUND THE WELL SCREEN

6" THICK BEDDING MATERIAL MAY BE SELECT MATERIAL, OR MAY BE NATIVE MATERIALS, IF SUITABLE FOR FILL. BEDDING SHALL EXTEND TO SPRINGLINE OF PIPE OR ABOVE

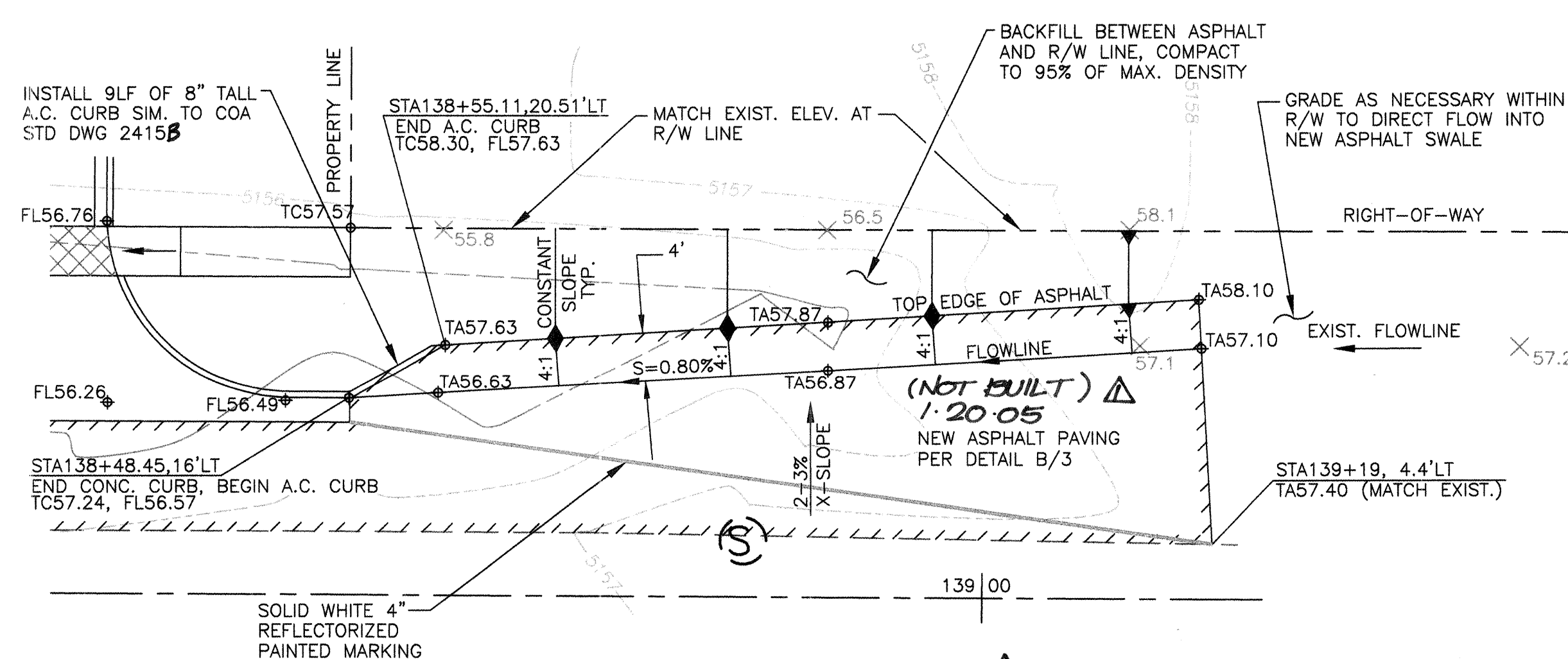
EXTEND VENT PIPE TO A DEPTH EQUAL TO THE BOTTOM OF THE UTILITY

VENT PIPE SHALL BE GUARDED BY INSTALLING PROTECTIVE BOLLARDS OR PROTECTIVE LANDSCAPING (I.E., ROCKS) AROUND THE PIPE. VENT PIPE SHALL BE LEFT OPEN TO THE ATMOSPHERE.

GAS BARRIER SYSTEM
NTS



RECORD DRAWING



MARCH 31, 2004 VERANO-DETAILS.dwg

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TITLE: VERANO PLAZA
PUBLIC INFRASTRUCTURE
DETAILS

City Project No.	Zone Map No.	SHEET	OF
733281	B-18	3	3