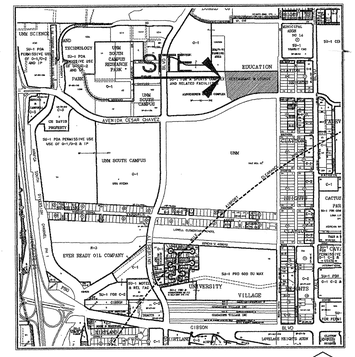
ALBUQUERQUE BICYCLE PARK PHASE 1

City of Albuquerque
Department of Municipal Development
Planning Department
Albuquerque, New Mexico

OCTOBER 11, 2005



VICINITY MAP – L-15-Z NORTH

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PROPERTY INFORMATION

Legal Description:	CA/Sports Stadium/ Park, 0000, ABQ Sports Complex
Address:	XX Avenida Cesar Chavez
Zoning:	SU-1 FOR A SPORTS COMPLEX
EPC Case No. for Site Development Plan Approval:	xx
DRB Case No.:	xx
Total Site Area:	1,119,512 sf (25.7 ac) 264,375 sf (6.1 ac)

UTILITIES

PNM – Electric	4201 Edith Blvd. NE Albuquerque, NM 87107 (505) 241-0525
PNM – Gas	4625 Edith Blvd. NE Albuquerque, NM 87107 (505) 241-7745
Qwest – Data/Phone	201 3rd Street NW, Suite 700 Albuquerque, NM 87102 (505) 245-8706
Comcast – Cable	4611 Montbel Place NE Albuquerque, NM 87107 (505) 761-6235
City of Albuquerque – Principal Engineer, Utility Development	P.O. Box 1293 Albuquerque, NM 87103 (505) 768-2719

GENERAL NOTES

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED THROUGH UPDATE 6, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS."

2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.

3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.

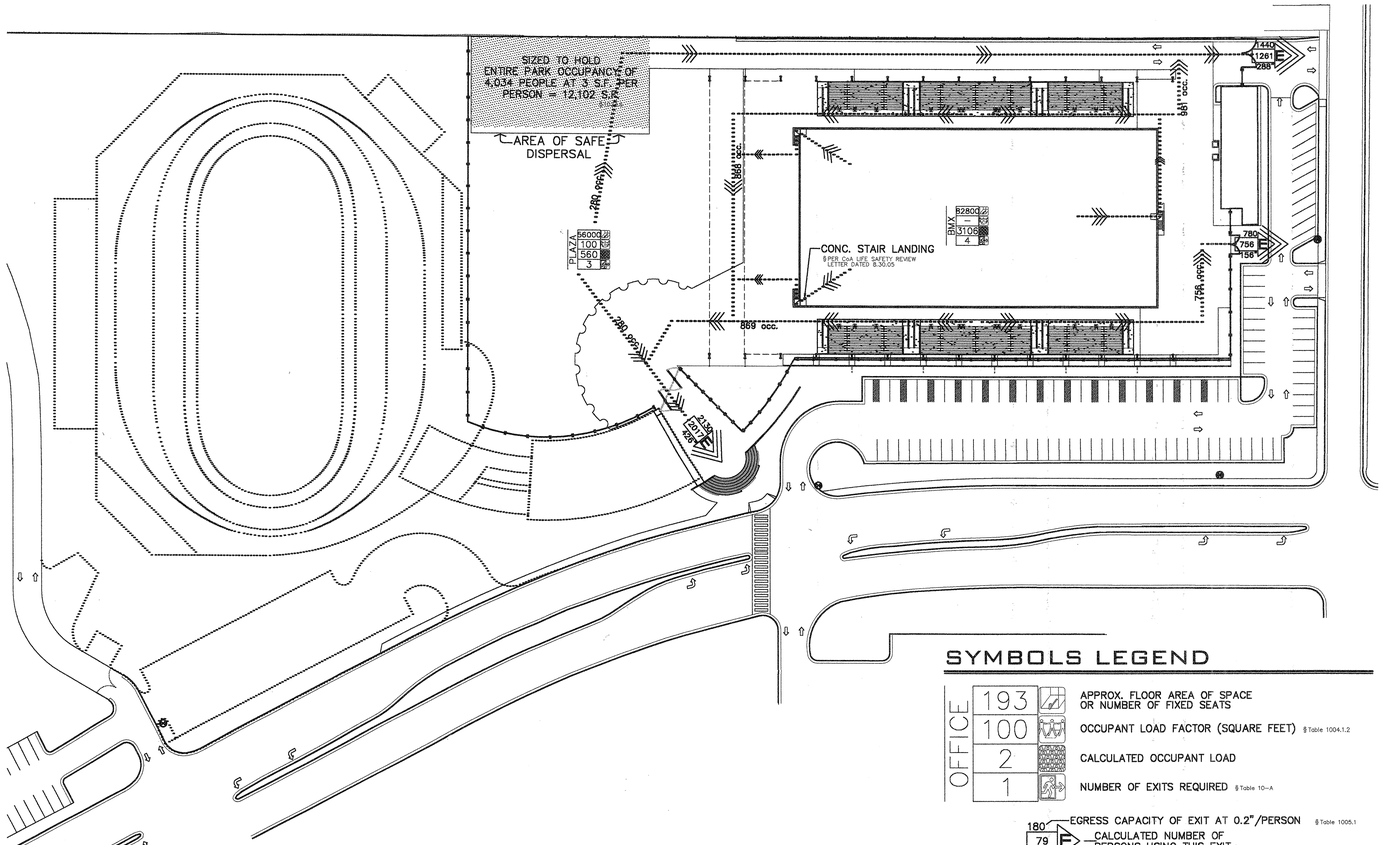
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RESET BY THE CONTRACTOR.

5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED. CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

6. FIVE (5) WORKING DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION.

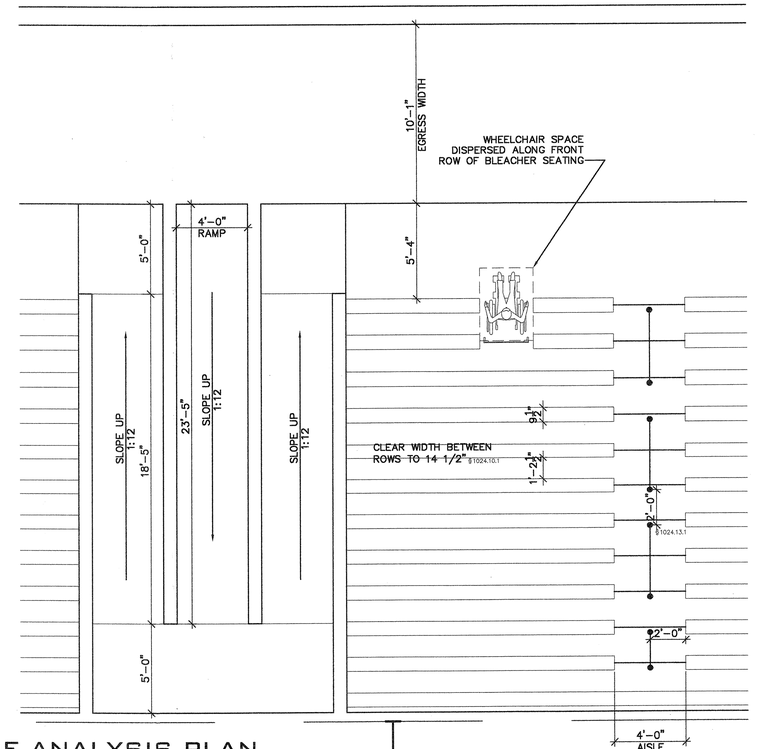
REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

ARCHITECT STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	* * * * * * * * * * * *
	DRC Chairman			APPROVED FOR CONSTRUCTION
	Transportation			
	Water/Wastewater			City Architect Date
	Hydrology			
	Parks			
	Constr. Coord.			City Engineer Date
	AMAFCA			
	City Project No. 7345-90			Sheet 1 Of 37 G001



CODE ANALYSIS PLAN

SCALE: 1" = 60' SITE PLAN



CODE ANALYSIS PLAN

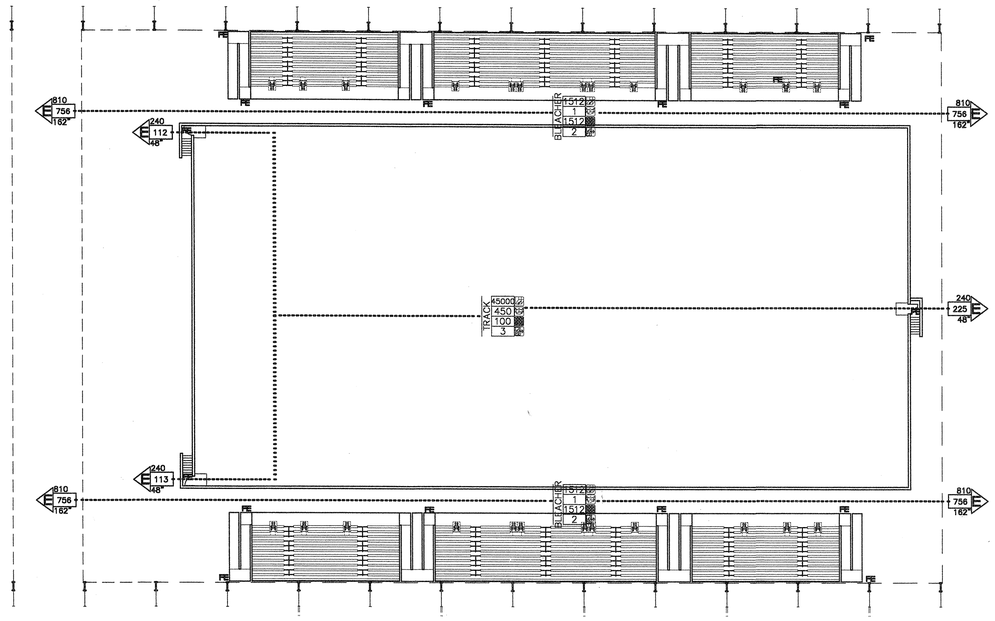
SCALE: 1/4"=1'-0" BLEACHER SEATING

SYMBOLS LEGEND

OFFICE 193	APPROX. FLOOR AREA OF SPACE OR NUMBER OF FIXED SEATS
100	OCCUPANT LOAD FACTOR (SQUARE FEET) § Table 1004.1.2
2	CALCULATED OCCUPANT LOAD
1	NUMBER OF EXITS REQUIRED § Table 10-A

180 / 79 E / 36" — EGRESS CAPACITY OF EXIT AT 0.2"/PERSON § Table 1005.1; CALCULATED NUMBER OF PERSONS USING THIS EXIT; WIDTH OF EXIT (IN INCHES)

PATH OF TRAVEL TO EXIT



CODE ANALYSIS PLAN

SCALE: 1" = 30' BMX PAVILION

CODE INFORMATION

2003 INTERNATIONAL BUILDING CODE ICC/ANSI 117.1

Occupancy Group:	A-5, Outdoor Assembly § 303.1
Construction:	TYPE II-B (NON-RATED CONSTRUCTION) § Table 601 § 602.2
Floor Area:	A-5 Unlimited § Table 503 / II-B Unlimited § Table 503 = Unlimited Allowable ⇨ 82,800* Actual
Allowable Number of Floors:	Unlimited § Table 503
Allowable Height:	55'-0" Allowable § Table 503 ⇨ 51'-3" Actual
Area Separations Required:	NONE
Fire Resistance:	NON-RATED BUILDING ELEMENTS § Table 601 EXTERIOR WALLS < 10' FROM ANY PLATTED OR ASSUMED ℄ MUST BE 1hr RATED CONSTRUCTION § Table 602
Fire Protection:	ACCESSORY USE AREAS IN EXCESS OF 1,000sf SHALL BE PROTECTED BY AUTOMATIC SPRINKLER SYSTEM § 903.2.1.5
Occupant Load:	TRACK AREA @ 45,000sf / 100 = 450 occ. § Table 1004.1.2 SEATING AREA – 3,024 fixed seats = 3,024 occ. § 1004.7 PLAZA AREA @ 56,000sf / 100 = 560 occ. TOTAL = 4,034 occ.
Maximum Travel Distances From the Exit Access to the Exit Permitted:	400' § 1024.7 e.2
Provided:	210'
Minimum Number of Exits Required:	3 EXITS REQUIRED FROM TRACK AREA 4 EXITS TOTAL FROM PAVILION § Table 1018.1

FIRE EXTINGUISHERS

2003 INTERNATIONAL FIRE CODE Table 906.3.(1)

Low Hazard Occupancy — 3,000sf for each unit of A 82,800sf Building Area

Fire Extinguishers Symbol	Type	
FE	Fire Extinguisher 2A-10BC	14 REQUIRED 15 PROVIDED

PLUMBING

2003 INTERNATIONAL BUILDING CODE Chapter 29

§ Table 2902.1 — A-5 Gymnasium — Occupants 1400 (Male 700, Female 700) § PER CoA APPROVED LETTER DATED 8.29.05

§ Table 2902.1

	Water Closets MALE 1:75	Water Closets FEMALE 1:40	Lavatories MALE 1:200	Lavatories FEMALE 1:150	Drinking Fountain 1 per 1000	
TOTAL	10	18	4	5	2	REQUIRED
	11	18	4	5	4	PROVIDED

BMX PAVILION WILL REACH MAXIMUM OCCUPANT LOADING ONLY DURING REGIONAL AND NATIONAL COMPETITIONS, THESE COMPETITIONS WILL ONLY OCCUR TWICE A YEAR. PHASE ONE BUILD OUT WILL PROVIDE PERMANENT TOILET FACILITIES FOR 1,400 OF THE 2,656 TOTAL OCCUPANT LOAD AND ON THESE LARGE SCALE EVENTS THE USER WILL PROVIDE PORTABLE TOILETS AS REQUIRED FOR THE BALANCE OF THE FIXTURES NEEDED. § PER CoA APPROVED LETTER DATED 8.29.05

AS BUILT INFORMATION
CONTRACTOR — DATE:
WORK STAKED BY — DATE:
INSPECTOR'S APPROVAL — DATE:
FIELD VERIFICATION BY — DATE:
DRAWING CORRECTED BY — DATE:

MICRO-FILM INFORMATION
RECORDED BY — DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

ARCHITECTS STAMP

REVISIONS/REMARKS

NO.	DATE	BY

DESIGNED BY: DATE:
DRAWN BY: DATE:
CHECKED BY: DATE:

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

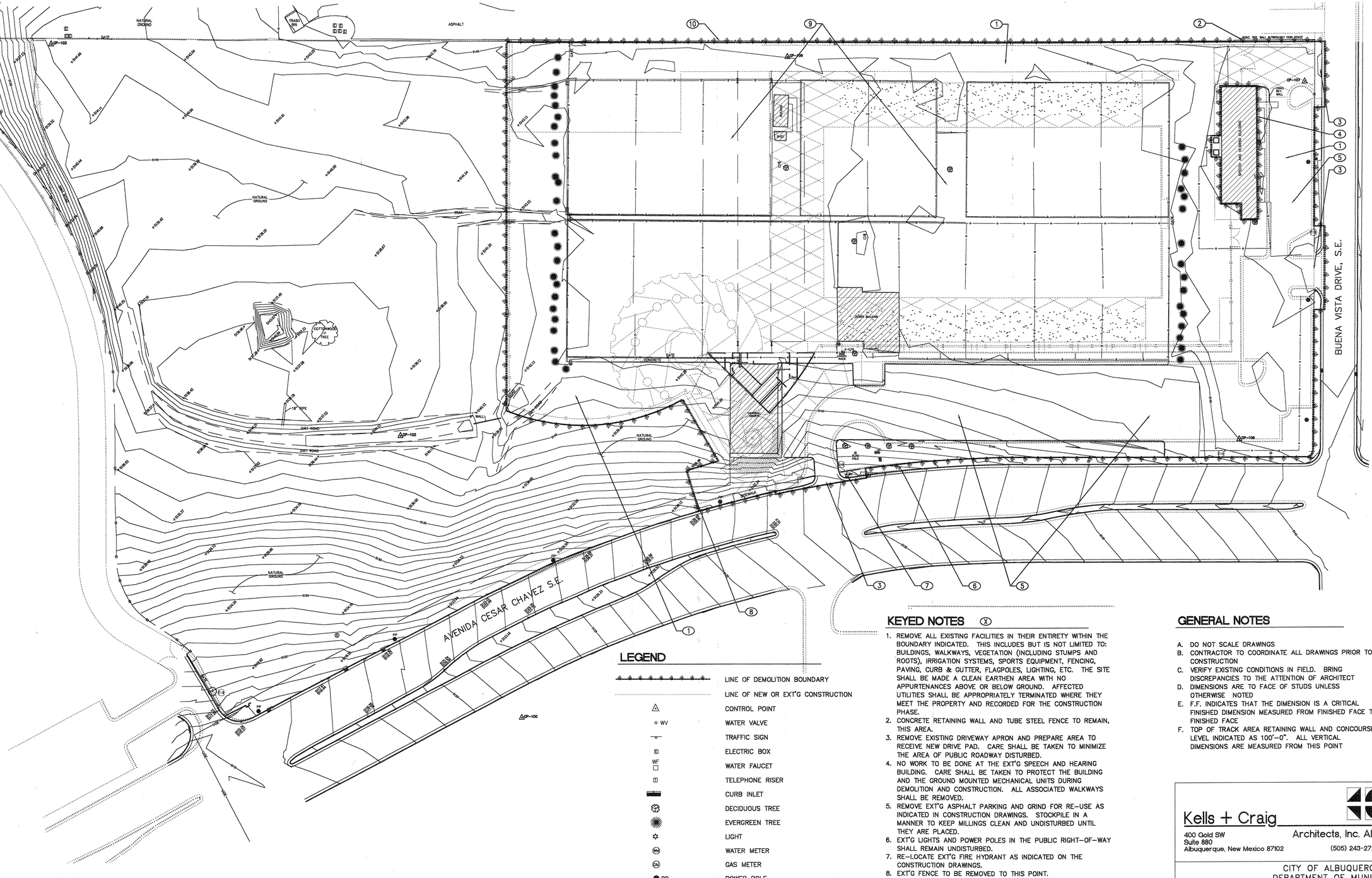
TITLE:
ALBUQUERQUE BICYCLE PARK PH. 1

OCTOBER 4, 2005

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No. 7345-90 | Zone Map No. L-15-Z | Sheet 2 Of 69

G101



LEGEND

- LINE OF DEMOLITION BOUNDARY
- LINE OF NEW OR EXT'G CONSTRUCTION
- CONTROL POINT
- WV — WATER VALVE
- TRAFFIC SIGN
- ELECTRIC BOX
- WF — WATER FAUCET
- TELEPHONE RISER
- CURB INLET
- DECIDUOUS TREE
- EVERGREEN TREE
- LIGHT
- WM — WATER METER
- GM — GAS METER
- PP — POWER POLE
- C/O — SANITARY CLEAN-OUT
- P — OVERHEAD POWER LINES
- □ — PIPE FENCE
- O — CHAIN LINK FENCE
- X — WIRE FENCE
- CONCRETE

KEYED NOTES (X)

1. REMOVE ALL EXISTING FACILITIES IN THEIR ENTIRETY WITHIN THE BOUNDARY INDICATED. THIS INCLUDES BUT IS NOT LIMITED TO: BUILDINGS, WALKWAYS, VEGETATION (INCLUDING STUMPS AND ROOTS), IRRIGATION SYSTEMS, SPORTS EQUIPMENT, FENCING, PAVING, CURB & GUTTER, FLAGPOLES, LIGHTING, ETC. THE SITE SHALL BE MADE A CLEAN EARTHEN AREA WITH NO APPURTENANCES ABOVE OR BELOW GROUND. AFFECTED UTILITIES SHALL BE APPROPRIATELY TERMINATED WHERE THEY MEET THE PROPERTY AND RECORDED FOR THE CONSTRUCTION PHASE.
2. CONCRETE RETAINING WALL AND TUBE STEEL FENCE TO REMAIN, THIS AREA.
3. REMOVE EXISTING DRIVEWAY APRON AND PREPARE AREA TO RECEIVE NEW DRIVE PAD. CARE SHALL BE TAKEN TO MINIMIZE THE AREA OF PUBLIC ROADWAY DISTURBED.
4. NO WORK TO BE DONE AT THE EXT'G SPEECH AND HEARING BUILDING. CARE SHALL BE TAKEN TO PROTECT THE BUILDING AND THE GROUND MOUNTED MECHANICAL UNITS DURING DEMOLITION AND CONSTRUCTION. ALL ASSOCIATED WALKWAYS SHALL BE REMOVED.
5. REMOVE EXT'G ASPHALT PARKING AND GRIND FOR RE-USE AS INDICATED IN CONSTRUCTION DRAWINGS. STOCKPILE IN A MANNER TO KEEP MILLINGS CLEAN AND UNDISTURBED UNTIL THEY ARE PLACED.
6. EXT'G LIGHTS AND POWER POLES IN THE PUBLIC RIGHT-OF-WAY SHALL REMAIN UNDISTURBED.
7. RE-LOCATE EXT'G FIRE HYDRANT AS INDICATED ON THE CONSTRUCTION DRAWINGS.
8. EXT'G FENCE TO BE REMOVED TO THIS POINT.
9. REMOVE EXT'G ASPHALT TENNIS COURTS AND GRIND FOR RE-USE AS INDICATED IN CONSTRUCTION DRAWINGS. STOCKPILE IN A MANNER TO KEEP MILLINGS CLEAN AND UNDISTURBED UNTIL THEY ARE PLACED.
10. EXT'G CHAIN LINK FENCE SHALL BE PROTECTED AND REMAIN UNDISTURBED DURING DEMOLITION AND CONSTRUCTION.
11.
12.
13.

GENERAL NOTES

A. DO NOT SCALE DRAWINGS
B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO THE ATTENTION OF ARCHITECT
D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
E. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

1 D101 SITE DEMOLITION PLAN

SCALE: 1"=40'

NORTH

SURVEY INFORMATION PROVIDED BY THE CITY OF ALBUQUERQUE 8/19/2004 ENTITLED SX4614019xt.DWG. ARCHITECT IS NOT RESPONSIBLE FOR ANY INACCURACIES OR DISCREPANCIES AND SHALL BE NOTIFIED UPON THE DISCOVERY THEREOF.

BENCHMARK:
BENCHMARK USED IS AN ACS 1-3/4" ALUMINUM DISK STAMPED "ACS BM, 25-L16", EPOXIED TO TOP OF CONCRETE CURB NNE QUADRANT OF YALE BLVD. & SANTA CLARA AVE., S.E.
ELEVATION 5154.02

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

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TITLE:
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Zone Map No. L-15-Z
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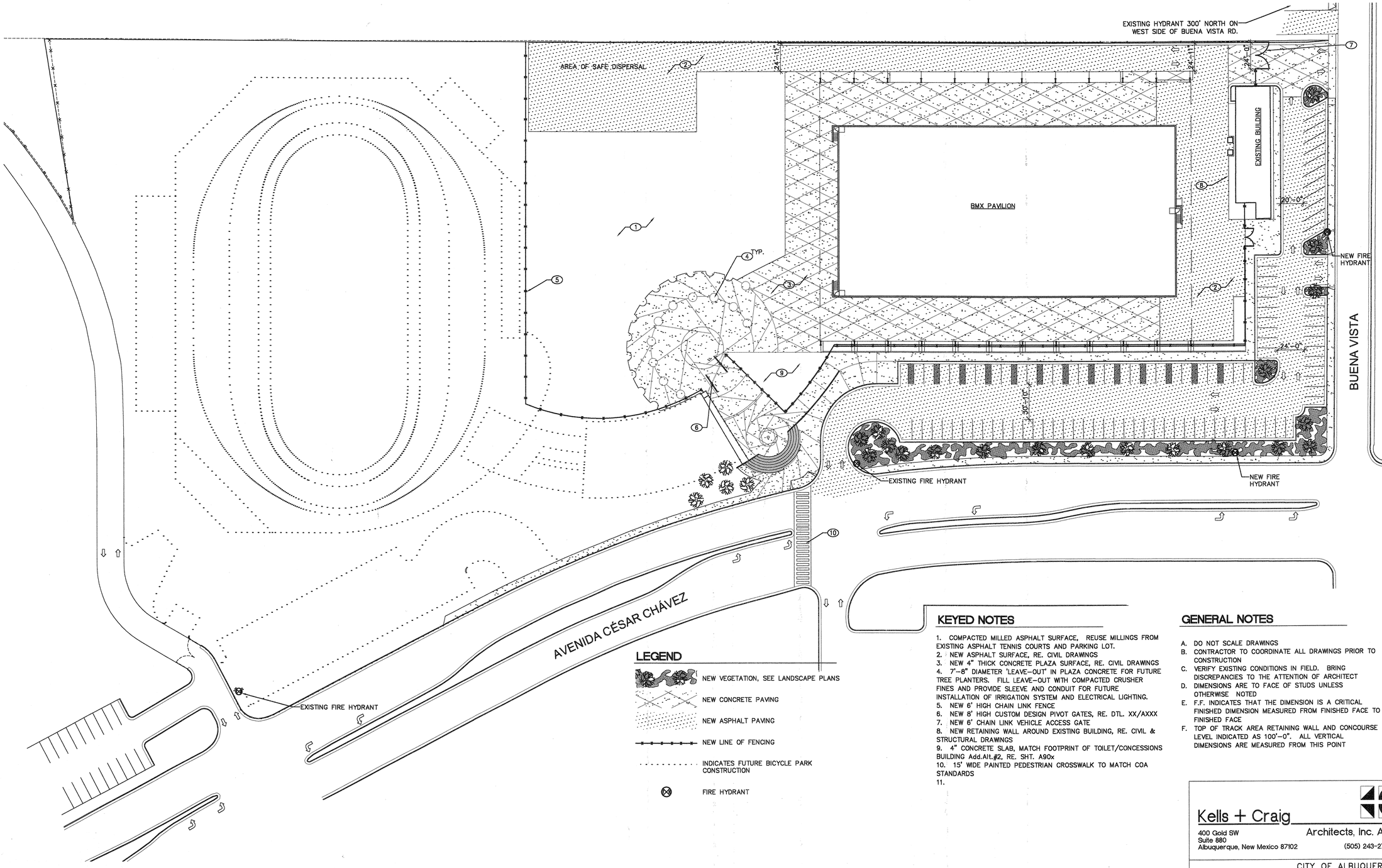
D101



LEGEND

- NEW VEGETATION, SEE LANDSCAPE PLANS
- NEW CONCRETE PAVING
- NEW ASPHALT PAVING
- NEW LINE OF FENCING
- INDICATES FUTURE BICYCLE PARK CONSTRUCTION
- FIRE HYDRANT

KEYED NOTES

1. COMPACTED MILLED ASPHALT SURFACE, REUSE MILLINGS FROM EXISTING ASPHALT TENNIS COURTS AND PARKING LOT.
2. NEW ASPHALT SURFACE, RE. CIVIL DRAWINGS
3. NEW 4" THICK CONCRETE PLAZA SURFACE, RE. CIVIL DRAWINGS
4. 7'-8" DIAMETER 'LEAVE-OUT' IN PLAZA CONCRETE FOR FUTURE TREE PLANTERS. FILL LEAVE-OUT WITH COMPACTED CRUSHER FINES AND PROVIDE SLEEVE AND CONDUIT FOR FUTURE INSTALLATION OF IRRIGATION SYSTEM AND ELECTRICAL LIGHTING.
5. NEW 6' HIGH CHAIN LINK FENCE
6. NEW 8' HIGH CUSTOM DESIGN PIVOT GATES, RE. DTL. XX/AXXX
7. NEW 6' CHAIN LINK VEHICLE ACCESS GATE
8. NEW RETAINING WALL AROUND EXISTING BUILDING, RE. CIVIL & STRUCTURAL DRAWINGS
9. 4" CONCRETE SLAB, MATCH FOOTPRINT OF TOILET/CONCESSIONS BUILDING Add.Alt.#2, RE. SHT. A90x
10. 15' WIDE PAINTED PEDESTRIAN CROSSWALK TO MATCH COA STANDARDS
11.

