

CONSENSUS
PLANNING

PLANNING / LANDSCAPE ARCHITECTURE

ALBUQUERQUE, NM 87102

PROPERTY INFORMATION

PHASE 4 SITE AREA: 10.3 ACRES

INDEX OF DRAWINGS

- CALL BEFORE
YOU DIG!**
- STATEWIDE
1-800-321-ALERT
- ALBUQUERQUE
260-1990

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[illegible]

FINAL FOR CONSTRUCTION

VENTANA HATCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

PROJECT #73320/
MAY 2014

RECORD DRAWINGS

- 1 FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.
- 2 THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK. IN ORDER THAT THE CITY SURVEY SECTION MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS, THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, HAVE THE CITY SURVEY SECTION ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.
- 3 THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 7.
- 4 ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWS. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.
- 5 THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- 6 ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- 7 SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER IS CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
- 8 THE CONTRACTOR WILL REPLACE ANY STRIPPING THAT HAS BEEN RUINED OR REMOVED IN THE COURSE OF CONSTRUCTION.
- 9 ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 10 ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
- 11 THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.
- 12 WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
- 13 ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY. CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.
- 14 WHEN REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK IS REQUIRED, REMOVE BACK TO NEAREST SUITABLE JOINT UNLESS OTHERWISE DIRECTED BY THE CITY FIELD ENGINEER.
- 15 THE CONTRACTOR WILL NOTIFY THE NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.
- 16 CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.
- 17 CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.
- 18 ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.
- 19 CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.
- 20 CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.
- 21 ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.
- 22 MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
- 23 MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.
- 24 THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
- 25 ALL STRUCTURAL CONCRETE WILL BE 3000 PSI UNLESS OTHERWISE NOTED ON PLANS.
- 26 ALL REINFORCING STEEL WILL BE GRADE 60.
- 27 ALL EXPOSED EDGES ON CAST-IN-PLACE CONCRETE STRUCTURES WILL HAVE A 1" CHAMFER UNLESS OTHERWISE NOTED.
- 28 ALL SPLICES IN REINFORCING STEEL TO BE 2-FOOT 6-INCH MINIMUM UNLESS OTHERWISE NOTED.

- 29 PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- 30 THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.
- 31 TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.
- 32 THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 857-8025, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 33 ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.
- 34 PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- 35 ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.
- 36 THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
- 37 ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CITY OF ALBUQUERQUE PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 38 EXISTING MEDIAN CURB AND GUTTER AND STANDARD CURB AND GUTTER, NOT DISTURBED BY CONTRACTOR, BUT OUT OF ALIGNMENT, DISPLACED VERTICALLY, BADLY BROKEN AND/OR DETERIORATED, WILL BE REPLACED AS DIRECTED BY THE FIELD ENGINEER AND PAID FOR AT CONTRACT UNIT PRICES.
- 39 ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DRIVEWAY CLOSURES, UTILITY CONSTRUCTION OR FOR OTHER REASONS AND NOT SHOWN ON THE SIGNING PLANS WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.
- 40 ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES AND THESE SHORING, SHEETING, AND SUPPORTS ARE CONSIDERED INCIDENTAL TO THIS PROJECT. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL PROMPTLY BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.
- 41 THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.
- 42 ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- 43 STATIONS OF STORM DRAIN INLETS ARE TO THE CENTER OF GRATE. ALL STORM DRAIN INLETS WILL BE TYPE "A" UNLESS OTHERWISE NOTED ON THE PLANS.
- 44 SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.
- 45 THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- 46 ALL STORM DRAIN AND CONNECTOR PIPE WILL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
- 47 THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.
- 48 CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVED CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.
- 49 CONTRACTOR WILL CONSTRUCT TEMPORARY ASPHALT PAVEMENT AS DIRECTED BY THE FIELD ENGINEER TO PROVIDE ACCESS TO LOCAL BUSINESS, ETC. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF PRIOR TO PLACEMENT OF FULL WIDTH PAVEMENT SECTION. TEMPORARY PAVING SHALL BE PER COA STD. DWS. 2415 AND PAID FOR PER COA STD. SPECIFICATIONS.

- 50 ALL CLASSES OF SEEDING SHALL BE DRY LAND MIX PLACED AT 1.5 LBS/1000 S.F. WITH FERTILIZER 21-12-12 PLACED AT 5 LBS/1000 S.F.
- 51 ALL ASPHALTIC CONCRETE SHALL BE MINIMUM 1800 LB. STABILITY AND COMPACTED TO 95% MODIFIED MARSHALL DENSITY UNLESS OTHERWISE NOTED ON THE PLANS.
- 52 ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
- 53 ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 54 THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN.
- 55 FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- 56 CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- 57 CONTRACTOR SHALL ERECT TEMPORARY CHAIN LINK CONSTRUCTION FENCE. SUCH FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD AND REMOVED ONLY UPON FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
- 58 QUANTITIES PROVIDED ON THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE IN ALL CASES.

EXISTING FEATURES LEGEND:

- x — EXISTING T-POST/WIRE FENCE
- 2" HPG — EXISTING GAS LINE W/ VALVE
- 6" W — EXISTING WATERLINE W/ VALVE
- ⊗ EXISTING WATERLINE METER
- ⊕ EXISTING FIRE HYDRANT
- 6" SAS — EXISTING SANITARY SEWER LINE W/ MANHOLE
- 36" RCP — EXISTING STORM DRAIN
- OHE — EXISTING OVERHEAD ELECTRIC W/POLE
- UE — EXISTING UNDERGROUND ELECTRIC
- 44 — EXISTING 1' CONTOUR
- 4945 — EXISTING 5' CONTOUR
- ===== EXISTING CURB & GUTTER
- ===== EXISTING CONCRETE
- ===== EXISTING BUILDING LINE
- ===== EXISTING EASEMENT LINE

NEW FEATURES LEGEND:

- — — CONSTRUCTION CENTERLINE
- — — NEW CHAIN-LINK FENCE
- 6" W — NEW WATERLINE W/ VALVE
- ⊗ NEW WATERLINE METER
- ⊕ NEW FIRE HYDRANT
- 6" SAS — NEW SANITARY SEWER LINE W/ MANHOLE
- NEW STORM DRAIN W/ MH
- ★ NEW UTILITY POLE
- — — NEW 1' CONTOUR
- 4945 — NEW 5' CONTOUR
- ===== NEW CURB & GUTTER
- ===== NEW CONCRETE



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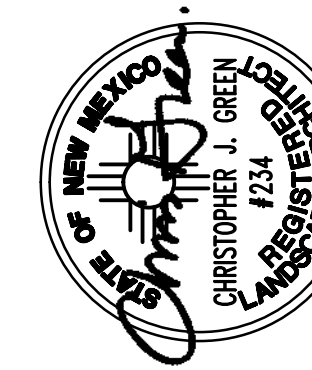
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CITY OF ALBUQUERQUE
PARKS AND RECREATION DEPARTMENT
STRATEGIC PLANNING AND DESIGN DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
GENERAL NOTES

Design Review Committee	City Engineer Approval	Last Design Update	Mo / Day / Yr.	

City Project No.	735207	Zone Map No.	B-10	Sheet	2	Of	25
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REMARKS	BY
REVISIONS	
DESIGN	
DATE 02/14	
DATE 02/14	
DATE 02/14	

AS-BUILT INFORMATION					
CONTRACTOR		DATE		DATE	
STARTED BY		INSPECTOR'S		DATE	
FIELD VERIFICATION BY		DATE		DATE	
CORRECTED BY		DATE		DATE	
MICRO-FILM INFORMATION					
RECORDED BY		DATE		DATE	
NO.					

BENCH MARKS

SURVEY INFORMATION

FIELD NOTES

NO. BY DATE

ENGINEER'S SEAL

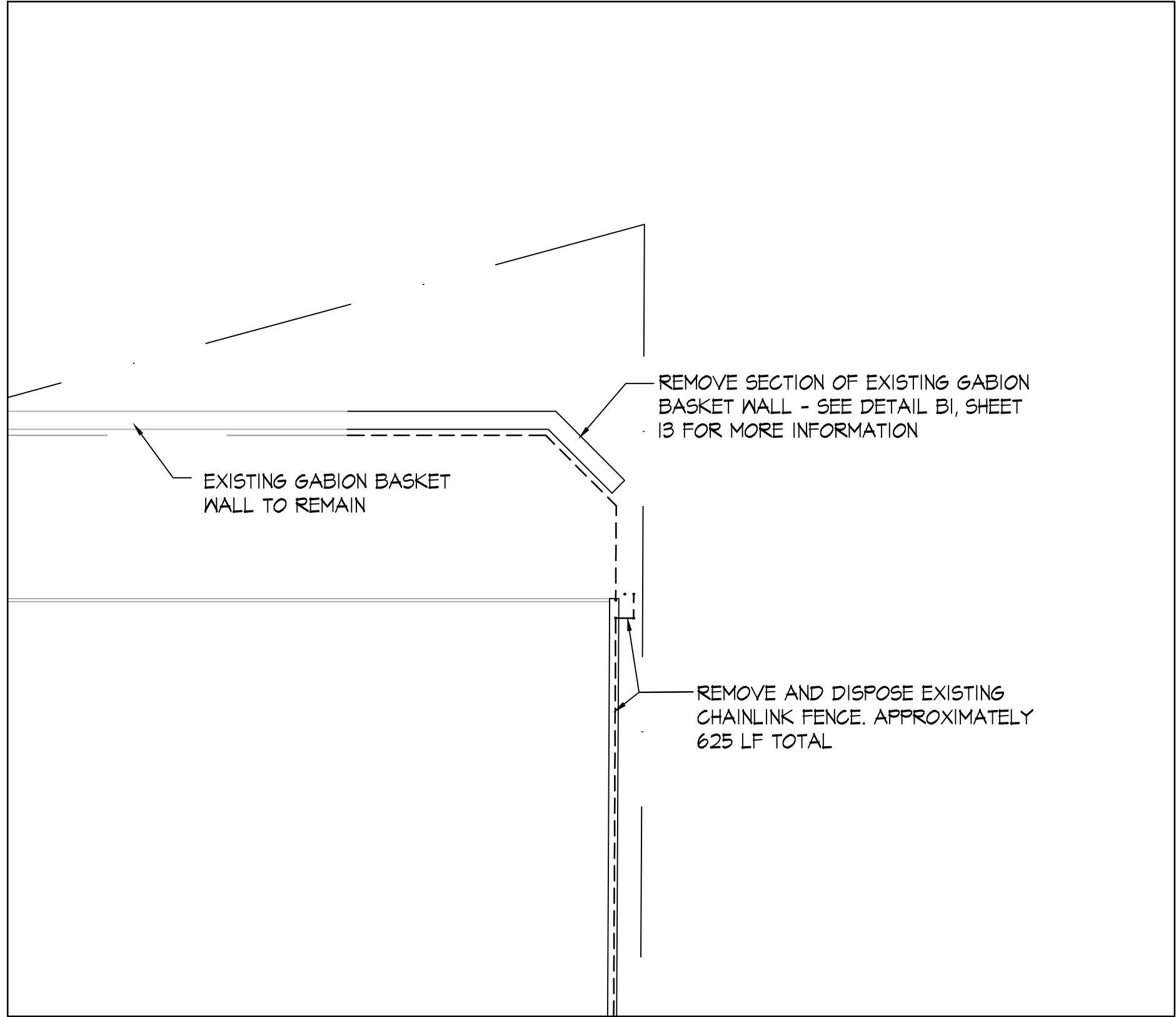
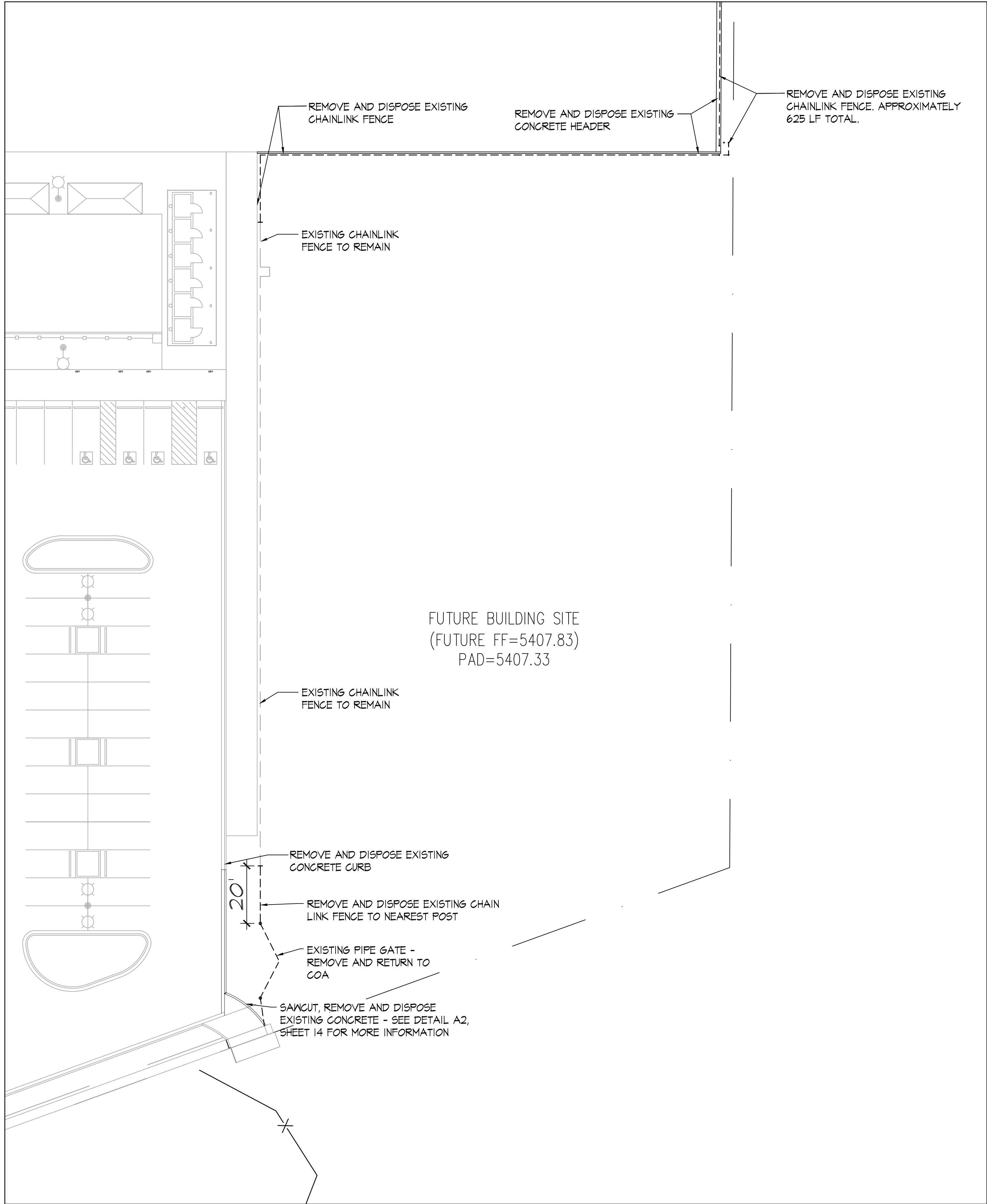
RECORD DRAWINGS


VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

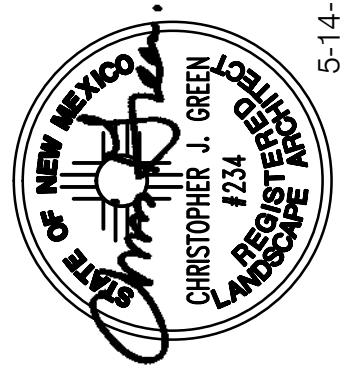
PROJECT #735207
MAY 2014

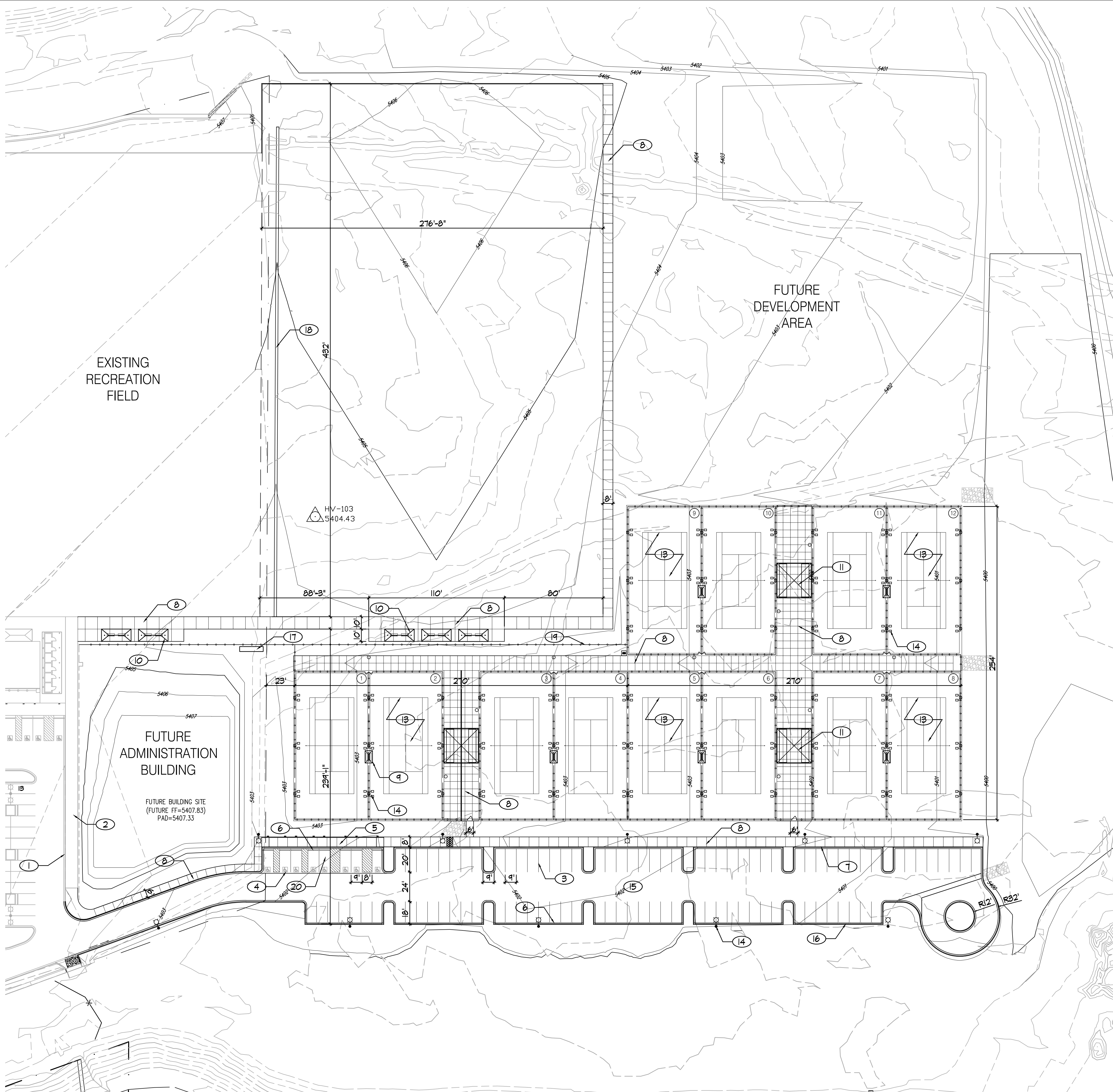
FINAL FOR CONSTRUCTION





 CONSENSUS PLANNING, INC. Planning / Landscape Architecture 302 Eighth Street NW Albuquerque, NM 87102 (505) 764-9801 Fax 842-5495 e-mail: cp@consensusplanning.com		CITY OF ALBUQUERQUE PARKS AND RECREATION DEPARTMENT STRATEGIC PLANNING AND DESIGN DIVISION	
TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4 DEMOLITION PLAN			
Design Review Committee	City Engineer Approval	REVISIONS	
		NO.	DATE
City Project No. 735207		Zone Map No. B-10	Sheet 3 Of 25

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES				CONTRACTOR	
		NO.	BY	DATE	STARTED BY	DATE	
					INSPECTOR'S	DATE	
					FIELD VERIFICATION BY	DATE	
DESIGNED BY CG						MICRO-FILM INFORMATION	
DRAWN BY MA						RECORDED BY	
CHECKED BY CG						NO.	



