# Approved as record drawings design review section city construction engineer

# VERANO PLAZA

## PUBLIC INFRASTRUCTURE IMPROVEMENTS

#### SHEET INDEX

TITLE SHEET, INDEX, NOTES

SITE PLAN

PLAT

SAN DIEGO INFRASTRUCTURE——PLAN & PROFILE

2, 28

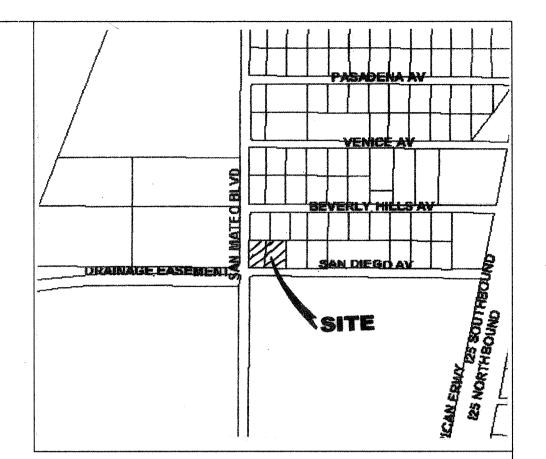
PUBLIC INFRASTRUCTURE DETAILS



#### SURVEYOR'S CERTIFICATION

I, Charles G. Cala, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the "as-built" information shown on these drawings was obtained from field construction and "as-built" surveys performed by me or under my supervision, that the "as-built" information shown on these drawings was added by me or under my supervision, and that this "as-built" information is true and correct to the best of my knowledge and belief and that I am not responsible for any of the design concepts, calculations, engineering, or intent of the record drawings.





LOCATION MAP B-17/18

#### GENERAL NOTES

THE IMPROVEMENTS, AS SHOWN ON THESE PLANS, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBQ STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UPDATE NO. 7.

STANDARD DRAWINGS REFER TO STANDARD DRAWINGS OF THE CITY OF ALBUQUERQUE UNLESS OTHERWISE NOTED.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, ENGINEER OR THE CITY.

THE ENGINEER OR CITY OR OWNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS OR TECHNIQUES OR FOR THE PROSECUTION OF THE WORK AS SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL DESIGNATE AT LEAST ONE EMERGENCY CONTACT PERSON, AND SHALL PROVIDE TELEPHONE NUMBERS WHERE THIS PERSON CAN BE CONTACTED AT ANY TIME. THIS INFORMATION SHALL BE PROVIDED TO THE OWNER, THE ENGINEER AND THE CITY OF ALBUQUERQUE.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS APPARENT THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DESIGNATED FOR REMOVAL OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR WOULD LIKE TO REMOVE FENCING TO FACILITATE CONSTRUCTION OPERATIONS, THIS MAY BE DONE WITH THE OWNER'S PERMISSION, AND THE CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION PRIOR TO THE CLOSE OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS REPLACED.

ALL STATIONING REFERS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED. STATIONING OF CHANNELS OR PIPES IN DRAINAGE EASEMENTS REFERS TO THE CENTERLINE OF CHANNEL OR PIPE, UNLESS OTHERWISE NOTED.

#### SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 OR D-698, AS APPLICABLE.

	PERCENT (%)
MATERIALS	COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUB BASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL	95
FILL OR ROAD PAVEMENT	
MISCELLANEOUS BACKFILL BELOW UNPAVED,	90
NON-BUILDING AREAS	
ROAD PAVEMENT SUBGRADE	95
SIDEWALK SUBGRADE	90
CURB AND GUTTER SUBGRADE	95

#### SPECIAL TRAFFIC CONTROL NOTES

TWO-WAY TRAFFIC, WITH ONE LANE OPEN TO TRAFFIC IN EACH DIRECTION, SHALL BE MAINTAINED ON SAN MATEO BLVD AT ALL TIMES.

ARTERIAL/COLLECTOR ROAD USEAGE FEES OF \$0.01 PER SQUARE FOOT OF BARRICADED AREA PER DAY WILL BE ASSESSED ON ALL BARRICADE PERMITS IN SAN MATEO BLVD.

NO LANE CLOSURES WILL BE ALLOWED ON THIS PROJECT DURING THE BALLOON FIESTA MORATORIUM, OR OTHER MAJOR SPECIAL EVENTS AT THE ALBUQUERQUE INTERNATIONAL BALLOON FIESTA PARK.