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F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

1 AS101 **SITE PLAN**
SCALE: 1"=40'-0"

NORTH

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
10-5-05
SIGNATURE & DATE

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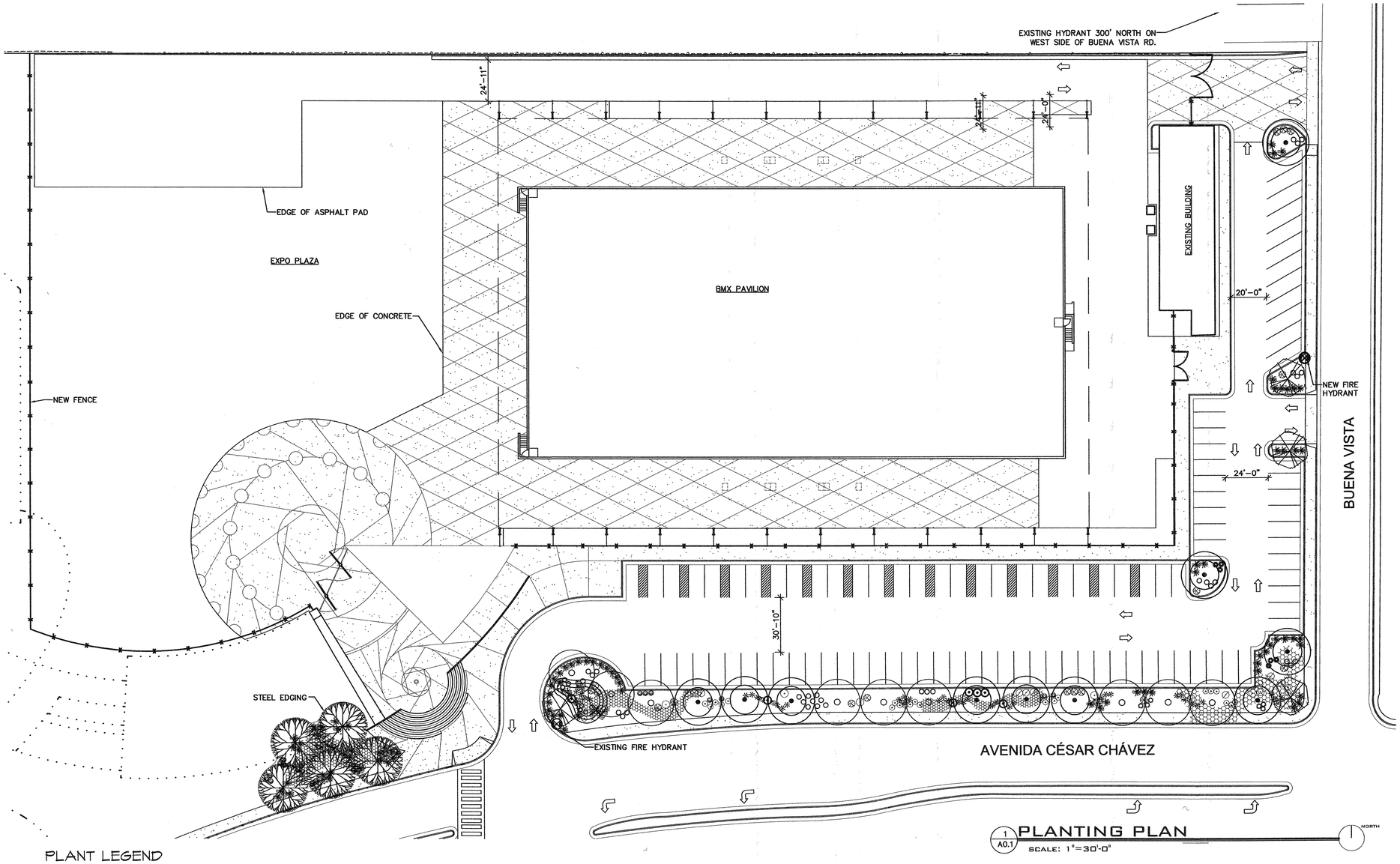

1 / A0.1 PLANTING PLAN

SCALE: 1"=30'-0"

PLANT LEGEND

Symbol	Scientific Name / Common Name	Size	Remarks	Water Use
Trees				
	Amalanchier canadensis "Autumn Brilliance"/Autumn Brilliance Serviceberry	1¾" MT B&B	5' ht. x 3' spr. 10' ht. x 10'	Medium
	Fraxinus oxycarpa 'Raywood'/ Raywood Ash	2" B&B	14' ht. x 6' spr. 35' ht. x 30' spr.	Medium+
	Pinus leucodermis/ Bosnian Pine	B&B	6' min ht. 20' ht. x 30 spr.	Medium
	Platanus mexicana/ Mexican Sycamore	2½" B&B	16' ht. x 6' spr. 70'ht x 60' spr.	Medium
	Pyrus calleryana/ Ornamental Pear	2" B&B	8' ht. x3' spr. 20' ht. x 15' spr.	Low
Shrubs/Groundcovers				
	Caryopteris clandonensis/ Blue Mist	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
	Chrysothamnus nauseosus/ Chamisa	1-Gal.	5' o.c. 4' ht. x 4' spr.	Low
	Cotoneaster apiculatus/ Cranberry Cotoneaster	5-Gal.	4' o.c. 3' ht. x 4' spr.	Medium
	Hesperaloe parviflora/ Red Yucca	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
	Oenothera speciosa/ Mexican Evening Primrose	1-Gal.	4' o.c. 1' ht. x 4' spr.	Low +
	Perovskia atriplicifolia/ Russian Sage	1-Gal.	5' o.c. 4' ht. x 5' spr.	Medium
	Rosmarinus officinalis/ Rosemary	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
	Salvia greggii/ Cherry Sage	1-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
Ornamental Grasses				
	Calamagrotis acutiflora/ Karl Forster Feather Reed Grass			
	Muhlenbergia cap. 'Regal Mist'/ Muhly Grass	5-Gal.	3' o.c. 3' ht. x 3' spr.	Medium
	Nassella tenuissima/ Threadgrass	1-Gal.	3' o.c. 3' ht. x 3' spr.	Low +
Ground cover (1 and 5 gallon)				
	Cotoneaster horizintalis/Spreading Cotoneaster			
	Hedera hellix/English Ivy			
	Moss Rock Boulders			
	6" Cobble			

MULCHES
All shrub planting areas shall be top dressed with crusher fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the provided landscape area.

AS BUILT INFORMATION
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BENCH MARK
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SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ARCHITECTS STAMP

PRILIMINARY DRAWING NOT FOR CONSTRUCTION

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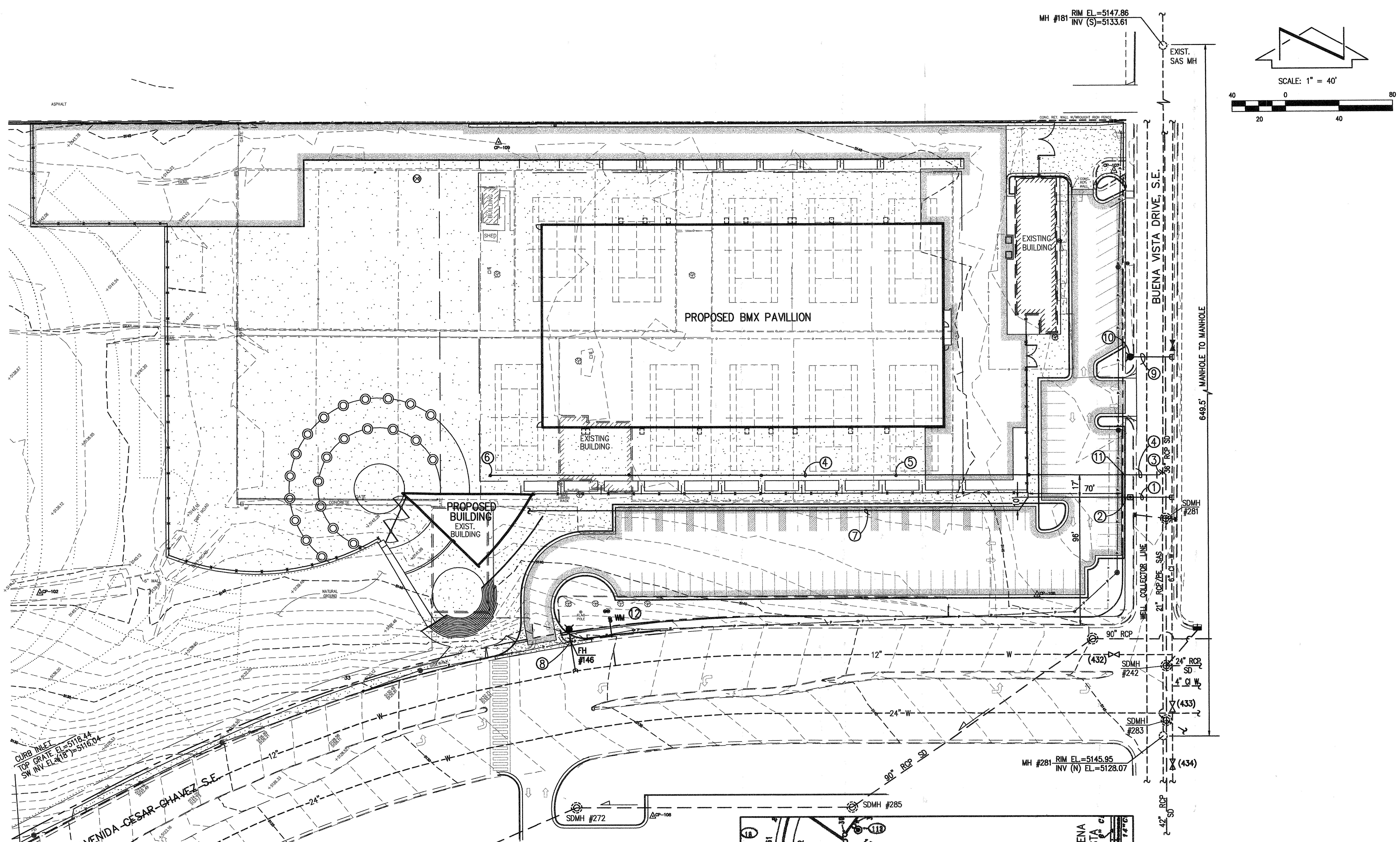
Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No. 7345-90 | Zone Map No. L-15-Z | Sheet 2 Of 69 | L101



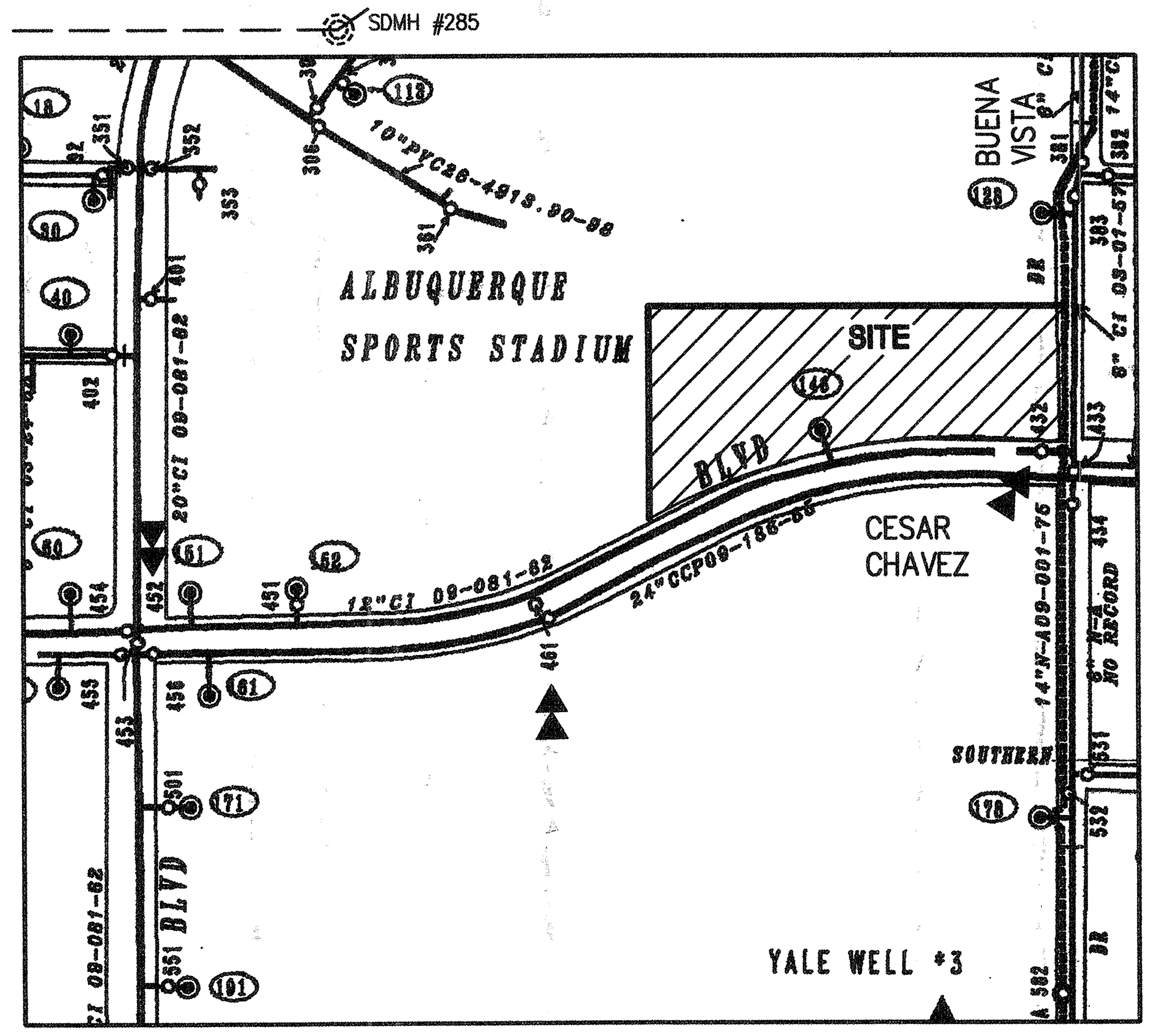
LEGEND

△	CONTROL POINT	● PP	POWER POLE
○ WV	WATER VALVE	◌ C/O	SANITARY CLEAN-OUT
	TRAFFIC SIGN	— P —	OVERHEAD POWER LINES
E	ELECTRIC BOX	— □ —	PIPE FENCE
WF □	WATER FAUCET	— O —	CHAIN LINK FENCE
T	TELEPHONE RISER	X	WIRE FENCE
	CURB INLET	— —	STORM DRAIN (EXISTING)
	DECIDUOUS TREE		MANHOLE (EXISTING)
	EVERGREEN TREE		PROPOSED ASPHALT PAVING
	LIGHT		PROPOSED CONCRETE
WM	WATER METER		EXISTING CONTOUR
GM	GAS METER		PROPOSED DIRECTION OF FLOW
			EXISTING DIRECTION OF FLOW

File Path: E:\DATA\ACAD14\2004.068.7\	Plot Date: 10-05-2005
File Name: 40687UT3.DWG	Plot Time: 1:14 pm

WATER VALVE SHUTOFF PLAN NOTES:

1. AT A MINIMUM. THE FOLLOWING VALVES SHALL BE CLOSED TO FACILITATE THE PROPOSED NON-PRESSURE CONNECTIONS:
   - 432, 452 & 461
2. WATER SYSTEMS PERSONNEL SHALL PERFORM ALL SHUTOFFS. THE CONTRACTOR SHALL NOT OPERATE ANY VALVES THAT MAY AFFECT SYSTEM OPERATIONS.
3. THE CONTRACTOR SHALL REQUEST A WATER SHUTOFF IN WRITING, A MINIMUM OF SEVEN (7) DAYS IN ADVANCE PER STANDARD CITY OF ALBUQUERQUE PROCEDURES.
4. WITHIN FIVE (5) DAYS AFTER RECEIPT OF CONTRACTOR'S SHUTOFF REQUEST, TRIAL SHUTOFFS WILL BE CONDUCTED. CITY TO FURNISH LABOR AND APPURTENANCES NECESSARY TO VERIFY COMPLETENESS OF SHUTOFFS.
5. THE CONTRACTOR SHALL HAVE ALL FITTINGS, MATERIALS AND EQUIPMENT ON SITE PRIOR TO VALVE SHUTOFF. ALL EXCAVATION SHALL BE COMPLETE EXCEPT AS NECESSARY TO MAINTAIN SAFE SYSTEM OPERATION WHILE UNDER PRESSURE.
6. THE CONTRACTOR SHALL PROVIDE ALL RESTRAINTS AND THRUST BLOCKS NECESSARY TO EFFECT ALL NECESSARY SHUTOFFS AND CONNECTIONS.
7. EXISTING WATER VALVE AND WATER LINE INFORMATION OBTAINED FROM CITY OF ALBUQUERQUE AUTOMATED WATER DISTRIBUTION SYSTEM SECTIONAL MAPS, MAP GRID L-15
8. AT THE TIME OF WATER SHUTOFF APPLICATION, THE CONTRACTOR SHALL REQUEST THAT WATER SYSTEMS DIVISION NOTIFY ALL AFFECTED PROPERTY OWNERS AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE RESPECTIVE SHUTOFFS.



WATER VALVE SHUTOFF PLAN
SCALE: 1" = 300'

KEYED NOTES:

1. EXISTING 1-2" METERED WATER SERVICE PER COA STD DWG 2363 WITH METER BOX AT BACK OF CURB
2. 1-NON-PRESSURE CONNECTION
   INSTALL:
   2" X 3" RESTRAINED REDUCER
3. EXISTING 6" SAS SERVICE PER COA STD DWG 2135; INV 21" SAS MAIN @ 5129.7, INV 6" SAS @ 5133.70 @ MAIN
4. INSTALL 500 LF 6" PVC (SDR-35) SAS SERVICE @ S=0.0100 INCLUDING ALL FITTINGS, MATERIALS, TRENCHING, BACKFILL AND COMPACTION
5. INSTALL 1-6" SINGLE CLEANOUT, TYPICAL OF 4
6. INSTALL 1-6" SINGLE END OF LINE CLEANOUT, INV @ 5138.70
7. INSTALL 3" PVC (SCH 40) WATER SERVICE LINE INCLUDING ALL FITTINGS, MATERIALS, TRENCHING, BACKFILL AND COMPACTION
8. 1-NON-PRESSURE CONNECTION
   REMOVE AND RELOCATE EXISTING FIRE HYDRANT IN CONJUNCTION WITH WIDENING OF EXISTING PRIVATE ENTRANCE
9. 6" PVC (C-900) WATER LINE
10. EXISTING FH (4-1/2' BURY) PER COA STD DWG 2340
11. REMOVE 6" CAP @ ℙ AND CONTINUE 6" SAS SERVICE TO BUILDING
12. EXISTING WATER SERVICE TO REMAIN

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977
2004.068.5

WATER LINE CONSTRUCTION NOTES:

1. FOR ALL LINES 12" AND SMALLER, WATER MAIN SHALL BE PVC C-900 PIPE OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. DUCTILE IRON IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF PVC.
2. FOR ALL LINES 14" AND LARGER, WATER MAIN SHALL BE DUCTILE IRON OR PVC C-905 OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. CONCRETE CYLINDER IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF DUCTILE IRON.
3. WATER LINE SHALL HAVE A MINIMUM COVER OF 3'-0" (FINISHED GRADE TO TOP OF PIPE). EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
4. ELECTRONIC MARKER DISCS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
5. IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
6. VALVE STEM AND FIRE HYDRANT EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE COST OF EACH EXTENSION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
7. JOINT RESTRAINT SHALL BE CONSIDERED INCIDENTAL TO WATER LINE CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
8. JOINT RESTRAINT SHALL BE PROVIDED ON ALL JOINTS OF FIRE HYDRANT LEGS FROM TEE TO FIRE HYDRANT INCLUDING THE TEE AND FIRE HYDRANT.
9. FOR THE PURPOSES OF THIS PROJECT, ALL RESTRAINED JOINTS AND JOINT RESTRAINT SHALL BE MECHANICALLY RESTRAINED. JOINT RESTRAINT LENGTHS SPECIFIED HEREON ARE THE LENGTHS TO BE RESTRAINED EACH SIDE OF THE FITTING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
12. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
13. ALL FIRE HYDRANTS SHALL BE SECURELY WRAPPED IN BLACK PLASTIC UNTIL SUCH TIME AS THE NEW WATER LINE IS PUT INTO SERVICE BY WATER SYSTEM DIVISION PERSONNEL.

SANITARY SEWER CONSTRUCTION NOTES:

1. ALL SEWER PIPE SHALL BE PVC (SDR-35).
2. SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125. EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
5. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
6. ALL SANITARY SEWER MANHOLES SHALL BE 4' DIAMETER TYPE "C" MANHOLES PER C.O.A. STD. DWG. 2101 UNLESS OTHERWISE NOTED.

AS BUILT INFORMATION

CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:

MICRO-FILM INFORMATION

RECORDED BY	DATE:
NO.	

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
614019	WILSON & CO	10/20/04
N/A	CITY SURVEYOR	9/8/05

ENGINEER'S STAMP
JEFFREY G. MORTENSEN NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

NO.	DATE	REVISIONS/REMARKS	BY

DESIGNED BY: JGM	DATE: 09/2005
DRAWN BY: JMA	DATE: 09/2005
CHECKED BY: JGM	DATE: 09/2005

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: PHASE 1 WATER AND SANITARY SEWER SITE PLAN
ALBUQUERQUE BICYCLE PARK PH. 1

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN			WATER		
TRANSPORTATION			WASTE WATER		
HYDROLOGY					

PROJECT NO.	MAP NO. L-15	SHEET 1	OF 1

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN THE LOWER SOUTHEAST HEIGHTS REPRESENTS THE DEVELOPMENT OF AN INFILL PROPERTY OWNED BY THE CITY OF ALBUQUERQUE. THE SITE LIES IMMEDIATELY EAST OF THE ISOTOPES BALL PARK. THE DRAINAGE CONCEPT FOR THIS PROJECT WILL BE THE FREE DISCHARGE OF DEVELOPED RUNOFF TO AVENIDA CESAR CHAVEZ SE WHERE A MAJOR PUBLIC STORM DRAIN LIES. THE EXISTING PUBLIC STORM DRAIN COLLECTS RUNOFF CARRIED BY THE STREET AND CONVEYS THAT RUNOFF WEST TO THE SOUTH DIVERSION CHANNEL.

THIS SUBMITTAL IS MADE IN SUPPORT OF WORK ORDER AND BUILDING PERMIT WITHIN THE JURISDICTION OF THE CITY OF ALBUQUERQUE. THIS PLAN SUPERCEDES THE PRIOR CONCEPTUAL PLAN DATED 12-17-2004.

II. PROJECT DESCRIPTION

AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE NORTH SIDE OF AVENIDA CESAR CHAVEZ BETWEEN UNIVERSITY BLVD. SE AND BUENA VISTA DRIVE SE. AT PRESENT, THE SITE IS UNDEVELOPED. THE LAND IMMEDIATELY TO THE WEST IS DEVELOPED AS ISOTOPES BALL PARK. THE LAND TO THE NORTH IS INSTITUTIONAL (TVI AND UNM). THE LAND TO THE EAST IS DEVELOPED AS CITY TENNIS COURTS. AS SHOWN BY PANEL 334 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS DATED SEPTEMBER 20, 1996, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE (ZONE AO). AN AO ZONE IS MAPPED DOWNSTREAM, HOWEVER, IT IS BELIEVED THAT THE MORE RECENT STORM DRAIN IMPROVEMENTS WITHIN AVENIDA CESAR CHAVEZ (FORMERLY STADIUM BLVD.) HAVE ALLEVIATED THE DOWNSTREAM FLOODING.

III. BACKGROUND DOCUMENTS & RESEARCH

THE FOLLOWING ITEMS WERE REVIEWED IN THE PREPARATION OF THIS SUBMITTAL:
A. TOPOGRAPHIC SURVEY OF THE EXISTING SITE PREPARED BY WILSON & CO. DATED 10/21/2004. THE SUBJECT SURVEY SHOWS THE EXISTING IMPROVEMENTS.
B. PRE-DESIGN CONFERENCE WITH THE CITY HYDROLOGIST 08/24/2004. THE OUTCOME OF THAT RECAP CONFIRMED THAT FREE DISCHARGE TO AVENIDA CESAR CHAVEZ IS APPROPRIATE IN LIGHT OF THE RECENT DRAINAGE IMPROVEMENTS TO UNIVERSITY BLVD SE AND AVENIDA CESAR CHAVEZ SE.
C. CONCEPTUAL GRADING AND DRAINAGE PLAN (L15/D13A) PREPARED BY THIS OFFICE DATED 12-17-2004. THIS PRIOR SUBMITTAL ESTABLISHED THE DRAINAGE CRITERIA (FREE DISCHARGE) FOR THIS SITE.

IV. EXISTING CONDITIONS

THE TOPOGRAPHIC DATA PRESENTED HEREWITH, TAKEN FROM THE ABOVE REFERENCED SURVEY BY WILSON & CO., DEMONSTRATES THE EXISTING CONDITIONS OF THE PROJECT SITE. AT PRESENT, THE SITE IS PARTIALLY DEVELOPED WITH CITY TENNIS COURTS AND LIMITED ASPHALT PAVING. THE SITE CURRENTLY DRAINS FROM EAST TO WEST WITH MUCH OF THE DEVELOPED FLOW BEING DIRECTED INTO A TEMPORARY DETENTION POND. IT IS BELIEVED THAT THE TEMPORARY POND WAS CREATED TO MITIGATE THE DISCHARGE OF EXCESS RUNOFF ONTO THE ISOTOPES BALL PARK. THE SITE IS SITUATED TOPOGRAPHICALLY HIGHER THAN AVENIDA CESAR CHAVEZ SE AND AS SUCH DRAINS TO THAT PUBLIC ROADWAY. ISOTOPES BALL PARK IS TOPOGRAPHICALLY LOWER AN HENCE DOES NOT CONTRIBUTE OFFSITE FLOWS. THE INSTITUTIONAL DEVELOPMENT TO THE NORTH HAS BEEN GRADED SUCH THAT IT DOES NOT DRAIN ONTO THE SUBJECT SITE. ITS FLOWS ARE DIRECTED WEST AND EVENTUALLY DISCHARGE TO UNIVERSITY BLVD SE. BUENA VISTA DRIVE LIES TO THE EAST AND APPEARS TO CONTAIN ITS FLOWS AND AS SUCH IS NOT BELIEVED TO CONTRIBUTE OFFSITE FLOWS.

V. PROPOSED CONDITIONS (PHASE 1)

THE PROPOSED IMPROVEMENTS CONSIST OF A BMX TRACK, A NEW BUILDING, PARKING IMPROVEMENTS, PEDESTRIAN PAVING AND ASSOCIATED LANDSCAPING. IN ORDER TO LOCATE THE ABOVE REFERENCED IMPROVEMENTS ON THE SITE, THE EXISTING TENNIS COURTS AND RELATED IMPROVEMENTS MUST BE DEMOLISHED. THE TEMPORARY DETENTION POND WILL REMAIN. THE EXISTING BUILDING AT THE NORTHEAST CORNER WILL BE RENOVATED.
FOR THE PURPOSES OF ANALYSIS, THE SITE HAS BEEN DIVIDED INTO TWO (2) BASIC DRAINAGE AREAS. BASIN A DRAINS INTERNALLY TO A PRIVATE STORM DRAIN SYSTEM THAT ULTIMATELY DISCHARGES TO THE AVENIDA CESAR CHAVEZ STORM DRAIN. PRESENTLY, THE TEMPORARY DETENTION POND OUTLETS TO THE AVENIDA CESAR CHAVEZ STORM DRAIN VIA AN 18-INCH STORM DRAIN CONNECTION TO THE BACK OF A EXISTING STORM INLET IN THE NORTH CURB LINE OF THE ROADWAY. THAT CONNECTION WILL BE UTILIZED FOR THE DISCHARGE OF RUNOFF FROM BASIN A AND ITS SUB-BASINS A-1 THROUGH A-6. THE RUNOFF WILL FLOW A CROSS THE NEW PARKING LOT TO EVENTUALLY DISCHARGE TO AVENIDA CESAR CHAVEZ.
BASIN B IS AN EXISTING CONDITION WHERE NO CHANGES ARE PROPOSED. BASIN B INCLUDES THE EXISTING DETENTION POND.

VI. GRADING PLAN

THE GRADING PLAN SHOWS 1.) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS TAKEN FROM THE SURVEY BY WILSON & CO. REFERENCED ABOVE, 2.) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS TAKEN FROM THE SURVEY BY WILSON & CO. REFERENCED ABOVE, 4.) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 5.) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. AS SHOWN BY THIS PLAN, THE SITE WILL DRAIN BY VARIOUS MEANS. BASIN A, AS INDICATED ABOVE, WILL DRAIN VIA AN INTERNAL PRIVATE STORM DRAIN SYSTEM INTEGRATED WITH A WATER HARVESTING FEATURE. BASIN B WILL CONTINUE TO DRAIN IN THE EXISTING CONDITION UNTIL A SUBSEQUENT PHASE DEVELOPS ON THIS REMAINING PORTION OF THE SITE.

VII. CALCULATIONS

THE CALCULATIONS THAT APPEAR HEREON ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS, FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. THE RESULTS OF THE CALCULATIONS FOR THE DEVELOPED CONDITION ARE PRESENTED IN TABLE FORM. KEY ANALYSIS POINTS, SHOWN ON THE DRAINAGE BASIN MAP PLAN, ARE FURTHER ANALYZED IN ORDER THAT THE PROPOSED PRIVATE STORM DRAIN BE SIZED APPROPRIATELY. THE MANNING EQUATION WAS USED TO EVALUATE PIPE SIZES AND RELATED CAPACITIES. AS A RESULT OF THIS ANALYSIS, THE TOTAL PEAK DISCHARGE CALCULATED FOR BASIN A (16.95 CFS) WILL NOT EXCEED THE CAPACITY (44.4 CFS) OF THE EXISTING 18-INCH STORM DRAIN CONNECTION TO AVENIDA CESAR CHAVEZ.

VIII. CONCLUSIONS

THE FOLLOWING CONCLUSIONS HAVE BEEN ESTABLISHED AS A RESULT OF THE EVALUATIONS CONTAINED HEREIN:
1. THIS SUBMITTAL FOLLOWS THE DRAINAGE CONCEPTS ESTABLISHED BY THE PREVIOUSLY APPROVED CONCEPTUAL PLAN
2. THE SITE DOES NOT LIE WITHIN A DESIGNATED 100-YEAR FLOODPLAIN
3. THIS SITE IS NOT RESTRICTED BY LIMITED OR INADEQUATE DOWNSTREAM CAPACITY
4. THE INCREASED RUNOFF FROM THIS SITE WILL BE HANDLED BY THE EXISTING DOWNSTREAM PUBLIC DRAINAGE IMPROVEMENTS THAT ULTIMATELY DISCHARGE TO THE SOUTH DIVERSION CHANNEL
5. THIS SUBMITTAL IS FOR BUILDING PERMIT APPROVAL.
6. SITE SPECIFIC DRAINAGE SUBMITTALS WILL BE REQUIRED FOR SUBSEQUENT PHASES OF CONSTRUCTION
7. OFFSITE FLOWS DO NOT IMPACT THIS SITE

CALCULATIONS

SITE CHARACTERISTICS

1) PRECIPITATION ZONE = 2

2) P6,100 = P360 = 2.35 INCHES

3) TOTAL AREA (AT) = 50,1900 SF/11.52 ACRES

4) EXISTING LAND TREATMENT

TREATMENT AREA (SF/AC) %

a) TREATMENT B = 7,525/0.17 02
b) TREATMENT C = 316,573/7.27 63
c) TREATMENT D = 177,802/4.08 35

5) EXISTING CONDITION

a) VOLUME
i) WEIGHTED E (EW) = (EAAA+EBAB+ECAC+EDAD)/AT
ii) EW = [0.78(0.17)+1.13(7.27)+2.12(4.08)]/11.52 = 1.48
iii) V360 = EW * AT /12
iv) V360 = 1.48 * 11.52/12 = 1.42 ACRE-FEET = 61,890 CUBIC FEET

b) PEAK DISCHARGE
i) TOTAL QP = QPAAA+QPBAB+ QPCAC+QPDAD
ii) TOTAL QP = 2.28(0.17)+3.14(7.27)+4.70(4.08) = 42.4 CFS

6) DEVELOPED CONDITION
THE DEVELOPED CONDITION HAS BEEN INCORPORATED INTO A TABLE FORMAT AS PRESENTED BELOW.