GENERAL NOTES

- A CONTRACTOR TO REVIEW AND COORDINATE ALL CONTRACT DOCUMENTS.
B CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
C CONTRACTOR TO REFER TO ANNOTATED DIMENSIONS ONLY. CONTRACTOR NOT TO SCALE OFF DRAWINGS.
D LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE, TYP.
E ALL SCREENED OR DASHED LINEWORK REPRESENTS EXISTING FEATURES OR FUTURE IMPROVEMENTS THAT ARE NOT IN CONTRACT (N.I.C.)

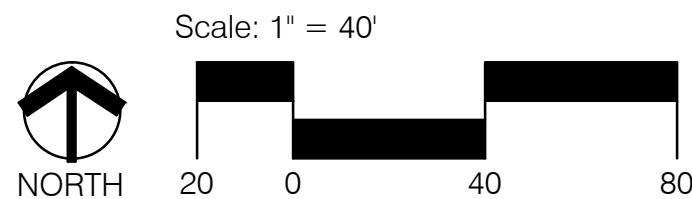
KEYED NOTES

- 1 EXISTING CURB AND GUTTER TO REMAIN.
2 EXISTING SIDEWALK TO REMAIN.
3 PAINTED PARKING LOT STRIPING (WHITE, 4" WIDTH).
4 PAINTED ACCESSIBLE PARKING SYMBOL/STRIPING.
5 DEPRESSED CONCRETE SIDEWALK FLUSH W/HC PARKING ACCESS POINTS.
6 8" CONCRETE PARKING BARRIER PER DETAIL 2, SHEET 8.
7 MEDIAN CURB AND GUTTER PER COA DWG 2415B.
8 CONCRETE SIDEWALK (4" THICKNESS UNLESS OTHERWISE NOTED- WIDTH VARIES) PER DETAIL 4, SHEET 8.
9 6' x 10' SHADE STRUCTURE. SEE SITE AMENITIES LEGEND.
10 10' x 24' SHADE STRUCTURE. SEE SITE AMENITIES LEGEND.
11 28' x 28' SHADE STRUCTURE WITH BLEACHERS, SEE SITE AMENITIES LEGEND, SHEET 6. (ADD ALTERNATE #2)
12 DRINKING FOUNTAIN ON 4'x4' CONCRETE PAD, SEE SITE AMENITIES LEGEND.
13 TENNIS COURTS (POST TENSIONED CONCRETE). SEE DETAILS, SHEET 9, 10 AND 11.
14 LIGHT FIXTURE, SEE ELECTRICAL PLANS.
15 4" LAYER OF BASE COURSE. (SEE ADD ALTERNATE #1)
16 HEADER CURB PER DETAIL 3, SHEET 8.
17 NEW ELECTRICAL TRANSFORMER/PANEL BOARD, SEE ELECTRICAL PLANS.
18 CONCRETE VALLEY GUTTER, SEE CIVIL.
19 6' CHAIN LINK FENCE PER COA DWG. 2252.
20 REINFORCED CONCRETE HC PARKING SPACES, SEE DETAIL 7, SHEET 8.

ADDITIVE ALTERNATES

ADD. ALT. #1
BASE BID - PARKING LOT SURFACE SHALL BE 4" LAYER OF BASE COURSE.
ALTERNATE - PAVE PARKING LOT WITH 3" LIFT OF TYPE C ASPHALT, AND STRIPING PER PLAN.

ADD. ALT.#2
ALTERNATE - INSTALLATION OF (3) 28' SQ. SHADE STRUCTURES AND (6) BLEACHERS AS DESCRIBED ON THE PLANS.



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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
OVERALL SITE CONSTRUCTION PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo / Day / Yr.	
City Project No.	Zone Map No.	Sheet	4	25

735207

B-10

4

25



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5-14-14

AS-BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	DATE

BENCH MARKS

RECORD DRAWINGS

PROJECT #735207

MAY 2014

VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

FINAL FOR CONSTRUCTION



City Project No.	735207	Zone Map No.	B-10	Sheet	5	Of	25
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RECORD DRAWINGS

SITE AMENITIES LEGEND

QUANTITY	SYMBOL	DESCRIPTION
3 (ADD. ALT.#2)		SUPERIOR SHADE 28' SQ. (10' ENTRY HEIGHT), SQUARE HIP SHADE STRUCTURE DESIGN. COLOR: BLACK FRAME W/ GREEN FABRIC.
5		LITCHFIELD STRUCTURES CUSTOM CENTER POST (2-POST) HIP SHELTER - 10'X24' COLOR: PATRICIAN BRONZE W/ BLACK FRAME.
6		LITCHFIELD STRUCTURES CUSTOM CENTER POST (2-POST) HIP SHELTER - 6'X10' COLOR: PATRICIAN BRONZE W/ BLACK FRAME.
6 (ADD. ALT.#2)		NATIONAL RECREATION SYSTEMS, 3-ROW X 21' PREFERRED MODEL BLEACHER
22		DUMOR 165-60PL-S-2 6' BENCH WITH BACK (SURFACE MOUNT). COLOR: BRONZE FRAME W/REDWOOD PLASTIC
1		MOST DEPENDABLE FOUNTAINS, SAFESTREAM 10 SM W/JF DRINKING FOUNTAIN W/J6 FILLER. COLOR: BLACK.
10		MCCLINTOCK #RSO-25 - TRASH RECEPTACLE. COLOR: BLACK.

KEYED NOTES

- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING SIDEWALK TO REMAIN.
- EXISTING CONCRETE RUNDOWN W/FENCE. SEE CIVIL PLANS.
- EXISTING CHAINLINK FENCE TO REMAIN.
- EXISTING GABION BASKET.
- EXISTING FENCE.
- EXISTING CONCRETE HEADER.
- DEPRESSED CONCRETE SIDEWALK FLUSH W/HG PARKING ACCESS POINTS.
- 8' CONCRETE PARKING BARRIER PER DETAIL 2, SHEET 8.
- MEDIAN CURB AND GUTTER PER COA DWG 2415B.
- CONCRETE SIDEWALK (4" THICKNESS UNLESS OTHERWISE NOTED- WIDTH VARIES) PER DETAIL 4, SHEET 8.
- CONCRETE MONSTRIP, PER COA DWG. 2126.
- 6' CHAIN LINK FENCE PER COA DWG. 2252.
- 6' X 10' SHADE STRUCTURE. SEE SITE AMENITIES LEGEND.
- 10' X 24' SHADE STRUCTURE. SEE SITE AMENITIES LEGEND.
- 28' X 28' SHADE STRUCTURE WITH BLEACHERS, SEE SITE AMENITIES LEGEND. (ADD ALTERNATE #2)
- BENCH, TYP. SEE SITE AMENITIES LEGEND.
- PICNIC TABLE, TYP. SEE SITE AMENITIES LEGEND.
- DRINKING FOUNTAIN ON 4'X4' CONCRETE PAD. SEE SITE AMENITIES LEGEND.

- LITTER RECEPTACLE, SEE SITE AMENITIES LEGEND.
- BLEACHER, TYP. SEE SITE AMENITIES LEGEND.
- TENNIS COURTS (POST TENSIONED CONCRETE). SEE DETAILS, SHEET 9, 10 AND 11.
- LIGHT FIXTURE, SEE ELECTRICAL PLANS.
- HEADER CURB PER DETAIL 3, SHEET 8.
- NEW ELECTRICAL TRANSFORMER/PANEL BOARD, SEE ELECTRICAL PLANS.
- REINFORCED CONCRETE HG PARKING SPACES, SEE DETAIL 1, SHEET 8.
- PAINTED PARKING LOT STRIPING (WHITE, 4" WIDTH).
- PAINTED ACCESSIBLE PARKING SYMBOL/STRIPING.
- ACCESSIBLE PARKING SIGN PER DETAIL 1, SHEET 8.
- CONCRETE VALLEY GUTTER, SEE CIVIL.
- CONCRETE RUNDOWN, SEE CIVIL.
- SIDEWALK CULVERT, SEE CIVIL.
- 4" LAYER OF BASE COURSE. (SEE ADD ALTERNATE #1)
- GABION BASKET, SEE CIVIL.
- EROSION PROTECTION, SEE CIVIL.

ADDITIVE ALTERNATES

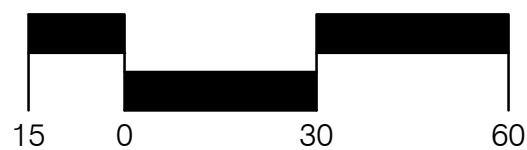
- ADD. ALT. #1
BASE BID - PARKING LOT SURFACE SHALL BE 4" LAYER OF BASE COURSE.
ALTERNATE - PAVE PARKING LOT WITH 3" LIFT OF TYPE C ASPHALT, AND STRIPING PER PLAN.
- ADD. ALT.#2
ALTERNATE - INSTALLATION OF (3) 28' SQ. SHADE STRUCTURES AND (6) BLEACHERS AS DESCRIBED ON THE PLANS.

GENERAL NOTES

- CONTRACTOR TO REVIEW AND COORDINATE ALL CONTRACT DOCUMENTS.
- CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
- CONTRACTOR TO REFER TO ANNOTATED DIMENSIONS ONLY. CONTRACTOR NOT TO SCALE OFF DRAWINGS.
- LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE, TYP.
- ALL SCREENED OR DASHED LINework REPRESENTS EXISTING FEATURES OR FUTURE IMPROVEMENTS THAT ARE NOT IN CONTRACT (N.I.C.)



Scale: 1" = 30'



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e-mail: cp@consensusplanning.com

CITY OF ALBUQUERQUE
PARKS AND RECREATION DEPARTMENT
STRATEGIC PLANNING AND DESIGN DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
SITE CONSTRUCTION PLAN (NORTH)

Design Review Committee

City Engineer Approval

Last Design Update

City Project No.

735207

Zone Map No.

B-10

Sheet

Of

6

25

RECORD DRAWINGS

PROJECT #735207

MAY 2014

VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

FINAL FOR CONSTRUCTION

X

AS-BUILT INFORMATION	
CONTRACTOR	
STARTED BY	
DATE	
INSPECTOR'S	
DATE	
FIELD CHANGE BY	
DATE	
VERIFICATION BY	
DATE	
LOCATIONS	
CORRECTED BY	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	
NO.	

BENCH MARKS

SURVEY INFORMATION

FIELD NOTES

NO.