#### <u>UTILITIES</u>

BRYAN WOHE, P.E.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS HAVE BEEN OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DEPICTED LOCATION, THE EXISTENCE OR THE NONEXISTENCE OF UTILITY LINES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1 THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN BY VERIFICATION OF LINE LOCATION IN THE FIELD PRIOR TO THE INSTIGATION OF THE ACTUAL PORTION OF WORK ATTRIBUTED TO THEIR LOCATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND EXISTENCE OF ALL UTILITY CONNECTION POINTS PRIOR TO STARTING CONSTRUCTION AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING FURTHER.

SEWER LINE DISTANCES SHOWN IN PROFILE ARE MEASURED IN A HORIZONTAL LINE ALONG THE PIPE, BETWEEN CENTERS OF MANHOLES.

WATER LINES SHALL BE CONSTRUCTED WITH A MINIMUM OF 4.0 FT. COVER MEASURED FROM FINISH GRADE TO THE TOP OF PIPE.

HOUSE SEWER SERVICE LATERAL LOCATIONS ARE SHOWN GRAPHICALLY (TYPICALLY 12 L.F. ABOVE LOWER LOT LINE) AND MAY BE ADJUSTED IN THE FIELD TO AVOID DRIVEWAYS WHENEVER FEASIBLE.

SEWER/WATER MAIN LINES SHALL BE PLACED IN SEPARATE TRENCHES A MINIMUM OF 10 FEET APART HORIZONTALLY. THE WATER LINE SHALL BE PLACED A MINIMUM OF 1.5 FEET HIGHER IN ELEVATION THAN THE SEWER WHEN CLOSER THAN 10 FEET. AT ALL CROSSINGS OF WATER AND SEWER LINES THE WATER LINE SHALL BE A MINIMUM OF 1.5 FEET HIGHER THAN THE SEWER OR THE SEWER LINE SHALL BE ENCASED IN CONCRETE A DISTANCE OF 10 FEET ON EACH SIDE OF THE WATER LINE.

NO ONE WITHOUT WRITTEN PERMISSION OR DIRECT SUPERVISION FROM THE CITY OF ALBUQUERQUE, MAY OPERATE ANY VALVE OR FIRE HYDRANT WHICH WILL CAUSE WATER TO FLOW WITHIN, INTO, OR OUT OF THE EXISTING SYSTEM. THIS INCLUDES NEW WATERLINES AND EXTENSIONS TO THE WATER SYSTEM WHICH HAVE NOT BEEN ACCEPTED BUT ARE CONNECTED TO THE EXISTING WATER SYSTEM.

CITY OF ALBUQUERQUE PUBLIC WATER MAINS SHALL BE CONTRUCTED OF C-900 PIPE, AND PUBLIC SEWER MAINS SHALL BE CONSTRUCTED OF SDR-35 PIPE, UNLESS OTHERWISE INDICATED.

#### ROADS

ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO SURFACING OF THE STREETS. ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISH GRADE.

ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, PAVEMENT MARKINGS, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. ALL ADVANCE WARNING SIGNS SHALL BE EQUIPPED WITH TYPE A FLASHING WARNING LIGHTS. ALL CHANNELIZATION DEVICES SHALL BE EQUIPPED WITH TYPE C STEADY BURN WARNING LIGHTS.

WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT, APPLY TACK COAT, AND MATCH NEW PAVING TO EXISTING.

#### ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE, FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

# EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLAN.

THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING STRAW BALE DIKES OR SILT FENCES IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT APPROPRIATE INTERVALS.

THE CONTRACTOR SHALL WET THE SOIL AS NEEDED TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. THIS SHALL NOT INCLUDE RESIDENTIAL LOTS WHICH ARE TO BE OCCUPIED WITHIN TWELVE MONTHS.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED FROM THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-(505)-822-1558 OR 1-(800)-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE INSTALLED ON THEIR UPSTREAM SIDE.

THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN ON-SITE AT ALL TIMES.

#### LANDFILL NOTES

GAS BARRIER SYSTEM DETAILS PREPARED BY ENGINEERING SOLUTIONS AND DESIGN

REFERENCE REPORT: ANALYSIS OF THE POTENTIAL IMPACT OF THE CORONADO LANDFILL ON THE PROPOSED DEVELOPMENT ON LOTS 31 + 32, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, BLOCK 5.

#### DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS") SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

ENVIRONMENTAL HEALTH DEPARTMENT MARCIA PINCUS

3/3/2004

DATE

RECORD DRAWING

#### WORK WITHIN C.O.A. RIGHT-OF-WAY

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UPDATE NO. 7.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVSION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION.

  CONCTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924–3993) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- 6. MAINTENANCE OF THESE FACITLITIES SHALL BE THE RESPONSIBLIITIY OF THE OWNER OF THE PROPERTY SERVED.

#### THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.

SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.

BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL
STREET USE.

STREET

ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.

### LEGEND

EXISTING INDEX CONTOUR (5')
EXIST. INTERMED. CONTOUR (1')

EXISTING PAVEMENT OR CURB

CURB AND GUTTER

WHEELCHAIR RAMP, SIDEWALK

12"SD STORM DRAIN PIPE

EXISTING WATER

8"SAS PROPOSED SEWER

21"SAS EXISTING SEWER

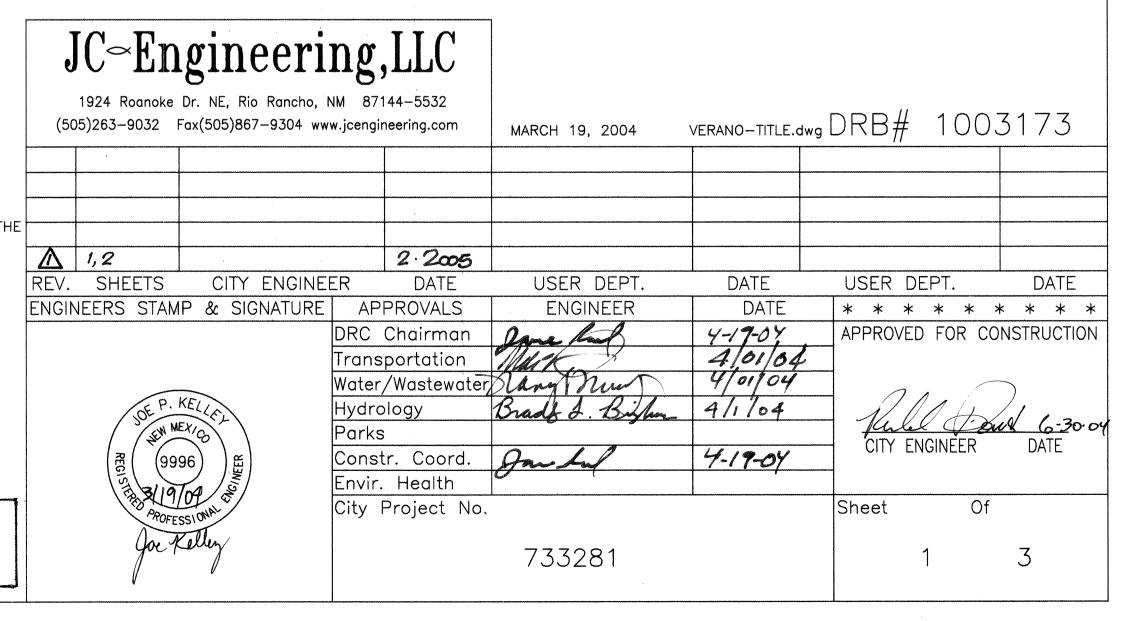
F.O. FIBER OPTIC

U.S.WEST PAINT MARK (BLUE STAKED)

T TELEPHONE (BLUE STAKED)

OVERHEAD UTLITY LINES

STREET LIGHT





#### GENERAL NOTES [C1.1] ALL STANDARD PARKING SPACES SHALL BE 8'-6"W X 20'-0"D

[C1.2] ALL HANDICAP PARKING SPACES SHALL BE 8'-0"W X 20'-0"D WITH ADJACENT 5'W STRIPED ACCESS AISLE (1 VAN ACCESSIBLE SPACE PER PROPERTY SHALL HAVE AN 8' WIDE ACCESS AISLE). ALL SPACES SHALL HAVE POLE SIGN AND HANDICAP SYMBOL

[C1.3] ALL PARKING SPACES, HANDICAP SYMBOLS AND CROSS HATCHED ACCESS AISLES SHALL BE MARKED ON PAVEMENT WITH WHITE ALKYD STIPING PAINT, TYP. [C1.5] ALL ASPHAULT AREAS ARE CROSS ACCESS / PARKING EASEMENTS [C1.6] ALL CONCRETE WALKS ARE CROSS ACCESS UTILITY EASEMENTS

#### KEYED NOTES [1] ASPHALT PAVED SURFACE - SEE DETAIL 1/AS-102

[2] CONCRETE CURB & GUTTER, - SEE DETAILS 2/AS-102 - SEE GRADING PLAN FOR SPECIFIC CURB TYPE LOCATIONS

[3] CONCRETE SIDEWALK - SEE DETAIL 3/AS-102 - TYPICAL SIDEWALK WIDTH SHALL BE 4'-0" UNLESS NOTED OTHERWISE.