BASIN ANALYSIS

BASINS	A_T(SF/AC)	A_B(SF/AC)	A_C(SF/AC)	A_D(SF/AC)	V_{100}(AC-FT)	Q_{100}(CFS)	Q_{100}(CFS) CUM
A-1	26,154/0.60	300/0.01		25,854/0.59	0.10	2.80	2.80
A-2	11,475/0.26			11,475/0.26	0.05	1.22	4.02
A-3	11,475/0.26			11,475/0.26	0.05	1.22	5.24
A-4	11,475/0.26			11,475/0.26	0.05	1.22	6.46
A-5	30,415/0.70		1,155/0.03	29,260/0.67	0.12	3.24	9.70
A-6	68,115/1.56		2,290/0.05	65,825/1.51	0.27	7.25	16.95
B-1	113,336/2.60	8,690/0.20		104,646/2.4	0.44	11.74	
B-2	113,256/2.60		111,256/2.60		0.24	8.16	
B-3	116,199/267		116,199/2.67		0.25	8.38	
TOTAL	501,900/11.52	8,990/0.21	232,900/5.35	260,010/5.95	1.57	45.23CFS	

7) COMPARISON

a) VOLUME

△V100 = 1.57-1.42 = 0.15 AC-FT

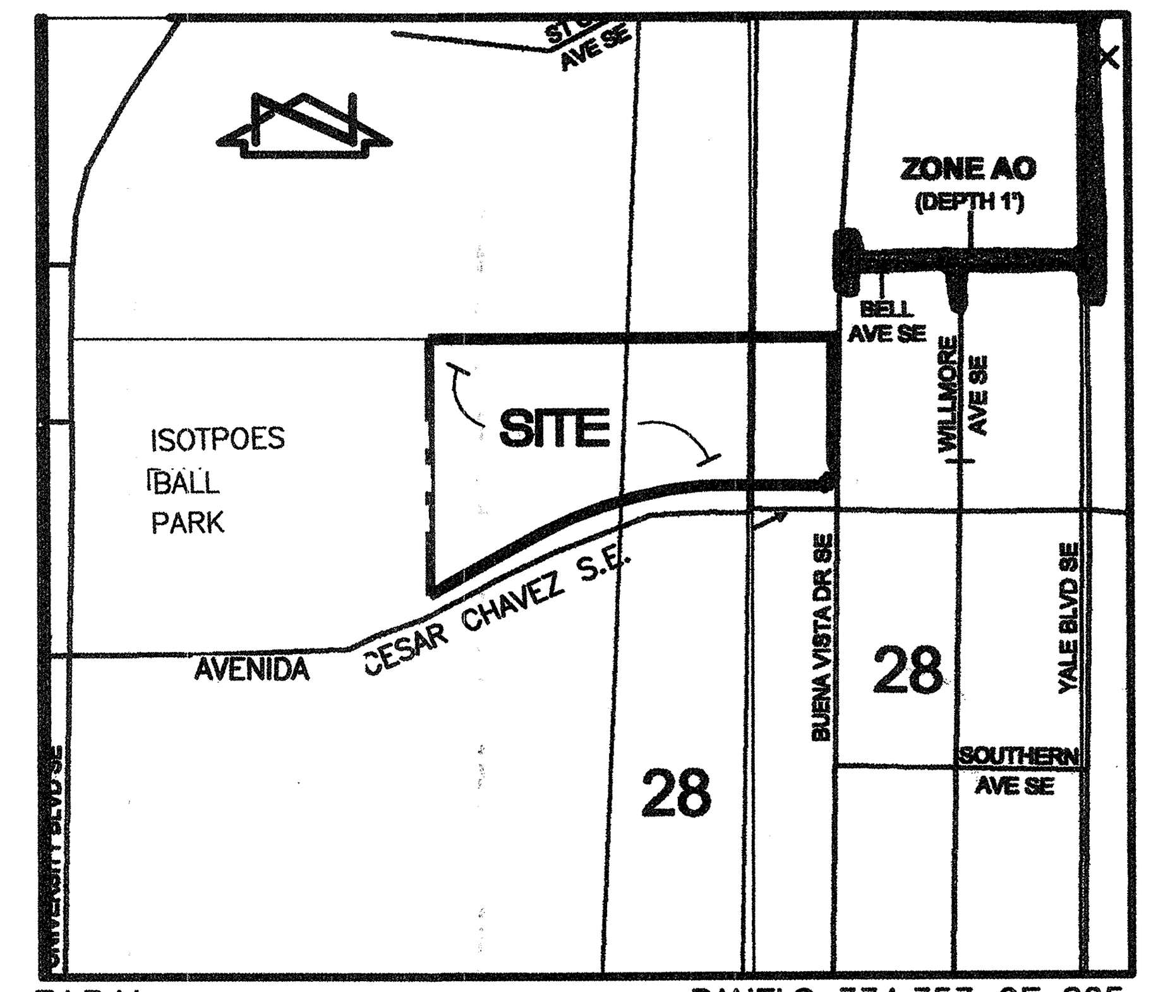
b) PEAK DISCHARGE

△Q100 = 45.2-42.4 = 2.8 CFS

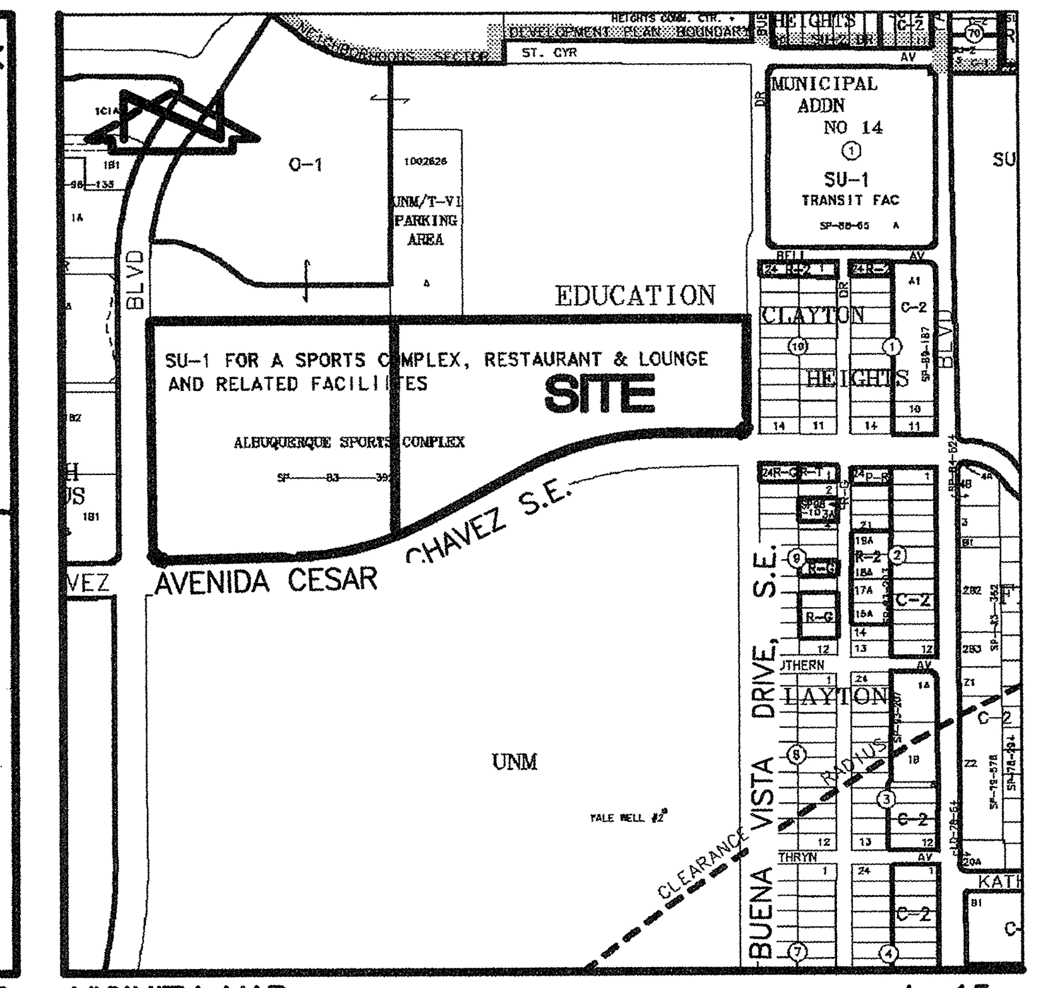
DRAINAGE STRUCTURE SUMMARY TABLE

KEY *	AP	STRUCTURE	RIM/TG	INV. IN	INV. OUT
①	#1	CONNECT TO EXIST SDMH	5123.09'	5119.04'	5119.74'
②	#2	CONSTRUCT SINGLE 'D' INLET	5140.00'	5131.04'	5130.94'
③	N/A	CONSTRUCT SINGLE 'D' INLET	5140.00'	5132.15'	5132.05'
④	#3	CONSTRUCT SINGLE 'D' INLET	5140.00'	5133.03'	5132.93'
⑤	#4	CONSTRUCT 4' SDMH	5140.70'	5133.54'	5133.29'
⑥	#5	CONSTRUCT SINGLE 'D' INLET	5143.00'	5136.20'	5136.10'
⑦	#6	CONSTRUCT SINGLE 'D' INLET	5143.00'	5136.95'	5136.85'
⑧	#7	CONSTRUCT SINGLE 'D' INLET	5143.00'	5137.80'	5137.70'
⑨	#8	CONSTRUCT SINGLE 'D' INLET	5143.00'	N/A	5138.45'

* REFER TO SHEET 2 OF 3



F.I.R.M. PANELS 334,353 OF 825
SCALE: 1" = 500'±



VICINITY MAP L-15
SCALE: 1" = 750'±

STORM DRAIN HYDRAULICS

AP TO AP	PIPE SIZE	LENGTH	SLOPE	Q100 (CFS)	QCAP (CFS)	VEL (FPS)	PIPE INVERTS
SDMH 262 TO AP10	36"	140'	0.033	38.1	121.1	17.1	5105.21' TO 5109.88'
AP10 TO CURB INLET	36"	80'	0.058	37.5	160.6	22.7	5109.88' TO 5114.53'
CURB INLET TO AP1	18"	30'	0.179	37.6	44.4	25.2	5114.53' TO 5119.90'
AP1 TO AP2	18"	350'	0.032	16.95	18.8	10.6	5119.90' TO 5131.00'
AP2 TO AP3	18"	191'	0.010	9.70	10.5	5.9	5131.00' TO 5133.00'
PA3 TO AP4	18"	17'	0.012	6.46	11.5	6.5	5133.00' TO 5133.30'
AP4 TO AP5	18"	255'	0.010	5.24	10.5	5.9	5133.30' TO 5136.15'
AP5 TO AP6	18"	68'	0.010	5.24	10.5	5.9	5136.15' TO 5136.90'
AP6 TO AP7	18"	68'	0.010	4.02	10.5	5.9	5136.90' TO 5137.75'
AP7 TO AP8	18"	68'	0.010	2.80	10.5	5.9	5137.75' TO 5138.50'
AP1 TO AP9	18"	205'	0.079	8.38	29.5	16.7	5119.90' TO 5136.18'

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE
614019	WILSON & CO	10/20/04
	CITY SURVEYOR	09/08/05

ENGINEER'S STAMP
JEFF G. MORTENSEN NEW MEXICO REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

NO. | DATE | REVISIONS/REMARKS | BY

DESIGNED BY: F.J.A. DATE: 10/05
DRAWN BY: R.R.W. DATE: 10/05
CHECKED BY: J.G.M. DATE: 10/05

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: PHASE 1 DRAINAGE PLAN AND CALCULATIONS
ALBUQUERQUE BICYCLE PARK PH. 1

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
	L-15	1	6

JEFF MORTENSEN & ASSOCIATES, INC.
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ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250
FAX: 505 345-4254 ESTABLISHED 1977

2004.068.3

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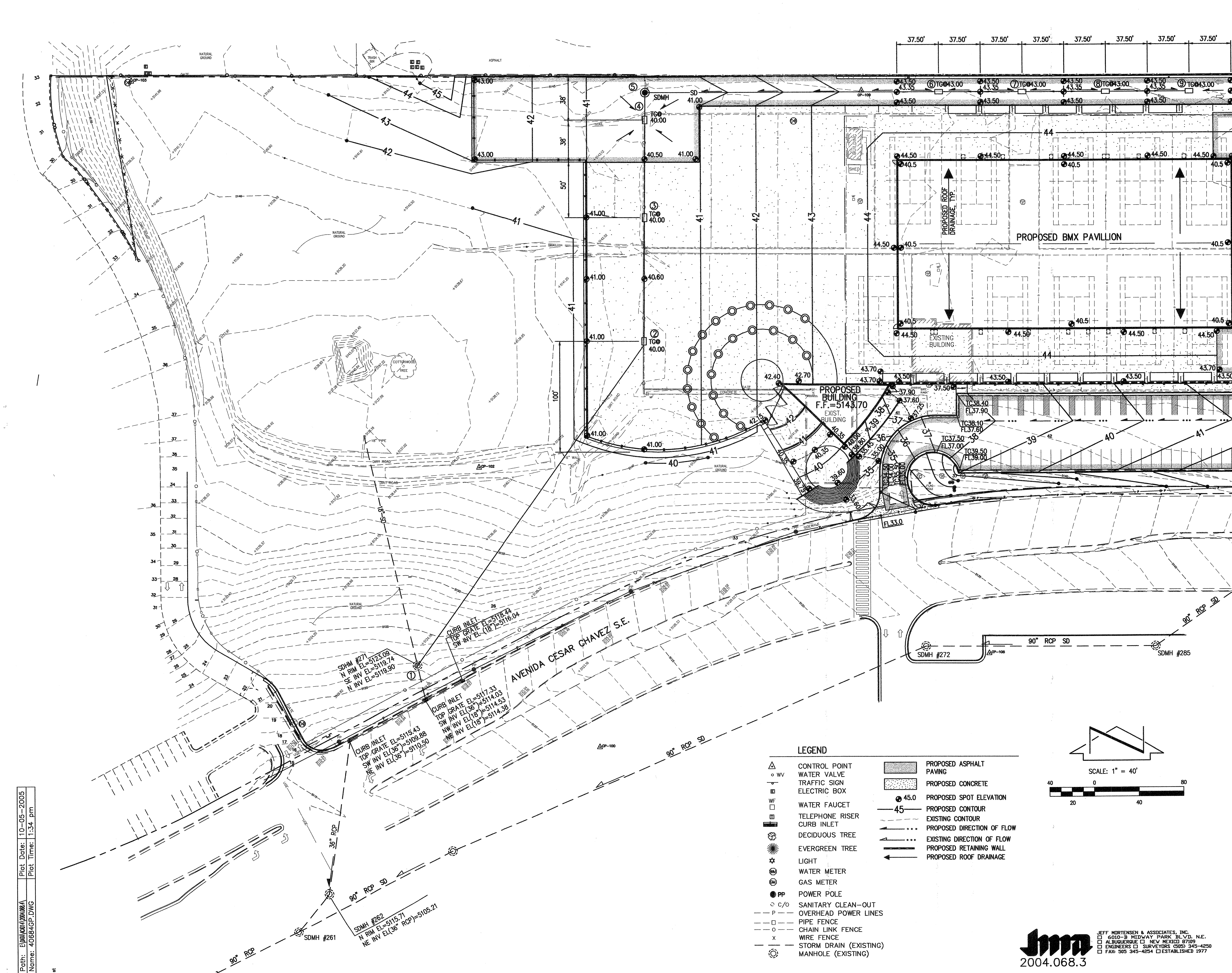

LEGEND

CONTROL POINT	PROPOSED ASPHALT PAVING
WATER VALVE	PROPOSED CONCRETE
TRAFFIC SIGN	PROPOSED SPOT ELEVATION
ELECTRIC BOX	PROPOSED CONTOUR
WATER FAUCET	EXISTING CONTOUR
TELEPHONE RISER	PROPOSED DIRECTION OF FLOW
CURB INLET	EXISTING DIRECTION OF FLOW
DECIDUOUS TREE	PROPOSED RETAINING WALL
EVERGREEN TREE	PROPOSED ROOF DRAINAGE
LIGHT	
WATER METER	
GAS METER	
POWER POLE	
SANITARY CLEAN-OUT	
OVERHEAD POWER LINES	
PIPE FENCE	
CHAIN LINK FENCE	
WIRE FENCE	
STORM DRAIN (EXISTING)	
MANHOLE (EXISTING)	

NOTES:

1. REFER TO SHEET 1 OF 4 FOR KEYED NOTES
2. REFER TO SHEET 3 OF 4 FOR BASIN BOUNDARY & ANALYSIS POINTS

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AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION

FIELD NOTES		
NO.	BY	DATE
614019	WILSON & CO	10/20/04
	CITY SURVEYOR	09/08/05

ENGINEER'S STAMP
PRELIMINARY
J. G. MORTENSEN, NEW MEXICO, REGISTERED PROFESSIONAL

REVISIONS/REMARKS BY
NO. DATE

DESIGNED BY: J.G.M. DATE: 10/05
DRAWN BY: RRW/JLP DATE: 10/05
CHECKED BY: J.G.M. DATE: 10/05

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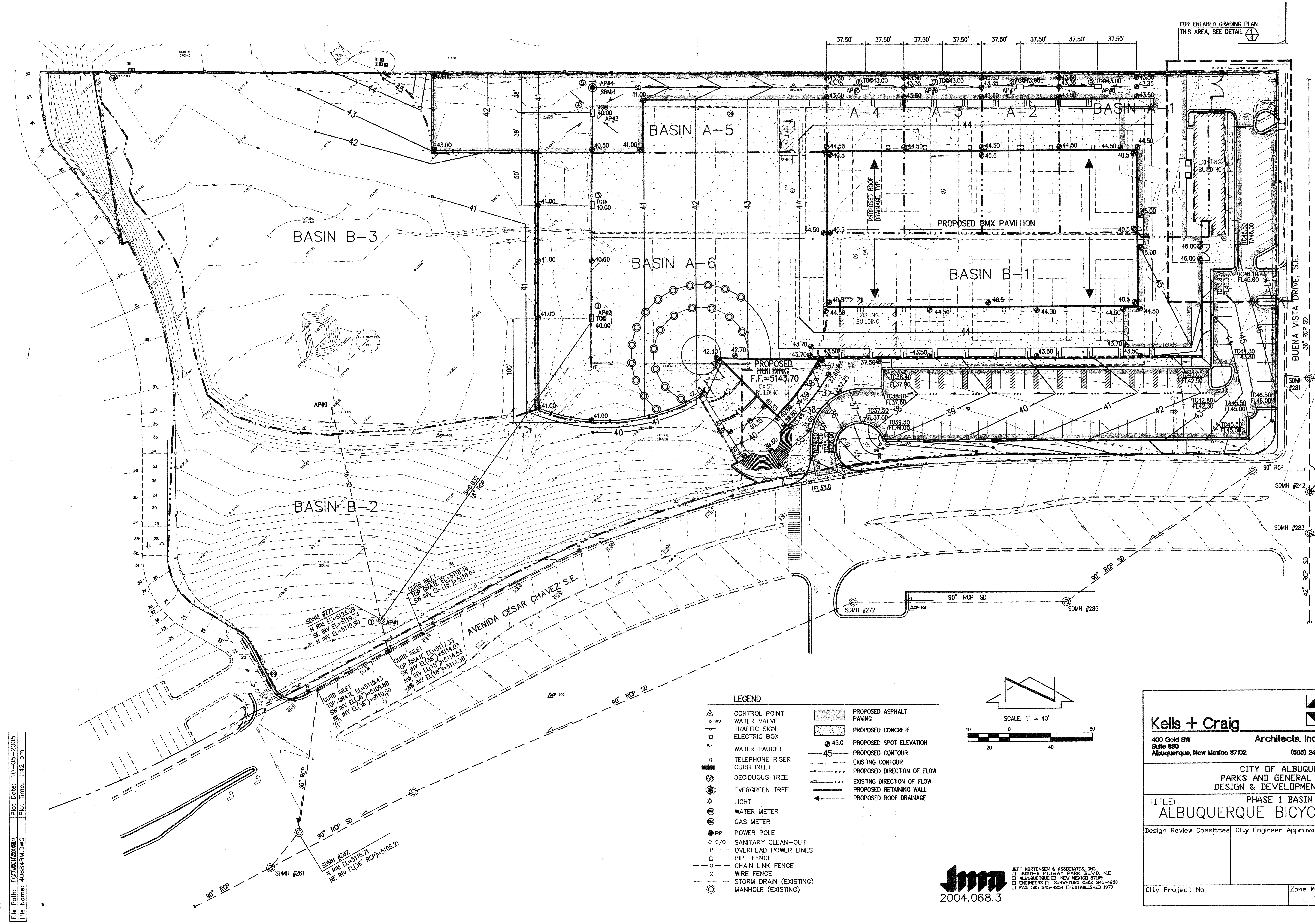
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: PHASE 1 GRADING PLAN
ALBUQUERQUE BICYCLE PARK PH. 1

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
	L-15	2	6



LEGEND

△	CONTROL POINT		PROPOSED ASPHALT PAVING
WV	WATER VALVE		PROPOSED CONCRETE
	TRAFFIC SIGN	45.0	PROPOSED SPOT ELEVATION
	ELECTRIC BOX	—45—	PROPOSED CONTOUR
WF	WATER FAUCET		EXISTING CONTOUR
	TELEPHONE RISER		PROPOSED DIRECTION OF FLOW
	CURB INLET		EXISTING DIRECTION OF FLOW
	DECIDUOUS TREE		PROPOSED RETAINING WALL
	EVERGREEN TREE		PROPOSED ROOF DRAINAGE
	LIGHT		
	WATER METER		
	GAS METER		
PP	POWER POLE		
C/O	SANITARY CLEAN-OUT		
—P—	OVERHEAD POWER LINES		
	PIPE FENCE		
—O—	CHAIN LINK FENCE		
X	WIRE FENCE		
	STORM DRAIN (EXISTING)		
	MANHOLE (EXISTING)		

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Plot Date: 10-05-2005
Plot Time: 1:42 pm

AS BUILT INFORMATION
CONTRACTOR — DATE:
WORK STAKED BY — DATE:
INSPECTOR'S APPROVAL — DATE:
FIELD VERIFICATION BY — DATE:
DRAWING CORRECTED BY — DATE:
MICRO-FILM INFORMATION
RECORDED BY — DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE
CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION

NO.	FIELD NOTES BY	DATE
614019	WILSON & CO	10/20/04
	CITY SURVEYOR	09/08/05

ENGINEER'S STAMP

G. MORTENSEN, NEW MEXICO, REGISTERED PROFESSIONAL ENGINEER — PRELIMINARY

REVISIONS/REMARKS — NO. — DATE — BY

DESIGNED BY:	F.J.A.	DATE: 09/05
DRAWN BY:	R.R.W.	DATE: 09/05
CHECKED BY:	J.G.M.	DATE: 09/05

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: PHASE 1 BASIN MAP
ALBUQUERQUE BICYCLE PARK PH. 1

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
	L-15	3	6

(WAITING ON AUTHORIZATION
TO PROCEED W/DETAILED
TOPOGRAPHIC SURVEY OF FORMER
SPEECH & HEARING SITE)

ENLARGED GRADING PLAN

DETAIL 1 / 2,3

AS BUILT INFORMATION	
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
FIELD VERIFICATION BY	DATE:
DRAWING CORRECTED BY	DATE:
MICRO-FILM INFORMATION	
RECORDED BY	DATE:
NO.	

BENCH MARK

ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION

FIELD NOTES		
NO.	BY	DATE
614019	WILSON & CO	10/20/04
	CITY SURVEYOR	09/08/05

ENGINEER'S STAMP

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NO.	DATE	REVISIONS/REMARKS	BY

DESIGNED BY: J.G.M. DATE: 09/05
DRAWN BY: JLP DATE: 10/05
CHECKED BY: J.G.M. DATE: 09/05

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: ENLARGED GRADING PLAN
ALBUQUERQUE BICYCLE PARK PH. 1

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
	L-15	4	6

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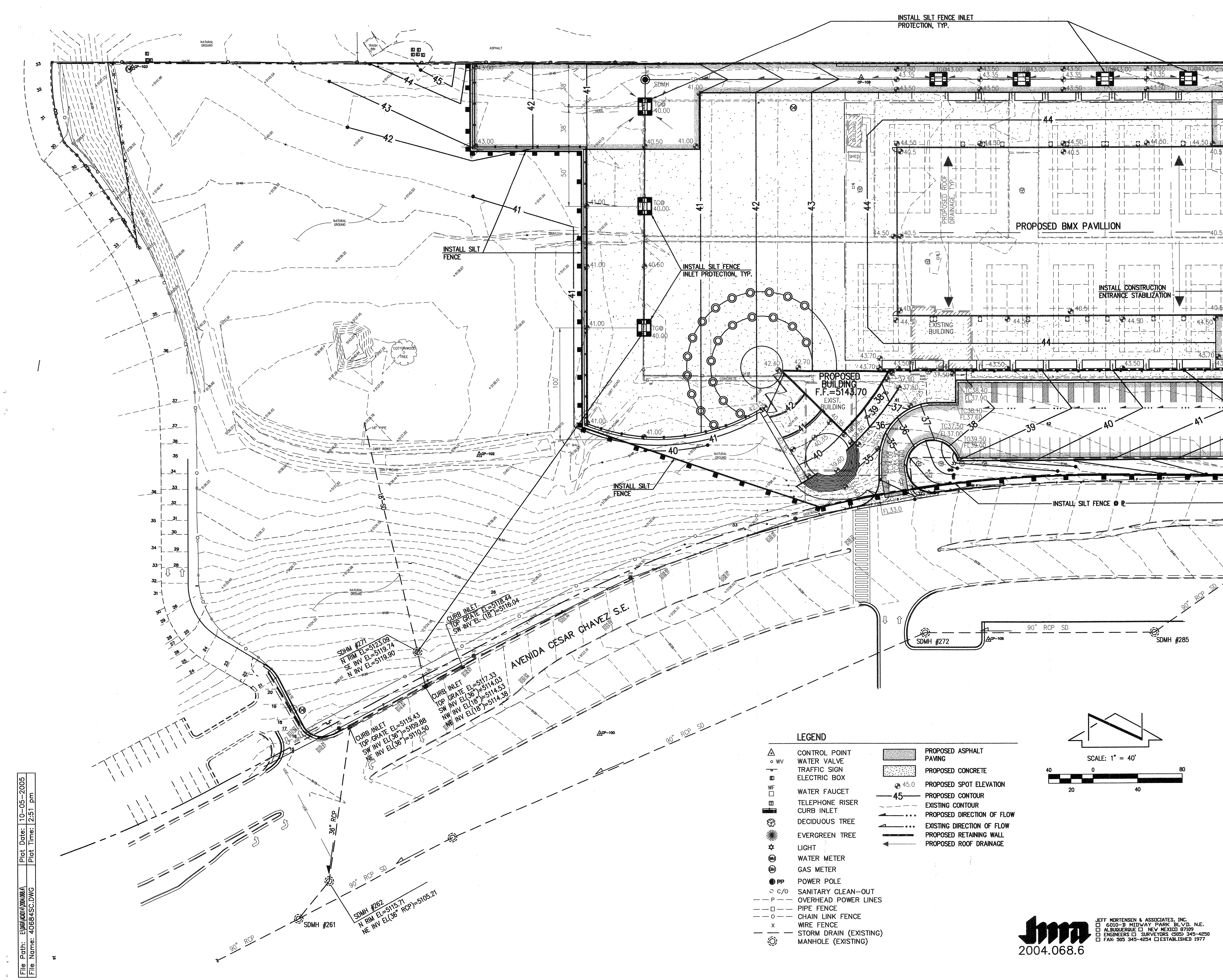