BY

DATE

ENGINEER'S SEAL

REMARKS

BY

DATE

DESIGN

DATE 04/14

DRAWN BY

DATE 04/14

CHECKED BY

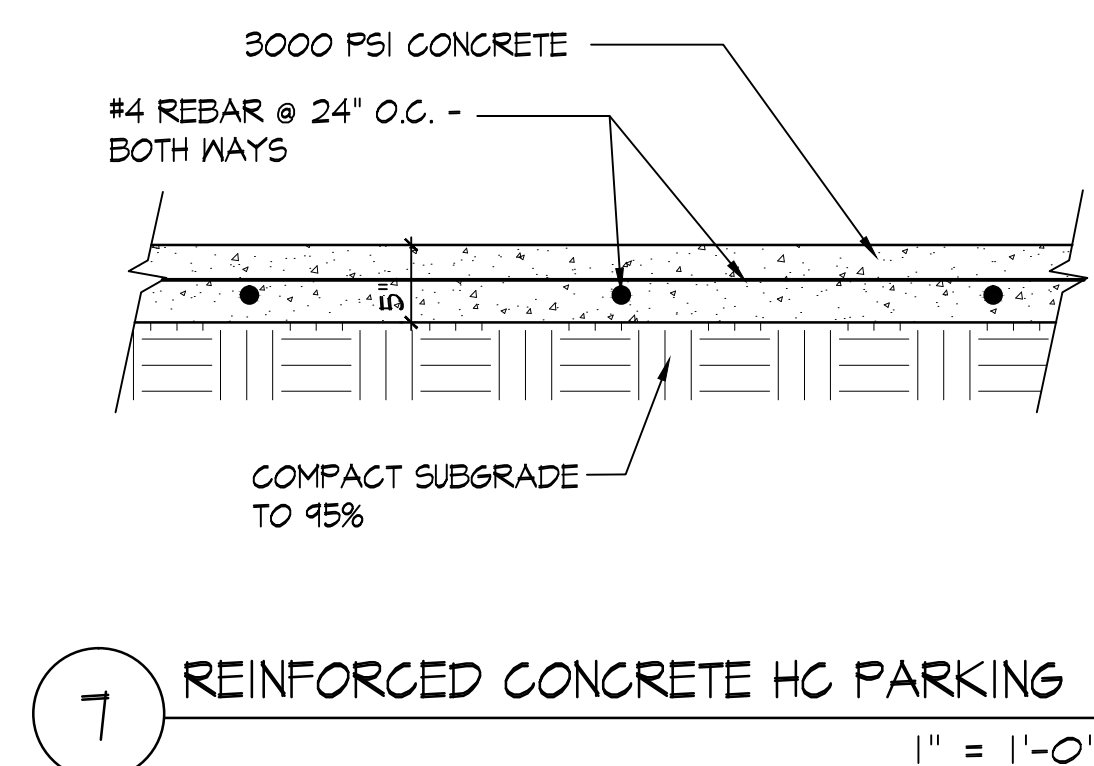
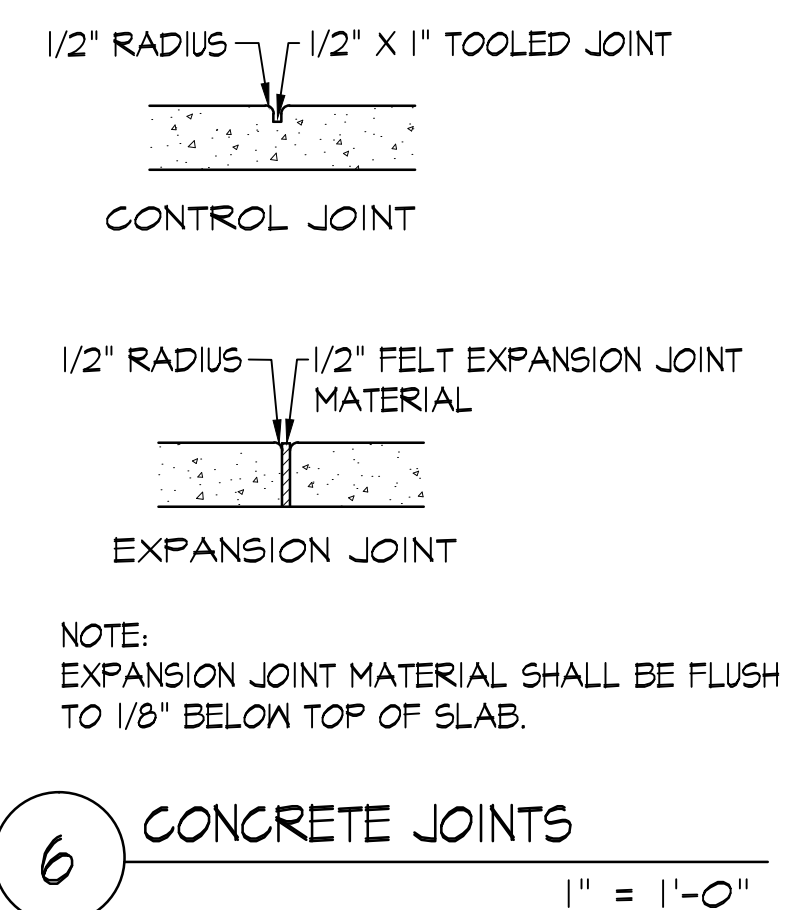
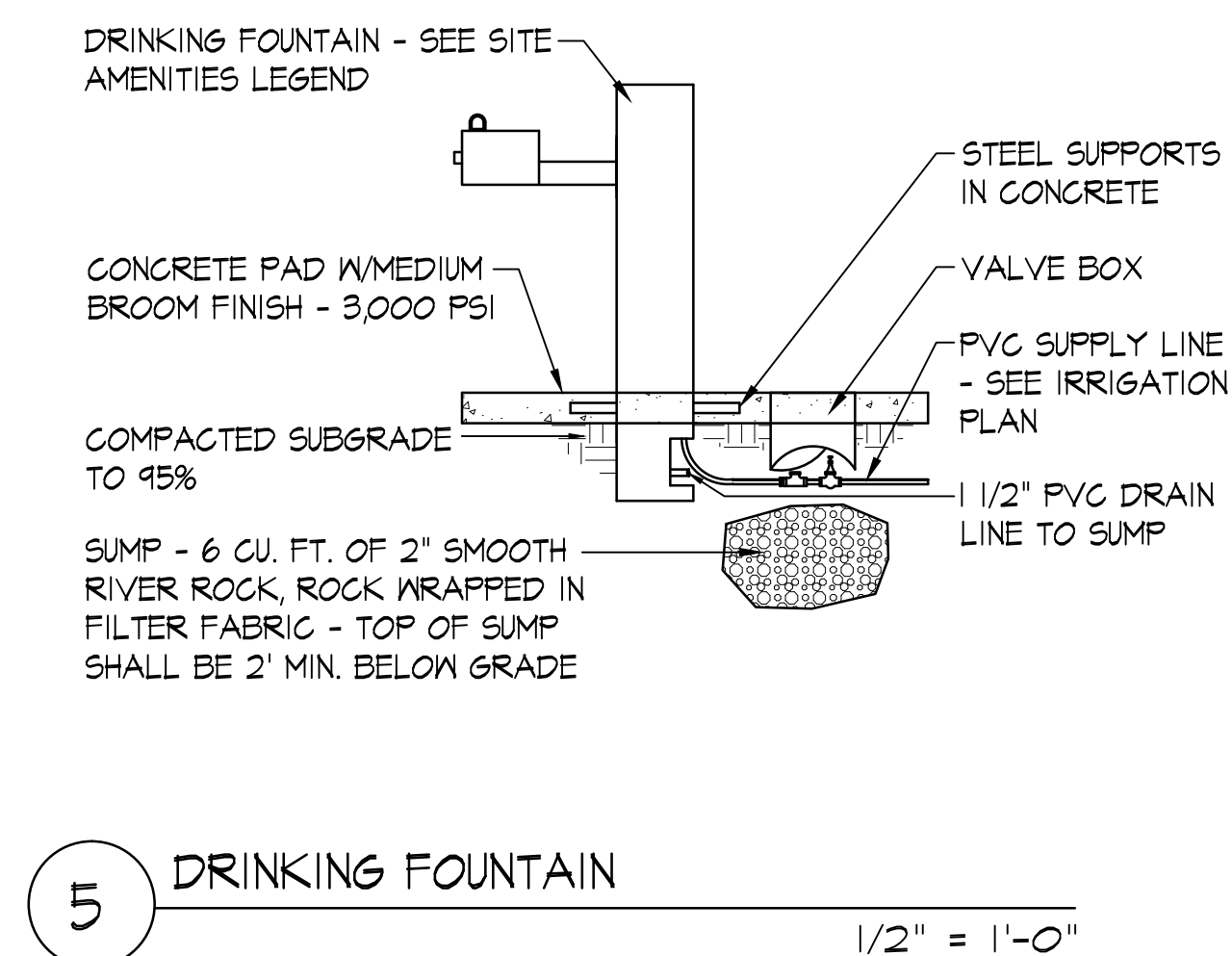
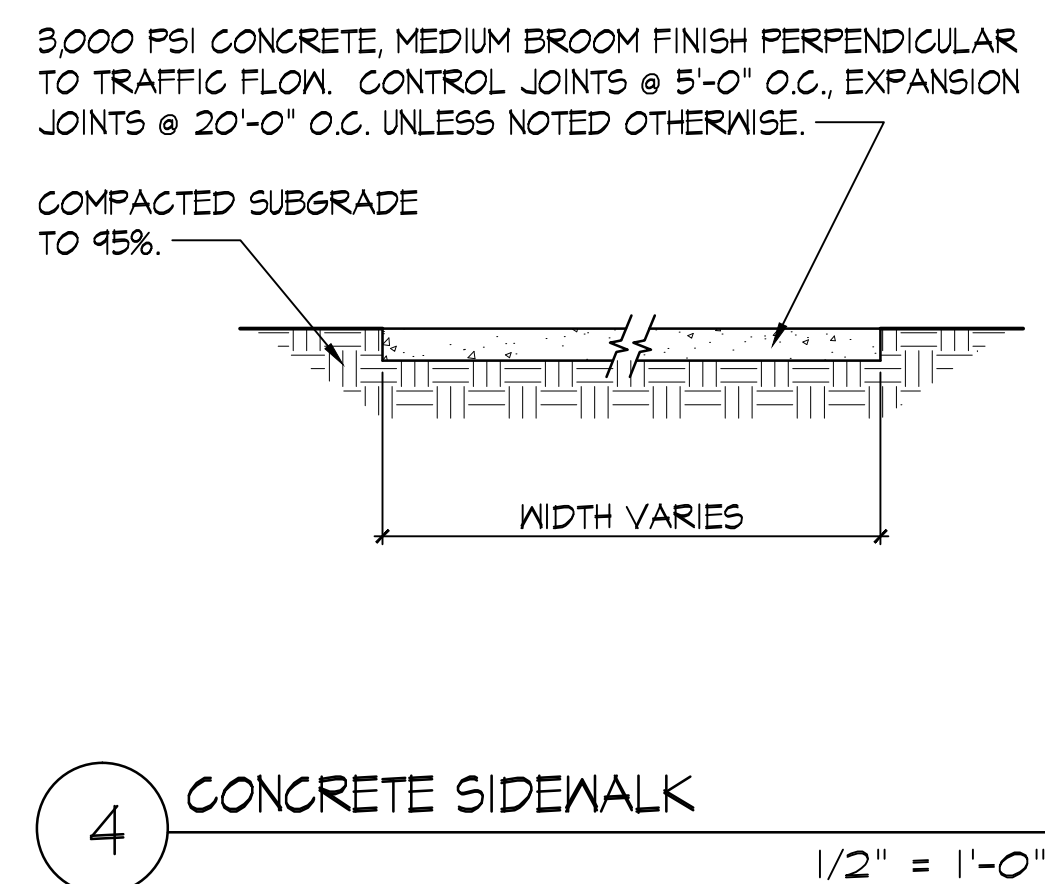
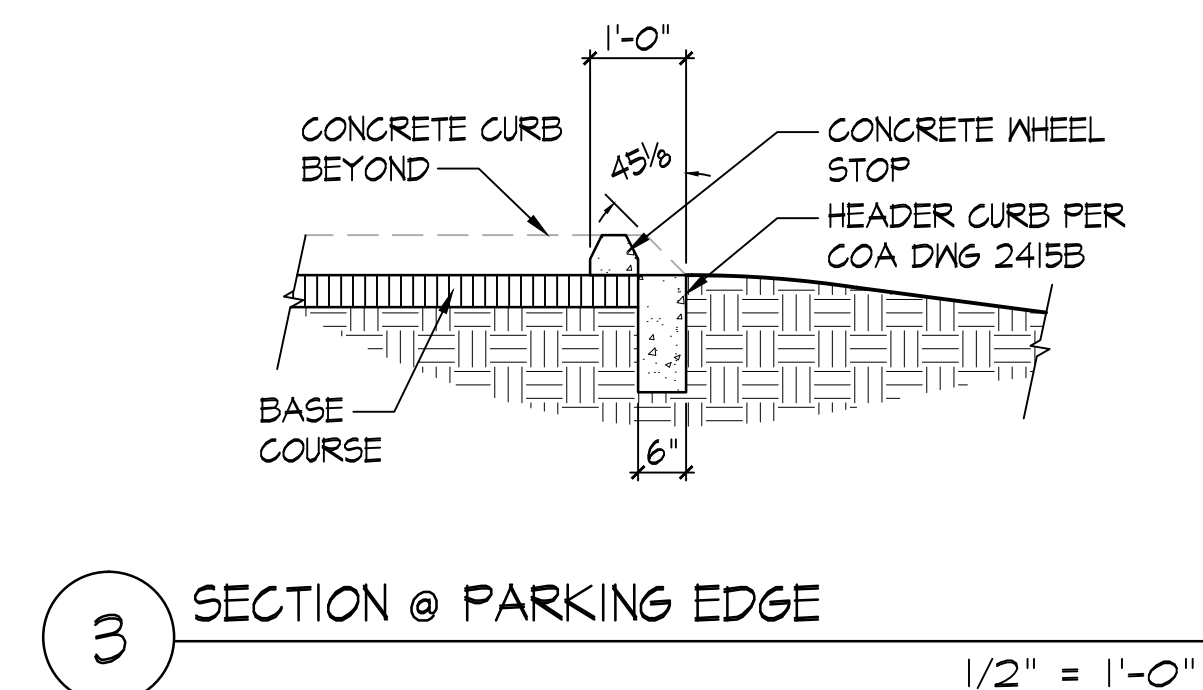
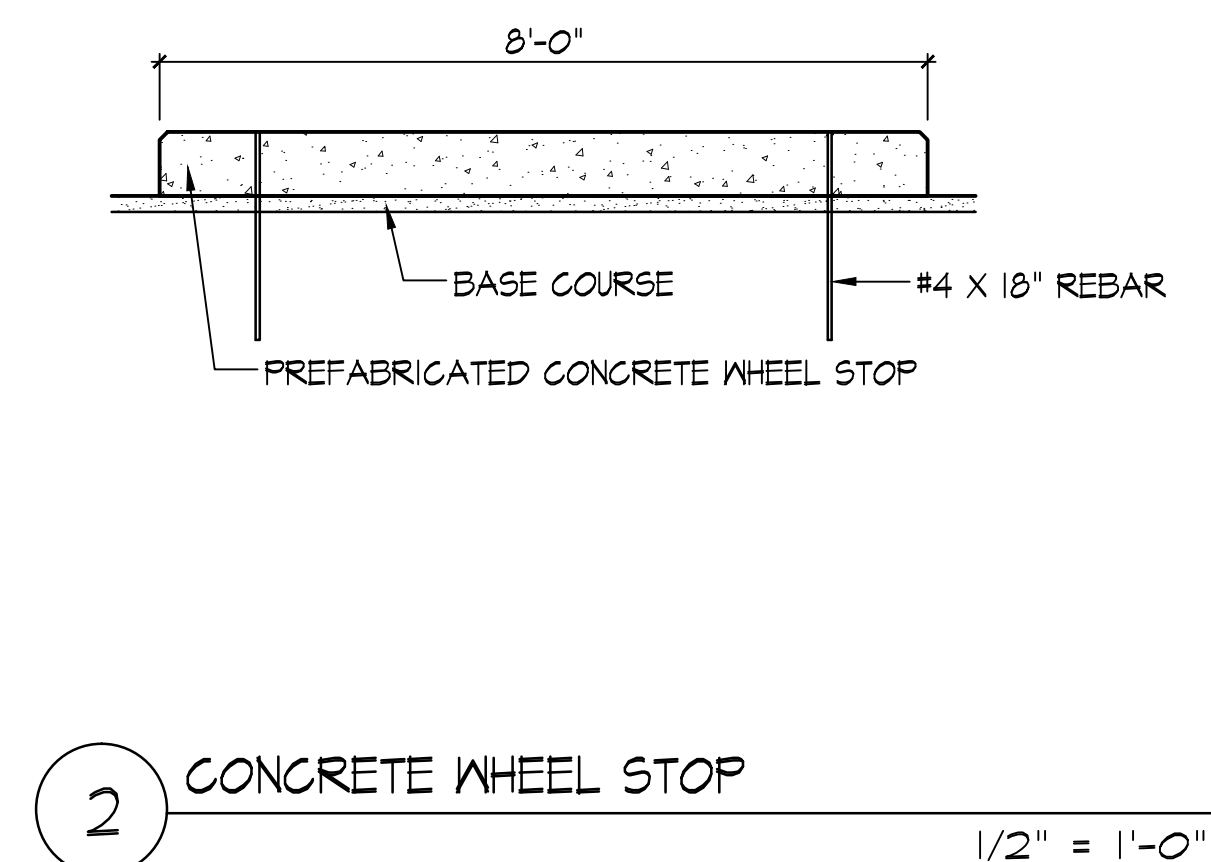
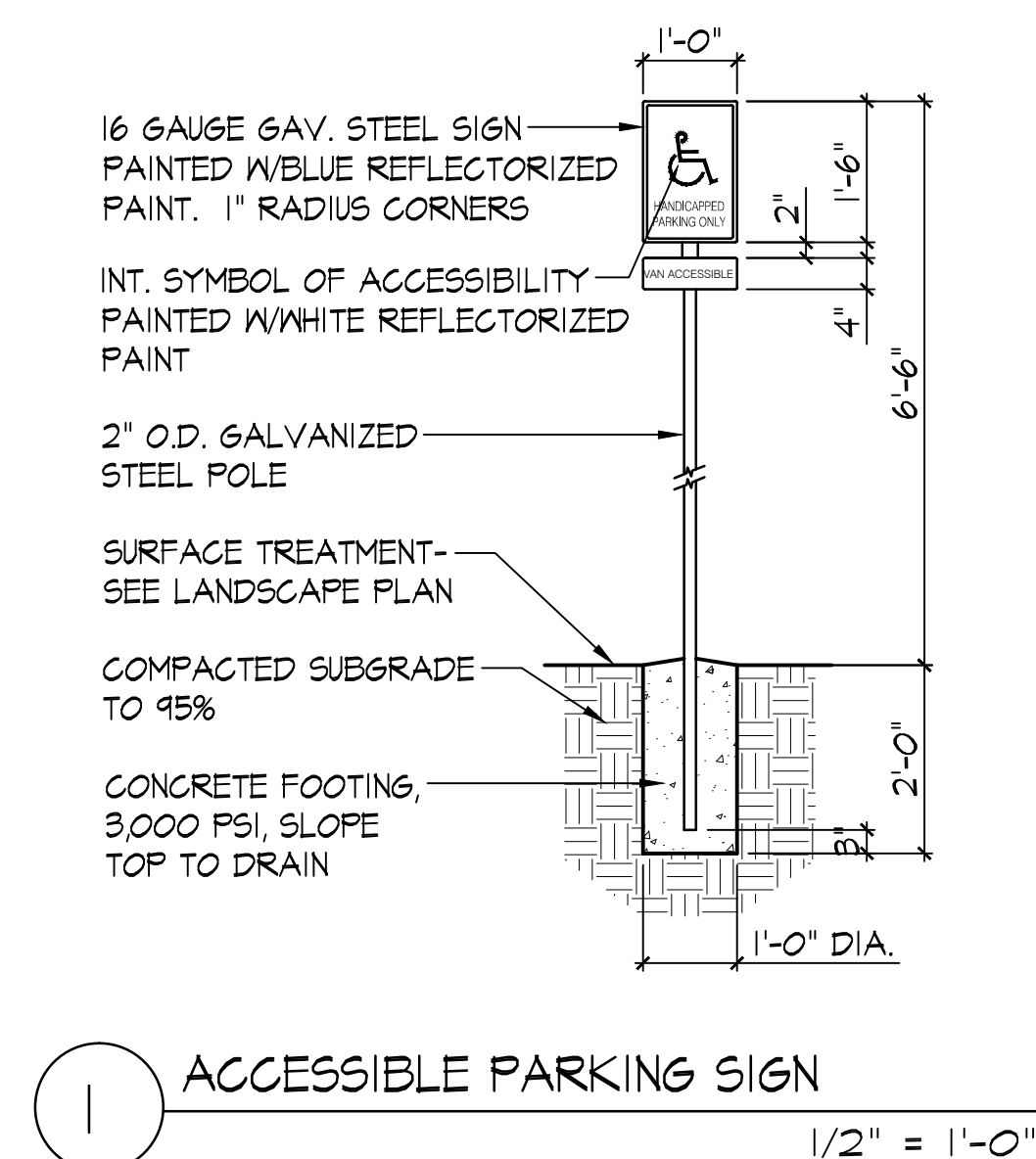
DATE 04/14

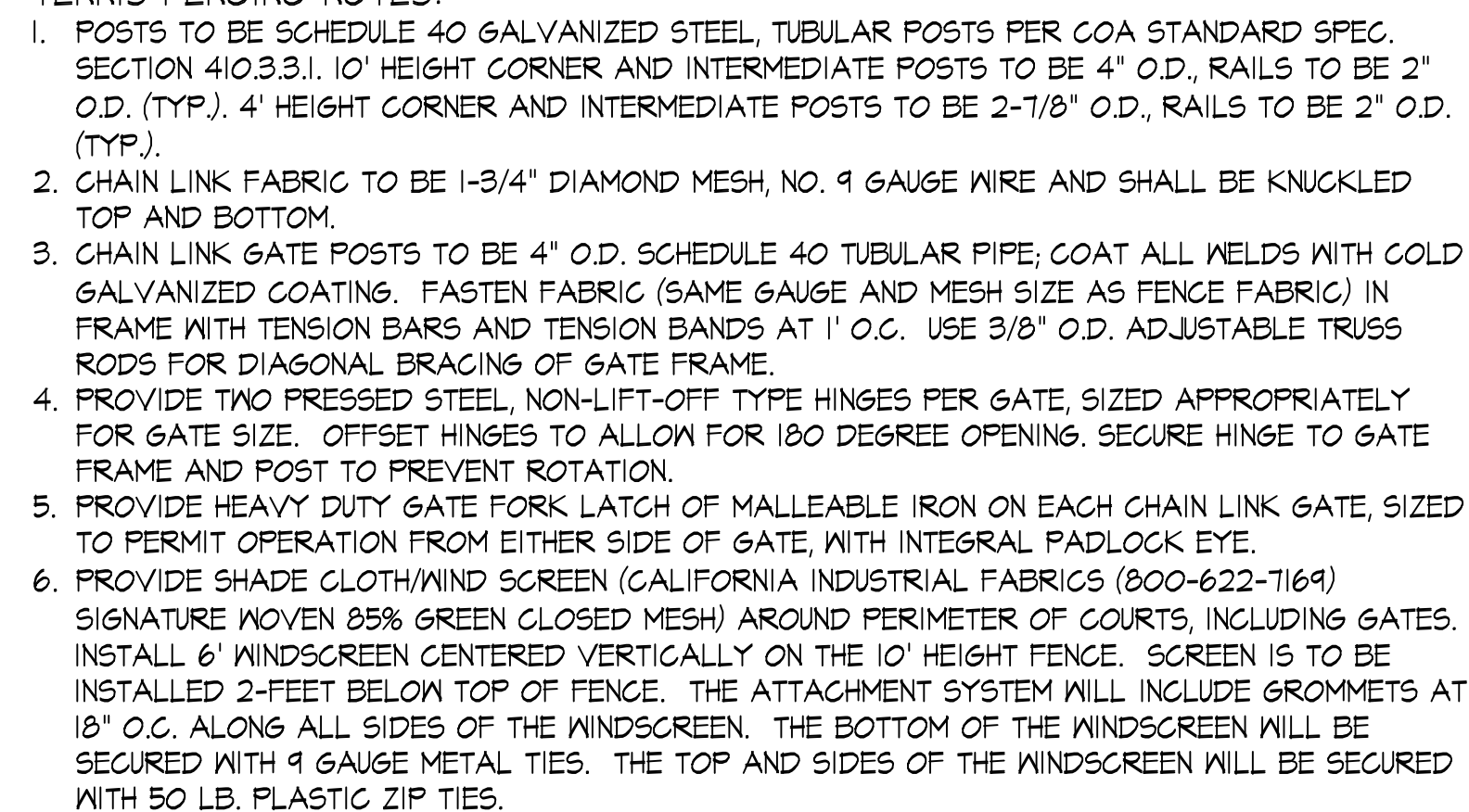
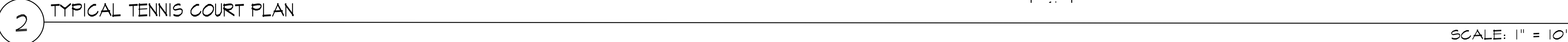
5-14-14

