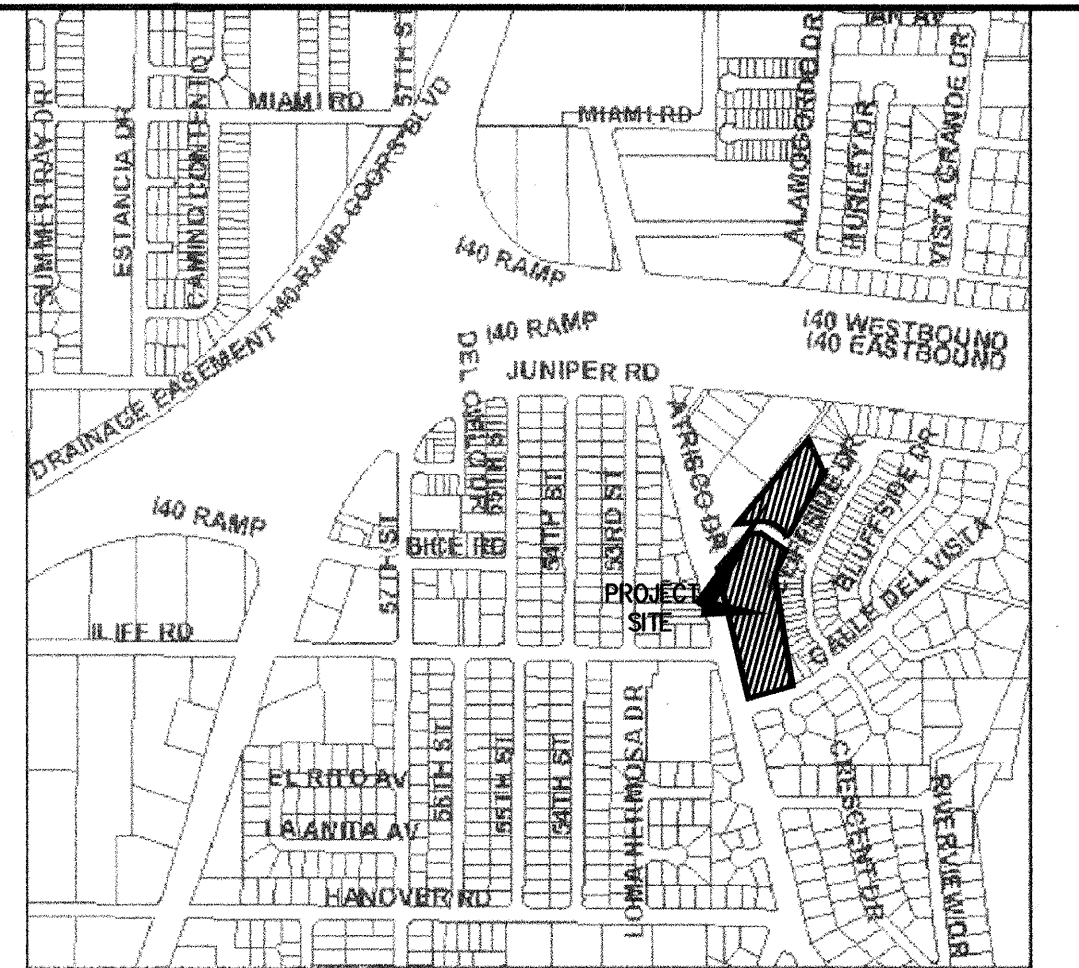


CONSTRUCTION PLANS
FOR
VISTA MAGNIFICA 2
ALBUQUERQUE, NEW MEXICO



VICINITY MAP ZONE ATLAS H-11-Z
SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY OF AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

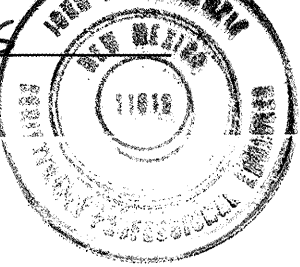
CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 737-9539

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPE 11619.

John M. MacKenzie 6/20/04
John M. MacKenzie NMPE 11619



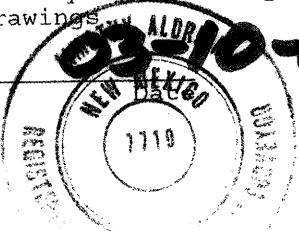
INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2	PLAT
3	GRADING AND DRAINAGE PLAN
4	MASTER PAVING PLAN
5-6	PAVING IMPROVEMENTS
7	MASTER UTILITY PLAN/WATER SHUT-OFF PLAN
8-9	UTILITY IMPROVEMENTS

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, or intent of the drawings.