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: PHASE 1 SEDIMENT CONTROL PLAN
ALBUQUERQUE BICYCLE PARK PH. 1

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
	L-15	5	6

DESIGNED BY: J.G.M.	DATE: 10/05
DRAWN BY: RRW/JLP	DATE: 10/05
CHECKED BY: J.G.M.	DATE: 10/05

NO.	DATE	REVISIONS/REMARKS	BY

ENGINEER'S STAMP

SURVEY INFORMATION

NO.	BY	DATE
FIELD NOTES		
614019	WILSON & CO	10/20/04
	CITY SURVEYOR	09/08/05

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

AS BUILT INFORMATION

	DATE:
CONTRACTOR	DATE:
WORK STAKED BY	DATE:
INSPECTOR'S APPROVAL	DATE:
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MICRO-FILM INFORMATION	
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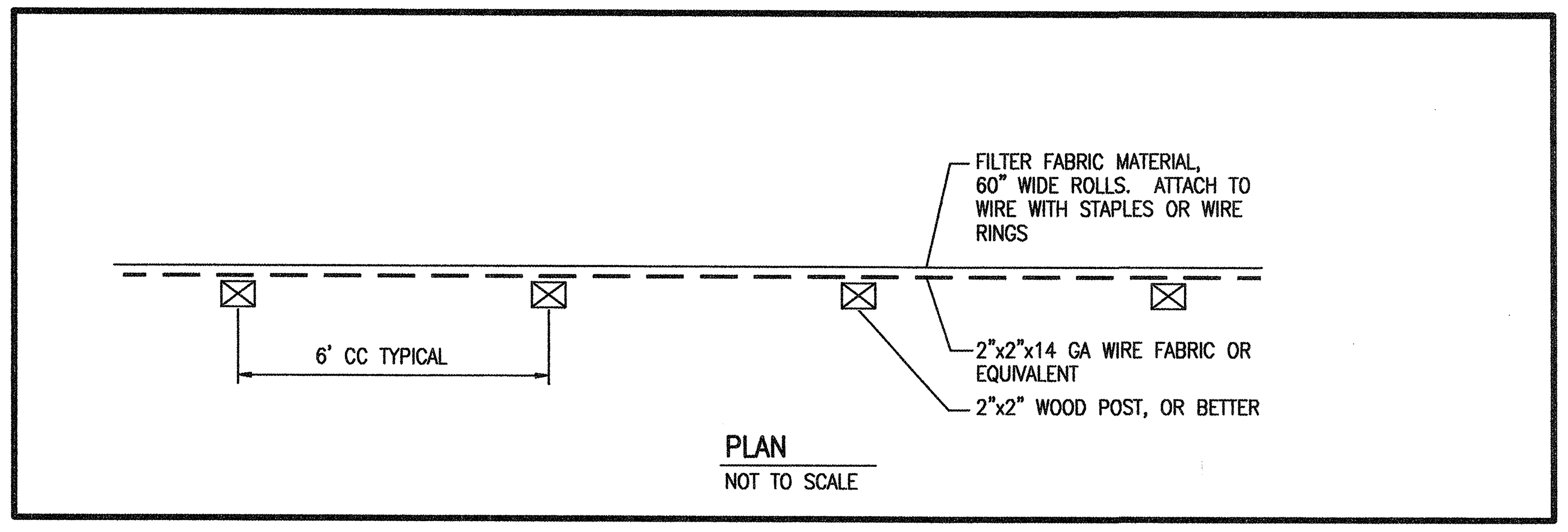
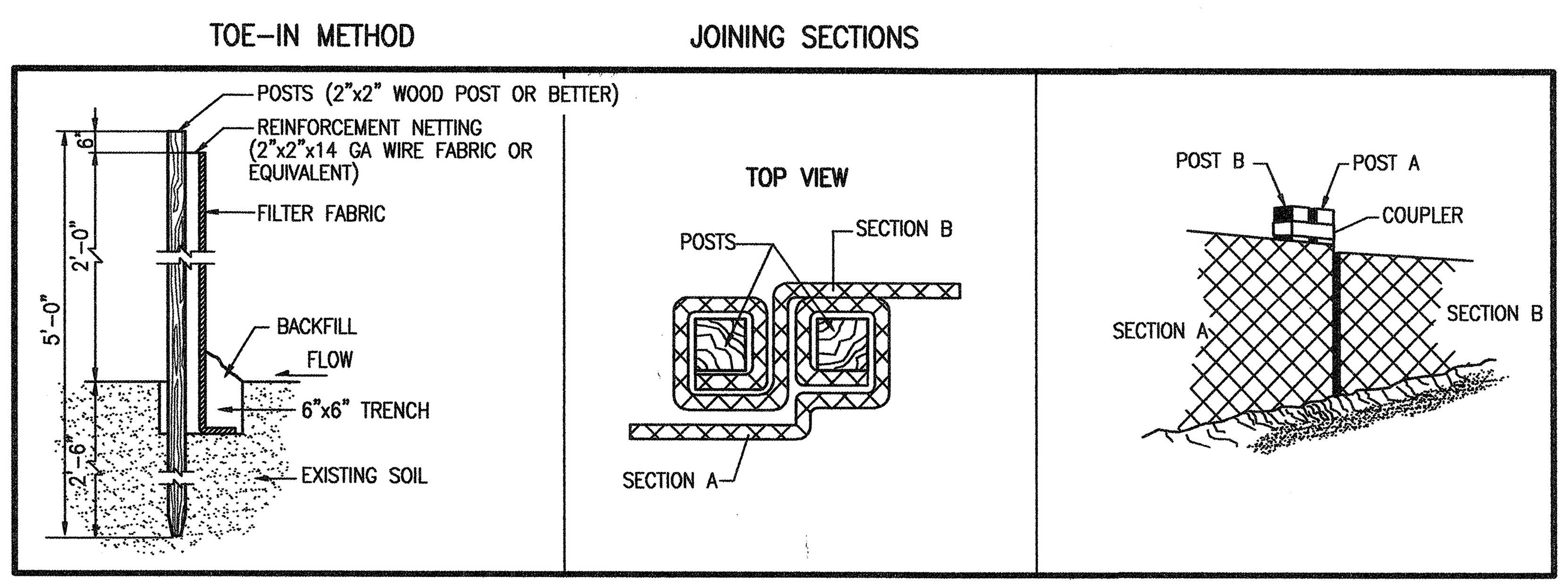
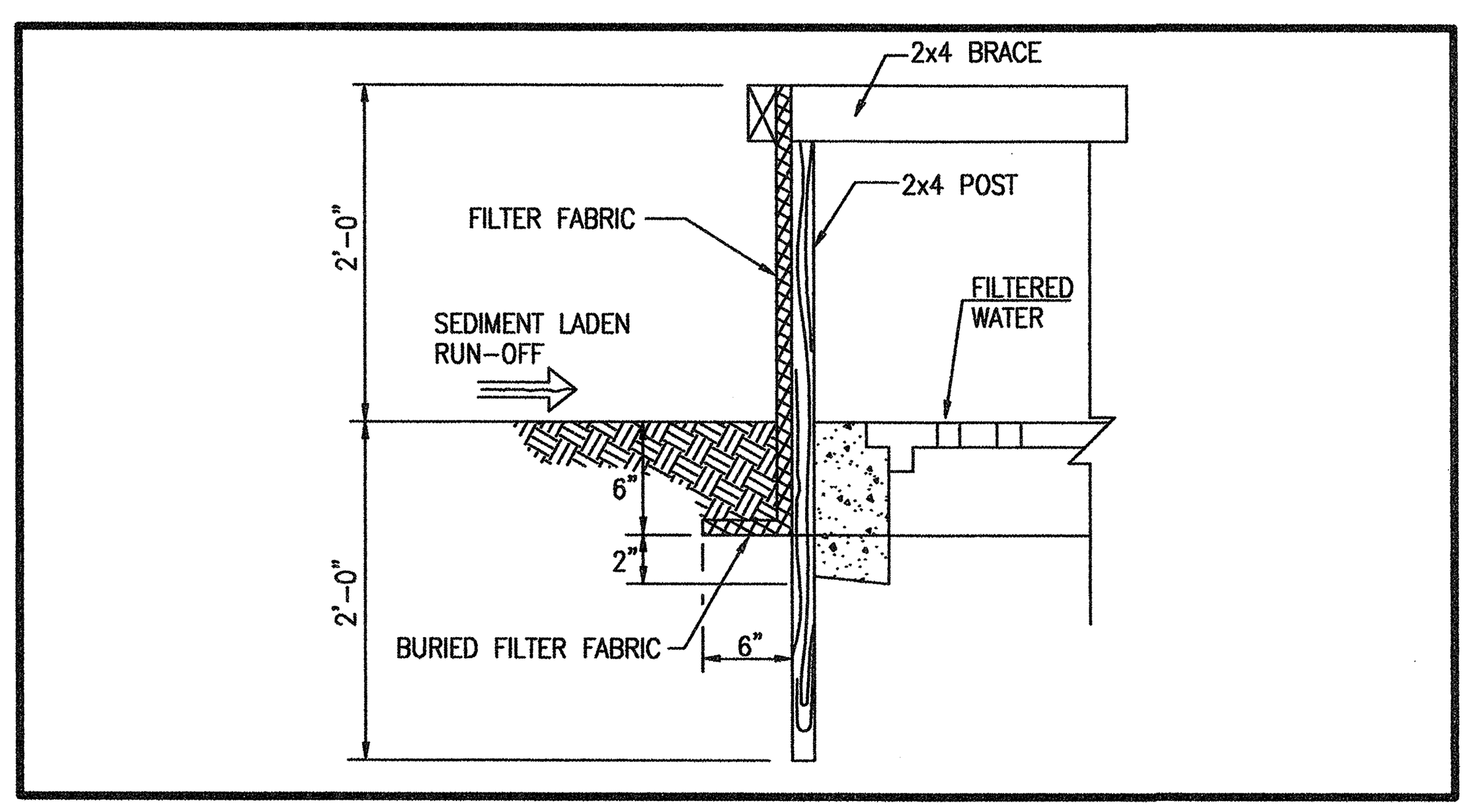
NO.	





PREFABRICATED SILT FENCE DETAILS
NOT TO SCALE



SILT FENCE INLET PROTECTION SECTION
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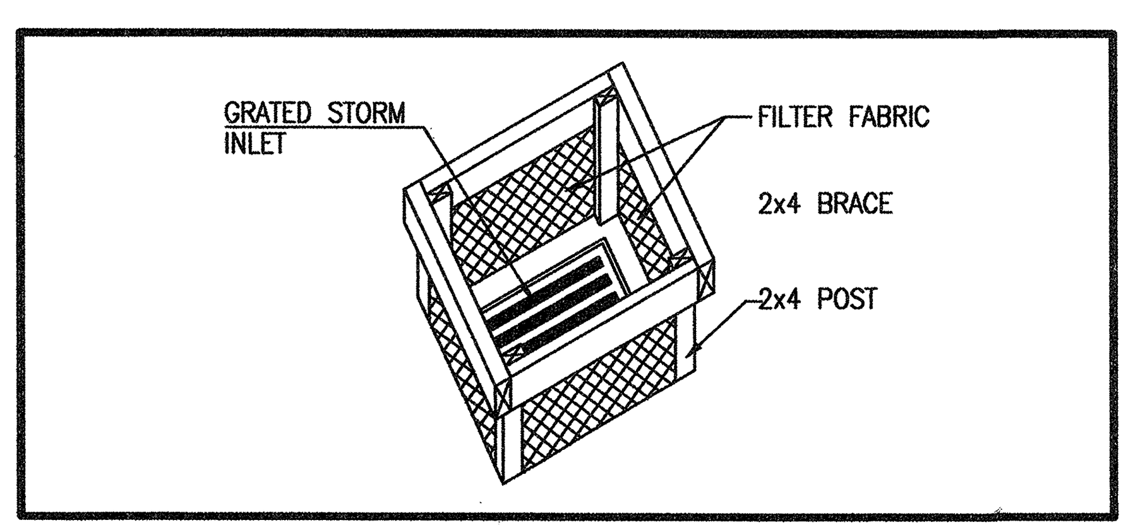

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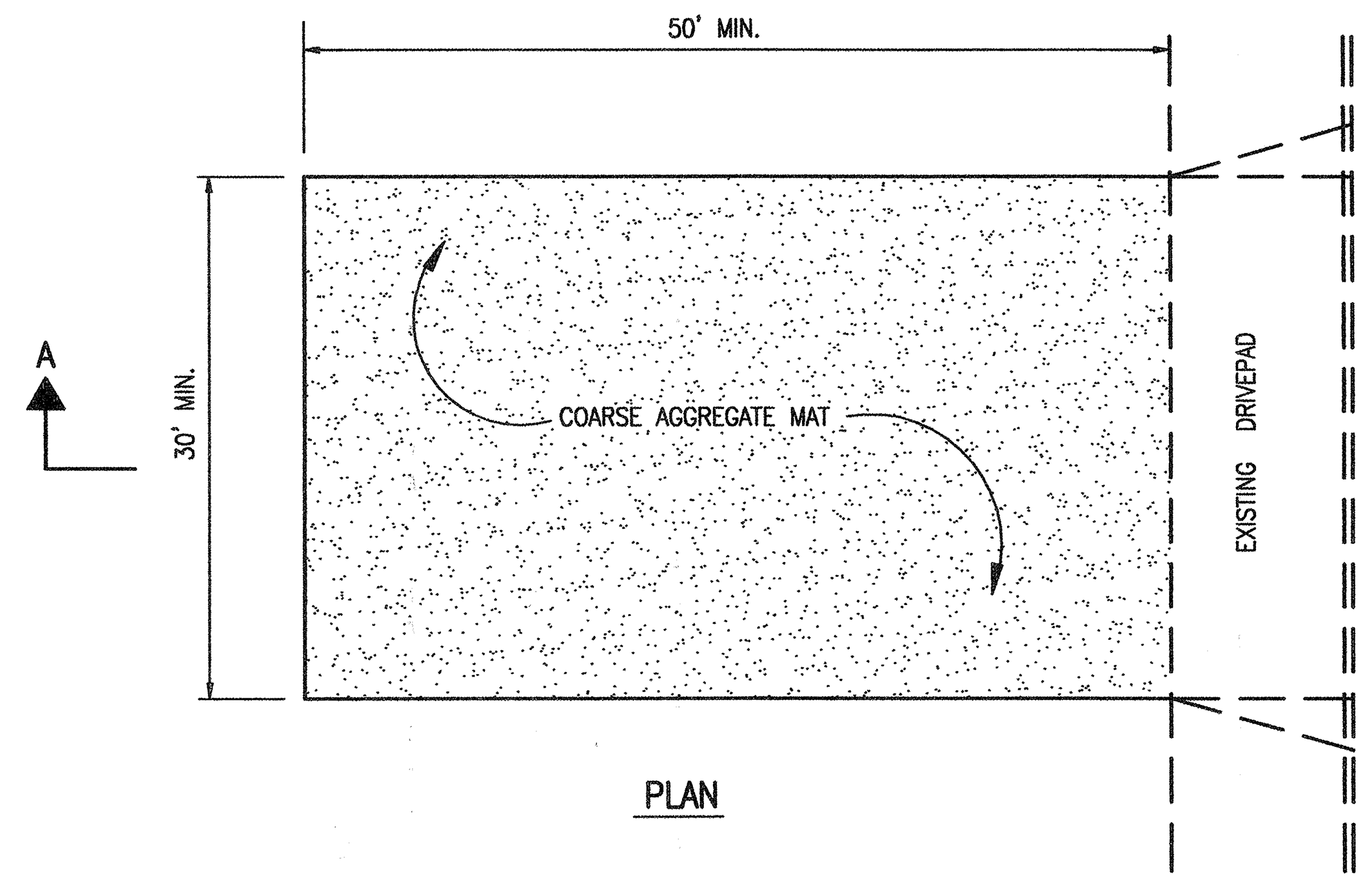
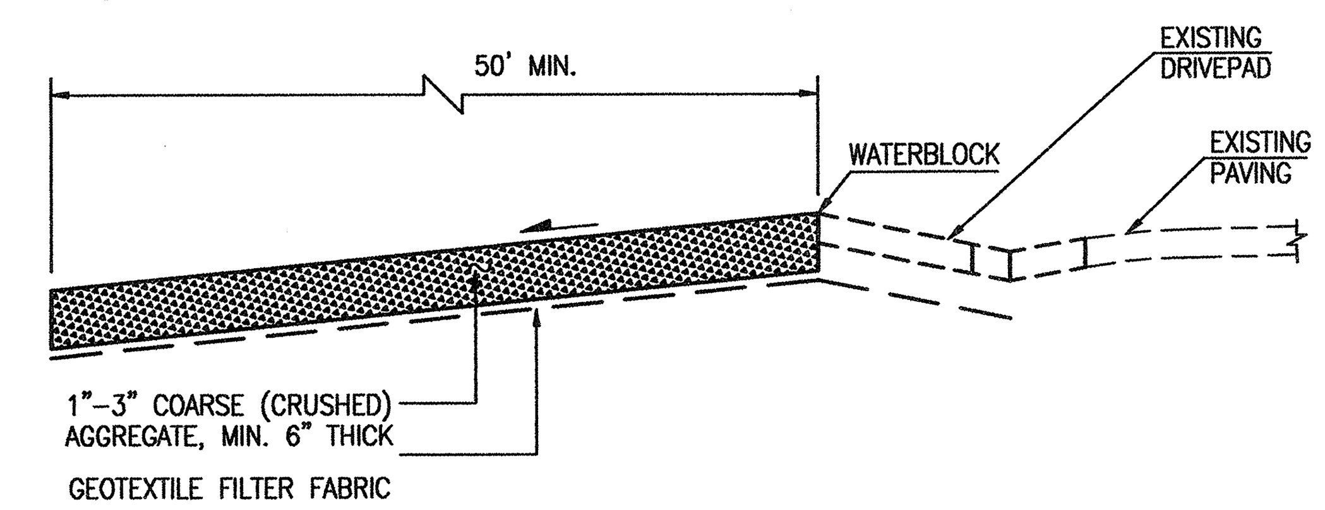


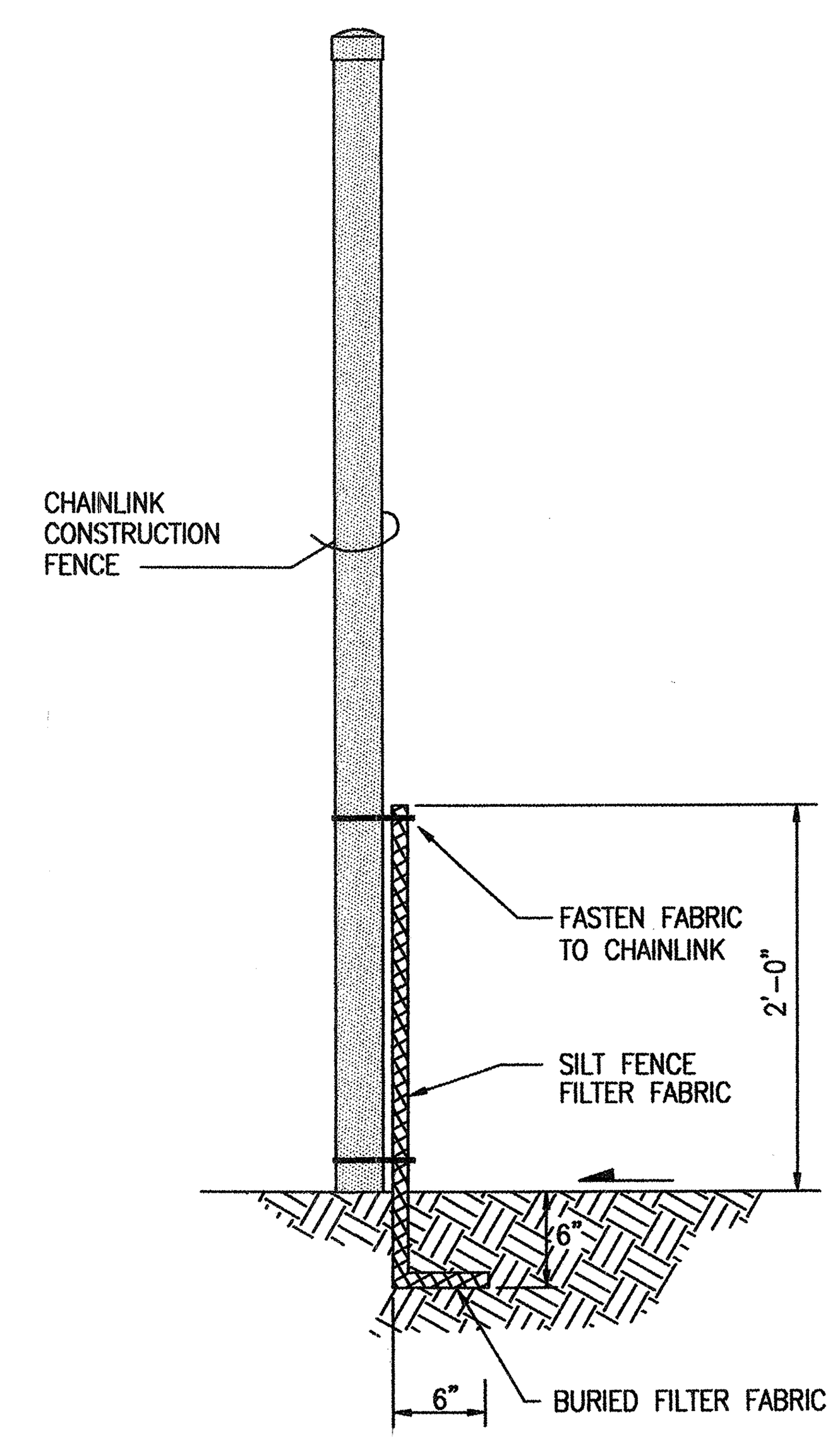
CONSTRUCTION ENTRANCE STABILIZATION
SCALE: 1" = 10' HORIZ.
1" = 2' VERT



SECTION A-A

EROSION CONTROL NOTES:

1. THIS PLAN ADDRESSES GENERAL AND SPECIFIC MEASURES FOR CONSTRUCTION PHASE EROSION AND DUST CONTROL. REFER TO THE GRADING AND DRAINAGE PLAN PREPARED BY JEFF MORTENSEN AND ASSOCIATES, INC. FOR GRADING NOTES AND INFORMATION.
2. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
3. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
4. CONCRETE TRUCKS SHALL BE SENT BACK TO PLANT FOR WASHING. THE WASHING OF CONCRETE TRUCKS SHALL NOT BE PERMITTED ON THIS SITE.
5. THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL PROMPTLY REMOVE SEDIMENT ACCUMULATION FROM SILT FENCES WITHIN 48 HOURS OF A RAINFALL EVENT.
7. THE CONTRACTOR SHALL PICK UP LITTER AND CONSTRUCTION DEBRIS ON A DAILY BASIS.
8. OFFSITE MATERIAL STORAGE AREAS USED BY THIS PROJECT ARE CONSIDERED PART OF THE PROJECT AND ARE SUBJECT TO THE REQUIREMENTS OF THIS EROSION CONTROL PLAN.
9. THE CONTRACTOR SHALL IMPLEMENT ON-SITE STRUCTURAL EROSION CONTROL PRACTICES AS REQUIRED TO COMPLY WITH THE EROSION CONTROL PLAN. THESE PRACTICES MAY INCLUDE BUT ARE NOT LIMITED TO: SILT FENCES, EARTHEN DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM RETAINING SYSTEM, GABIONS AND TEMPORARY OR PERMANENT SEDIMENT BASINS.
10. THE CONTRACTOR SHALL MINIMIZE OFFSITE VEHICLE TRACKING OF SEDIMENT AND DUST GENERATION.
11. UPON COMPLETION OF MASS GRADING, ALL DISTURBED AREAS SHALL BE STABILIZED WITH PERMANENT CONSTRUCTION, LANDSCAPING, VEGETATION AND/OR GRAVEL MULCH SILT FENCING CAN BE REMOVED UPON SUCCESSFUL ESTABLISHMENT OF VEGETATION.
12. REFER TO STORM WATER POLLUTION PREVENTION PLAN FOR PROJECT SPECIFIC PHASING AND INFORMATION. THIS PROJECT SHALL BE IMPLEMENTED IN PHASES TO MINIMIZE THE EXTENT AND DURATION OF SURFACE DISTURBANCE.
13. FOR EXAMPLES OF ADDITIONAL BMP'S, REFER TO THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM MANUAL – STORM WATER MANAGEMENT GUIDELINES FOR CONSTRUCTION AND INDUSTRIAL ACTIVITIES, NOVEMBER 2002.



CONSTRUCTION FENCE/SILT FENCE SECTION
SCALE: 1" = 2'

(ALTERNATE INSTALLATION METHOD)

JEFF MORTENSEN & ASSOCIATES, INC.
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File Name: 40684SCD.DWG | Plot Time: 3:28 pm

AS BUILT INFORMATION
CONTRACTOR DATE:
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INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
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MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION

FIELD NOTES		
NO.	BY	DATE
614019	WILSON & CO	10/20/04
	CITY SURVEYOR	09/08/05

ENGINEER'S STAMP
G. MORTENSEN, NEW MEXICO, REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

NO.	DATE	REVISIONS/REMARKS	BY

DESIGNED BY: J.G.M. DATE: 09/05
DRAWN BY: JLP DATE: 10/05
CHECKED BY: J.G.M. DATE: 09/05

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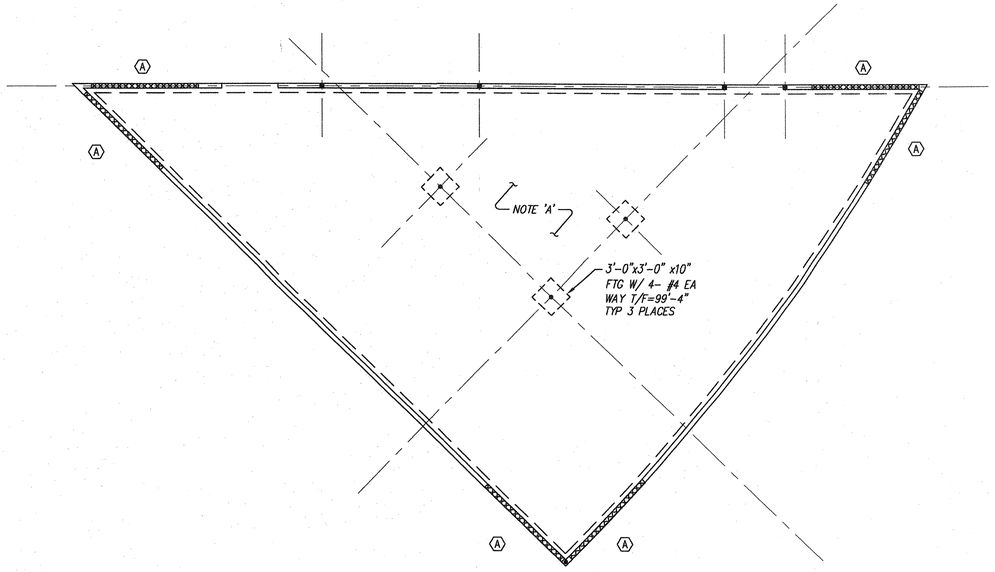
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE: SEDIMENT CONTROL DETAILS
ALBUQUERQUE BICYCLE PARK PH. 1

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No.	Zone Map No.	Sheet	Of
	L-15	6	6



1 Foundation / Floor Plan
SCALE: 1/8" = 1'-0"

NOTE 'A' 4" CONCRETE SLAB ON GRADE W/ #3 AT 16" O.C. E.W. AT MID-DEPTH OF SLAB ON 2" SAND CHAIRS OVER 4" COMPACTED GRANULAR FILL. TYPICAL THRUOUT UNLESS NOTED OTHERWISE. CONTINUE REBAR THRU ALL SLAB JOINTS.

F.D. INDICATES FLOOR DRAIN IN SLAB ON GRADE. SLOPE SLAB TO DRAIN.

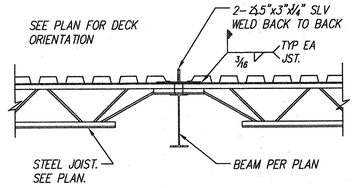
• INDICATES 3½"ø STD STL PIPE COLUMN UNLESS OTHERWISE NOTED.

INDICATES STRUCTURAL METAL STUD WALL.

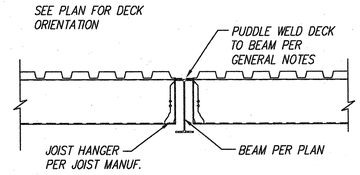
(X) INDICATES METAL STRAP SHEAR WALL. SEE _____ FOR LENGTH AND CONSTRUCTION.

S 00.0' / F 00.0' INDICATES STEP FOOTING. ELEVATIONS ARE TO TOP OF FOOTING. CONTRACTOR IS TO VERIFY LOCATION AND ELEVATIONS TO MAINTAIN A MINIMUM OF 24" TO BOTTOM OF FOOTING FROM LOWEST ADJACENT GRADE. SEE SHEET _____ FOR TYPICAL STEP FOOTING DETAIL.

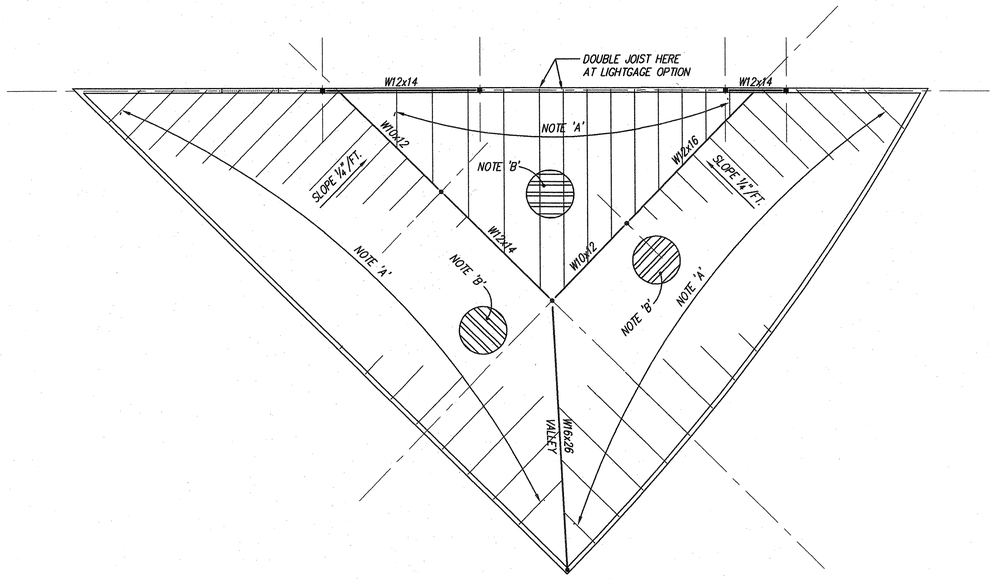
NOTE: SEE STRUCTURAL GENERAL NOTES, STRUCTURAL EARTHWORK NOTES, AND TYPICAL DETAILS LOCATED AT START OF STRUCTURAL DRAWINGS. NOTES THEREIN ARE APPLICABLE WHETHER OR NOT REFERENCE IS MADE TO THEM ELSEWHERE.