CHRISTOPHER J. GREEN

REGISTERED PROFESSIONAL

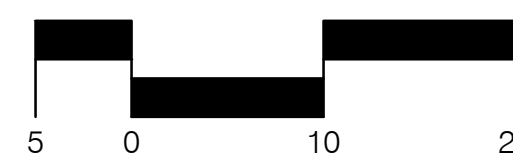
5-14-14

[illegible]



CONSTRUCTION OF TENNIS COURTS AS DETAILED IN DRAWINGS, COMPLETE IN PLACE,
WITH SURFACING. COURT FINISH TO BE SPORTMASTER COLORPLUS SYSTEM ACRYLIC
SURFACE (OR EQUAL).
COLOR:
PLAYING AREA: SPORTMASTER BLUE
PERIMETER: SPORTMASTER LIGHT GREEN
STRIPING: WHITE

NET - EDWARDS 40LS DOUBLE CENTER, 42' LENGTH
CENTER STRAP - EDWARDS #2041
POST - EDWARDS #3001 CLASSIC TENNIS POST
COLOR: BLACK



	PLANNING	CONSENSUS PLANNING, INC.				DATE	DESIGNED BY C	DRAWN BY M	CHECKED BY C
		Planning / Landscape Architecture 302 Eighth Street NW Albuquerque, NM 87102 (505) 764-9801 Fax 842-5495 e-mail: cp@consensusplanning.com							
CITY OF ALBUQUERQUE PARKS AND RECREATION DEPARTMENT STRATEGIC PLANNING AND DESIGN DIVISION									
TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4 TENNIS COURT DETAILS									
Design Review Committee	City Engineer Approval	Last Design Update	No. / Day / Yr.	No. / Day / Yr.					
City Project No.	735207	Zone Map No.	Sheet	Of					
		B-10	9	25					

<i>AS BUILT INFORMATION</i>		<i>MICRO-FILM INFORMATION</i>	
CONTRACTOR		RECORDED BY	DATE
WORKED BY	DATE	NO.	
INSPECTOR'S ACCEPTANCE BY	DATE		
FIELD VERIFICATION BY	DATE		
REVISIONS CORRECTED BY	DATE		

BENCH MARKS

SURVEY INFORMATION

ENGINEERS SEAL

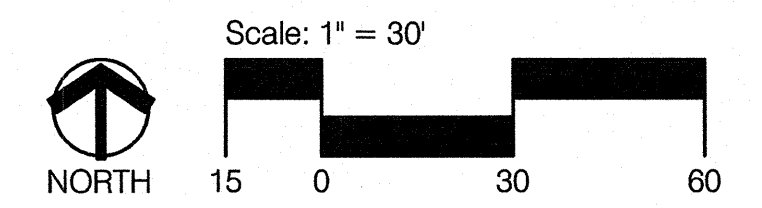
REMARKS	BY
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DESIGNED BY CG DATE 04/14

RECORD DRAWINGS

VENTANA RANCH COMMUNITY PARK

FINAL FOR CONSTRUCTION



 STRESSING END
 DEAD END
 $\Delta = x x''$ ELONGATION

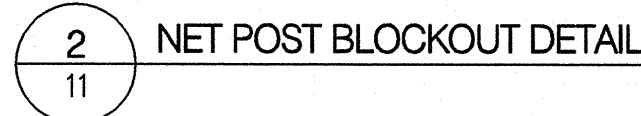
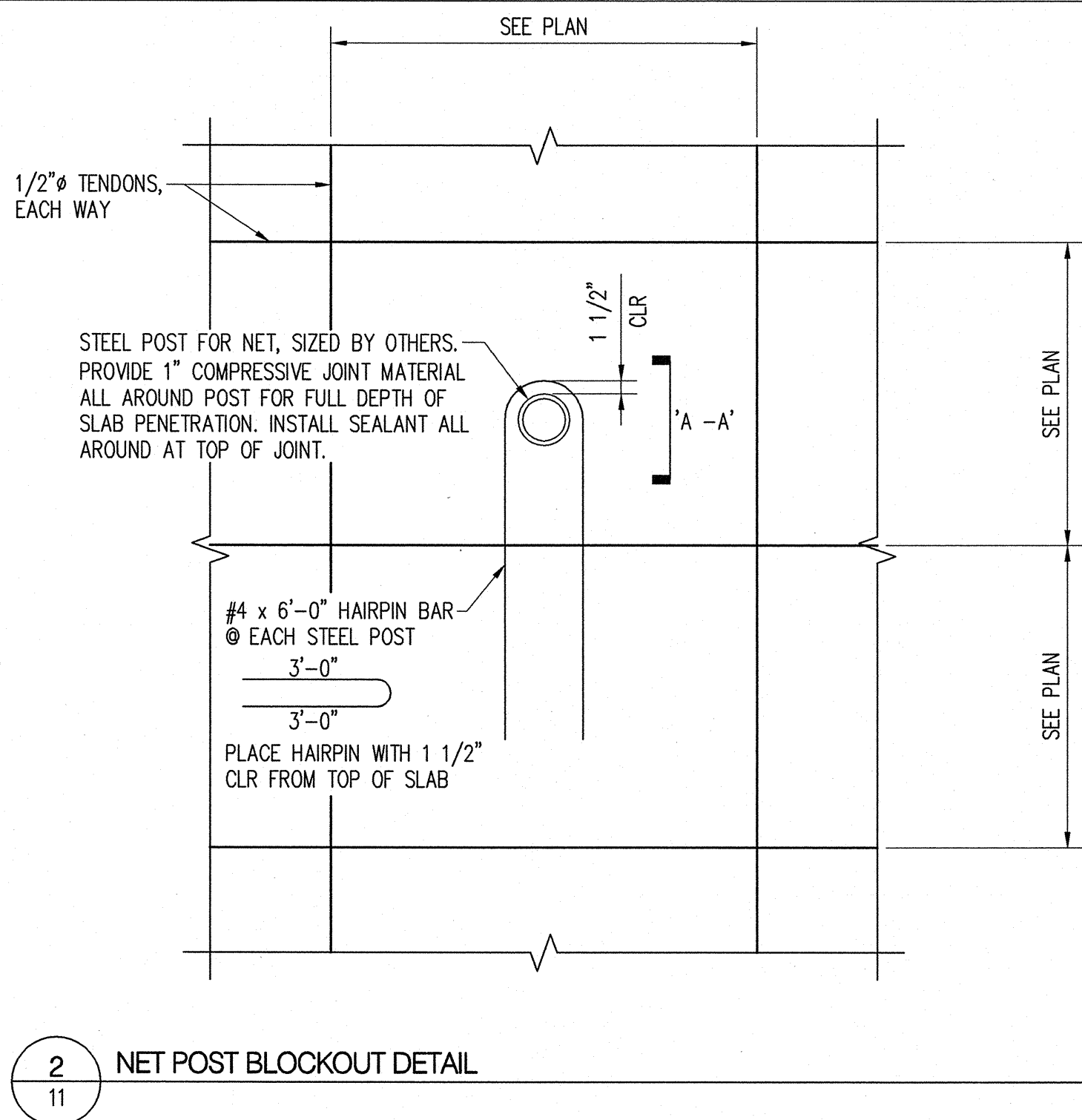
PLANNING

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 e-mail: cp@consensusplanning.com

City Project No.	735207	Zone Map No.	B-10	Sheet	10	Of	25
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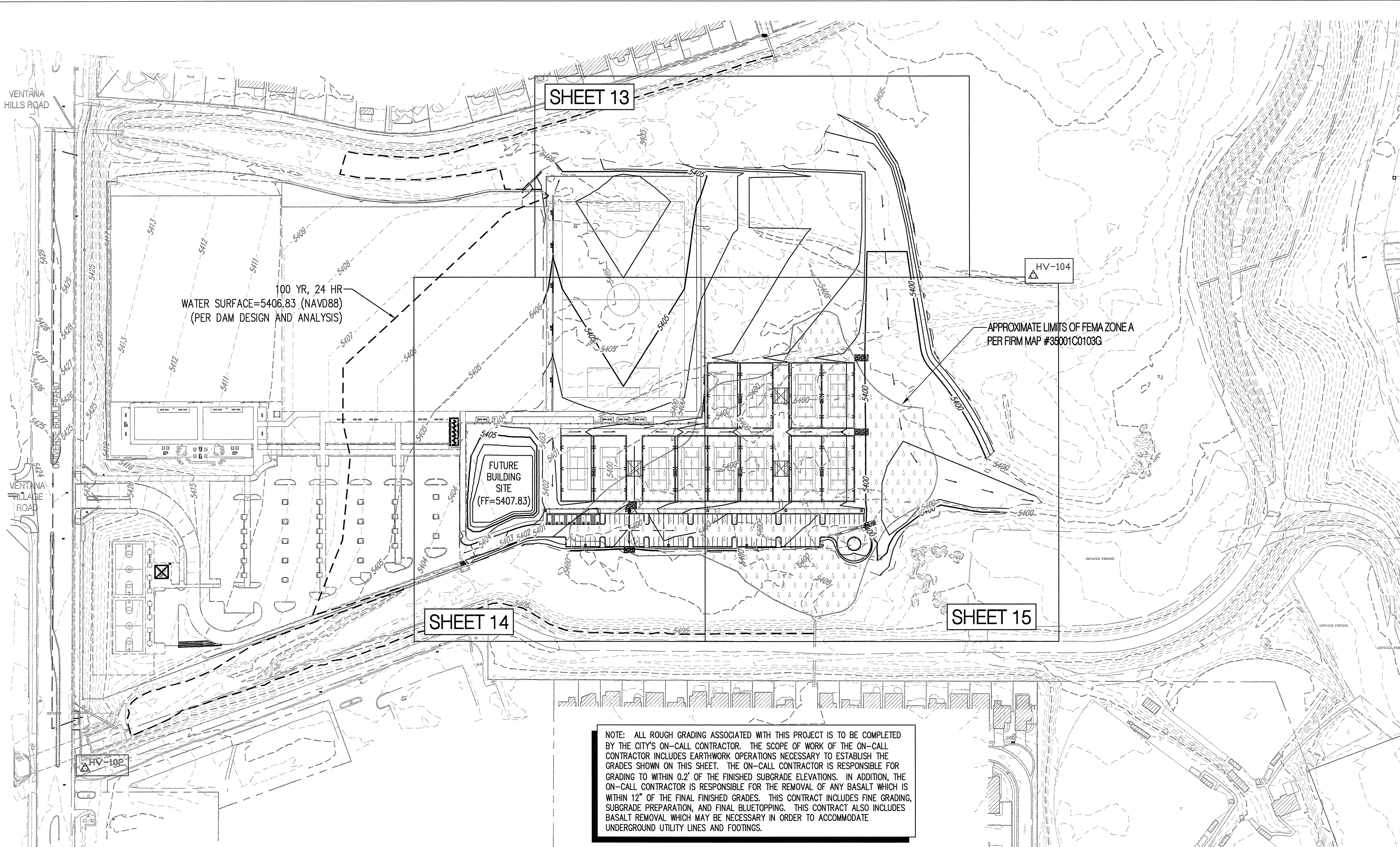
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RECORD DRAWINGS



City Project No.	735207	Zone Map No.	B-10	Sheet	11	Of	25
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X



DRAINAGE MANAGEMENT PLAN

THE PROPOSED PROJECT IS THE NEXT PHASE OF THE VENTANA RANCH PARK. THE PARK IS LOCATED NORTH OF THE NORTHEAST CORNER OF UNIVERSE BLVD AND PARADISE BLVD, NORTH OF THE EXISTING WALGREENS. THIS PHASE (EAST OF THE EXISTING PARK) INCLUDES ADDITIONAL RECREATION FIELDS, A PARKING LOT, TENNIS COURTS, AND RELATED AMENITIES. THE ADDITIONAL PARK AREA IS APPROXIMATELY 7 ACRES. THE LEGAL DESCRIPTION FOR THIS PHASE OF THE PARK SITE IS VENTANA RANCH, TRACTS 2-1. DRAINAGE ANALYSIS WAS PERFORMED AND CONFORMS TO THE APPROVED DRAINAGE PLAN (STAMP DATE 05/01/2012) HYDRO FILE B10/D003.

PORTIONS OF THE SITE ARE WITHIN THE FLOODPOOL OF AMAFCA'S LAS VENTANAS DAM. THE FILL FOR THE SITE WAS CONTEMPLATED WHEN THE DAM WAS DESIGNED AND WAS APPROVED BY THE OFFICE OF THE STATE ENGINEER IN THE ORIGINAL DAM DESIGN. A SUBSEQUENT SUBMITTAL REQUESTED APPROVAL OF THIS SPECIFIC PHASE HAS BEEN APPROVED BY THE OSE (SEE MEMO DATED 01-23-2014, OSE FILE No. D-591).

THE DRAINAGE FROM THE EXISTING AND THE PROPOSED BASINS SURFACE FLOW ACROSS THE SITE AND ULTIMATELY OUTFALL INTO THE VENTANA DAM POOL. THE 100-YEAR FLOODPLAIN FOR THE DAM POOL WAS DETERMINED TO HAVE A WATER SURFACE ELEVATION OF 5406.83 (NAVD88) FEET. THIS FLOODPLAIN ELEVATION WILL COMPLETELY INUNDATE THE NEW PHASE OF THE VENTANA RANCH PARK.

SURVEY CONTROL

PROJECT BENCHMARK
ACS CONTROL MONUMENT
3" BRASS CAP STAMPED "2-B10 1980"
SET IN A CONCRETE POST 1 FOOT BELOW GRADE
UNDER A 5 1/2" ACCESS COVER
LOCATED 0.45 MILES NORTH OF THE INTERSECTION OF
PARADISE BLVD AND UNIVERSE BLVD
ELEVATION = 5432.17 FEET (NAVD 88)

CONTROL POINT HV-102
5/8" REBAR WITH RED CAP STAMPED
"CONTROL POINT NMPS 11599"
NORTHING = 1526497.23
EASTING = 1498267.51
ELEVATION = 5422.75

CONTROL POINT HV-104
5/8" REBAR WITH RED CAP STAMPED
"CONTROL POINT NMPS 11599"
NORTHING = 1527403.22
EASTING = 1500014.98
ELEVATION = 5404.58

GENERAL GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

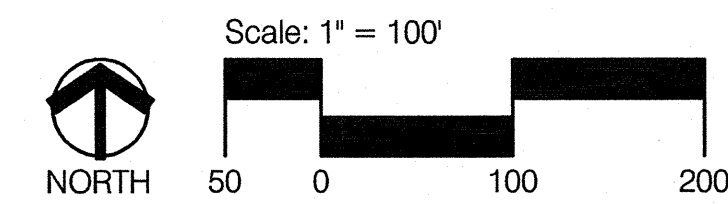
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
FL=FLOW LINE, TC=TOP OF CURB
TS=TOP OF SIDEWALK,
TG=TOP OF GRATE,
FGH=FINISH GROUND HIGH SIDE,
FGL=FINISH GROUND LOW SIDE
- DIRECTION OF FLOW
- GRADE BREAK/WATER BLOCK
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED CURB & GUTTER

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.