#### [4] SIDEWALK RAMP - SEE DETAIL 4/AS-102

[5] CONCRETE PEDESTRIAN CROSSWALK - SEE DETAIL 6/AS-102

[6] HANDICAP ACCESS RAMP - SEE DETAIL 8/AS-102

[7] CAST IN PLACE 7' TALL CONCRETE DUMPSTER ENCLOSURE W/ GATES - SEE DETAIL

[8] PRECAST CONCRETE BIKE RACK - SEE DETAIL 7/AS-102 [9] HANDICAP PARKING SPACE SIGN - ONE SIGN PER HANDICAP PARKING SPACE, TYP. - SEE DETAIL 5/AS-102

#### [10] EXISTING PAVING SECTION @ SAN DIEGO

[11] NEW (FUTURE) EDGE OF ASHPALT @ SOUTH SIDE SAN DIEGO RIGHT-OF-WAY

[12] 5% EQUALS ALLOWABLE ALIGNMENT VARIATION FROM CENTERLINE

[13] INTERIOR SIDEWALK TO BE COLORED CONCRETE W/ ROCK SALT FINISH [14] ASPHALT TAPER FROM HANDICAPPED STALL TO STANDARD STALL

[15] COLORED CONCRETE MONUMENT SIGN WITH INDIVIDUALLY RAISED LETTERS -SEE DETAIL 8 & 12/AS-102

#### [16] STORM DRAIN - SEE GRADING & DRAINAGE PLAN

[17] DUMPSTER ENCLOSURE - SEE DETAIL 13/AS-102

[18] BOLLARDS - 5"Ø CONCRETE FILLED STEEL PIPE [19] CONCRETE STAIRS

[20] 30" A.F.F. OVERHEAD DOCK DOOR

[21] OVERHEAD DOOR @ GRADE

[22] 12" CONCRETE STRIP ADJACENT TO PARKING STALL

[23] 6' TALL WROUGHT IRON FENCE, BLACK MATTE PAINT

[24] ONE-WAY TRAFFIC SIGN

[25] POTENTIAL FUTURE CABO BIKE LANE

[26] 6' GENERAL UTILITY EASEMENT - SEE REPLAT [27] WATER/SEWER LINE EASEMENT - SEE REPLAT

[28] EXISTING STORM WATER INLET & 42" DRAIN PIPE - SEE GRADING & DRAINAGE PLAN

[29] 30" GRADE CHANGE @ WAREHOUSE

[30] CONCRETE PARKING BUMPER

[31] ROLL CURB FOR OVERHEAD DOOR ACCESS

#### LEGEND

NEW 14' TALL POLE LIGHT W/ 250 WATT METAL HALIDE LAMPING (FULL CUT-OFF, SHOE EOX TYPE.). MOUNTED ON CONCRETE BASE

EXISTING FIRE HYDRANT



NEW FIRE HYDRANT - SEE SITE UTILITY PLAN

---- EXISTING PROPERTY LINE

--- PROPOSED PROPERTY LINE

THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL, DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE "INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS" SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE

AFD PLANS CHECKING OFFICE 924-3611 APPROVED/DISAPPROVED 1.10.04

RECORD DRAWING

LEGAL DESCRIPTION: LOTS NUMBERED THIRTY-ONE (31) AND THIRTY-TWO (32), IN BLOCK NUMBERED FIVE (5), TRACT 'A', UNIT 'B', NORTH ALBUQUERQUE ACRES. AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY,

NEW MEXICO, ON APRIL 24, 1936, IN VOLUME D, FOLIO 130.