TYPICAL GIRDER AT STEEL JOIST OPTION
SCALE : 3/4" = 1'-0"



TYPICAL GIRDER AT LIGHTGAGE JOIST OPTION
SCALE : 3/4" = 1'-0"



2 Roof Framing Plan
SCALE: 1/8" = 1'-0"

NOTE 'A' 2"x10" x12GA. METAL JOISTS AT 32" O.C. S_xMIN= 3.84 $IN.^3$ I_xMIN= 19.18 $IN.^4$ OR: 12K1 STEEL JOISTS AT 4'-0" O.C.

NOTE 'B' 1½" TYPE 'B' 22 GA. PAINTED METAL DECK. S_xMIN= .186 $IN.^3$ I_xMIN= .167 $IN.^4$ SEE GENERAL NOTES FOR DECK WELDS.

NOTE 'C' STEEL JOIST BRIDGING PER STEEL JOIST INSTITUTE RECOMMENDATIONS AND OSHA REQUIREMENTS.

NOTE: SEE TYPICAL DETAIL SHEET FOR REQUIRED DECK SUPPORT FRAMING AT METAL DECK OPENINGS GREATER THAN 8". THIS SUPPORT FRAMING IS TO BE PROVIDED FOR ALL DECK PENETRATIONS, INCLUDING THOSE NOT SHOWN ON STRUCTURAL DRAWINGS. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR OTHER DECK PENETRATIONS.

NOTE: SEE MECHANICAL DRAWINGS FOR ROOF TOP UNITS, PENETRATIONS, ETC.

STEEL JOIST NOTE:

STEEL JOISTS HAVE BEEN SIZED FOR DESIGN CRITERIA NOTED ON SHEET _____ AND INCLUDE MECHANICAL UNIT WEIGHTS AND LOCATIONS INDICATED.

CONTRACTOR SHALL VERIFY ACTUAL MECHANICAL UNIT WEIGHTS AND LOCATIONS AND SUBMIT TO THE ENGINEER FOR REVIEW ALONG WITH THE JOIST SHOP DRAWINGS. CONTRACTOR SHALL INCLUDE IN THE BASE BID THE COST OF POTENTIAL JOIST RESIZING DUE TO REVISIONS OF THE MECHANICAL UNITS SIZE, WEIGHT OR LOCATION.

T/B OR (X'-X") INDICATES TOP OF BEAM ELEVATION

T.O.W. INDICATES TOP OF WALL ELEVATION

J/B INDICATES JOIST BEARING ELEVATION

OR INDICATES CMU LINTEL. SEE TYPICAL DETAILS AND SCHEDULE ON SHEET ____.

NOTE: SEE STRUCTURAL GENERAL NOTES, STRUCTURAL EARTHWORK NOTES, AND TYPICAL DETAILS LOCATED AT THE BEGINNING OF THE STRUCTURAL DRAWINGS. THESE NOTES AND DETAILS ARE APPLICABLE WHETHER OR NOT DIRECT REFERENCE TO THEM IS MADE ELSEWHERE.

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L 15

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

ARCHITECTS STAMP

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CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

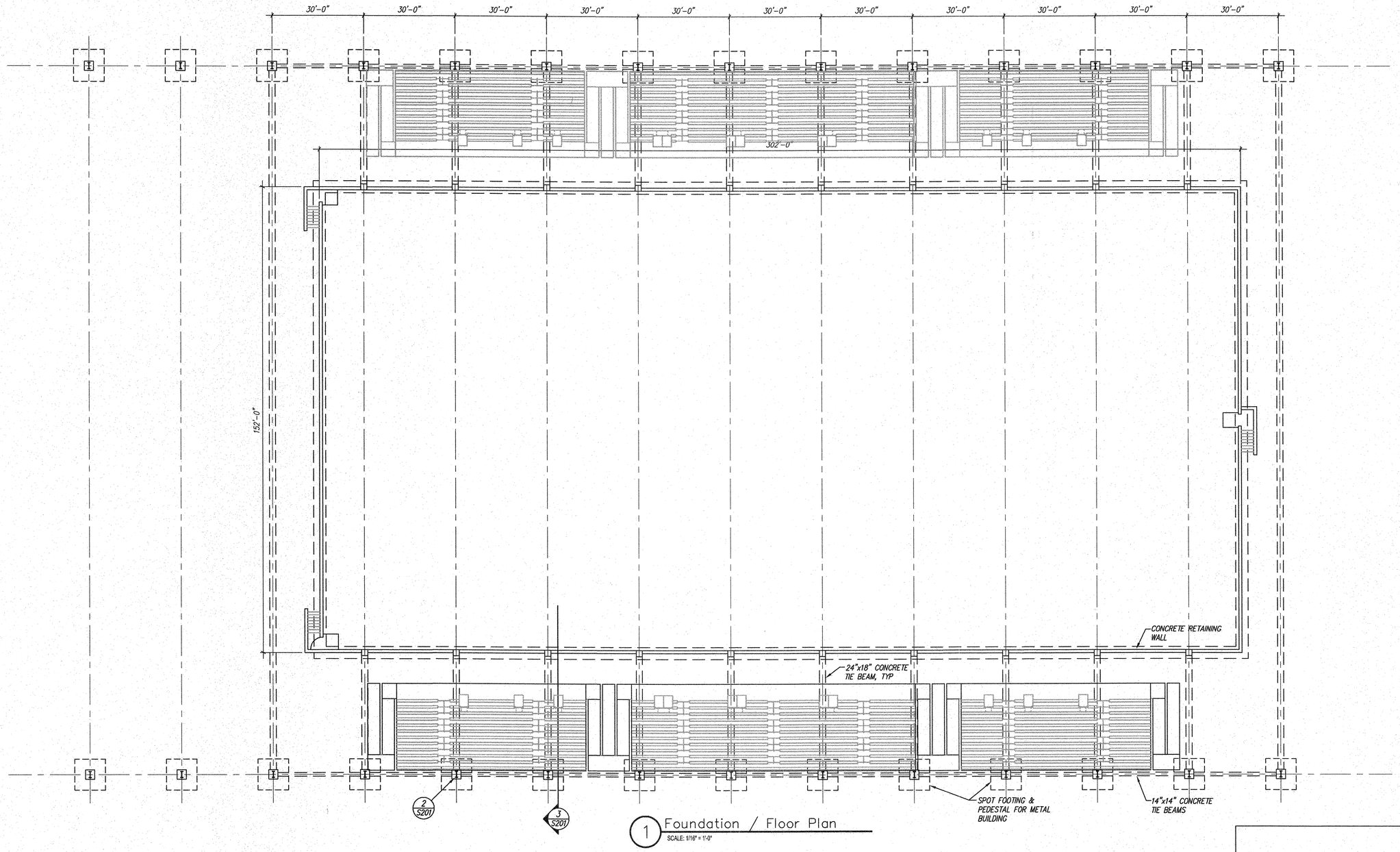
TITLE:
ALBUQUERQUE BICYCLE PARK PH. 1

OCTOBER 5, 2005

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No. 0001 | Zone Map No. L-15-Z | Sheet 2 Of 8 | S101

Z:\struct\Projects\Kells&Craig\2005-1747 - ABQ Bike Park\S101.dwg, 10/7/2005 3:35:11 PM, James



1 Foundation / Floor Plan
SCALE: 1/16" = 1'-0"

AS BUILT INFORMATION
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NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ARCHITECTS STAMP

NO. DATE REVISIONS/REMARKS BY

DESIGNED BY: DATE:
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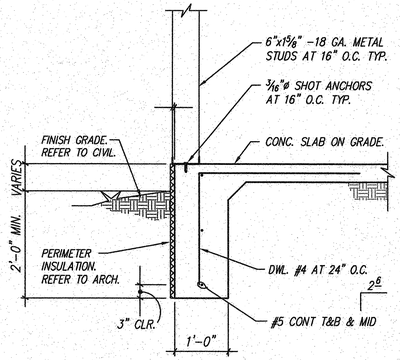
CITY OF ALBUQUERQUE
PARKS AND GENERAL SERVICES
DESIGN & DEVELOPMENT DIVISION

TITLE:
ALBUQUERQUE BICYCLE PARK PH. 1

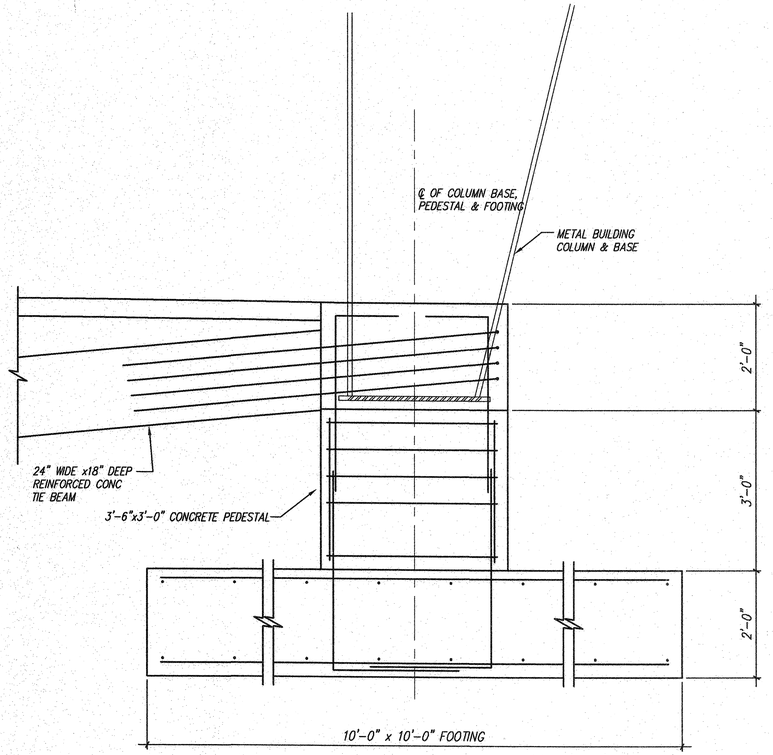
OCTOBER 5, 2005

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

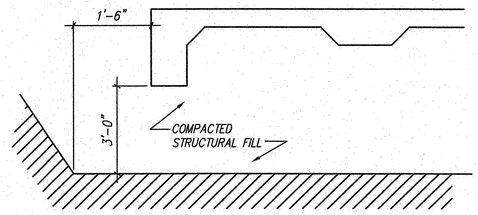
City Project No. 0001 | Zone Map No. L-15-Z | Sheet 2 Of 8 | S102



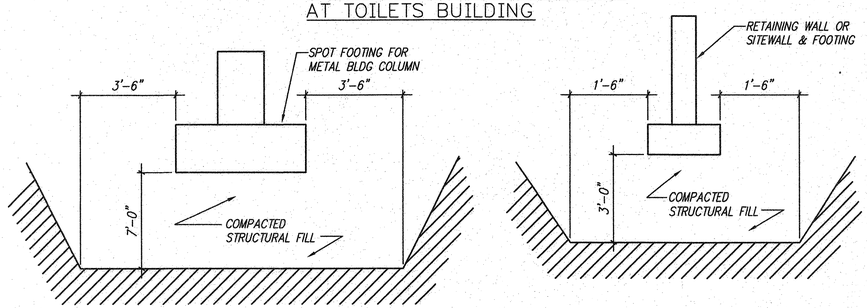
SECTION ① S201
SCALE : 3/4" = 1'-0"



SECTION ② S201
SCALE : 3/4" = 1'-0"



TYP. OVEREXCAVATION DETAIL AT TOILETS BUILDING



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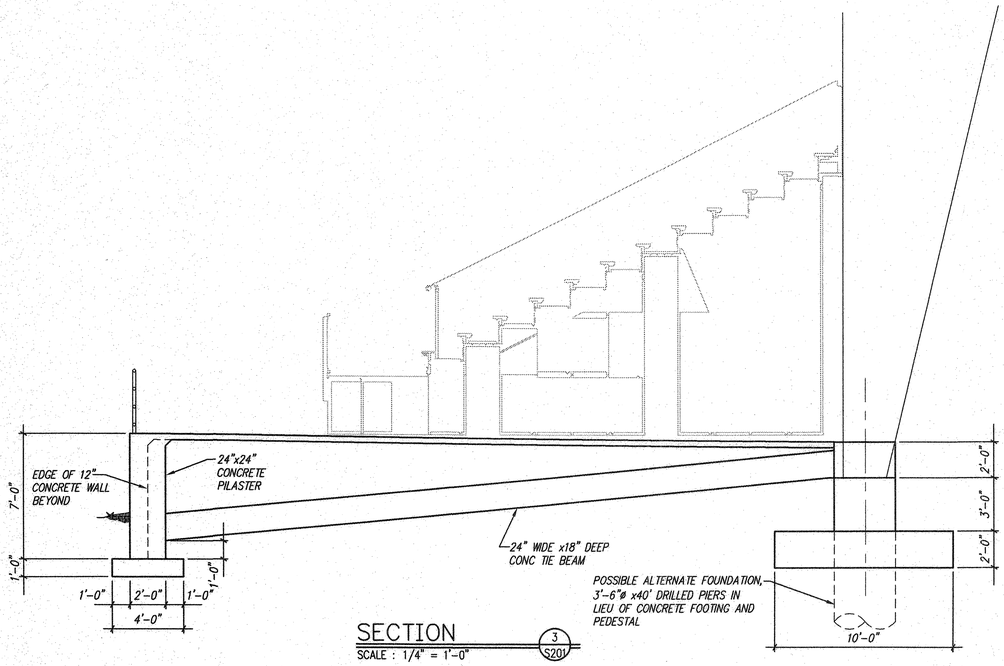

SECTION ③ S201
SCALE : 1/4" = 1'-0"

AS BUILT INFORMATION		
CONTRACTOR	DATE:	
WORK STAKED BY	DATE:	
INSPECTOR'S APPROVAL	DATE:	
FIELD VERIFICATION BY	DATE:	
DRAWING CORRECTED BY	DATE:	
MICRO-FILM INFORMATION		
RECORDED BY	DATE:	
NO.		

BENCH MARK
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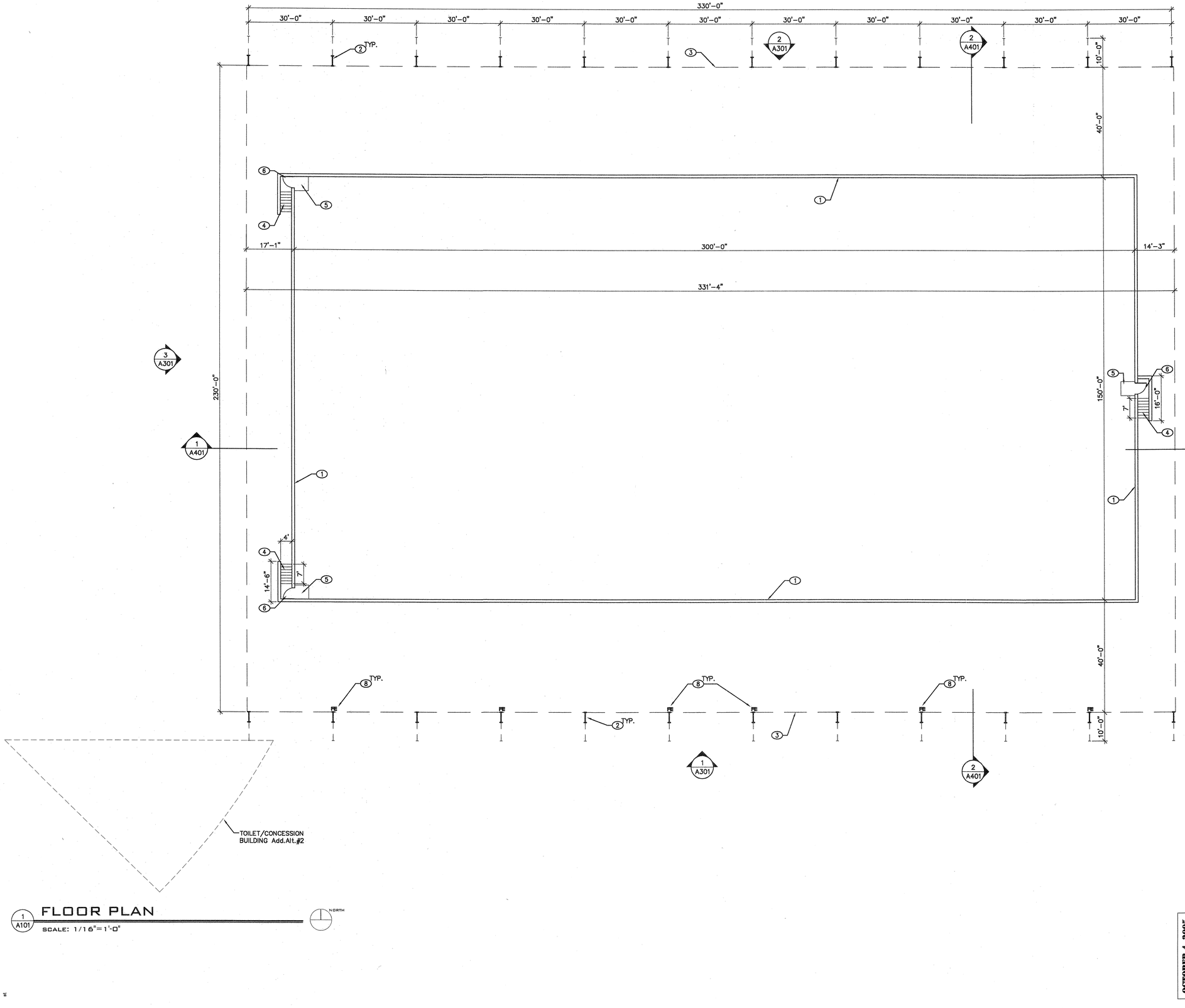
City Project No.	Zone Map No.	Sheet XX Of 8
0001	L-15-Z	S201



GENERAL NOTES

A. DO NOT SCALE DRAWINGS
B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO THE ATTENTION OF ARCHITECT
D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
E. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. 12" CAST IN PLACE CONCRETE RETAINING WALL, REF. DTL. xx/xxx
2. STRUCTURAL STEEL FRAME
3. ALIGN OUTSIDE EDGE OF ROOF STRUCTURE WITH INSIDE FACE OF STEEL FRAMES
4. CAST IN PLACE CONCRETE STAIR FOR TRACK AREA ACCESS
5. PROVIDE 4" CONCRETE LANDING INSIDE TRACK AREA.
6. HOLLOW METAL DOOR AND FRAME, REF. DTL. xx/xxx
7. not used
8. PROVIDE SURFACE MOUNTED WEATHER TIGHT FIRE EXTINGUISHER CABINET, MOUNT TO VERTICAL FACE OF STEEL FRAME

1 A101 **FLOOR PLAN**
SCALE: 1/16"=1'-0"

NORTH

AS BUILT INFORMATION
CONTRACTOR DATE:
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BENCH MARK
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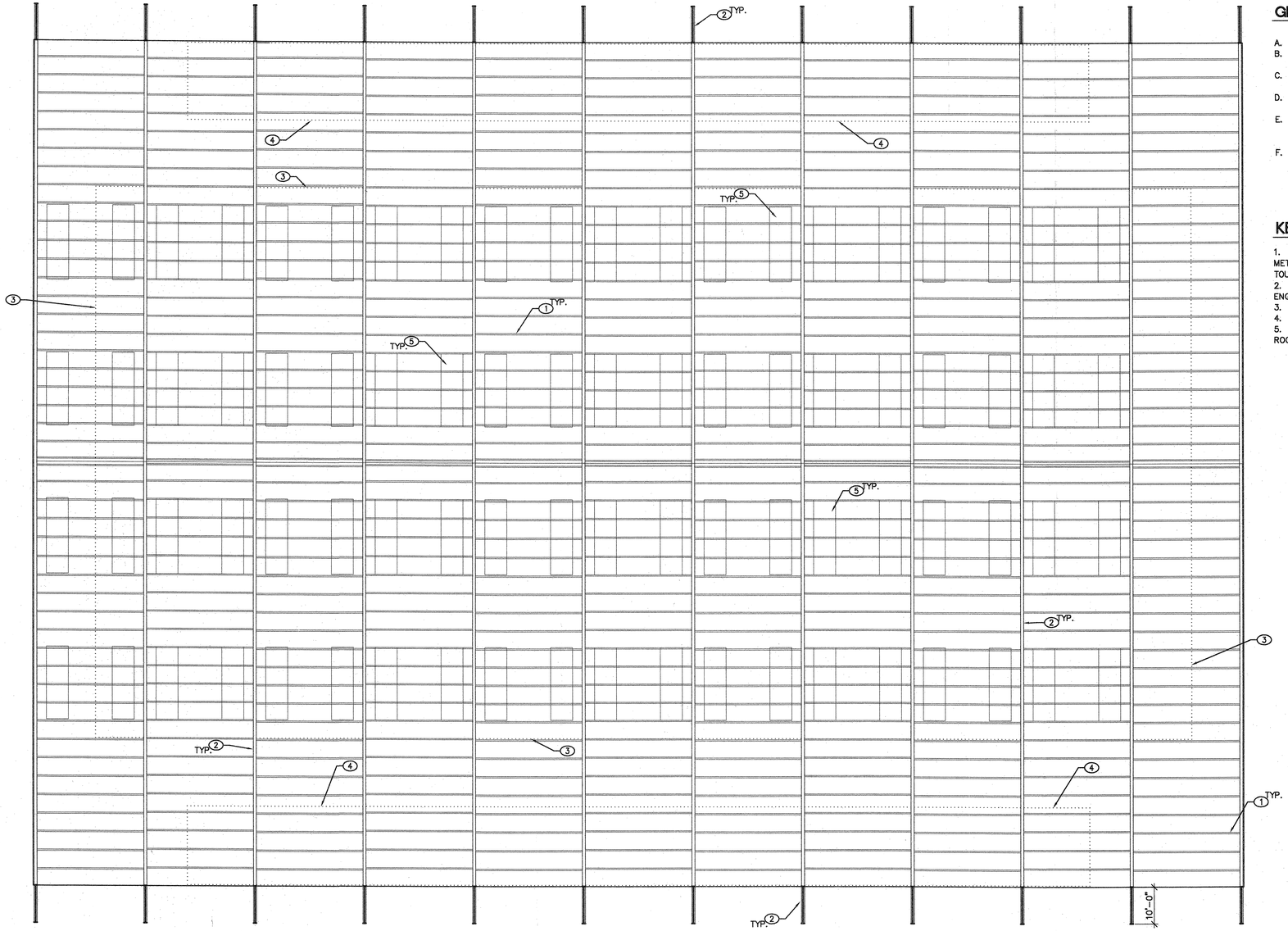
Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No. 7345-90
Zone Map No. L-15-Z
Sheet 3 Of 69
A101



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F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. STEEL Z-PURLIN SIZE AND SPACING AS DETERMINED BY METAL BUILDING ENGINEER, FACTORY PRIME AND FIELD TOUCH-UP AS REQUIRED
2. STRUCTURAL STEEL FRAME SIZED BY METAL BUILDING ENGINEER, FACTORY PRIME AND FIELD TOUCH-UP AS REQUIRED
3. OUTLINE OF PIT BELOW
4. OUTLINE OF BLEACHERS BELOW
5. 6'x20' CLEAR SKYLIGHT PANEL WITH PROFILE TO MATCH ROOFING PANELS

1/A110 REFLECTED CEILING PLAN

SCALE: 1/16"=1'-0"

NORTH

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OCTOBER 4, 2005

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR:	MO/DAY/YR:

City Project No. 7345-90 | Zone Map No. L-15-Z | Sheet 4 Of 69 | A110

1 A201 ROOF PLAN

SCALE: 1/16"=1'-0"

NORTH

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KEYED NOTES

1. PREFINISHED METAL ROOF PANEL, SLOPE 2:12
2. 6'x20' CLEAR SKYLIGHT PANEL WITH PROFILE TO MATCH ROOFING PANELS
3. PREFINISHED RIDGE VENT BY METAL PANEL MANUFACTURER, COLOR TO MATCH ROOF PANEL
4. METAL GUTTER PREFINISHED TO MATCH ROOFING PANEL COLOR
5. PROVIDE PREFINSIHED DOWNSPOUT, AND ATTACH MANUFACTURERS HANGERS TO STEEL FRAME, REF. CIVIL FOR HARD PIPED CONNECTIONS

AS BUILT INFORMATION
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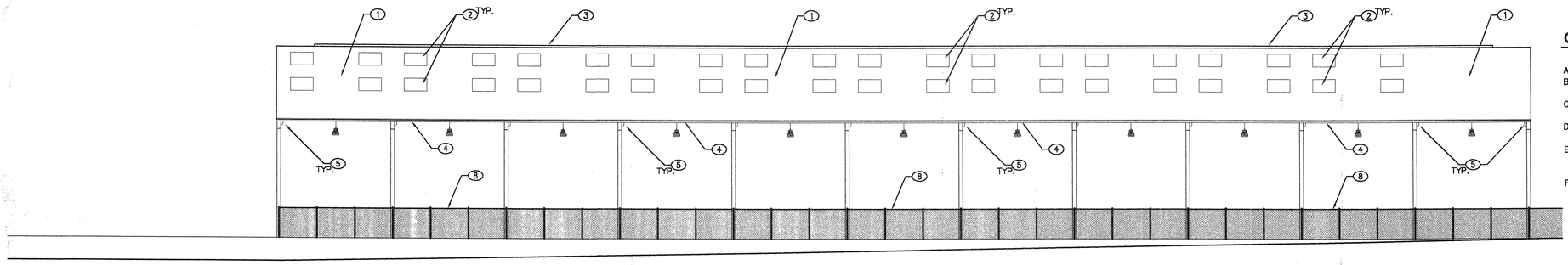
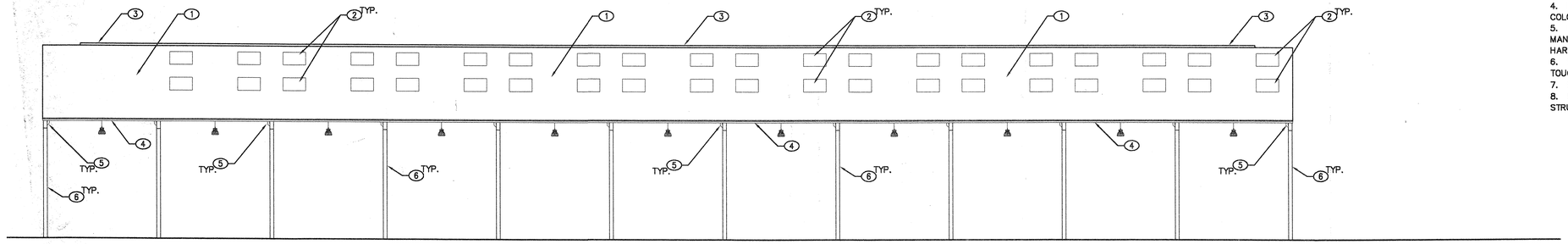
City Project No. 7345-90
Zone Map No. L-15-Z
Sheet 5 Of 69
A201



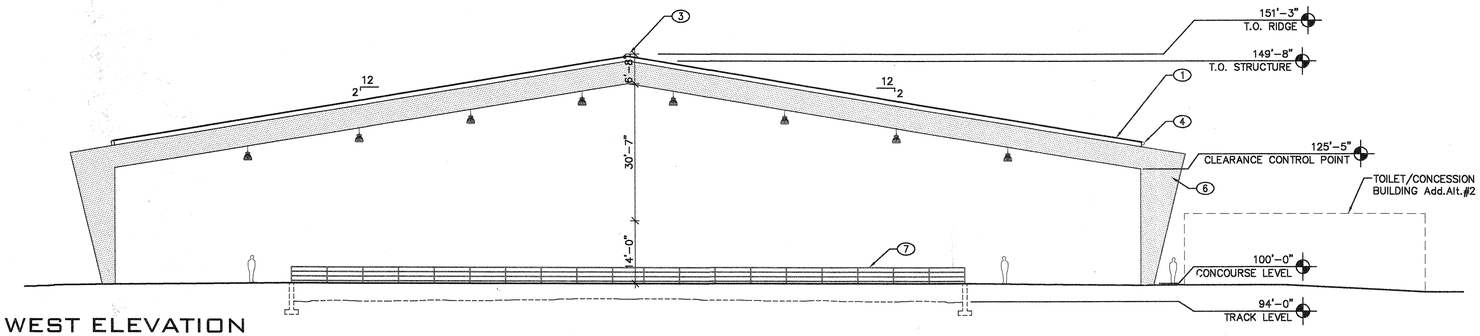
1 A301 SOUTH ELEVATION

SCALE: 1/16"=1'-0"