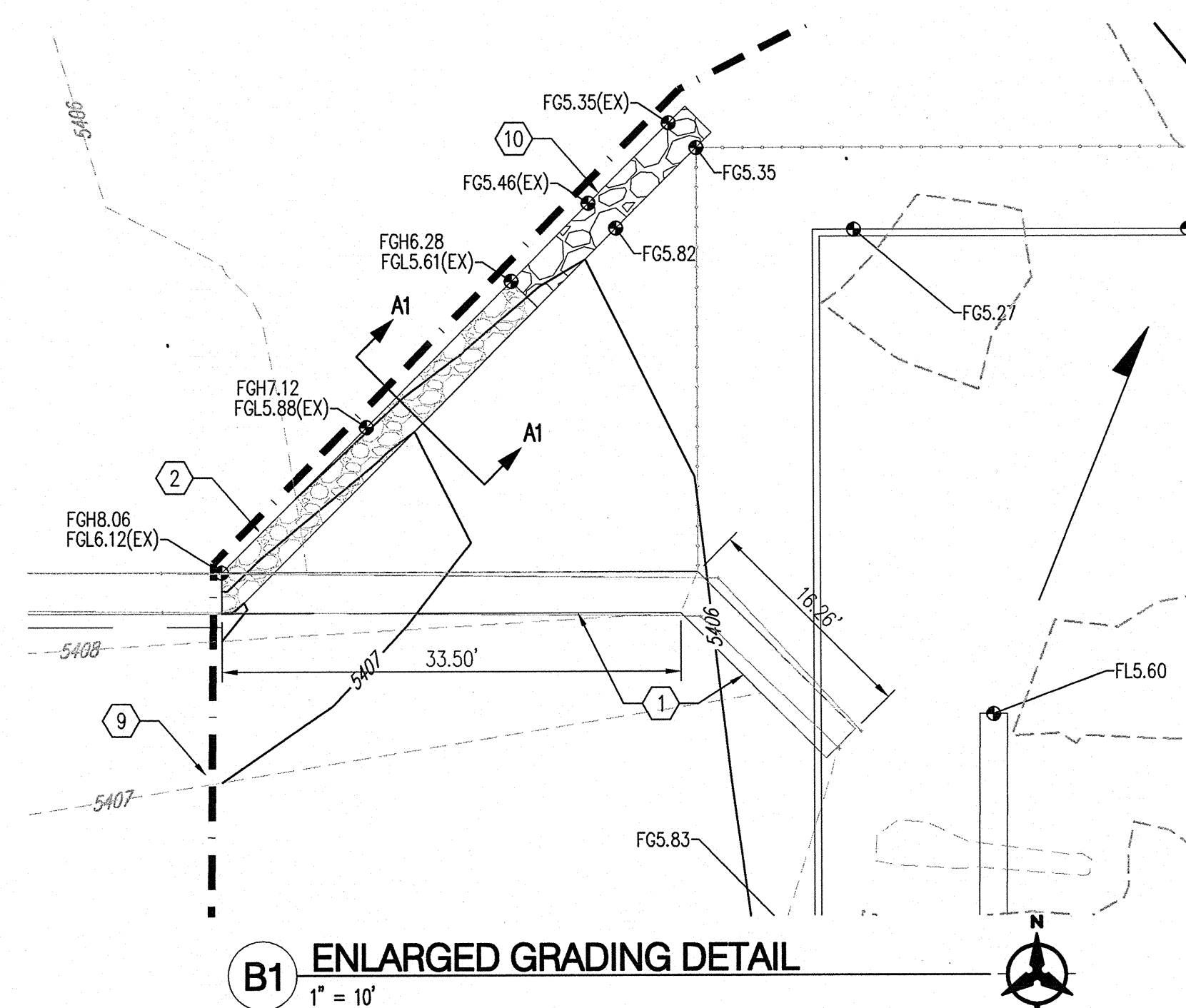
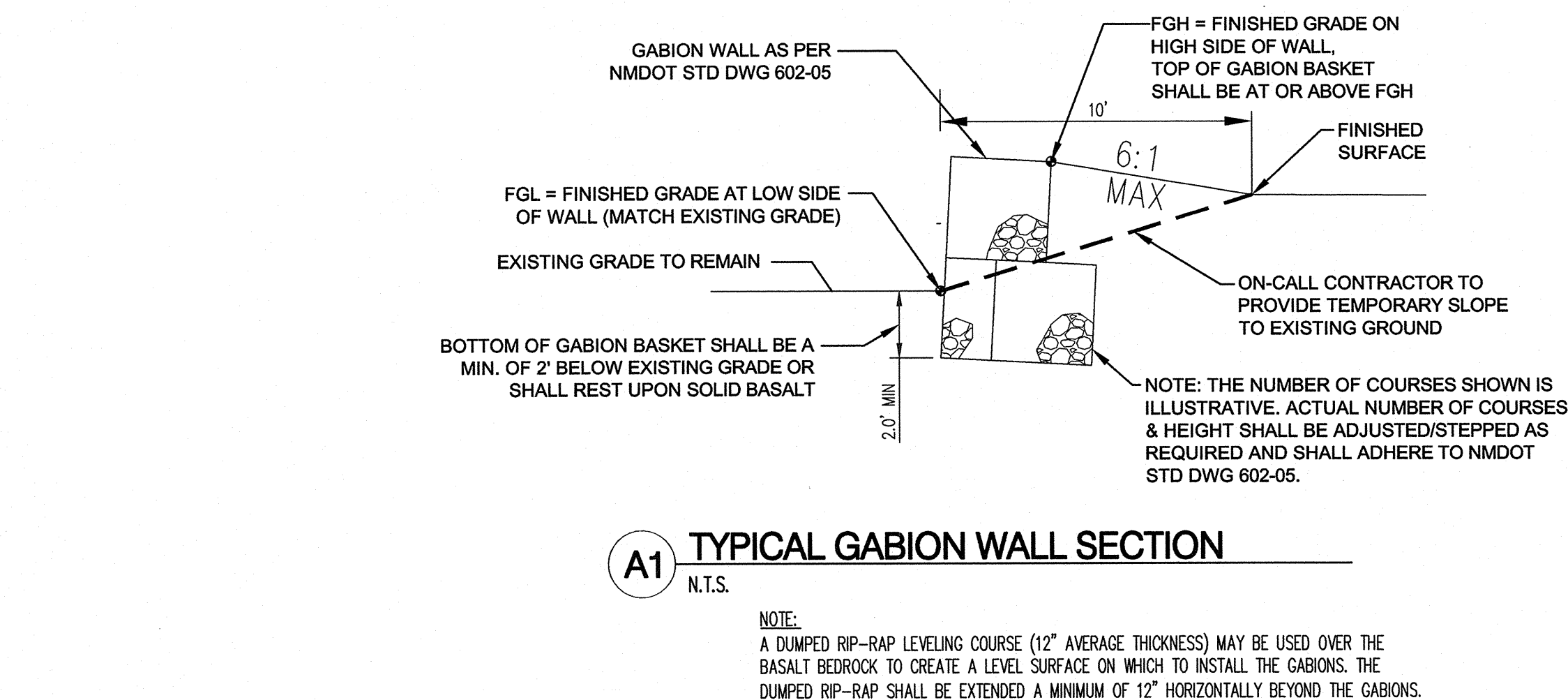
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
OVERALL GRADING PLAN

Design Review Committee	City Engineer Approval	Mo. / Day / Yr.	
		Mo. / Day / Yr.	Mo. / Day / Yr.
Last Design Update			
City Project No.	735207	Zone Map No.	B-10
Sheet	12	Of	25



Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.	Mo. / Day / Yr.
City Project No.	735207	Zone Map No. B-10	Sheet 13	Of 25

GRADING KEYED NOTES

1. REMOVE AND DISPOSE EXISTING GABION WALL TO DIMENSIONS SHOWN ON PLANS.

2. CONSTRUCT GABION WALL PER DETAIL A1, SHEET 13.

3. INSTALL 2" CONCRETE VALLEY GUTTER PER DETAIL A1, SHEET 15.

4. INSTALL CONCRETE RUNDOWN PER COA STD DWG 2260; MATCH EXISTING SECTION.

5. SEE LANDSCAPE PLANS FOR EROSION PROTECTION.

6. INSTALL DOUBLE 24" SIDEWALK CULVERT PER COA STD DWG 2236.

7. INSTALL 4" VALLEY GUTTER PER COA STD DWG 2421.

8. INSTALL 4" CURB OPENING PER DETAIL A3, SHEET 15.

9. MATCH EXISTING ELEVATION.

10. INSTALL EROSION PROTECTION PER DETAIL A2, SHEET 15.

11. NOT USED.

12. INSTALL 4" WIDE ACO K100 TRENCH DRAIN WITH TYPE 478Q GRATE OR APPROVED EQUAL.

13. SAWCUT EXISTING CONCRETE DRAINAGE RUNDOWN PER DEMOLITION DETAIL A2, SHEET 14.

LEGEND

PROPERTY LINE

PROJECT LIMITS OF GRADING

EXISTING INDEX CONTOUR

EXISTING INTERMEDIATE CONTOUR

EXISTING GROUND ELEVATION

PROPOSED GROUND ELEVATION
FL=FLOW LINE, TC=TOP OF CURB
TS=TOP OF SIDEWALK,
TG=TOP OF GRATE,
FGH=FINISH GROUND HIGH SIDE,
FGL=FINISH GROUND LOW SIDE

DIRECTION OF FLOW

GRADE BREAK/WATER BLOCK

PROPOSED INDEX CONTOUR

PROPOSED INTERMEDIATE CONTOUR

PROPOSED CURB & GUTTER

Scale: 1" = 30'

NORTH

15 0 30 60

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
GRADING PLAN

Design Review Committee

City Engineer Approval

Last Design Update

Mo. / Day / Yr. Mo. / Day / Yr.

City Project No.

735207

Zone Map No.

B-10

Sheet

14

Of

25

AS BUILT INFORMATION

CONTRACTOR

WORK STARTED BY

DATE

INSPECTOR'S

DATE

FIELD RANGE BY

DATE

VERIFICATION BY

DATE

CORRECTIONS BY

DATE

RECORDED BY

NO.

SURVEY INFORMATION

FIELD NOTES

NO.

BY

DATE

ENGINEER'S SEAL

BYLAN H. WARREN

2014

PROFESSIONAL ENGINEER

REVISIONS

NO.

DATE

BY

DESIGNED BY

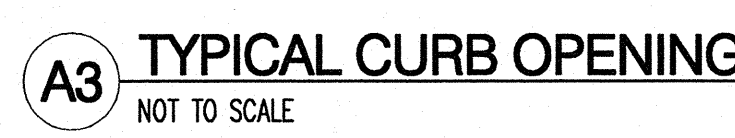
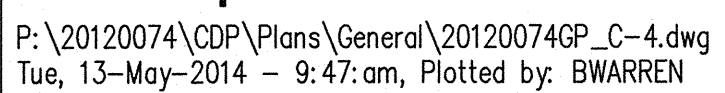
DATE

DRAWN BY

DATE

CHECKED BY

DATE



Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.	Mo. / Day / Yr.
City Project No.	735207	Zone Map No. B-10	Sheet 15	Of 25

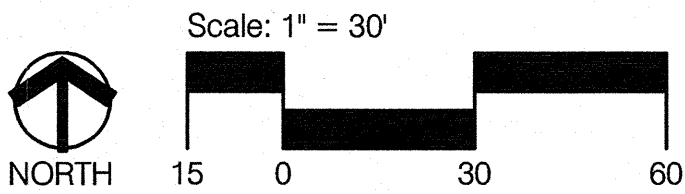
RECORD DRAWINGS ☐ PROJECT #735207 VENTANA RANCH COMMUNITY PARK
MAY 2014 PHASE 4 RECREATION FIELD/TENNIS COMPLETION
FINAL FOR CONSTRUCTION ☒



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8	1527586.00	1499402.98
9	1527413.13	1499402.98
10	1527550.65	1499131.15
11	1527413.13	1499130.47

SITE CONTROL NOTES

- PROJECT BENCHMARKS ARE FOUND ON SHEET 12.
- ALL COORD. POINTS & CURVE DATA ARE TO FACE OF CURB, OR EDGE OF SIDEWALK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.



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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
HORIZONTAL CONTROL PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.	
			Mo. / Day / Yr.	Mo. / Day / Yr.

City Project No.	735207	Zone Map No.	B-10	Sheet	16	Of	25
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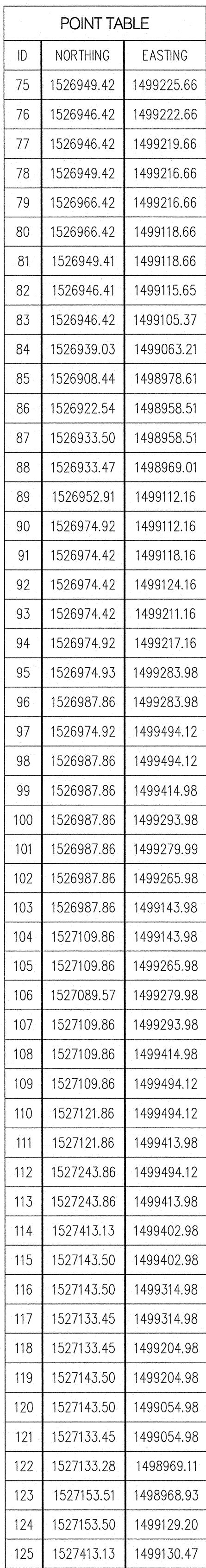


REVISIONS	NO.	DATE	REMARKS	BY
DESIGNED BY	BHW	DATE	11/20/13	
DRAWN BY	BHW	DATE	2/20/14	
CHECKED BY	BJS	DATE	12/20/13	

AS BUILT INFORMATION			
CONTRACTOR		DATE	
WORK STARTED BY		DATE	
INSPECTOR'S FIELD RANGE BY		DATE	
VERIFICATION BY		DATE	
CORRECTED BY		DATE	
MICRO-FILM INFORMATION			
RECORDED BY		DATE	
NO.			

BENCH MARKS			

SURVEY INFORMATION			
FIELD NOTES	NO.	BY	DATE



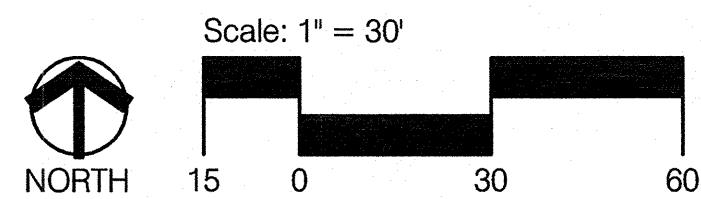
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C1	100.00'	34.76°	19°54'52"	17.56'
C2	124.00'	43.02°	19°52'45"	21.73'
C3	15.00'	28.77°	109°52'43"	21.37'

<i>AS-BUILT INFORMATION</i>	
CONTRACTOR	
WORK TAKEN BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
DRAWINGS VERIFICATION BY	DATE
CORRECTED BY	DATE
<i>MICRO-FILM INFORMATION</i>	
RECORDED BY	DATE
NO.	

<i>SURVEY INFORMATION</i>		<i>BENCH MARKS</i>	C
No.	FIELD NOTES BY DATE		
			A
			Z
			V
			E
			C
			L
			F
			N

A circular professional engineer seal for Brian H. Warren, New Mexico, license number 20011. The seal includes the text "BRIAN H. WARREN", "NEW MEX.", "20011", and "PROFESSIONAL ENGINEER". A handwritten signature is written over the seal, and the date "5/13/14" is stamped in the center.

1. PROJECT BENCHMARKS ARE FOUND ON SHEET 12.
2. ALL COORD. POINTS & CURVE DATA ARE TO FACE OF CURB, OR EDGE OF SIDEWALK UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.



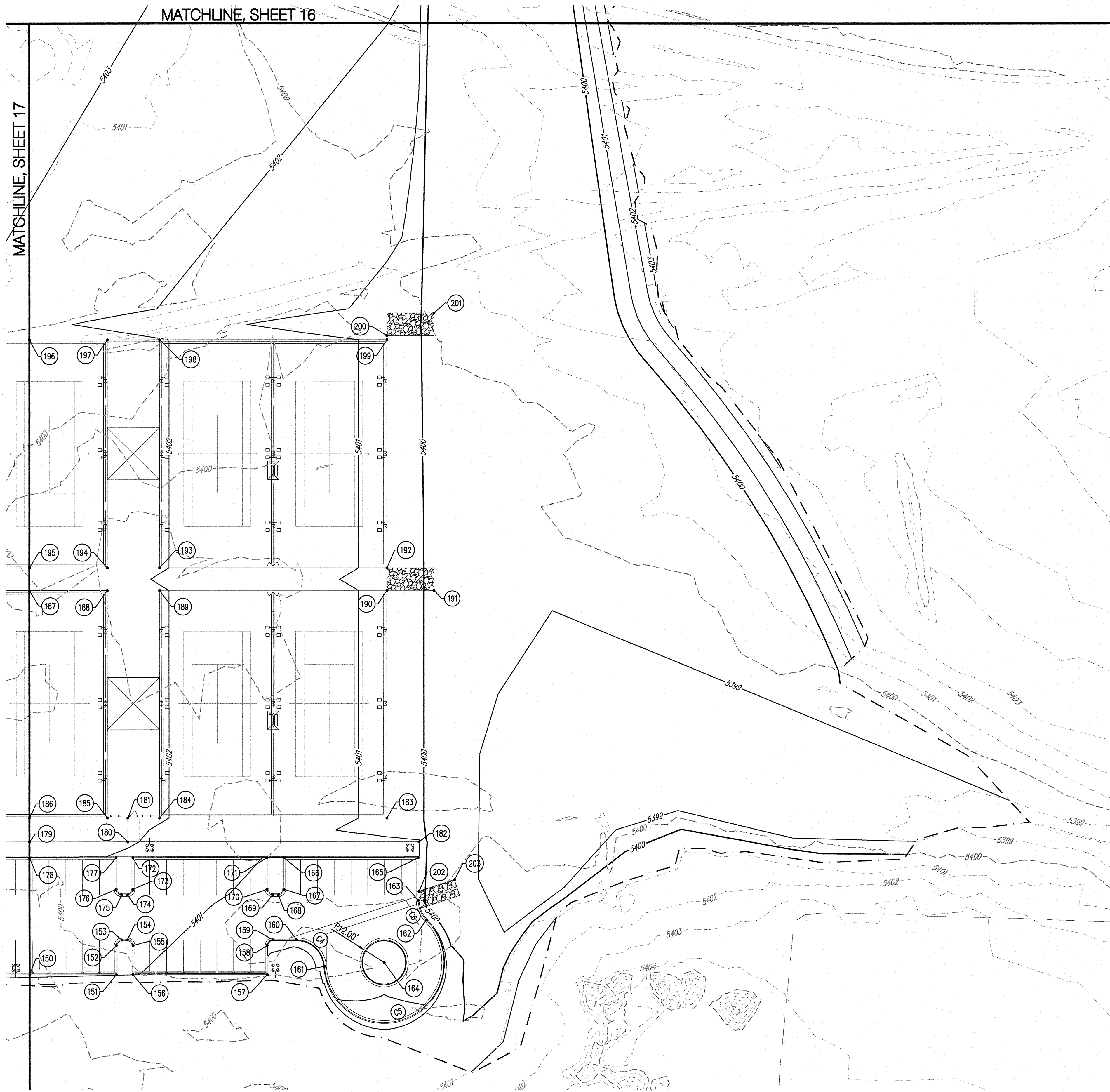
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
HORIZONTAL CONTROL PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.	Mo. / Day / Yr.
City Project No.	735207	Zone Map No. B-10	Sheet 17	Of 25

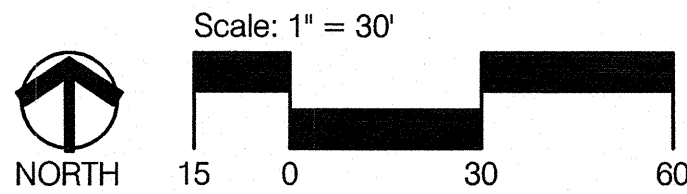


POINT TABLE		
ID	NORTHING	EASTING
150	1526903.92	1499494.09
151	1526903.92	1499540.66
152	1526919.42	1499540.66
153	1526922.42	1499543.66
154	1526922.42	1499546.66
155	1526919.42	1499549.66
156	1526903.92	1499549.66
157	1526903.92	1499621.66
158	1526919.42	1499621.66
159	1526922.42	1499624.66
160	1526922.42	1499637.47
161	1526908.38	1499652.44
162	1526933.02	1499707.04
163	1526943.61	1499702.66
164	1526910.42	1499684.38
165	1526966.42	1499702.66
166	1526966.42	1499630.66
167	1526949.42	1499630.66
168	1526946.42	1499627.66
169	1526946.42	1499624.66
170	1526949.42	1499621.66
171	1526966.42	1499621.66
172	1526966.42	1499549.66
173	1526949.42	1499549.66
174	1526946.42	1499546.66
175	1526946.42	1499543.66
176	1526949.42	1499540.66
177	1526966.42	1499540.66
178	1526966.42	1499494.12
179	1526974.92	1499494.12
180	1526974.92	1499546.98
181	1526987.86	1499546.98
182	1526974.95	1499703.16
183	1526987.86	1499685.98
184	1526987.86	1499563.98
185	1526987.86	1499535.98
186	1526987.86	1499494.12
187	1527109.86	1499494.12
188	1527109.86	1499535.98
189	1527109.86	1499563.98
190	1527109.86	1499685.98
191	1527109.86	1499711.16
192	1527121.86	1499685.98
193	1527121.86	1499563.98
194	1527121.86	1499535.98
195	1527121.86	1499494.12
196	1527243.86	1499494.12
197	1527243.86	1499535.98
198	1527243.86	1499563.98
199	1527243.86	1499685.98
200	1527246.11	1499685.98
201	1527258.11	1499711.16
202	1526948.35	1499703.16
203	1526954.64	1499722.14

CURVE TABLE			
ID	RADIUS	ARC	TANGENT
C4	15.00'	22.60'	86°20'11"
C5	32.00'	123.57'	221°15'36"
C6	15.00'	11.76'	44°55'25"

SITE CONTROL NOTES

- PROJECT BENCHMARKS ARE FOUND ON SHEET 12.
- ALL COORD. POINTS & CURVE DATA ARE TO FACE OF CURB, OR EDGE OF SIDEWALK UNLESS OTHERWISE NOTED.
- CONTRACTOR TO CONTACT ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.