LEGAL NOTES: LOT 31: CITY OF ALBUQUERQUE UPC NO. 101806502717130702 LOT 32: CITY OF ALBUQUERQUE UPC NO. 101806501117230701

SITE AREA: 67,040 SF (1.54 ACRES) LANDSCAPE AREA: 15,725 SF (23%) (R.O.W. LANDSCAPING: 4,088 SF) BUILDING AREA: 16,630 SF (25%) PARKING SPACES REQUIRED: 55 + 3 HC SPACES & 1 VAN SPACE = 59PARKING SPACES PROVIDED: 59 + 4 HC SPACES + 1 VAN SPACE = 64 BIKE RACK SPACES REQUIRED: 1/20 PARKING SPACES = 3 **BIKE RACK SPACES PROVIDED: 3** 

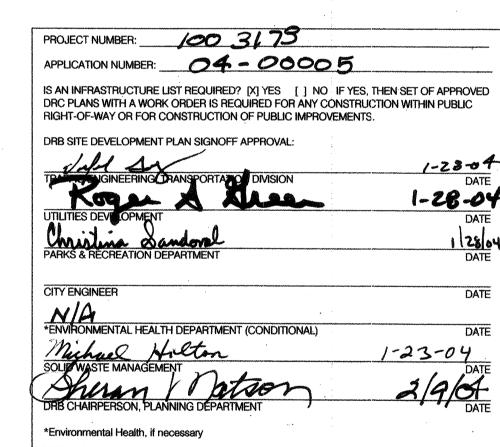
BUILDING 1 USE: OFFICE/RETAIL SITE AREA: 12,040 SF GROSS BUILDING AREA: 3,520 SF (29%) NET LEASABLE AREA: 3,300 SF PARKING SPACES REQUIRED: 3,300 / 200 = 17 PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

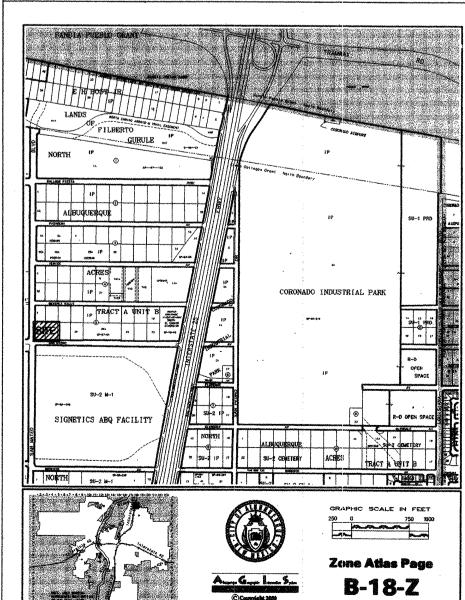
USE: OFFICE/RETAIL SITE AREA: 18,841 SF GROSS BUILDING AREA: 2,275 SF (12%) NET LEASABLE AREA: 2,100 SF PARKING SPACES REQUIRED: 2,100 / 200 = 11 PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

USE: OFFICE/RETAIL SITE AREA: 9,732 SF GROSS BUILDING AREA: 2,275 SF (23%) NET LEASABLE AREA: 2,100 SF PARKING SPACES REQUIRED: 2,100 / 200 = 11 PARKING SPACES PROVIDED: 11 + 1 HC SPACE = 12

BUILDING 4 USE: OFFICE/RETAIL SITE AREA: 12,559 SF GROSS BUILDING AREA: 3,520 SF (28%) NET LEASABLE AREA: 3,300 SF PARKING SPACES REQUIRED: 3,300 / 200 = 17 PARKING SPACES PROVIDED: 17 + 1 HC SPACE = 18

USE: WAREHOUSE SITE AREA: 13,322 SF GROSS BUILDING AREA: 5,040 SF (38%) NET LEASABLE AREA: 4,790 SF PARKING SPACES REQUIRED: 4,790 / 2,000 = 3 PARKING SPACES PROVIDED: 4 + 1 HC SPACE = 5







-----

ADDRESS	57 ROCK POINT PLACE NE	
	ALBUQUERQUE, NM 87122	
TELEPHONE	(505) 858-0100	
FAX	(505) 858-1088	
WEBSITE	www.insiteworks.com	
KS email	knight@insitoworks.com	

THIS DRAWING IS THE PROPERTY OF INSITEWORKS AND SHALL NOT BE REPRODUCED OR USED IN ANY WAY WITHOUT EXPRESSED WRITTEN CONSENT



SHEET INDEX
AS-101 ARCHITECTURAL SITE PLAN AS-102 SITE PLAN DETAILS | L-101 LANDSCAPE PLAN C-1.0 GRADING & DRAINAGE PLAN C-2.0 UTILITIES SITE PLAN

A-201 BUILDING ELEVATIONS REPLAT DRAFT REPLAT

**AS-101** 

San Mateo Drive, N.E. RECORD DRAWING CITY PROJECT NO. 733281