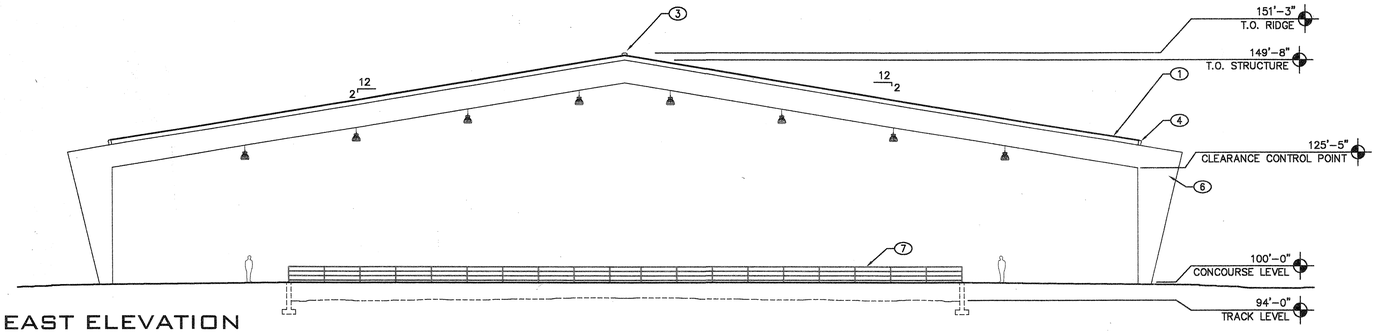
2 A301 NORTH ELEVATION

SCALE: 1/16"=1'-0"



3 A301 WEST ELEVATION

SCALE: 1/16"=1'-0"



4 A301 EAST ELEVATION

SCALE: 1/16"=1'-0"

GENERAL NOTES

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KEYED NOTES

1. PREFINISHED METAL ROOF PANEL, SLOPE 2:12
2. 6'x20' CLEAR SKYLIGHT PANEL WITH PROFILE TO MATCH ROOFING PANELS
3. PREFINISHED RIDGE VENT BY METAL PANEL MANUFACTURER, COLOR TO MATCH ROOF PANEL
4. METAL GUTTER PREFINISHED TO MATCH ROOFING PANEL COLOR
5. PROVIDE PREFINSIHED DOWNSPOUT, AND ATTACH MANUFACTURERS HANGERS TO STEEL FRAME, REF. CIVIL FOR HARD PIPED CONNECTIONS
6. STRUCTURAL STEEL FRAME, FACTORY PRIME AND FIELD TOUCH-UP
7. STEEL HANDRAIL AROUND SUB-GRADE TRACK AREA
8. 8' CHAIN LINK FENCE ATTACHED TO OUTSIDE FACE OF STRUCTURAL STEEL FRAME

AS BUILT INFORMATION
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MICRO-FILM INFORMATION
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BENCH MARK
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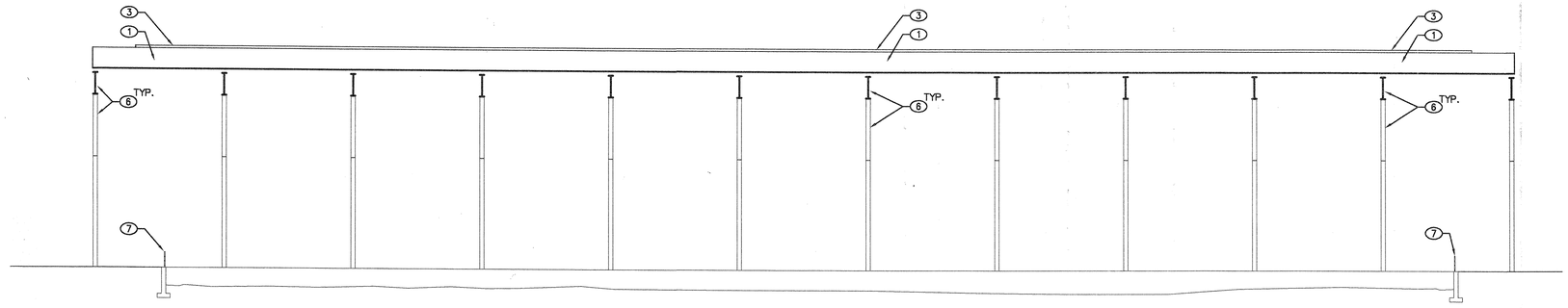
OCTOBER 4, 2005

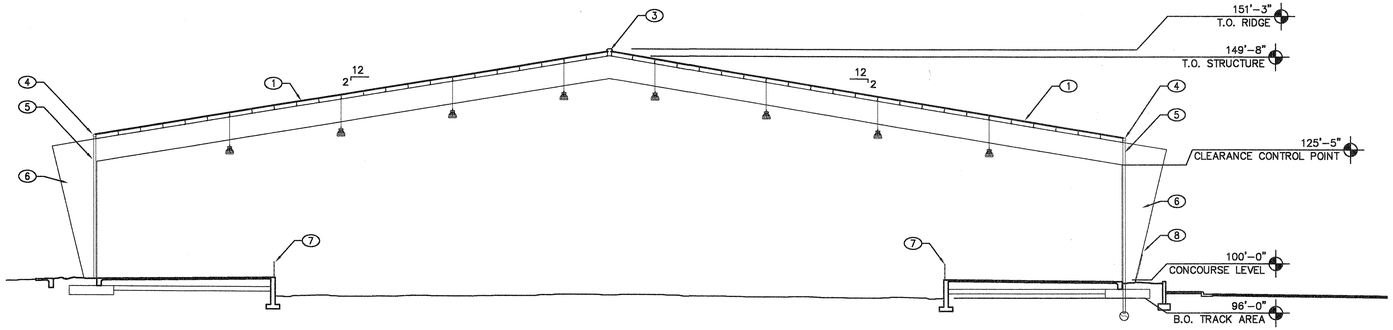
Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No. 7345-90
Zone Map No. L-15-Z
Sheet 6 Of 69
A301



1 A401 **SECTION**

SCALE: 1/16"=1'-0"



2 A401 **SECTION**

SCALE: 1/16"=1'-0" @ BLEACHERS

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7. STEEL HANDRAIL AROUND SUB-GRADE TRACK AREA
8. 8' CHAIN LINK FENCE ATTACHED TO OUTSIDE FACE OF STRUCTURAL STEEL FRAME

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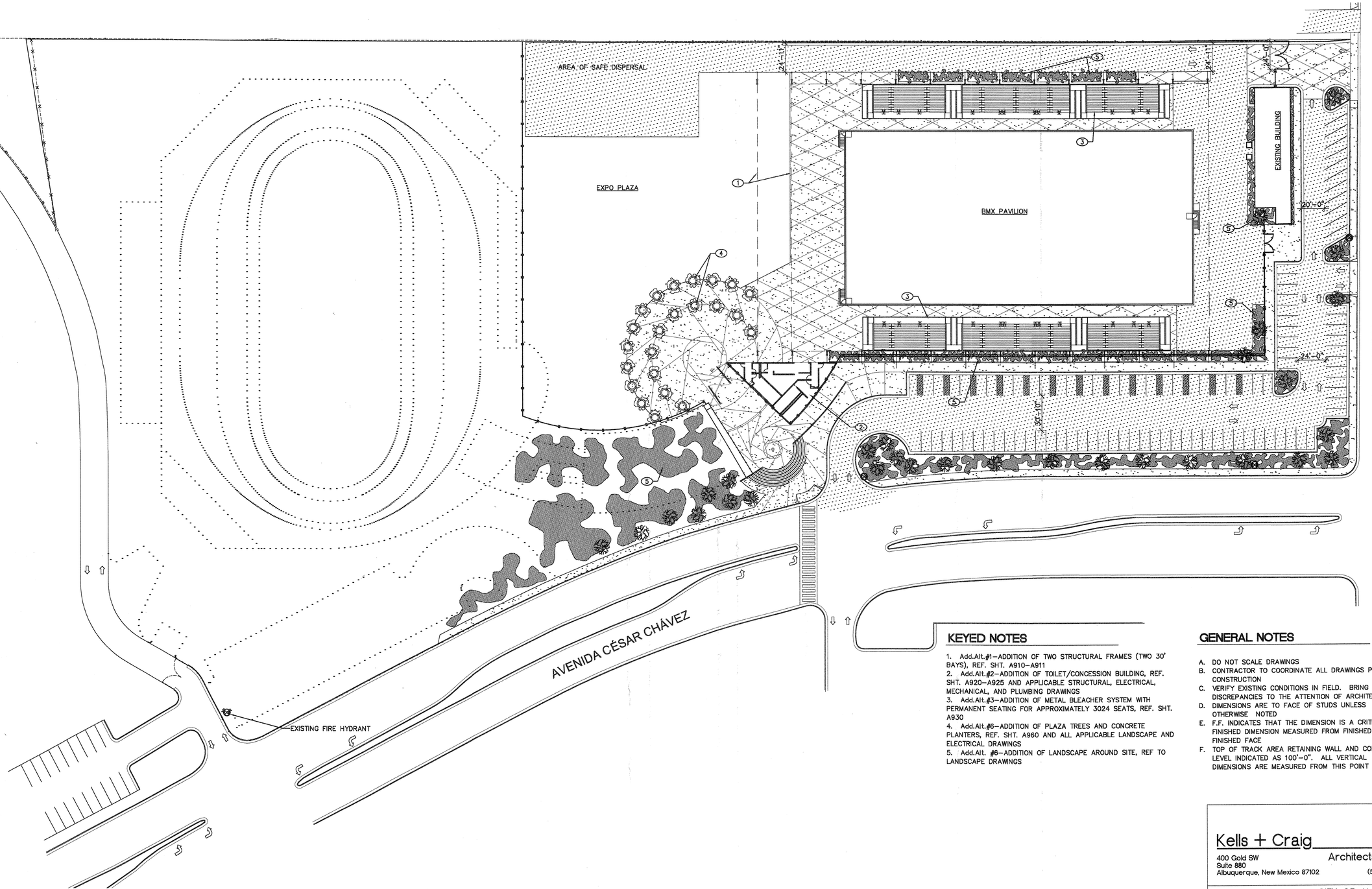
City Project No. 7345-90
Zone Map No. L-15-Z
Sheet 7 Of 69
A401



1 A900 **SITE PLAN**

SCALE: 1"=40'-0" ADD.ALT. #1-6

NORTH

KEYED NOTES

1. Add.Alt.#1–ADDITION OF TWO STRUCTURAL FRAMES (TWO 30' BAYS), REF. SHT. A910–A911
2. Add.Alt.#2–ADDITION OF TOILET/CONCESSION BUILDING, REF. SHT. A920–A925 AND APPLICABLE STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS
3. Add.Alt.#3–ADDITION OF METAL BLEACHER SYSTEM WITH PERMANENT SEATING FOR APPROXIMATELY 3024 SEATS, REF. SHT. A930
4. Add.Alt.#6–ADDITION OF PLAZA TREES AND CONCRETE PLANTERS, REF. SHT. A960 AND ALL APPLICABLE LANDSCAPE AND ELECTRICAL DRAWINGS
5. Add.Alt. #6–ADDITION OF LANDSCAPE AROUND SITE, REF TO LANDSCAPE DRAWINGS

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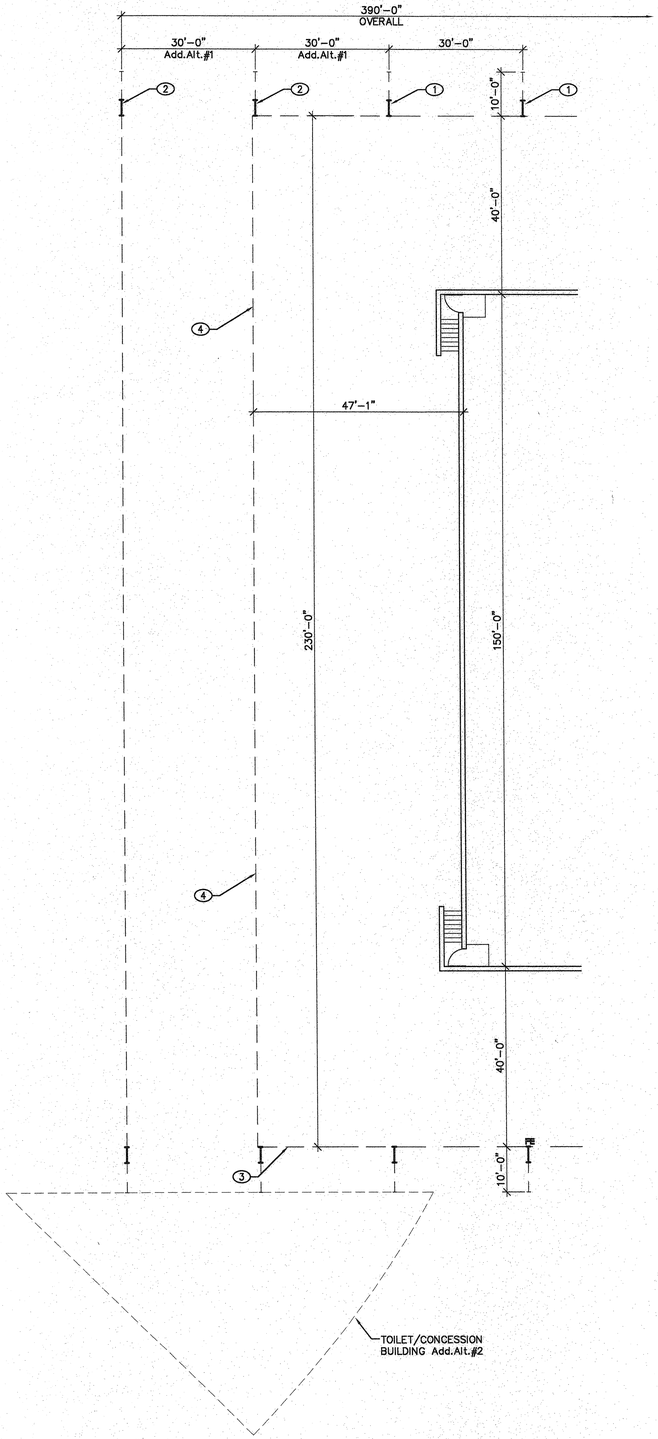
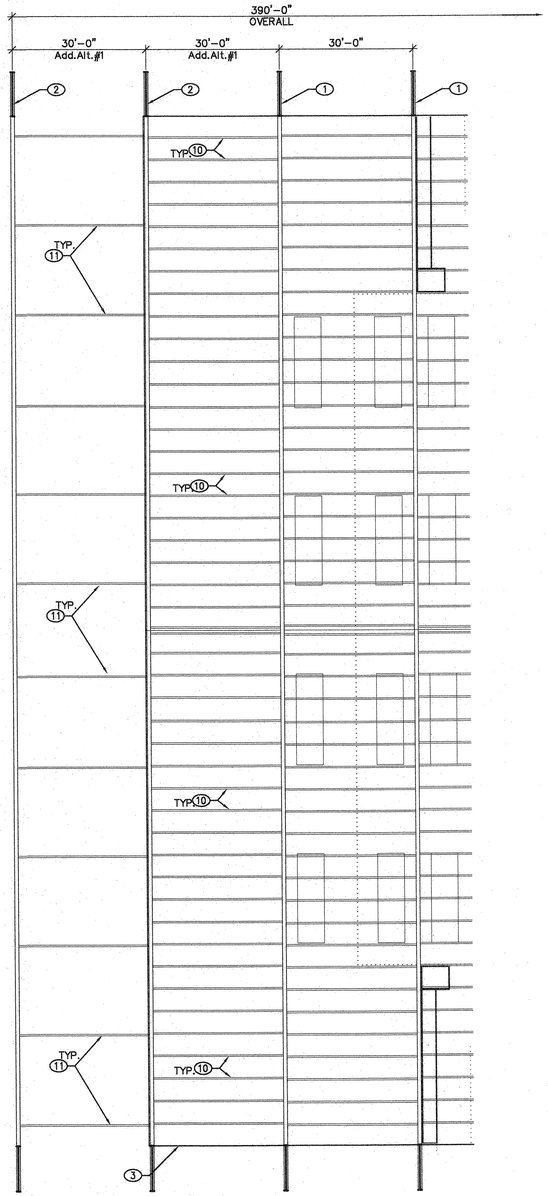
City Project No. 7345-90
Zone Map No. L-15-Z
Sheet 2 Of 69
A900



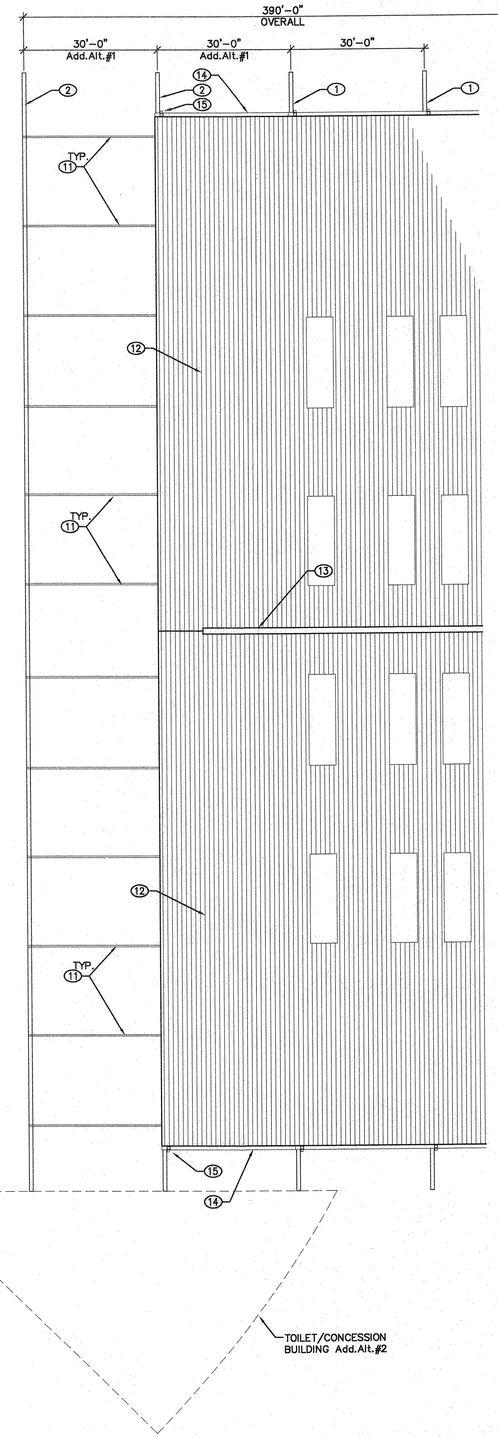
1 A910 FLOOR PLAN

SCALE: 1/16"=1'-0"



2 A910 REFLECTED CEILING PLAN

SCALE: 1/16"=1'-0"



1 A910 ROOF PLAN

SCALE: 1/16"=1'-0"

GENERAL NOTES

A. DO NOT SCALE DRAWINGS
B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO THE ATTENTION OF ARCHITECT
D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
E. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. STRUCTURAL STEEL FRAME, PART OF BASE BID.
2. STRUCTURAL STEEL FRAME, Add.Alt.#1, FACTORY PRIME AND FIELD TOUCH-UP
3. ALIGN EAVE OF ROOF STRUCTURE WITH INSIDE FACE OF STEEL FRAMES
4. EDGE OF ROOF RAKE ABOVE

5-9. not used

10. STEEL Z-PURLIN SIZE AND SPACING AS DETERMINED BY METAL BUILDING ENGINEER, FACTORY PRIME AND FIELD TOUCH-UP AS REQUIRED
11. LATERAL SUPPORT FOR EXPOSED FRAME, SIZE AND SPACING AS DETERMINED BY METAL BUILDING ENGINEER, FACTORY PRIME AND FIELD TOUCH-UP
12. PREFINISHED METAL ROOF PANEL, SLOPE 2:12
13. PREFINISHED RIDGE VENT BY METAL PANEL MANUFACTURE, COLOR TO MATCH ROOF PANEL
14. METAL GUTTER PREFINISHED TO MATCH ROOFING PANEL COLOR
15. PROVIDE PREFINISHED DOWNSPOUT, AND ATTACH MANUFACTURER'S HANGERS TO STEEL FRAME, REF. CIVIL FOR HARD PIPED CONNECTIONS

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
INSPECTOR'S APPROVAL DATE:
FIELD VERIFICATION BY DATE:
DRAWING CORRECTED BY DATE:
MICRO-FILM INFORMATION
RECORDED BY DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

TITLE:
ALBUQUERQUE BICYCLE PARK PH. 1

OCTOBER 4, 2005

Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No. 7345-90
Zone Map No. L-15-Z
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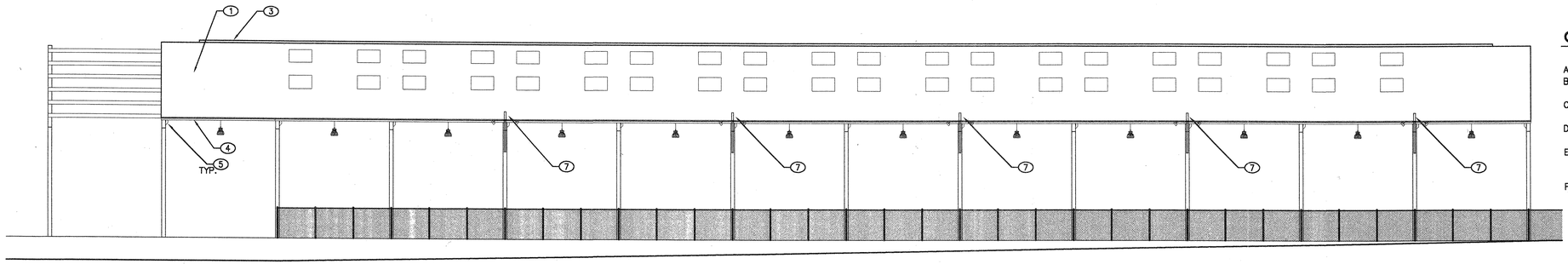
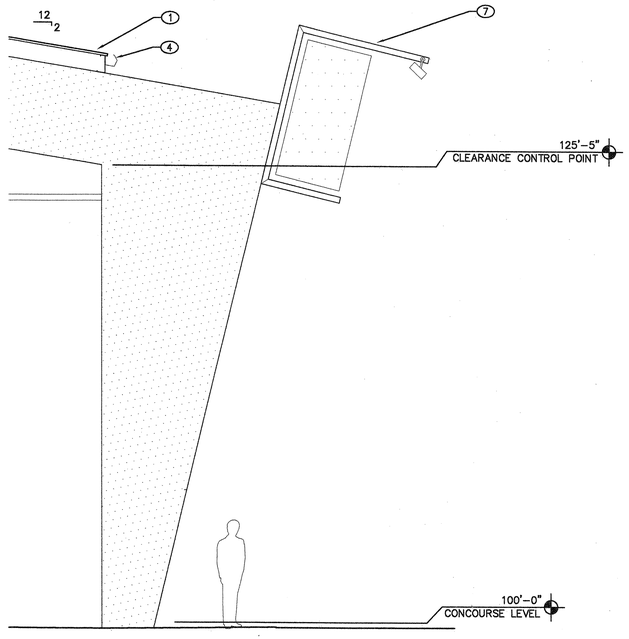


1 A301 **SOUTH ELEVATION**

SCALE: 1/16"=1'-0"



3 A301 **WEST ELEVATION**

SCALE: 1/16"=1'-0"

GENERAL NOTES

A. DO NOT SCALE DRAWINGS
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F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. PREFINISHED METAL ROOF PANEL, SLOPE 2:12
2. not used
3. PREFINISHED RIDGE VENT BY METAL PANEL MANUFACTURER, COLOR TO MATCH ROOF PANEL
4. METAL GUTTER PREFINISHED TO MATCH ROOFING PANEL COLOR
5. PROVIDE PREFINSIHED DOWNSPOUT, AND ATTACH MANUFACTURERS HANGERS TO STEEL FRAME, REF. CIVIL FOR HARD PIPED CONNECTIONS
6. STRUCTURAL STEEL FRAME, FACTORY PRIME AND FIELD TOUCH-UP
7. PROVIDE STEEL BRACKET FOR MOUNTING OF SIGNAGE, ATTACH TO STRUCTURAL FRAME ON SOUTH SIDE ONLY, REF. DTL. XX/A911

AS BUILT INFORMATION
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DRAWING CORRECTED BY — DATE:
MICRO-FILM INFORMATION
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BENCH MARK
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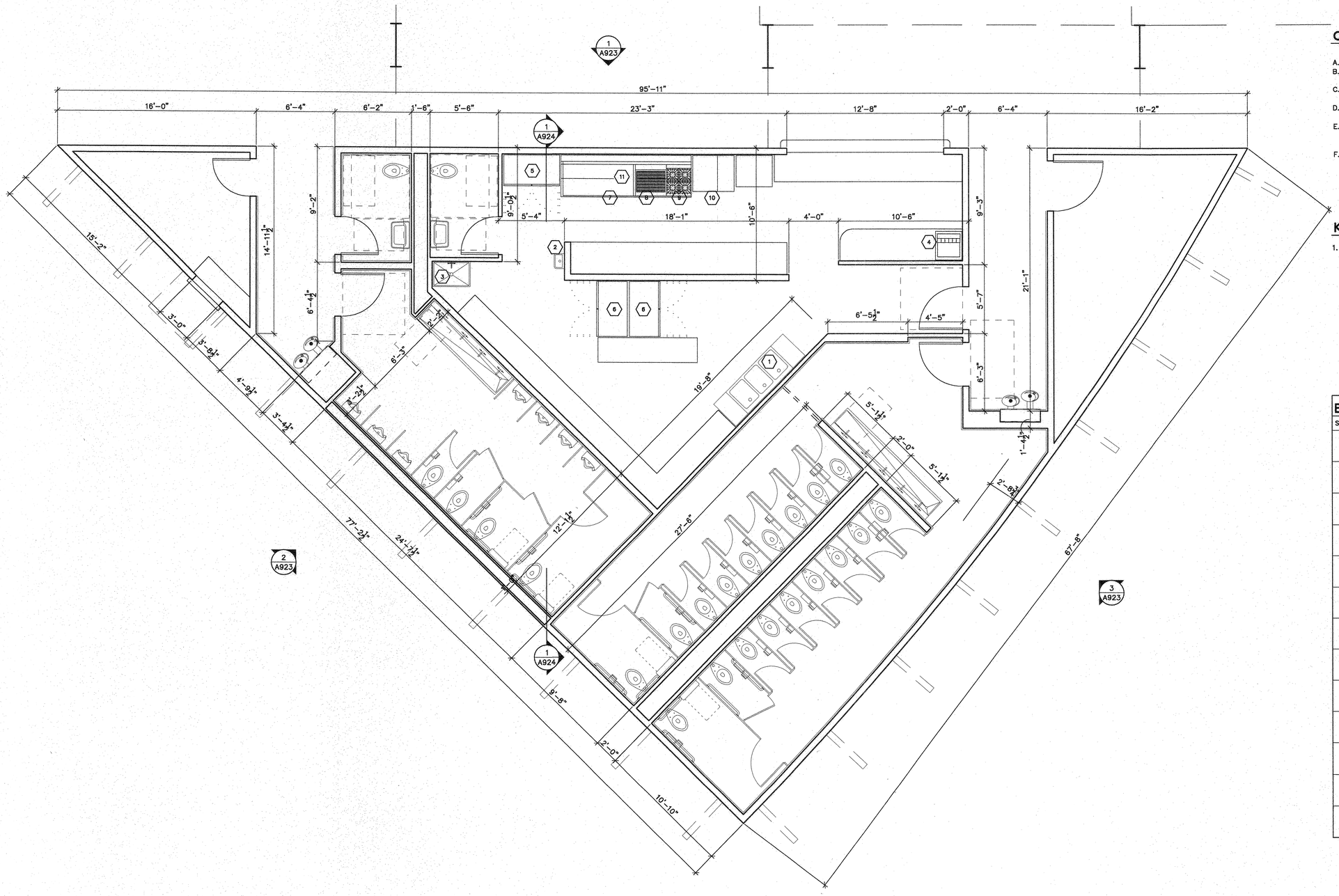
Design Review Committee	City Engineer Approval	Last Design Update	MO/DAY/YR.	MO/DAY/YR.

City Project No. 7345-90 | Zone Map No. L-15-Z | Sheet 6 Of 69

A911



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KEYED NOTES

1.