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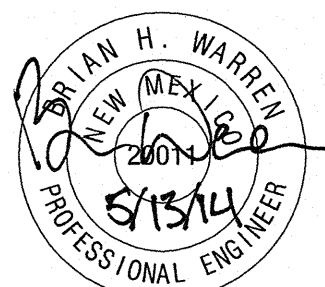
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
HORIZONTAL CONTROL PLAN

Design Review Committee		City Engineer Approval		Mo. / Day / Yr.	
Last Design Update					

City Project No.	735207	Zone Map No.	B-10	Sheet	18	Of	25
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AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR								FIELD NOTES							
WORK STARTED BY								NO.		BY	DATE				
INSPECTOR'S															
FIELD NAME BY															
FIELD DATE															
DESIGNATION BY															
DATE															
CORRECTED BY															
MICRO-FILM INFORMATION															
RECORDED BY															
DATE															
NO.															



REMARKS
DESIGN
BY

NO.	DATE	DESIGNED BY	DATE	DRAWN BY	DATE	CHECKED BY	DATE
		BHW	11/2013	BHW	2/2014	BJS	12/2013

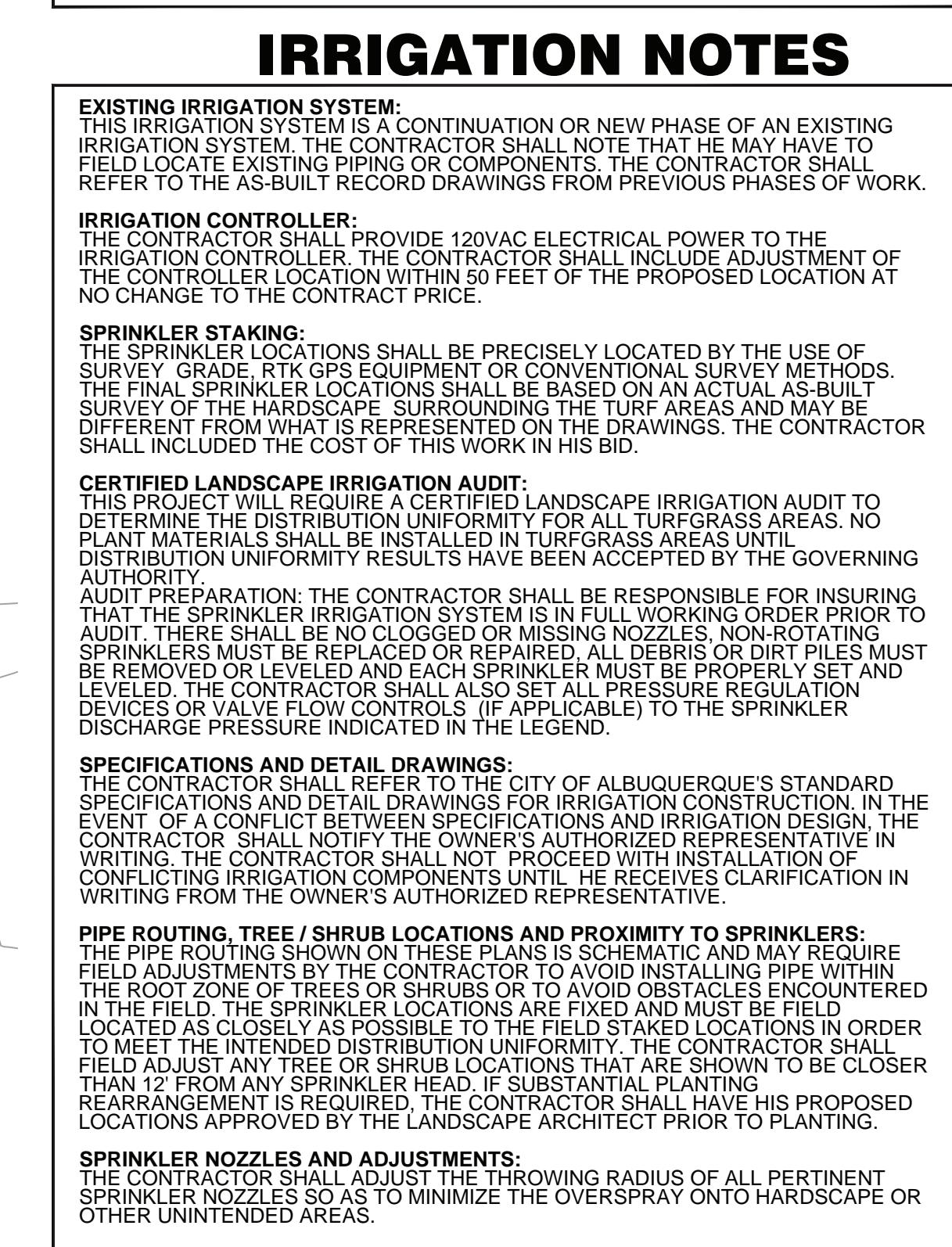
RECORD DRAWINGS

PROJECT #735207
MAY 2014

VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

FINAL FOR CONSTRUCTION

X



A horizontal number line with tick marks at 15, 0, 30, and 60. The segment between 0 and 30 is shaded black.

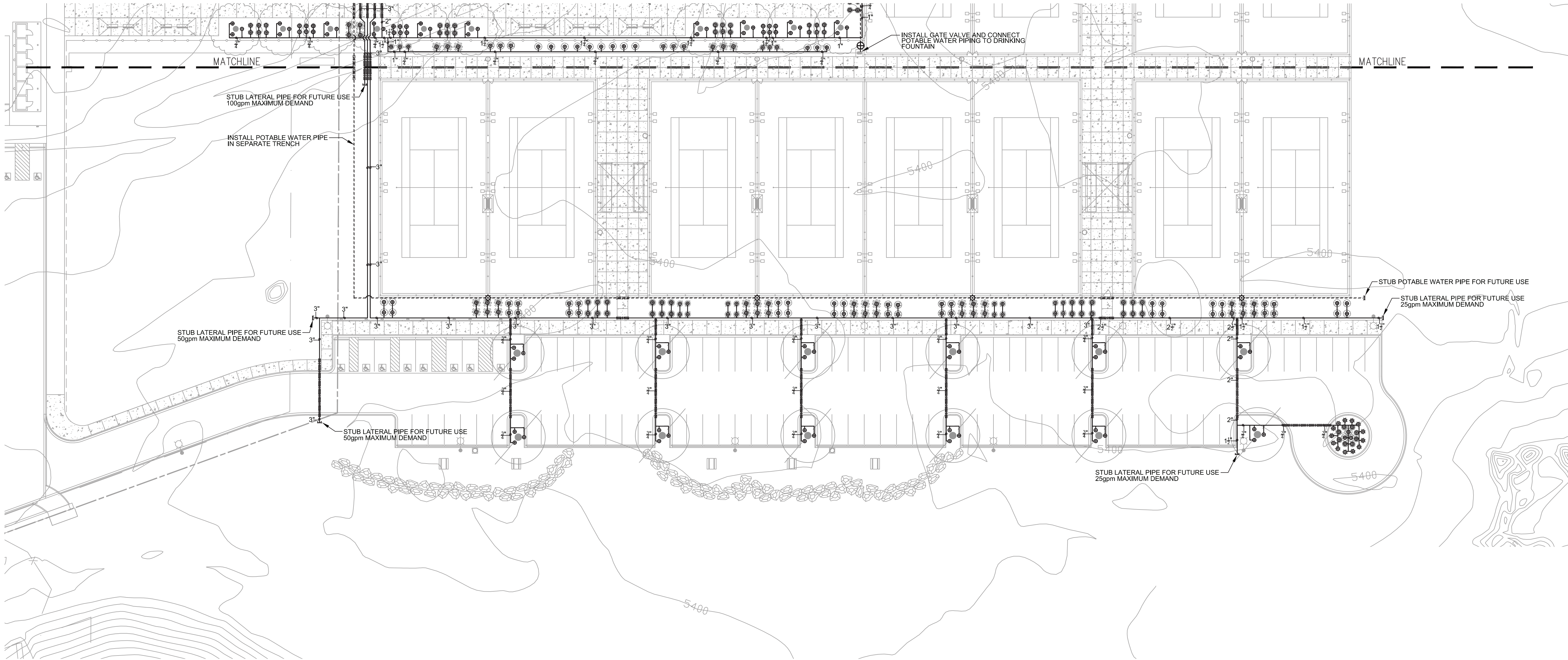
**Irrigation
Services** 
Designers & Consultants

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PROJECT #735207
MAY 2014
VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION EIR D/TENNIS COMPLEY
FINAL FOR CONSTRUCTION

RECORD DRAWINGS



IRRIGATION SCHEDULE

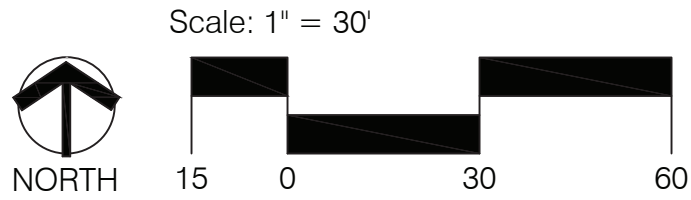
VALVE ID	STA. NO.	SPK TYPE	FLOW	PRECIP. RATE	RUNTIME	CONTROL PROGRAM	HIGHEST FLOW
A-1	1	I25-20-FC	213.6 GPM	.45" /hr	84 MIN	PROGRAM: 1	854.4 gpm
A-2	2	I25-20-FC	213.6 GPM	.45" /hr			
A-3	3	I25-20-FC	213.6 GPM	.45" /hr			
A-4	4	I25-20-FC	213.6 GPM	.45" /hr			
A-5	5	I25-20-PC	273.8 GPM	.89" /hr	42 MIN	PROGRAM: 2	547.6 gpm
A-6	6	I25-20-PC	273.8 GPM	.89" /hr			
A-7	7	I20-7-PC	82.3 GPM	.48" /hr	83 MIN	PROGRAM: 3	213.0 gpm
A-8	8	I20-7-PC	130.7 GPM	.48" /hr			
A-9	9	BUBBLER	60.75 GPM	.25/.75 GPM	12 MIN	PROGRAM: 6	396.0 gpm
A-10	10	BUBBLER	166.0 GPM	.25/.75 GPM			
A-11	11	BUBBLER	169.25 GPM	.25/.75 GPM			
A-MV	MV	MASTER VALVE	1000 GPM	NA	NA		
A-12	12	I25-13-FC	147.6 GPM	.40" /hr	100 MIN	PROGRAM: 4	369.0 gpm
A-13	13	I25-13-FC	73.8 GPM	.40" /hr			
A-14	14	I25-13-FC	147.6 GPM	.40" /hr			
A-15	15	I25-13-PC	153.7 GPM	.81" /hr			
A-16	16	I25-13-PC	153.7 GPM	.81" /hr	50 MIN	PROGRAM: 5	153.7 gpm
A-17	17	BUBBLER	72.50 GPM	.25/.75 GPM	12 MIN	PROGRAM: 6	72.50 gpm
B-1	18	I25-13-FC	172.2 GPM	.40" /hr	100 MIN	PROGRAM: 4	344.4 gpm
B-2	19	I25-13-FC	172.2 GPM	.40" /hr			
B-3	20	I25-13-PC	153.7 GPM	.81" /hr	50 MIN	PROGRAM: 5	307.4 gpm
B-4	21	I25-13-PC	153.7 GPM	.81" /hr			
B-5	22	BUBBLER	34.0 GPM	.25/.75 GPM	12 MIN	PROGRAM: 6	127.5 gpm
B-6	23	BUBBLER	93.5 GPM	.25/.75 GPM			
B-7	24	BUBBLER - FUT	0 GPM	.25/.75 GPM	12 MIN	PROGRAM: 6	0.0 gpm
B-8	25	BUBBLER - FUT	0 GPM	.25/.75 GPM			

TOTAL RUNTIME OF SYSTEM: 6.17 hrs
MAXIMUM SYSTEM FLOW = 854 gpm
RUNTIME OF PROGRAM #1 : 1.40 hours (HIGH FLOW = 854 gpm)
RUNTIME OF PROGRAM #2 : 0.70 hours (HIGH FLOW = 547 gpm)
RUNTIME OF PROGRAM #3 : 1.38 hours (HIGH FLOW = 213 gpm)
RUNTIME OF PROGRAM #4 : 1.66 hours (HIGH FLOW = 713 gpm)
RUNTIME OF PROGRAM #5 : 0.83 hours (HIGH FLOW = 461 gpm)
RUNTIME OF PROGRAM #6 : 0.20 hours (HIGH FLOW = 596 gpm)

STATION RUNTIMES ARE CALCULATED TO APPLY .66" OF WATER ON ALL TURF AREAS. 3 GALLONS OF WATER PER SHRUB AND 9 GALLONS OF WATER PER TREE PER IRRIGATION CYCLE.

CONTROL SYSTEM PROGRAMMING:
ALL STATION ASSIGNED TO A PARTICULAR PROGRAM HAVE A SIMILAR RUNTIME. ALL STATIONS (VALVES) ASSIGNED TO A PARTICULAR PROGRAM SHOULD OPERATED SIMULTANEOUSLY. PROGRAMS SHOULD OPERATED ONE AT A TIME.

SEE OTHER IRRIGATION SHEET FOR LEGEND AND NOTES



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CITY OF ALBUQUERQUE
PARKS AND RECREATION DEPARTMENT
STRATEGIC PLANNING AND DESIGN DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
IRRIGATION PLAN (SOUTH)

Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.		Mo. / Day / Yr.			
City Project No.		735207	Zone Map No.	B-10	Sheet	20	Of	25



NO.	DATE	REMARKS	BY
		DESIGN	
		DATE 05/14	
		DRAWN BY JG/JW	
		DATE 05/14	
		CHECKED BY JG	
		DATE 05/14	

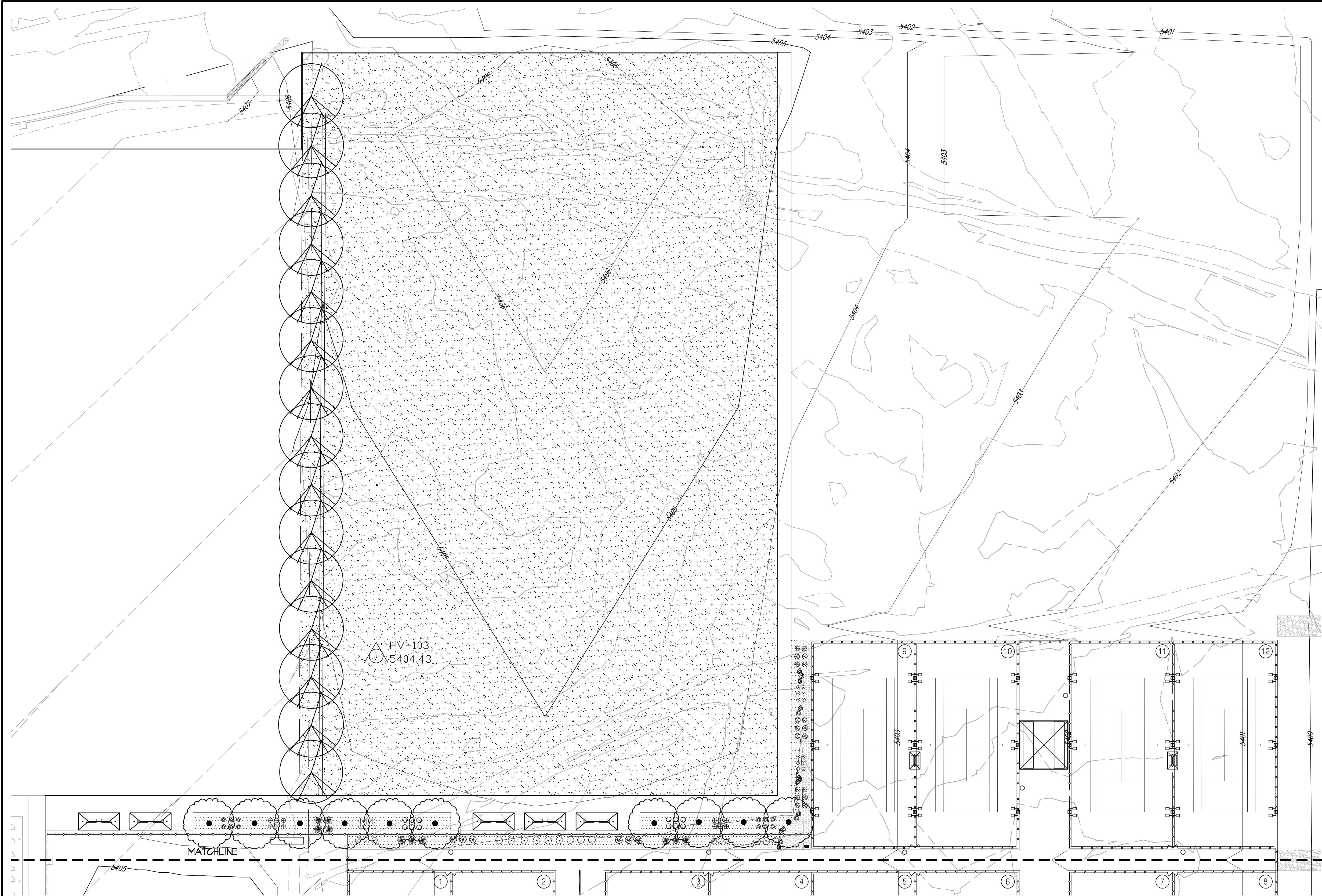
RECORD DRAWINGS

PROJECT #735207
MAY 2014

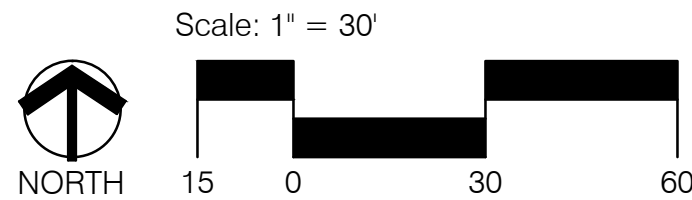
VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

FINAL FOR CONSTRUCTION





- GENERAL LANDSCAPE NOTES
1. PRIOR TO BEGINNING WORK ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT IN THE FIELD WITH THE OWNER'S REPRESENTATIVE.
 2. IF DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND THE SITE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR CLARIFICATION PRIOR TO PROCEEDING ON THAT PORTION OF WORK.
 3. ALL PLANTING AREAS ARE TO HAVE NEEDS AND COMPETITIVE VEGETATION REMOVED PRIOR TO PREPARATION FOR PLANTING.
 4. ALL EXISTING PLANT MATERIALS SHALL BE PROTECTED DURING CONSTRUCTION. DAMAGED MATERIALS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
 5. PLANT QUANTITIES ARE PROVIDED FOR CONTRACTOR'S CONVENIENCE ONLY, PLANS SHALL TAKE PRECEDENCE.
 6. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT MATERIAL PRIOR TO PLANTING. IN ADDITION, THE OWNER REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
 7. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS.
 8. PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH ALL CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (SECTION 1005 - PLANTING) AND DETAILS.
 9. GRASS SODDING SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATION SECTION 1010-GRASS SODDING, WITH THE FOLLOWING EXCEPTION: SECTION 1010.4.1 PREPARATION SHALL BE AMENDED TO THE PROVISION OF 6 C.Y./1,000 S.F. OF ORGANIC AMENDMENT. ALL OTHER PROVISIONS OF THAT SECTION REMAIN UNCHANGED.



PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE	QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE	QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES																	
12		FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	2.5" B&B	14' HT. X 6" SPR. 40' HT. X 35' SPR.	MEDIUM +	20		LAVENDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM			PARK BLEND SOD (TALL FESCUE, KENTUCKY BLUEGRASS, RYE)			
15		PISTACHIA CHINENSIS CHINESE PISTACHE	2.5" B&B	14' HT. X 6" SPR. 40' HT. X 40' SPR.	MEDIUM	36		RAMPHOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 4' SPR.	MEDIUM			4"-8" BASALT COBBLE - BASALT AVAILABLE FROM ON-SITE STOCKPILE (6" DEPTH OVER FILTER FABRIC)			
10		PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2.5" B&B	14' HT. X 5" SPR. 45' HT. X 30' SPR.	MEDIUM +	18		SALVIA GREGGII CHERRY SAGE	5-GAL.	3' O.C. 3' HT. X 3' SPR.	MEDIUM	14		7/16" BUILDOLGY BROWN ROCK MULCH (4" DEPTH) BASALT LANDSCAPE BOULDERS (21 CY AVERAGE)			
SHRUBS/GROUNDCOVERS																	
22		BUDDLEIA DAVIDII NANHOENSIS DWARF BUTTERFLY BUSH	5-GAL.	4' O.C. 4' HT. X 4' SPR.	MEDIUM	13		CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW +	24		MISCANTHUS SIN. 'GRACILLIMUS' MAIDEN HAIR GRASS	5-GAL.	4' O.C. 8' HT. X 4' SPR.	LOW
18		CARYOPTERIS CLANDONENSIS BLUE MIST	5-GAL.	3' O.C. 3' HT. X 3' SPR.	MEDIUM	12		MUHLENBERGIA CAP. 'REGAL MIST' MUHLY GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.	MEDIUM	40		NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.	LOW
24		CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW												
12		ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	5-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW												

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CITY OF ALBUQUERQUE
PARKS AND RECREATION DEPARTMENT
STRATEGIC PLANNING AND DESIGN DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
PLANTING PLAN (NORTH)

Design Review Committee	City Engineer Approval	No. / Day / Yr.	No. / Day / Yr.

City Project No.	Zone Map No.	Sheet	Of
735207	B-10	21	25





THE RESPONSE GROUP, INC.
An Electrical/Mechanical Engineering Corporation

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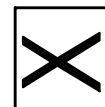
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY FOR LIABILITY THEREFOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITY LINES, PIPELINE OR UNDERGROUND UTILITY LINES PRIOR TO THE LOCATION OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE OF ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, MARK OR PROTECT EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONSTRUCTION OF THE PROJECT. WHENEVER THE CONTRACTOR ENCOUNTERS THE UTILITIES, COMPLYING WITH "NM ONE CALL" PROCEDURES, OR OTHERWISE,

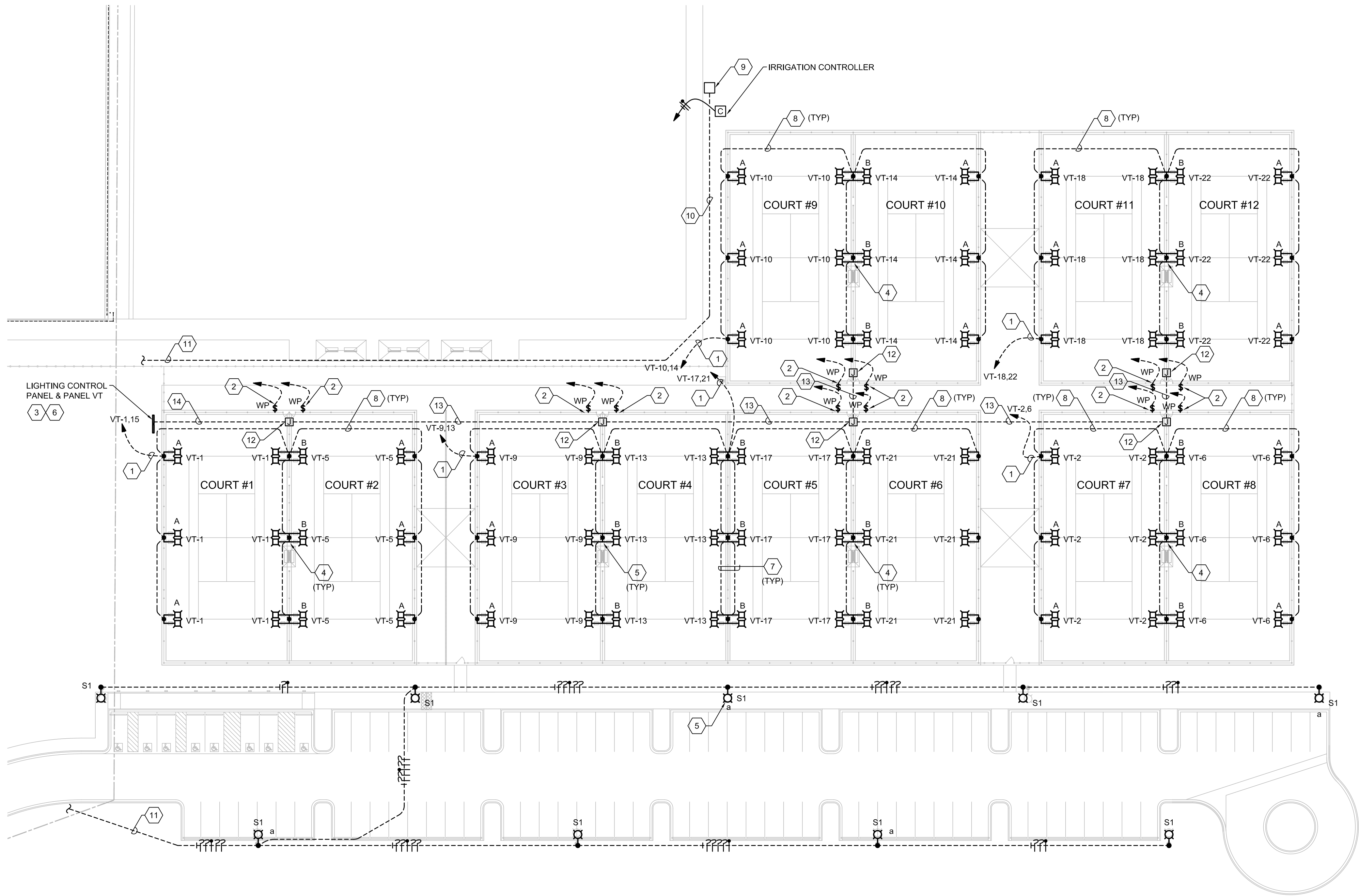
RECORD DRAWINGS

PROJECT #735205
FEBRUARY 2014

VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

FINAL FOR CONSTRUCTION





ELECTRICAL PLAN
SCALE: 1" = 30'

- KEYED NOTES**
- HOMERUN 6 - #8 THHW COPPER CONDUCTORS IN A 1 1/4" PVC CONDUIT TO CIRCUIT INDICATED THROUGH THE LIGHTING CONTROL SYSTEM. REFER TO CONTROL DIAGRAM ON SHEET 25.
 - PROVIDE AND INSTALL A WEATHERPROOF LIGHTING CONTROL SWITCH, 48" AFG, FOR THE CONTROL OF LIGHTING FIXTURES FOR THE RELATED COURT FIXTURES. REFER TO CONTROL DIAGRAM ON SHEET 25 FOR ADDITIONAL REQUIREMENTS.
 - REFER TO THE POWER RISER DIAGRAM ON SHEET 25 FOR ADDITIONAL INFORMATION.
 - FIXTURE IN THAT RELATED COURT SHALL BE CONNECTED TO CIRCUIT INDICATED.
 - REFER TO LIGHT POLE MOUNTING DETAIL ON SHEET 25
 - REFER TO MOUNTING RACK DETAIL ON THIS SHEET 25
 - EXTEND 6 - #8 THHW COPPER CONDUCTORS IN A 1 1/4" PVC CONDUIT BETWEEN FIXTURES AS SHOWN. CONNECT LIGHTING CIRCUITS CALLED OUT TO FIXTURES LIGHTING THE RELATED COURT. REFER TO CONTROL DIAGRAM ON SHEET 25.
 - EXTEND 3 - #8 THHW COPPER CONDUCTORS IN A 1 1/4" PVC CONDUIT BETWEEN FIXTURES AS SHOWN. CONNECT LIGHTING CIRCUITS CALLED OUT TO FIXTURES LIGHTING THE RELATED COURT. REFER TO CONTROL DIAGRAM ON SHEET 25
 - PROVIDE AND INSTALL A 18" X 12" X 18" DEEP TRAFFIC RATED PRE-CASTE CONCRETE IN GROUND PULLBOX FOR THE EXTENSION OF POWER TO FUTURE LIGHTING FIXTURES.
 - EXTEND A 1 1/4" CONDUIT WITH PULLWIRE FROM THE PULLBOX CALLED OUT IN NOTE 9 TO PANELBOARD.
 - REFER TO SHEET 23 FOR CONTINUATION.
 - PROVIDE AND INSTALL A 4" SQUARE WEATHERPROOF J-BOX ON THE TOP OF THE FENCE BETWEEN TENNIS COURTS FOR THE EXTENSION OF CABLING TO SPEAKERS. MOUNT ON A UNISTRUT P1000 CHANNEL. CHANNEL SHALL BE SECURE TO FENCE SUPPORT POLE.
 - EXTEND A 1" CONDUIT UNDERGROUND BETWEEN J-BOXES. EXTEND CONDUIT FROM UNDERGROUND UP TO J-BOX CALLED OUT IN NOTE 12. SECURE CONDUIT TO FENCE SUPPORT POLE.
 - EXTEND A 1" CONDUIT UNDERGROUND FROM THE J-BOX TO THE CONTROL PANEL STAND. PROVIDE AND INSTALL A 4" SQUARE WEATHERPROOF J-BOX ON STAND FOR THE EXTENSION OF CABLES TO SPEAKER AMPLIFIER.
 - FROM THE IRRIGATION CONTROLLER EXTEND A 1" CONDUIT WITH 3 #8 CONDUCTORS TO SPARE CIRCUIT BREAKER IN EXISTING PANEL "SPL". COORDINATE THE FINAL CONNECTION OF THE CIRCUIT TO THE CONTROLLER WITH THE IRRIGATION CONTRACTOR. PROVIDE AND INSTALL 2 - 12" X 12" X 18" PRECAST CONCRETE PULLBOXES IN CONDUIT RUN BETWEEN THE IRRIGATION CONTROLLER AND THE PANEL PANELBOARD. EVENLY SPACE PULLBOXES IN CONDUIT RUN

WARNING

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF TO THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE OF ANY AND ALL DAMAGE CAUSED BY IT'S FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES, AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NM ONE CALL" PROCEDURES, OR OTHERWISE.



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
TENNIS COURT & PARKING LOT LIGHTING PLAN

Design Review Committee

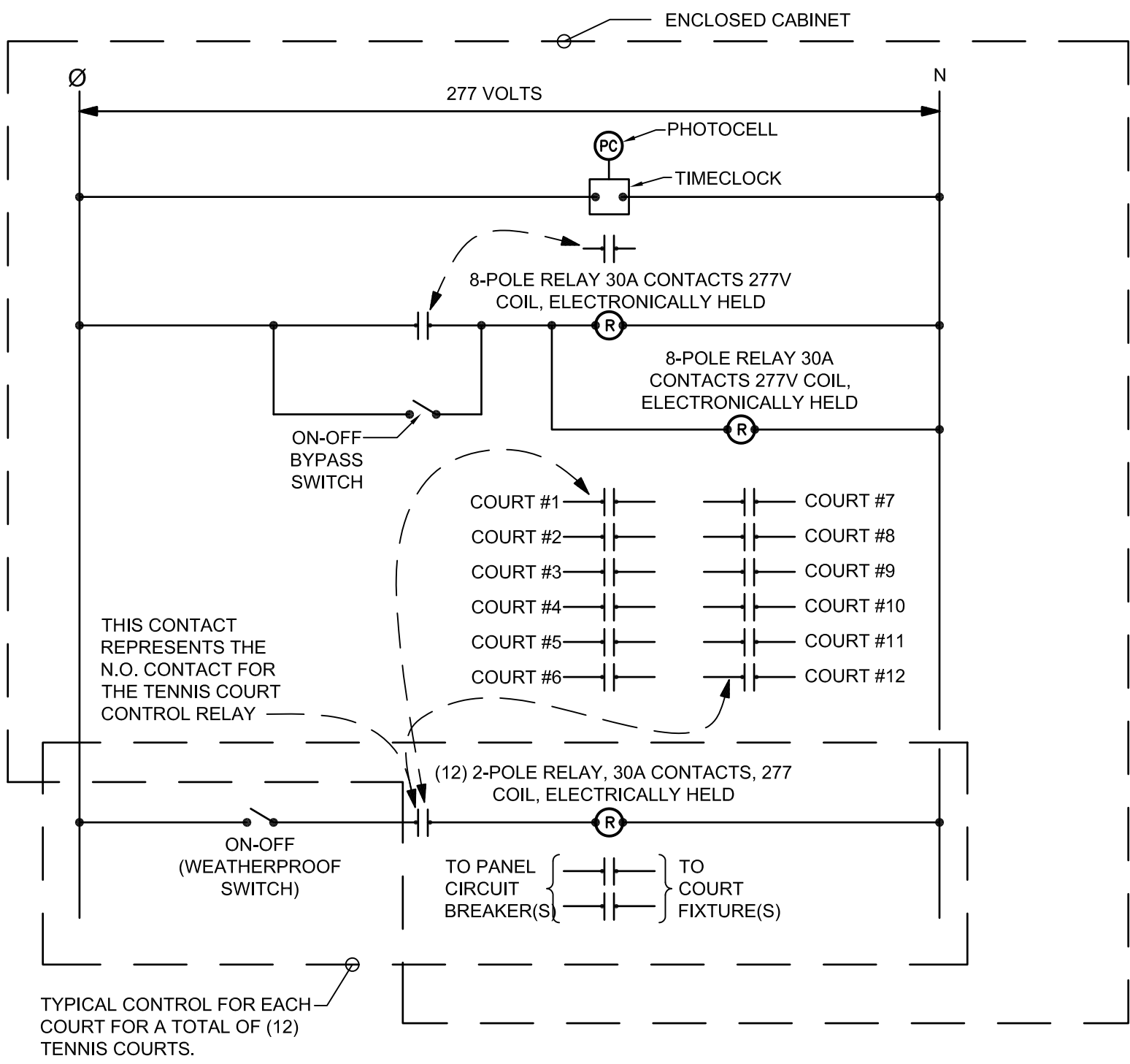
City Engineer Approval

Last Design Update

City Project No. 735205 Zone Map No. B-10 Sheet 24 of 25

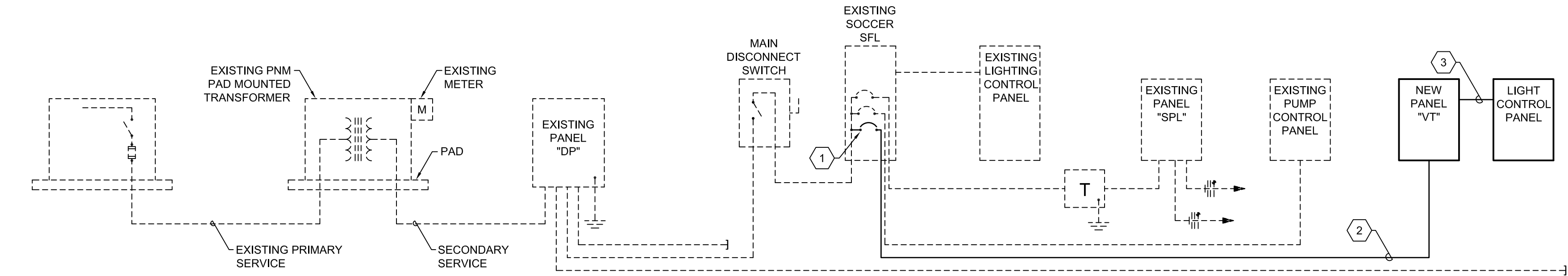


AS BUILT INFORMATION				SURVEY INFORMATION			
CONTRACTOR	WORK	DATE	DATE	FIELD NOTES	NO.	BY	DATE
	DESIGNED BY						
	ACCEPTANCE BY						
	FIELD VERIFICATION BY						
	DRAWINGS						
	CORRECTED BY						
	MICRO-FILM INFORMATION						
	RECORDED BY						
	NO.						