EQUIPMENT SCHEDULE (XX)

SYMBOL	DESCRIPTION
1	STAINLESS STEEL 3 COMPARTMENT SINK w/ 18" DRAIN BOARDS ON EACH SIDE. PROVIDE FLOOR SINK w/ 1" AIR GAP, AND IN-LINE GREASE TRAP.
2	STAINLESS STEEL 10"x14" WALL MOUNTED HANDWASHING SINK w/ HAND SOAP AND PAPER TOWEL DISPENSER
3	SMC PLASTIC COMPOSITE 24"x36" CURBED MOP SERVICE BASIN & WALL MOUNTED SERVICE FAUCET w/ VACUUM BREAKER
4	SOFTDRINK DISPENSING UNIT
5	STORAGE FREEZER
6	STORAGE REFRIGERATOR
7	GAS GRIDDLE
8	GAS CHAR BROILER
9	GAS 4 BURNER RANGE
10	FRYER AND FOOD WARMER
11	OVERHEAD CLASS 1 HOOD

1 A920 **FLOOR PLAN** — TOILET & CONCESSION
SCALE: 1/4"=1'-0" — ADD.ALT. #2

NORTH

AS BUILT INFORMATION
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BENCH MARK
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FIELD NOTES
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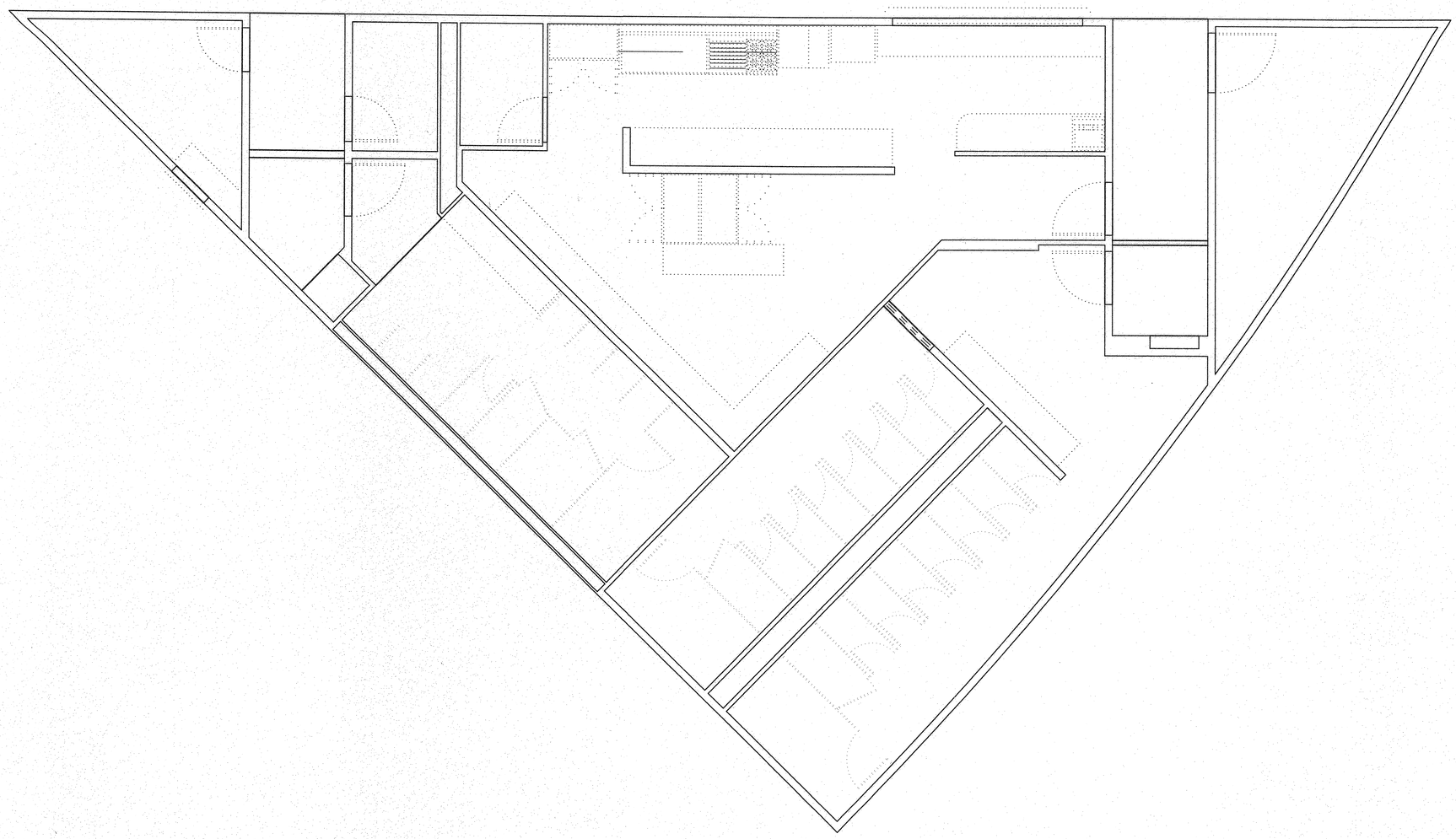
OCTOBER 4, 2005

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No. 7345-90 | Zone Map No. L-15-Z | Sheet 3 Of 69 | A920



1 A921 REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0" ADD.ALT. #2

NORTH

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KEYED NOTES

1.

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

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MICRO-FILM INFORMATION
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City Project No. 7345-90
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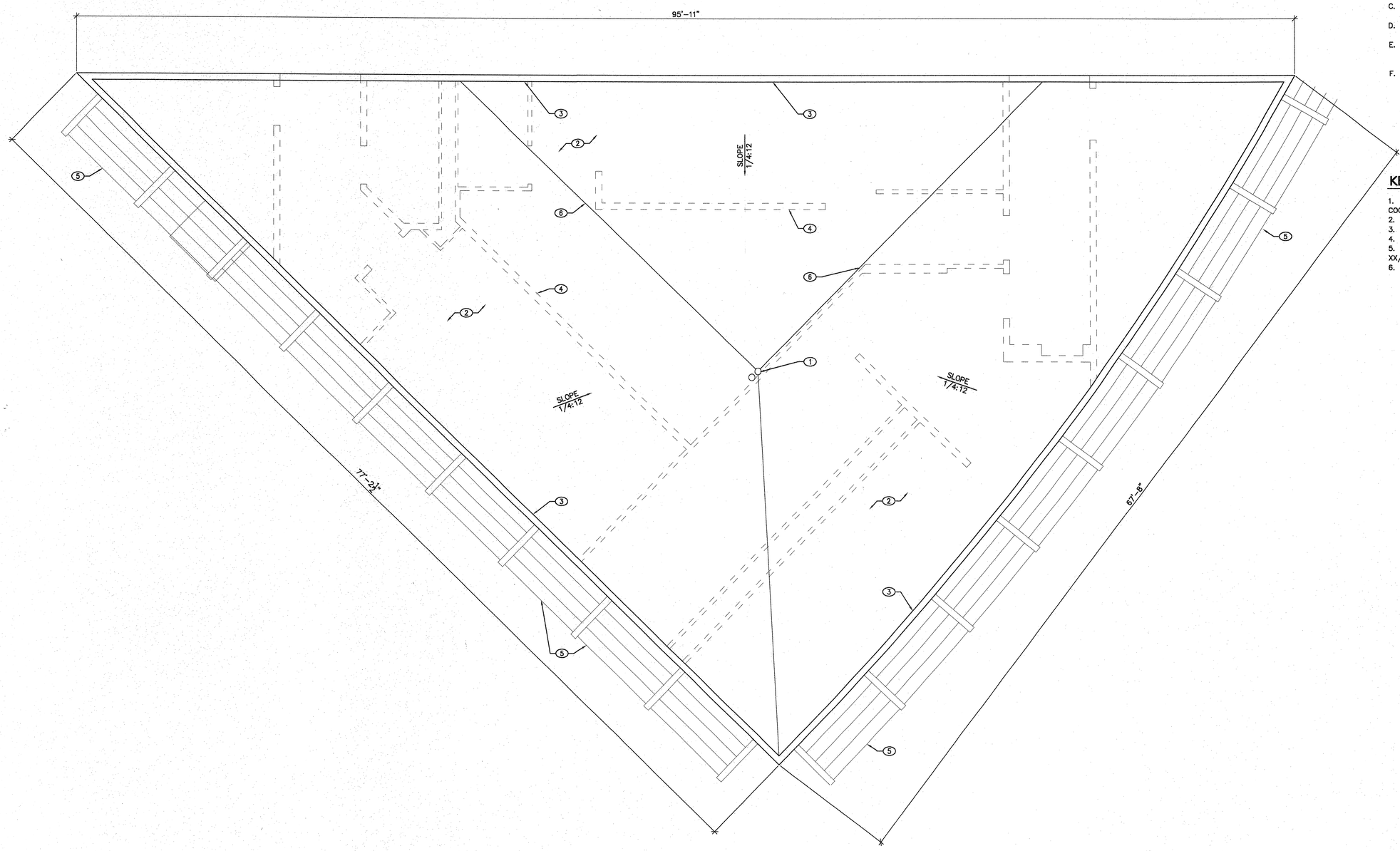
A921



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F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. CAST IRON ROOF DRAIN AND OVERFLOW DRAIN, COORDINATE WITH PLUMBING AND CIVIL DRAWINGS
2. TPO ROOF SYSTEM, SLOPE 1/4":12" TO DRAIN
3. STUCCO COVERED PARAPET
4. OUTLINE OF WALLS BELOW
5. STEEL BANNER HANGING STRUCTURE, REF. DTL. XX/A92X
6. VALLEY IN ROOF SLOPE

1 / A922 **ROOF PLAN** — TOILET & CONCESSION ADD.ALT. #2

SCALE: 1/4"=1'-0"

NORTH

AS BUILT INFORMATION
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MICRO-FILM INFORMATION
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BENCH MARK
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FIELD NOTES

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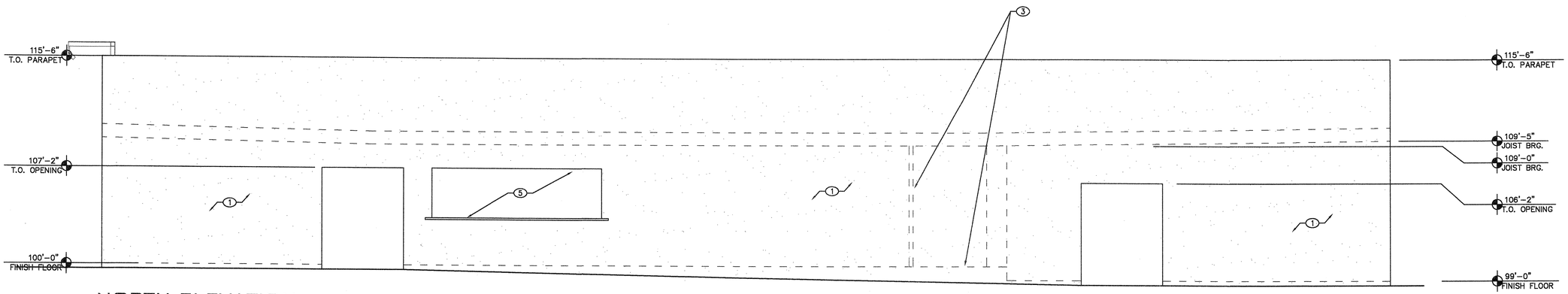
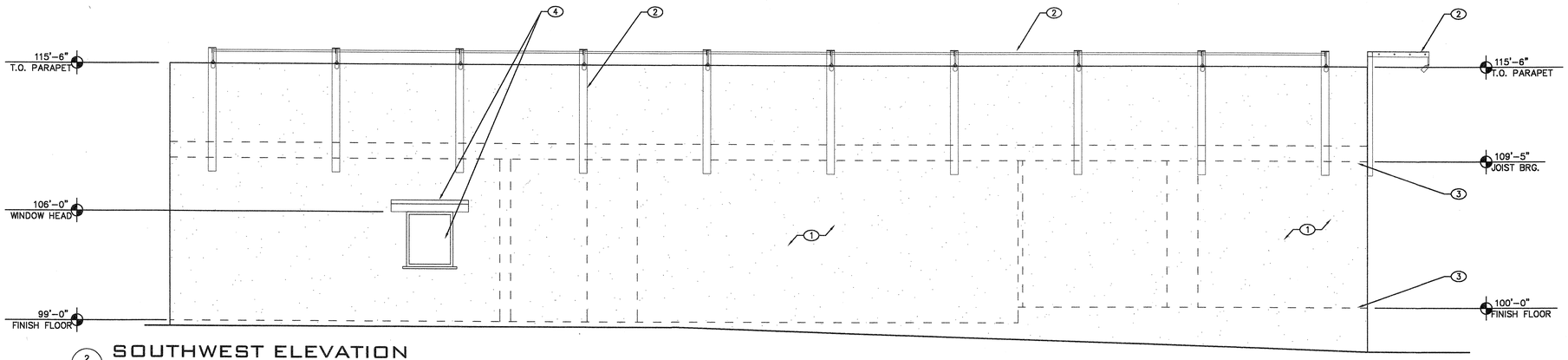
City Project No. 7345-90 | Zone Map No. L-15-Z | Sheet 3 Of 69 | A922



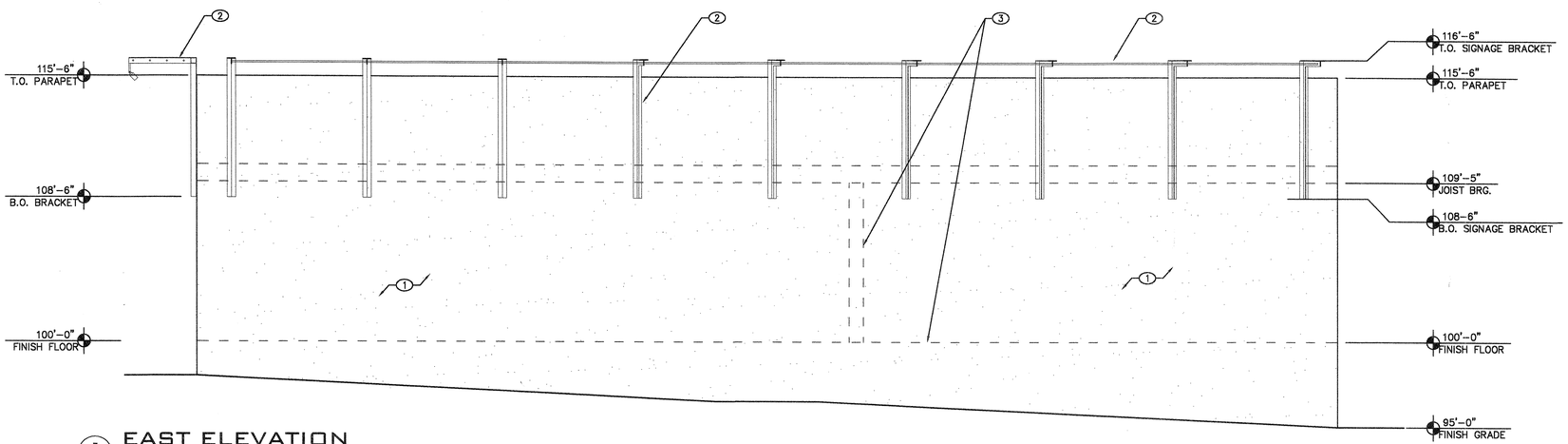
1 A923 **NORTH ELEVATION**

SCALE: 1/4"=1'-0" BUILDING A



2 A923 **SOUTHWEST ELEVATION**

SCALE: 1/4"=1'-0" BUILDING A



3 A923 **EAST ELEVATION**

SCALE: 1/4"=1'-0"

GENERAL NOTES

A. DO NOT SCALE DRAWINGS
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KEYED NOTES

1. PORTLAND CEMENT BASED 3 COAT STUCCO SYSTEM, PAINTED
2. CUSTOM FABRICATED STEEL BANNER DISPLAY SYSTEM, SHOP PRIMED & FIELD PAINTED
3. OUTLINE OF STRUCTURE BEYOND
4. TICKET SALES WINDOW WITH METAL CLAD RAIN PROTECTION OVERHANG
5. CONCESSION WINDOW

AS BUILT INFORMATION
CONTRACTOR DATE:
WORK STAKED BY DATE:
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BENCH MARK
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SURVEY INFORMATION
FIELD NOTES
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City Project No. 7345-90
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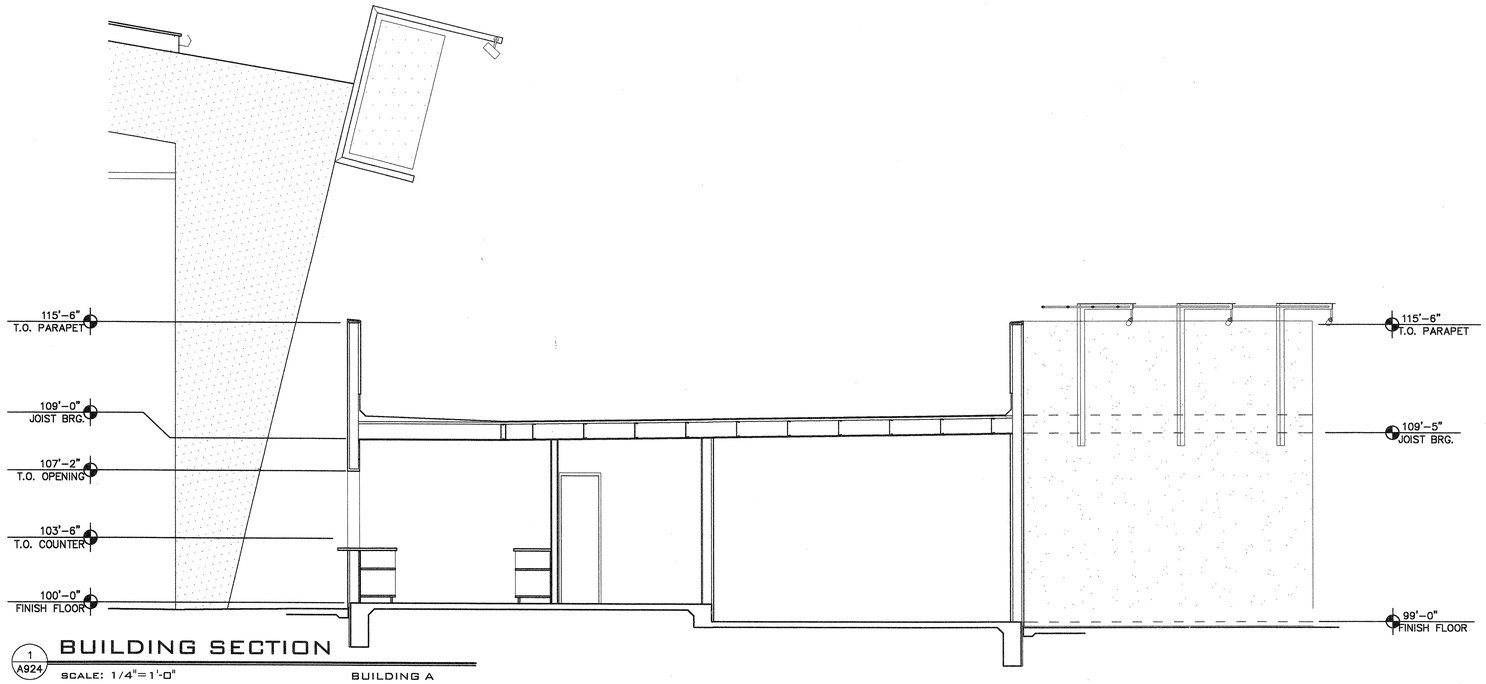
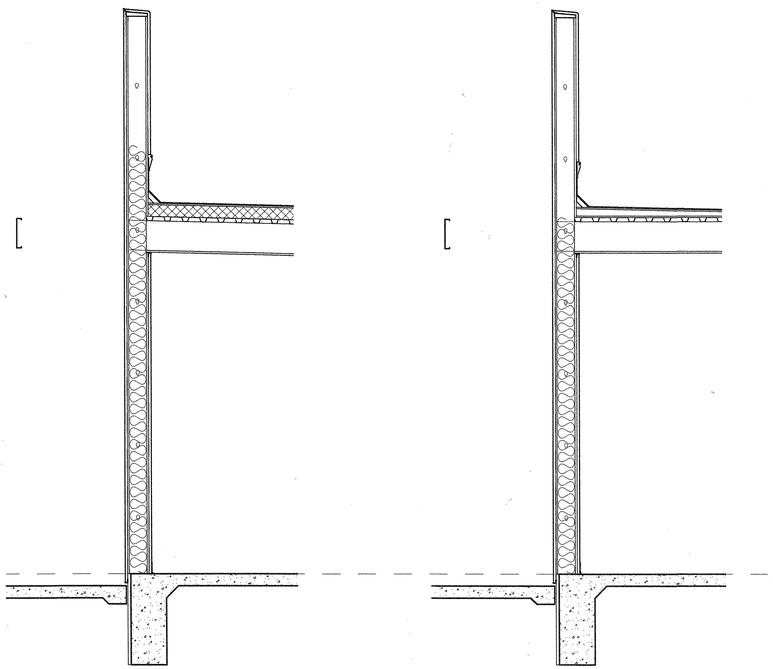


1 / A924 **BUILDING SECTION**

SCALE: 1/4"=1'-0"

BUILDING A



1 / A924 **WALL SECTION**

SCALE: 1/2"=1'-0"

1 / A924 **WALL SECTION**

SCALE: 1/2"=1'-0"

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KEYED NOTES

1.

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MICRO-FILM INFORMATION

NO.	RECORDED BY	DATE:

BENCH MARK
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SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

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Zone Map No. L-15-Z
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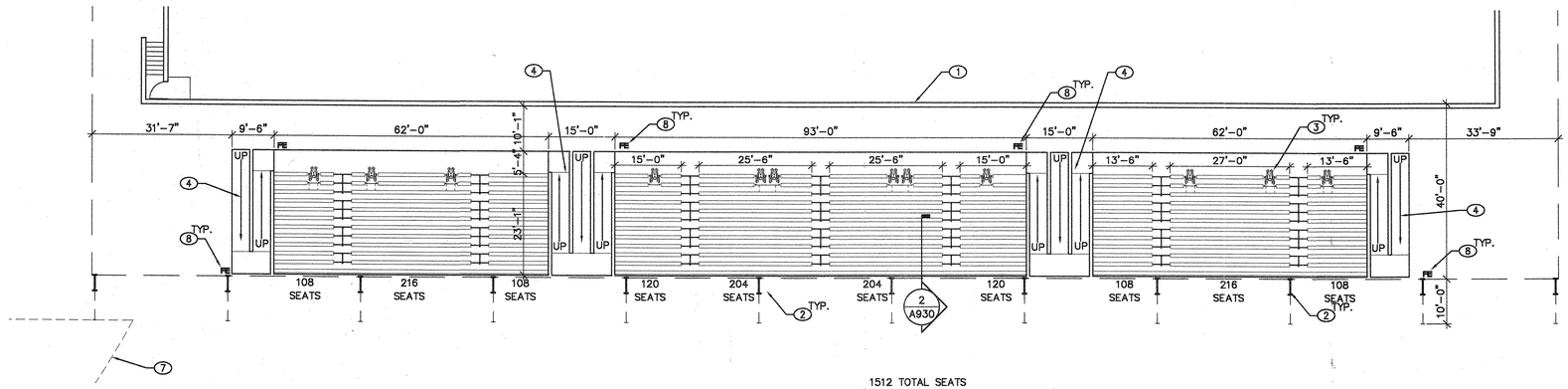
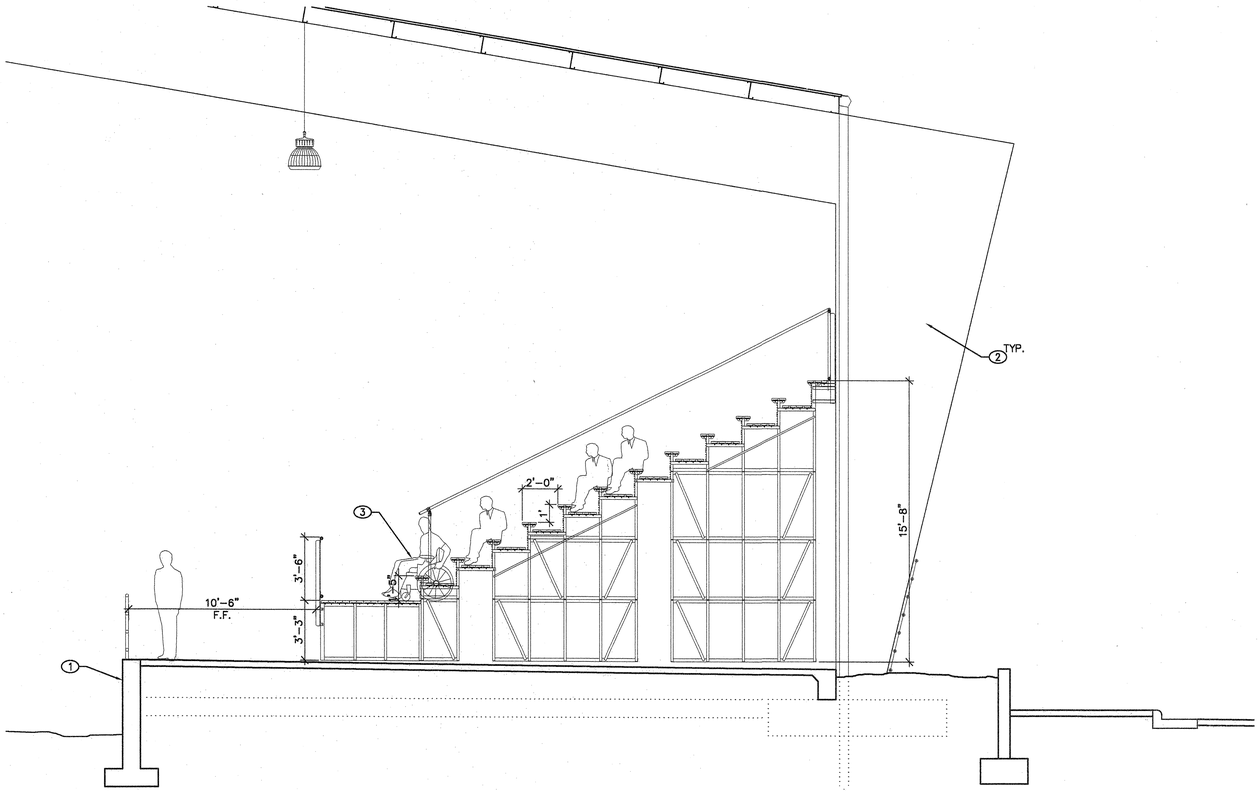


1512 TOTAL SEATS
EACH SIDE

1 A930 FLOOR PLAN

SCALE: 1/16"=1'-0"

NORTH



2 A930 SECTION

SCALE: 1/4"=1'-0"

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KEYED NOTES

1. 12" CAST IN PLACE CONCRETE RETAINING WALL, PART OF BASE BID
2. STRUCTURAL STEEL FRAME, PART OF BASE BID
3. PROVIDE 12 HC_WHEELCHAIR SPACES PER SIDE IN FIRST ROW OF BLEACHER SEATING. IT IS RESPONSIBILITY OF BLEACHER MANUFACTURER TO ENSURE BLEACHER CONSTRUCTION CONFORMS TO ALL APPLICABLE CODES INCLUDING 2003 IBC AND 2003 ANSI
4. HC ACCESSIBLE RAMP SLOPE 12:1 BY BLEACHER MANUFACTURER
5. not used
6. not used
7. LOCATION OF TOILET /CONCESSIONS BUILDING Add.Alt.#2
8. PROVIDE SURFACE MOUNTED WEATHER TIGHT FIRE EXTINGUISHER CABINET

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OCTOBER 4, 2005

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City Project No. 7345-90
Zone Map No. L-15-Z
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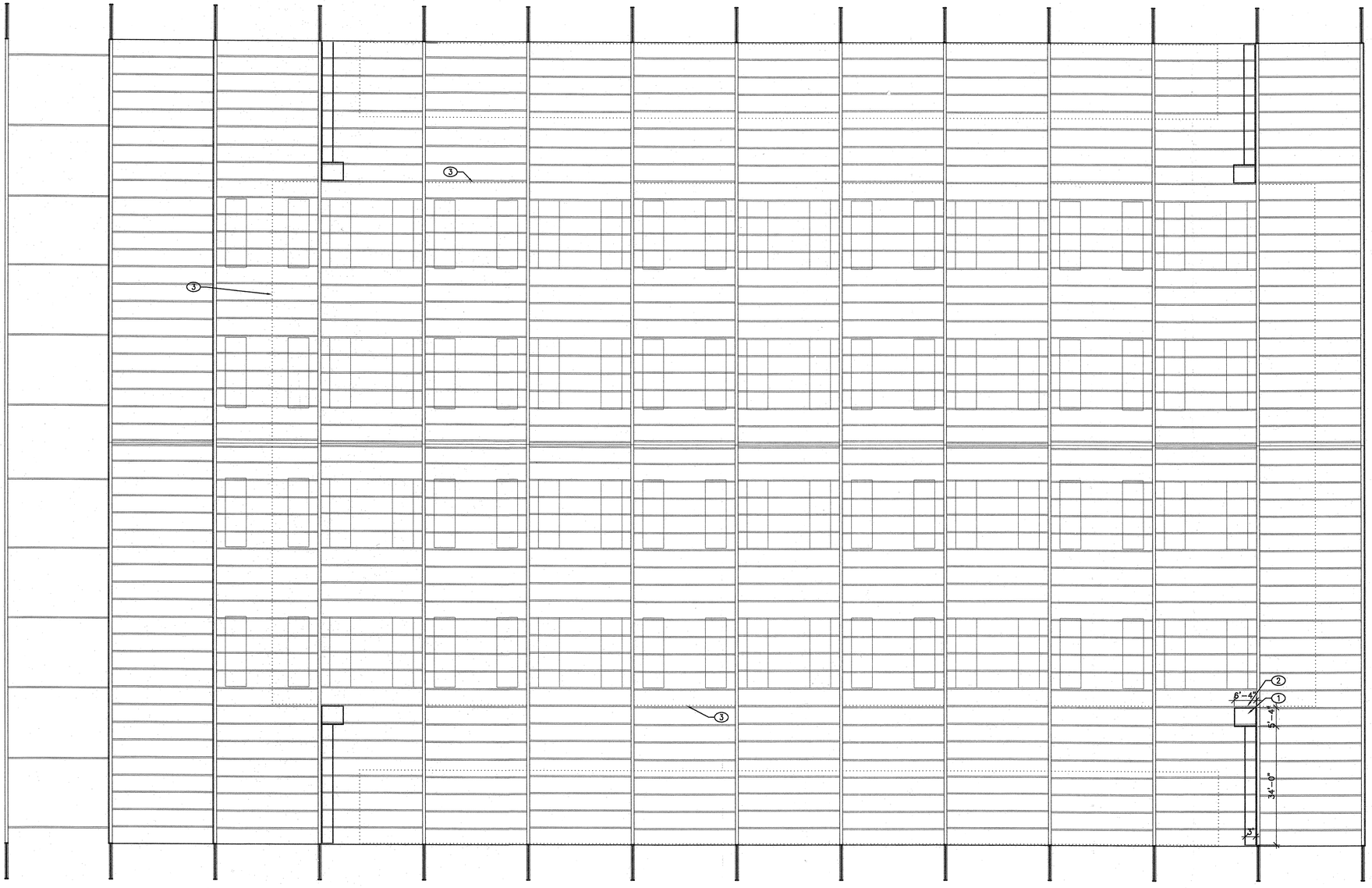
A930



GENERAL NOTES

A. DO NOT SCALE DRAWINGS
B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
C. VERIFY EXISTING CONDITIONS IN FIELD. BRING DISCREPANCIES TO THE ATTENTION OF ARCHITECT
D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
E. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. STEEL CATWALK AND CROW'S NEST STRUCTURE FOR CAMERA AND SPOTLIGHT POSITIONS. HANG FROM TUBE STEEL PURLINS OVERHEAD, REF. DTL. XX/A940
2. ALIGN CROW'SNEST WITH EDGE OF TRACK AREA RETAINING WALL
3. OUTLINE OF PIT BELOW

1 / A940 REFLECTED CEILING PLAN

SCALE: 1/16"=1'-0"

NORTH

AS BUILT INFORMATION
CONTRACTOR — DATE:
WORK STAKED BY — DATE:
INSPECTOR'S APPROVAL — DATE:
FIELD VERIFICATION BY — DATE:
DRAWING CORRECTED BY — DATE:
MICRO-FILM INFORMATION
RECORDED BY — DATE:
NO.