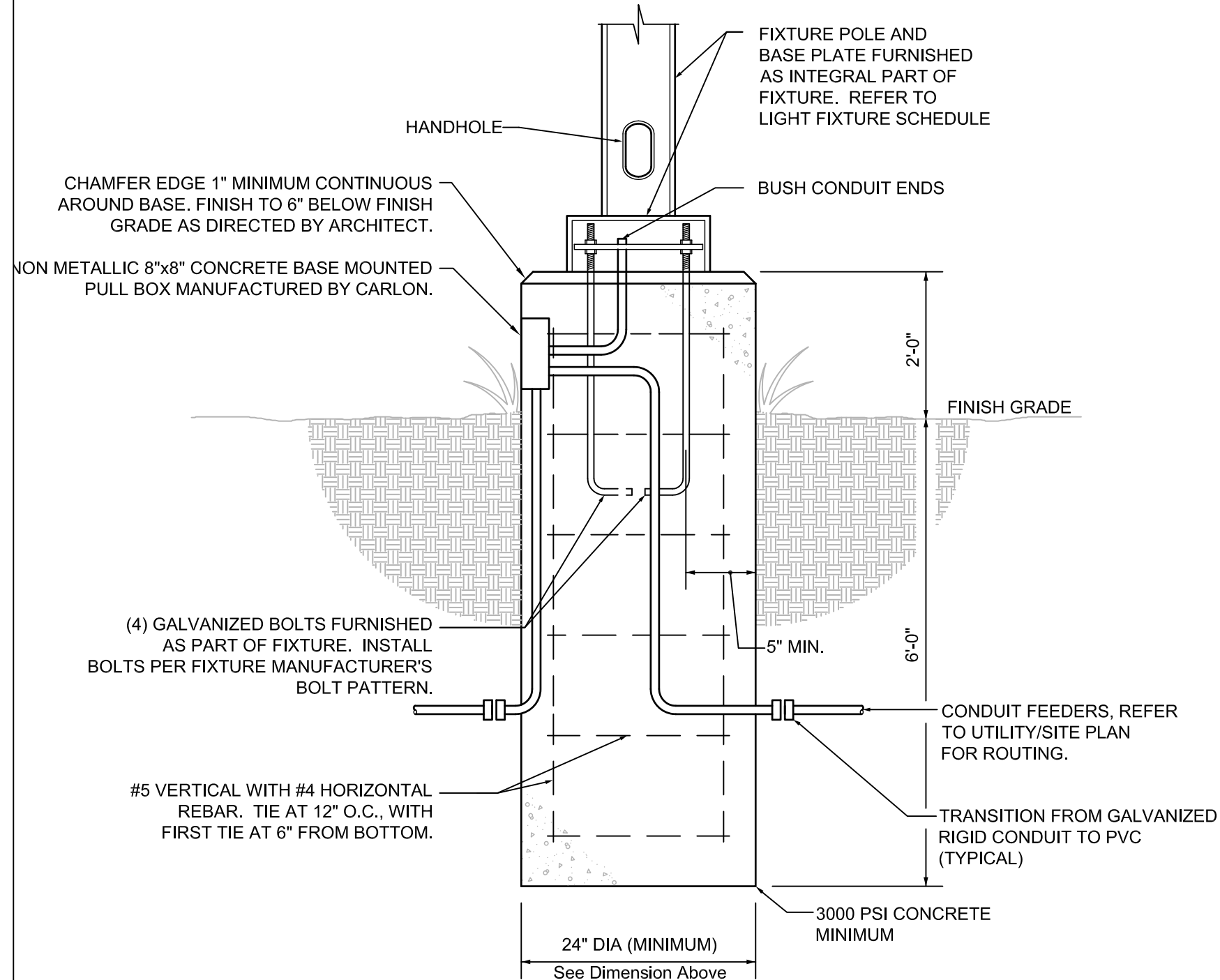
LIGHTING CONTROL DIAGRAM

SCALE: NONE



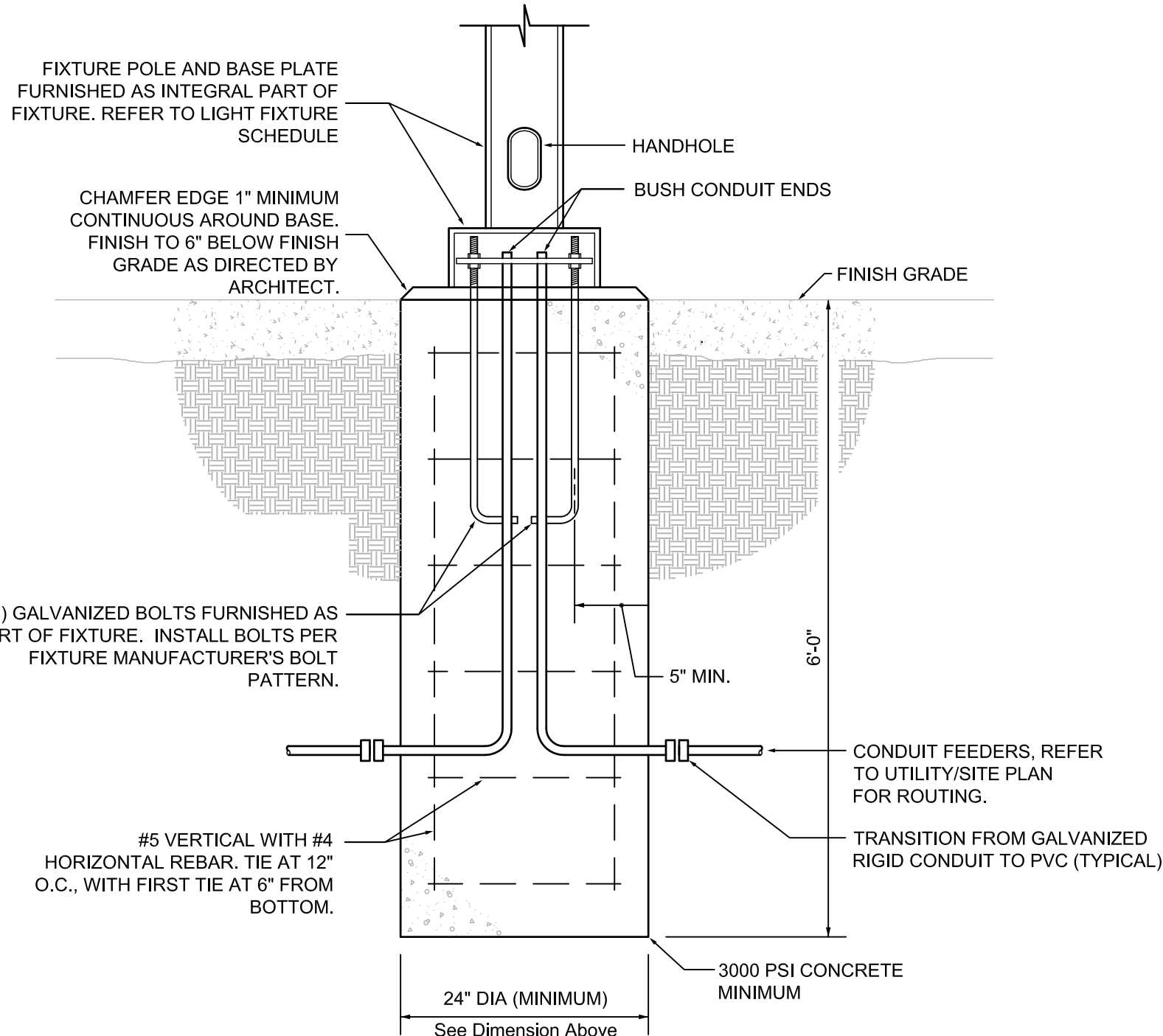
POWER RISER DIAGRAM

NO SCALE



FIXTURE TYPE "S1" MOUNTING DETAIL

FOR PAVED AND LANDSCAPE AREAS

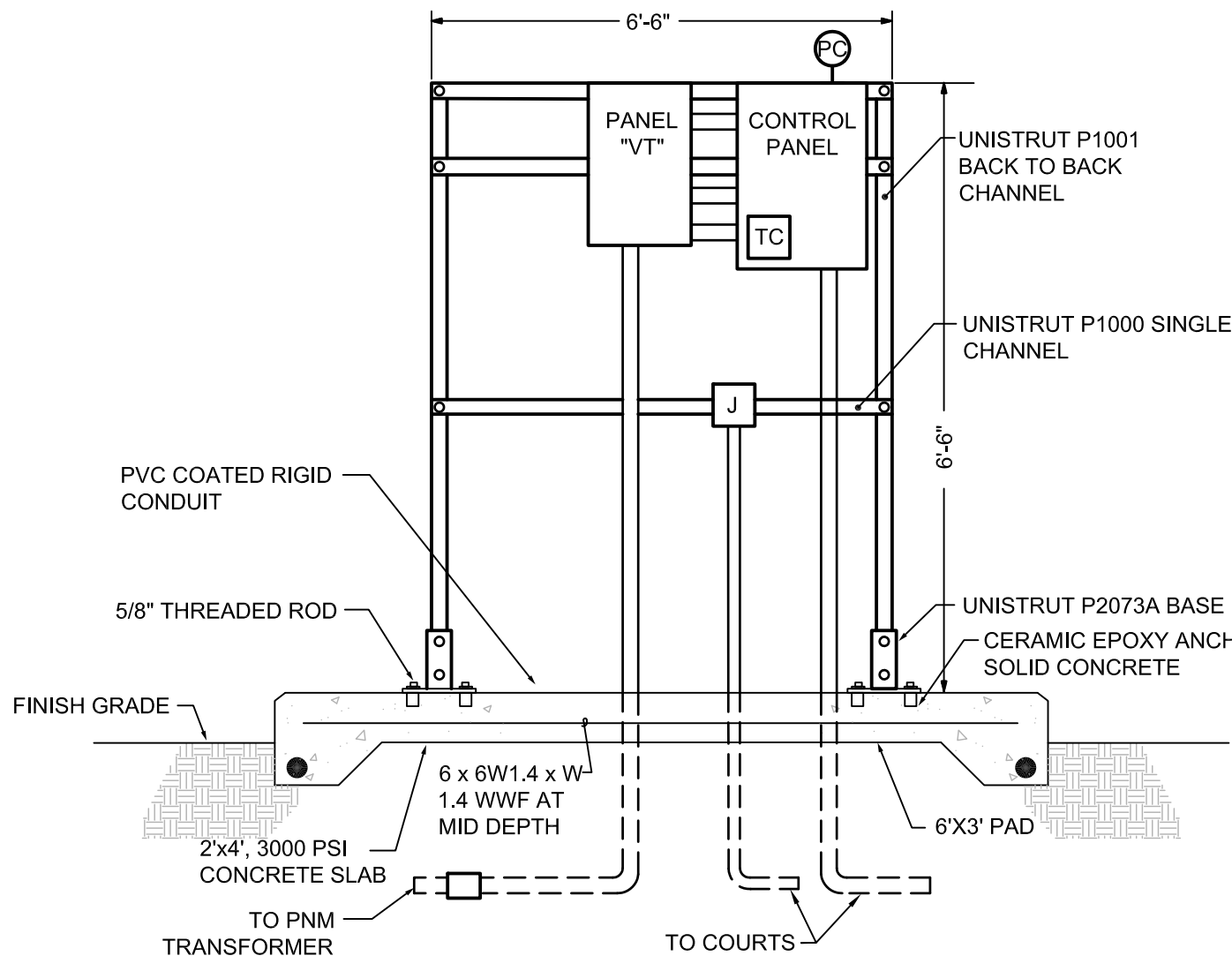


FIXTURE TYPE "A" AND "B" MOUNTING DETAIL

SCALE: NONE

PANEL: "VT"			OC DEVICE TYPE: BREAKER					ENCLOSURE: NEMA 3R			MAINS (A): 300A MCB			
LOCATION: TENNIS			DEVICE FAMILY: BOLT ON					MOUNTING: SURFACE			WIRING: 3 PH., 4 WIRE			
FED FROM: PANEL "XX"			MODEL:					VOLTAGE: 277/480V			AIC: 14,000			
BKR SIZE	NOTES	DESCRIPTION	DEMAND CODE	LOAD (VA)	CKT NO.	PHASE A	LOADS PHASE B	PHASE C	CKT NO.	LOAD (VA)	DEMAND CODE	DESCRIPTION	NOTES	BKR SIZE
30A/2P		TENNIS COURT #1		6300	1	12600			2	6300	LTS	TENNIS COURT #1		30A/2P
				6300	3		12600		4	6300				
30A/2P		TENNIS COURT #2		6300	5			12600	6	6300		TENNIS COURT #2		30A/2P
				6300	7	12600			8	6300				
30A/2P		TENNIS COURT #3		6300	9		12600		10	6300		TENNIS COURT #3		30A/2P
				6300	11			12600	12	6300				
30A/2P		TENNIS COURT #4		6300	13	12600			14	6300		TENNIS COURT #4		30A/2P
				6300	15		12600		16	6300				
30A/2P		TENNIS COURT #5		6300	17			12600	18	6300		TENNIS COURT #5		30A/2P
				6300	19	12600			20	6300				
30A/2P		TENNIS COURT #6		6300	21		12600		22	6300		TENNIS COURT #6		30A/2P
				6300	23			12600	24	6300				
					25				26					
					27				28					
					29				30					
					31				32					
					33				34					
					35				36					
					37				38					
					39				40					
PROV.		SPACE			41				42			SPACE		PROV.
	KVA	AMPS		PHASE TOTALS:		VA	AMPS	NOTES:						
SECT. 1	151.2	181.9		PHASE A:		50400	181.9	1.) NEUTRAL BAR, GROUND BAR.						
SECT. 2				PHASE B:		50400	181.9	2.) DOOR-IN-DOOR TRIM, 42 TOTAL POLES.						
TOTAL	151.2	181.9		PHASE C:		50400	181.9							

LIGHT FIXTURE SCHEDULE			
TYPE	FIXTURE DESCRIPTION	LAMPS	MOUNTING
A	DOUBLE HEAD, SIDE-BY-SIDE, 1000 WATT MH, 16'-0" POLE McGraw - Edison #TLL-1000-MH-XX-4F-F6-MA1214	1000 WATT MH	SEE POLE DETAIL
B	FOUR HEAD FIXTURE, BACK-TO-BACK & SIDE-BY-SIDE, 1000 WATT MH, 16'-0" POLE McGraw - Edison #TLL-1000-MH-XX-4F-F6-MA1214	1000 WATT MH	SEE POLE DETAIL
C	SINGLE HEAD POLE FIXTURE, 150W, HPS, 25'-0" POLE, 480V, DARK BRONZE INVUE #VXS-150-HPS-480-3SB2 ARM 25 - POLE	1-150 WATT HPS	SEE DETAIL



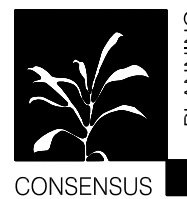
PANEL "VT" RACK

SCALE: NONE

NOTE: COORDINATE FINAL SIZE OF RACK WITH EQUIPMENT PROVIDED.

KEYED NOTES

- PROVIDE AND INSTALL A NEW 250 AMP - 3 POLE CIRCUIT BREAKER IN THE EXISTING 3 POLE SPACE IN PANEL "SFL" FOR THE EXTENSION OF POWER TO NEW PANEL "VT".
- EXTEND 4 - 300 KCML, 1 #2 GROUND 3" CONDUIT
- EXTEND 3 - 2" CONDUIT NIPPLES BETWEEN PANEL BOARD AND CONTROL PANEL
- THE CONTRACTOR CAN EITHER PROVIDE A PRE MANUFACTURE LIGHTING CONTROL PANEL THAT IS UL APPROVED THAT WILL ACCOMPLISH THE CONTROL SCHEME PER THE CONTROL DIAGRAM OR HAVE A CONTROL PANEL ASSEMBLED. THE ASSEMBLED CONTROL PANEL WILL HAVE TO BE CERTIFIED BY A LOCAL TEST LAB. PROVIDE A SUBMITTAL ON THE LIGHTING CONTROL PANEL



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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: VENTANA RANCH COMMUNITY PARK - PHASE 4
ELECTRICAL DETAILS, SCHEDULE AND RISER

Design Review Committee

City Engineer Approval

Last Design Update

City Project No. 735205

Zone Map No. B-10

Sheet 25 of 25

RECORD DRAWINGS

PROJECT #735205
FEBRUARY 2014

VENTANA RANCH COMMUNITY PARK
PHASE 4 RECREATION FIELD/TENNIS COMPLEX

FINAL FOR CONSTRUCTION