BENCH MARK
ALL ELEVATIONS ARE BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT: 7-L15

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

ARCHITECT'S STAMP

REVISIONS/REMARKS
NO. | DATE | BY

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

TITLE:
ALBUQUERQUE BICYCLE PARK PH. 1

OCTOBER 4, 2005

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City Project No. 7345-90
Zone Map No. L-15-Z
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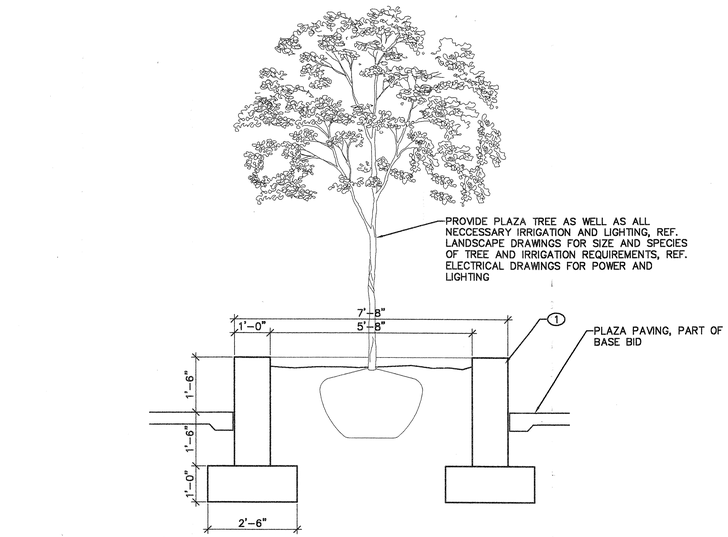
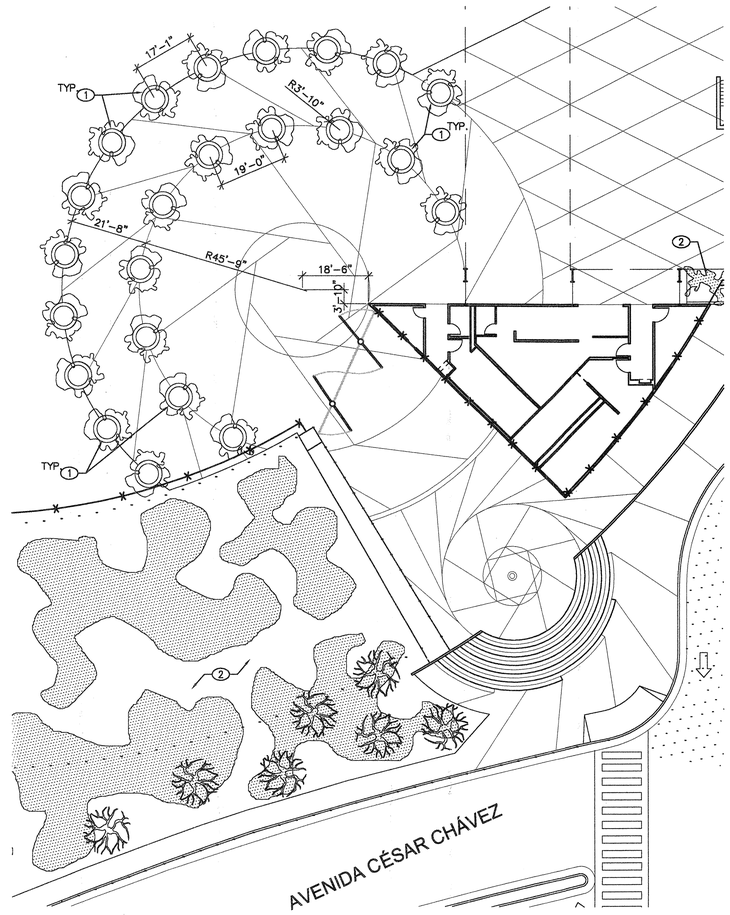


2 A960 **SITE PLAN**

SCALE: 1/2"=1'-0"



1 A960 **SITE PLAN**

SCALE: 1"=20'-0" ADD.ALT. #6

NORTH

GENERAL NOTES

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B. CONTRACTOR TO COORDINATE ALL DRAWINGS PRIOR TO CONSTRUCTION
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D. DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED
E. F.F. INDICATES THAT THE DIMENSION IS A CRITICAL FINISHED DIMENSION MEASURED FROM FINISHED FACE TO FINISHED FACE
F. TOP OF TRACK AREA RETAINING WALL AND CONCOURSE LEVEL INDICATED AS 100'-0". ALL VERTICAL DIMENSIONS ARE MEASURED FROM THIS POINT

KEYED NOTES

1. PROVIDE CAST INPLACE CONCRETE TREE PLANTER, REF. DTL. 2/A960
2. PROVIDE PLANTING AT STREET ENTRANCE AS WELL AS AROUND ARENA AND EXISITNG BUILDING, REF. LANDSCAPE DRAWINGS
3.

AS BUILT INFORMATION
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BENCH MARK
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SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

STAMP
ARCHITECTS STAMP

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TITLE:
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OCTOBER 4, 2005

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City Project No. 7345-90
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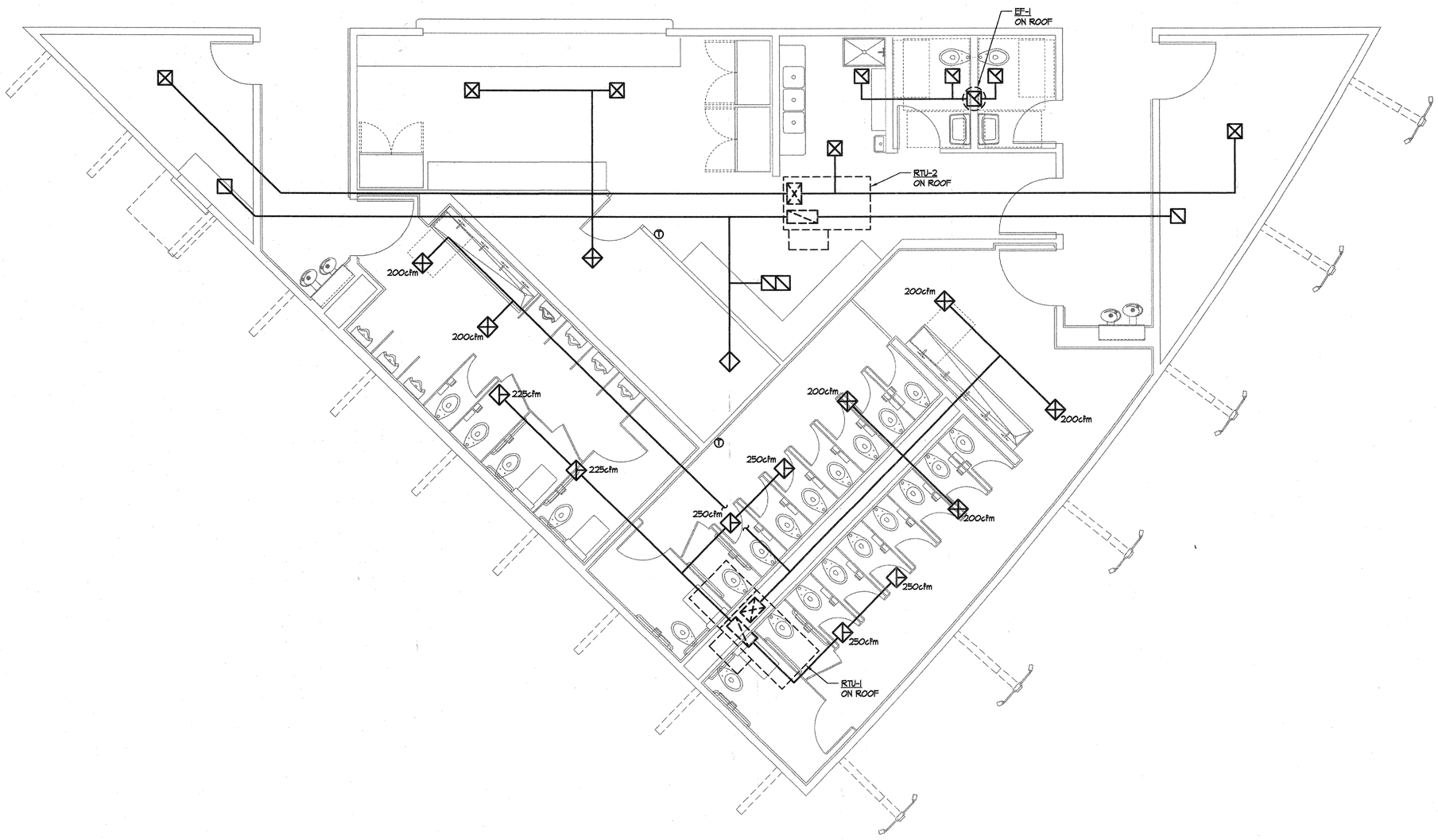

1 M1 HVAC PLAN

SCALE: 1/4"=1'-0"

NORTH

GENERAL NOTES

A -

KEYED NOTES ⬡

1 -

SYMBOL LEGEND

- SUPPLY DIFFUSER
- RETURN GRILLE
- EXHAUST GRILLE

EQUIPMENT SCHEDULE

RTU-1	ROOF TOP UNIT: CARRIER UNIT WITH HEAT RECOVERY (COBRA) UNIT.
RTU-2	ROOF TOP UNIT: CARRIER UNIT.
EF-1	EXHAUST FAN: GREENHECK UNIT.

AS BUILT INFORMATION
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SURVEY INFORMATION
FIELD NOTES
NO. BY DATE

ARCHITECTS STAMP

NO.	DATE	REVISIONS/REMARKS	BY
		DESIGNED BY: L FEIGHT	DATE: OCT 05
		DRAWN BY: S HAUGLAND	DATE: OCT 05
		CHECKED BY: -	DATE: -

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AUGUST 30, 2005

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City Project No.	Zone Map No.	Sheet - Of -
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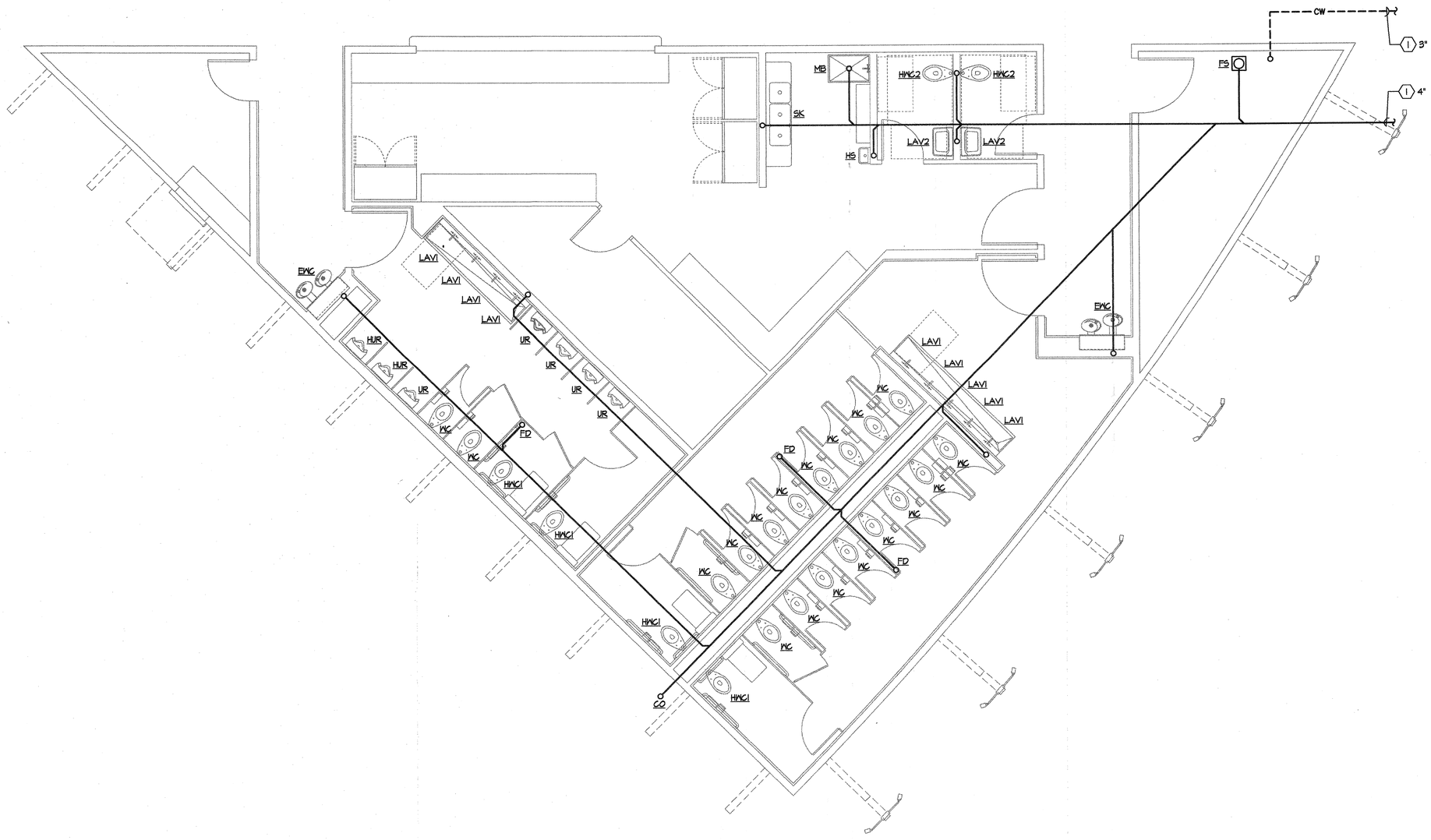

1/M2 PLUMBING PLAN

SCALE: 1/4"=1'-0"

NORTH

GENERAL NOTES

A -

KEYED NOTES

1 FOR CONTINUATION, SEE CIVIL.

FIXTURE SCHEDULE

HWC1	WATER CLOSET (ACCESSIBLE): WALL HUNG
HWC2	WATER CLOSET (ACCESSIBLE): FLOOR MOUNT
WC	WATER CLOSET: WALL HUNG
HUR	URINAL (ACCESSIBLE): WALL HUNG
UR	URINAL: WALL HUNG
LAVI	LAVATORY:
LAV2	LAVATORY:
SK	SINK:
HS	HAND SINK:
MB	MOP BASIN:
EWC	ELECTRIC WATER COOLER:
FS	FLOOR SINK:
FD	FLOOR DRAIN:
CO	CLEANOUT:

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SURVEY INFORMATION
FIELD NOTES

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AUGUST 30, 2005

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City Project No. 0001 | Zone Map No. L-15-Z | Sheet - Of - M2

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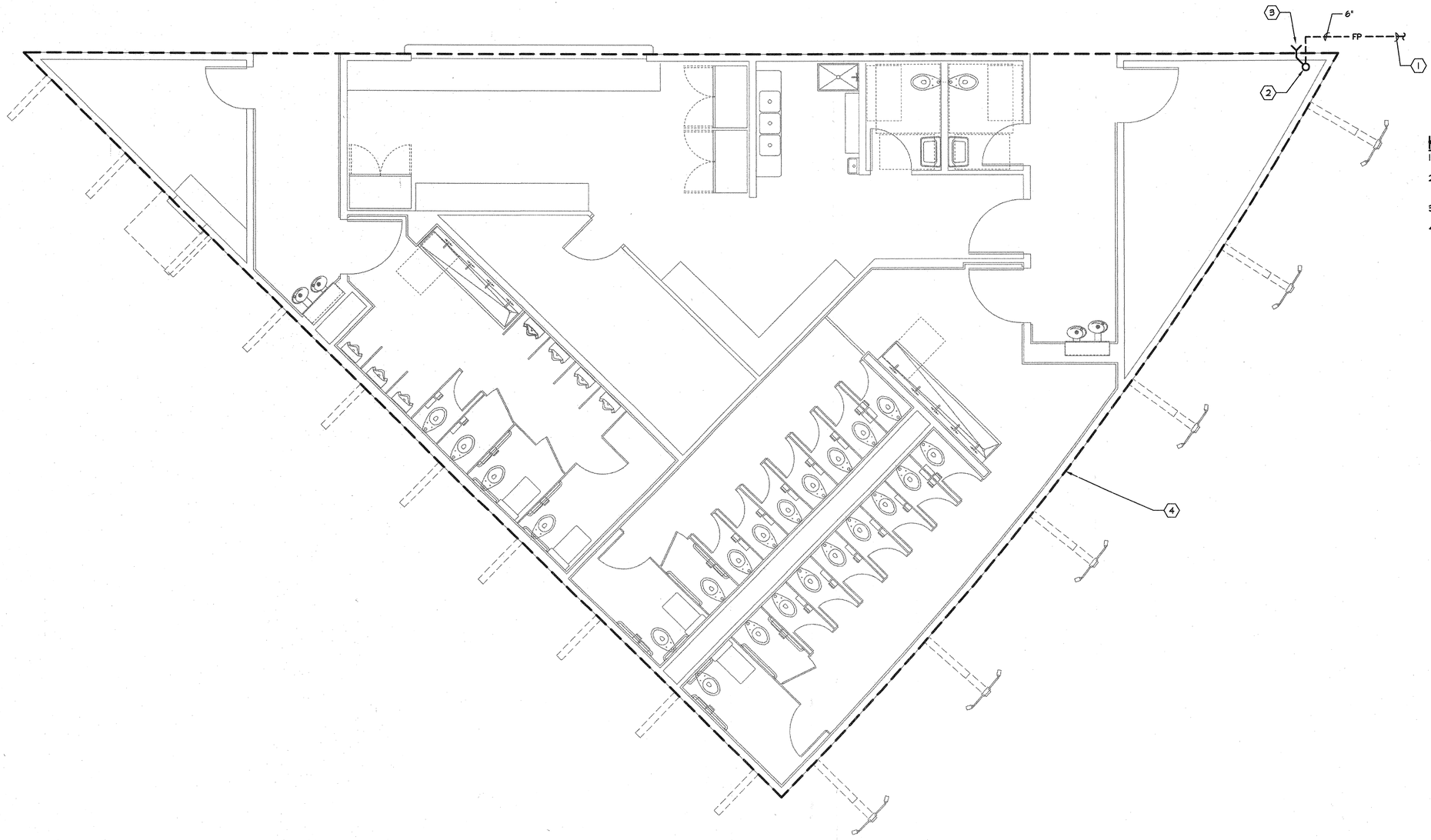

GENERAL NOTES

A -

KEYED NOTES ⬡

1 FOR CONTINUATION, SEE CIVIL.

2 FIRE RISER LOCATION. PROVIDE FEBCO MODEL 870V DOUBLE CHECK ASSEMBLY OR EQUAL.

3 FIRE DEPARTMENT CONNECTION.

4 PROVIDE A COMPLETE AUTOMATIC FIRE SPRINKLER SYSTEM INCLUDING A DOUBLE DETECTOR CHECK BACKFLOW PREVENTER, ALL REQUIRED EQUIPMENT, LABOR, AND MATERIALS NECESSARY FOR A COMPLETE AND OPERATIONAL SYSTEM. THE ENTIRE BUILDING IS TO BE SPRINKLED IN ACCORDANCE WITH NFPA 13. SPRINKLER SYSTEM TO BE INSTALLED BY A COMPETENT CONTRACTOR WHO WILL BE RESPONSIBLE FOR THE DESIGN AND SUBMITTAL OF SHOP DRAWINGS. NO WORK SHALL BEGIN UNTIL SHOP DRAWINGS HAVE BEEN APPROVED BY AUTHORITY HAVING JURISDICTION.

1 / FP1 FIRE PROTECTION PLAN

SCALE: 1/4"=1'-0"

NORTH

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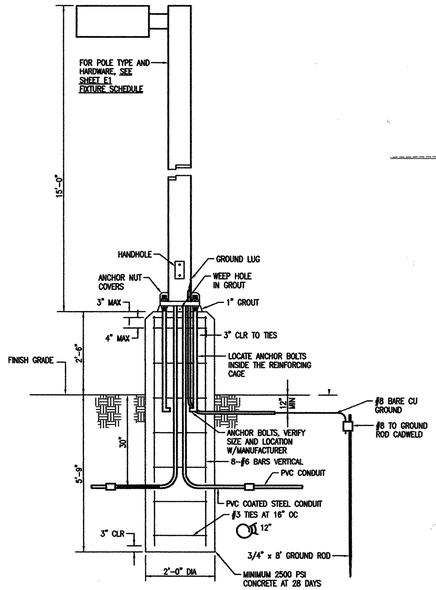
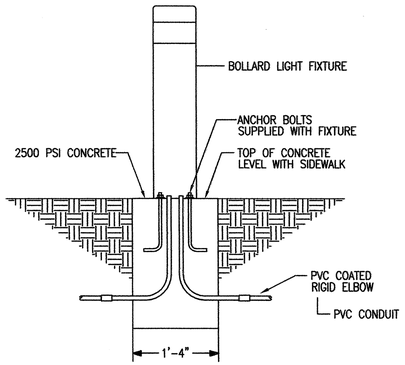
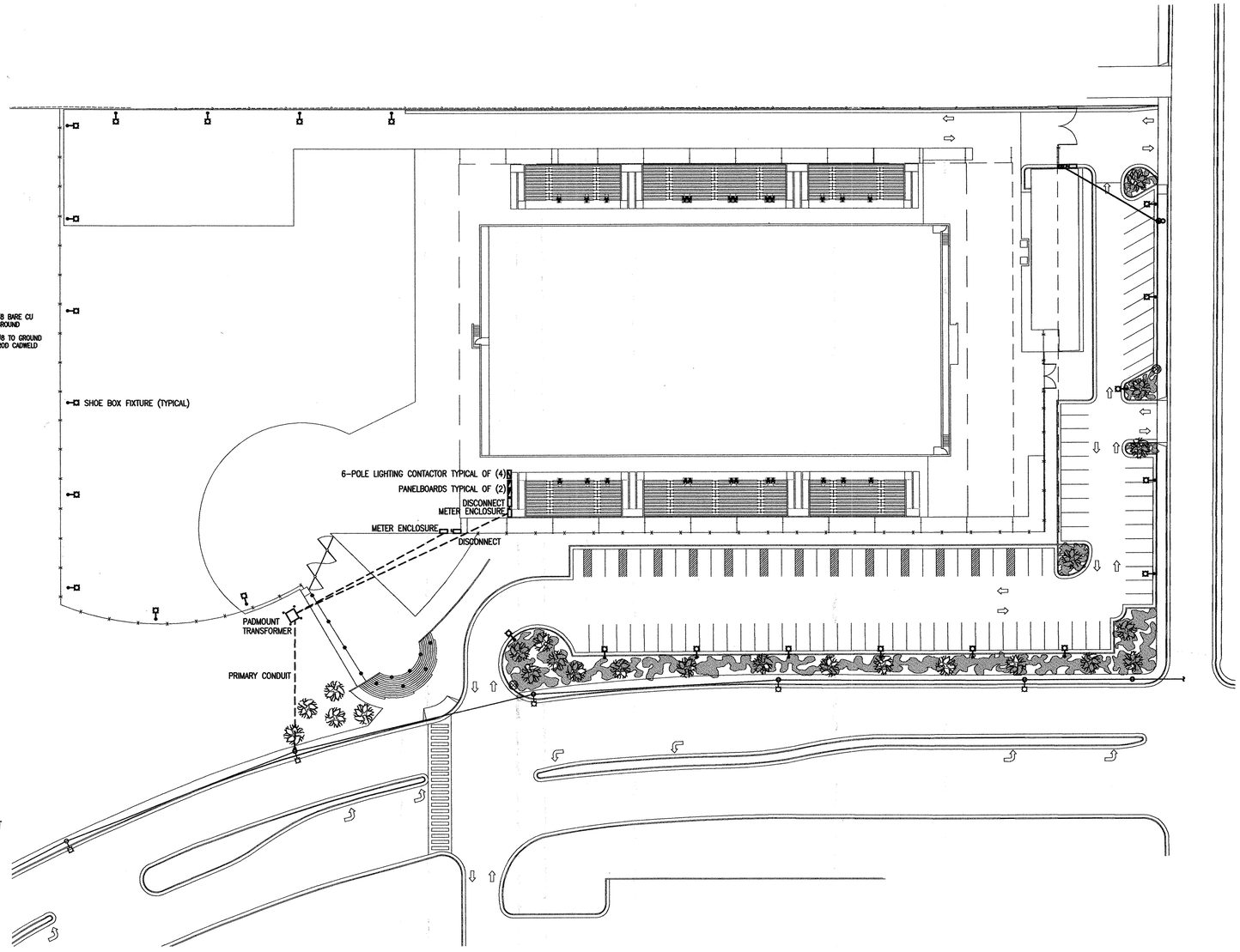
City Project No.	Zone Map No.	Sheet - Of -
0001	L-15-Z	FP1



TYPE P1 POLE MOUNT FIXTURE BASE



TYPE B1 BASE



1/E ELECTRICAL SITE PLAN
SCALE: 1"=10'

AS BUILT INFORMATION	
CONTRACTOR	DATE:
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INSPECTOR'S APPROVAL	DATE:
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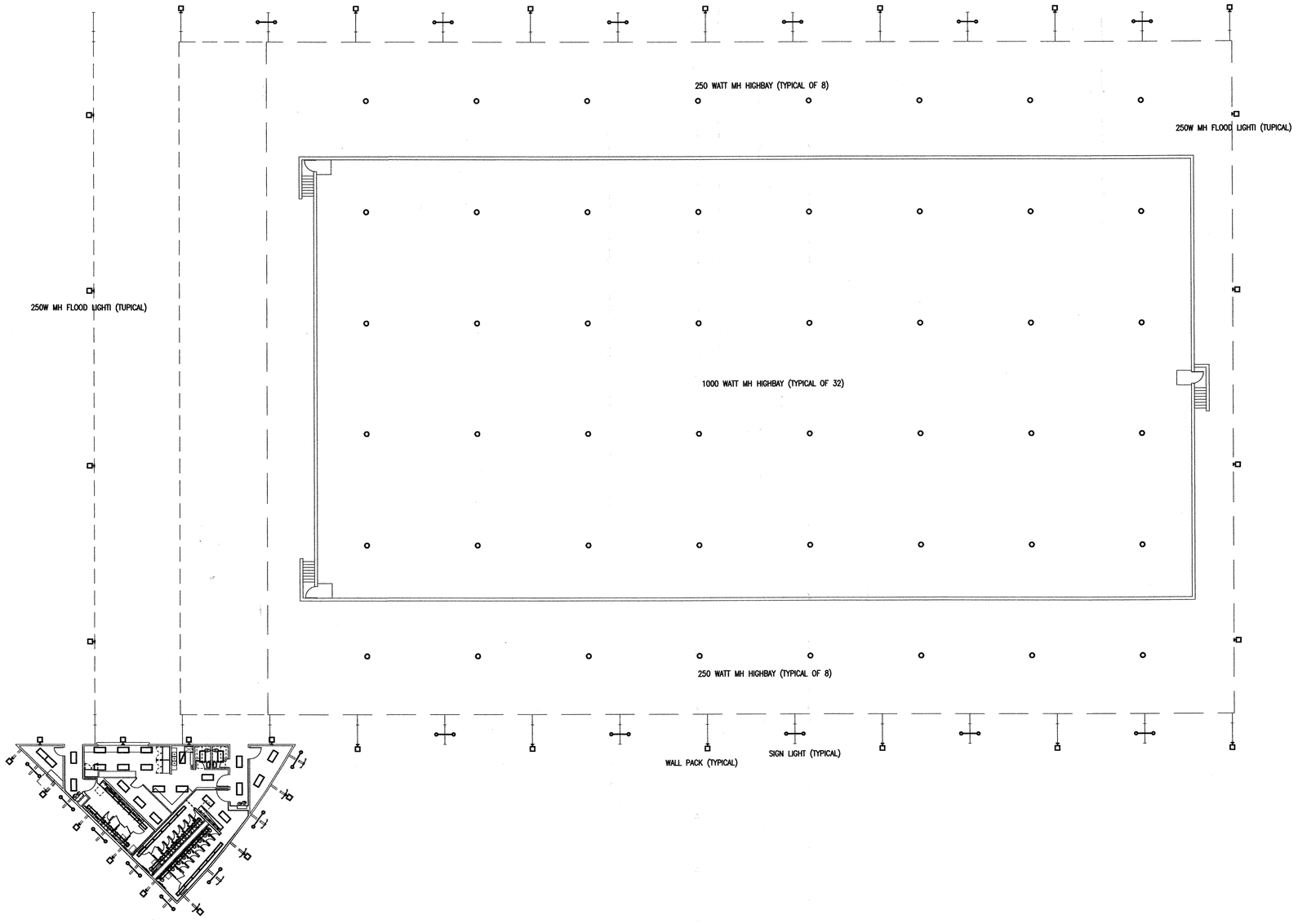

1/E LIGHTING PLAN
SCALE: 1"=10'

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