Timothy Aldrich, P.E. No. 7719

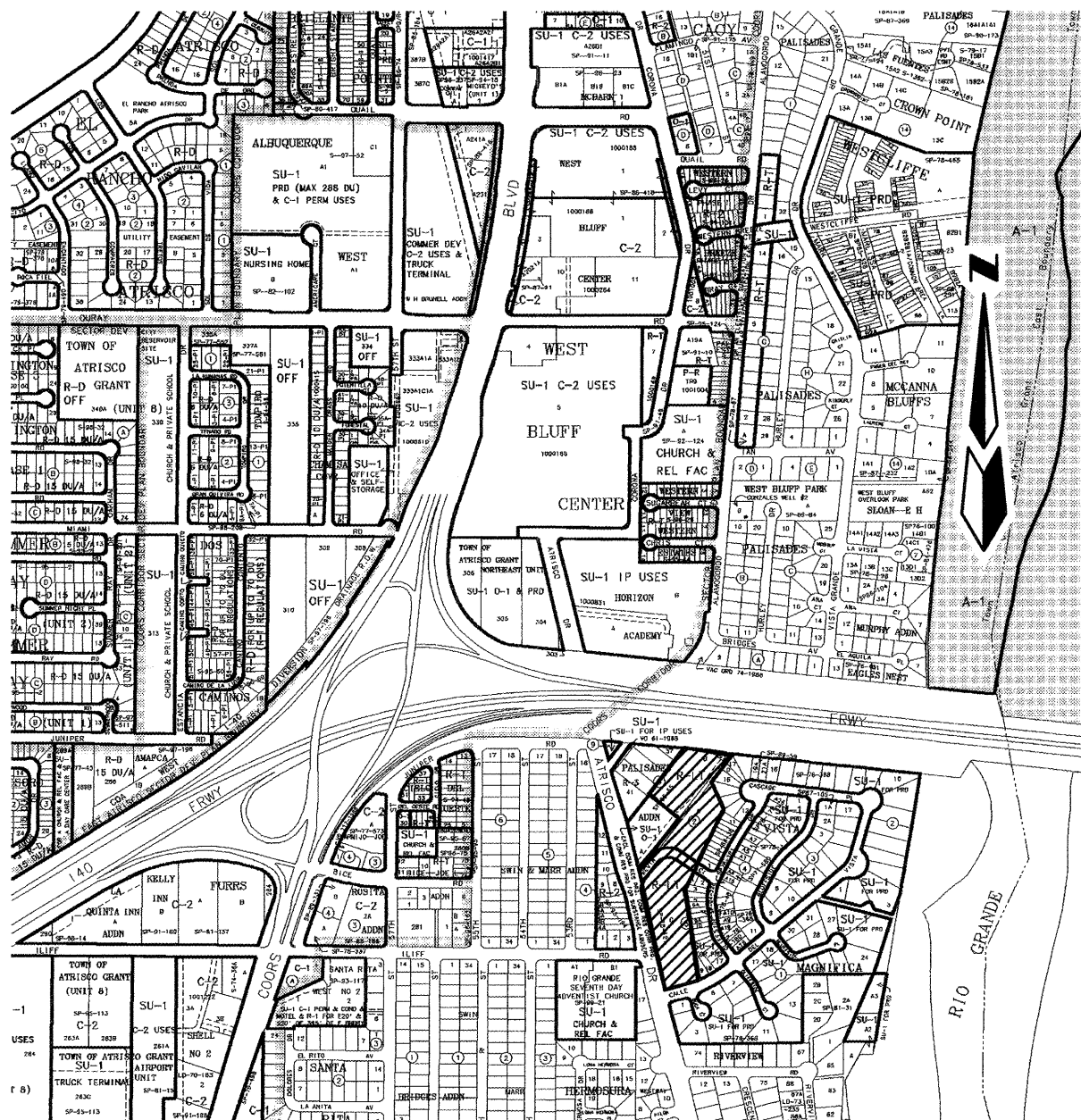


DRB NO.

#1002668



REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC CHAIRMAN		<u>John MacKenzie</u>		7-25-04	
		TRANSPORTATION		<u>John MacKenzie</u>		6/9/04	
		WATER/WASTEWATER		<u>John MacKenzie</u>		6/9/04	
		HYDROLOGY		<u>John MacKenzie</u>		6/9/04	
		CIP		<u>John MacKenzie</u>		6/9/04	
		CONSTR. MNGMT.		<u>John MacKenzie</u>		7-28-04	
		CONSTR. COORD.		<u>John MacKenzie</u>		7-28-04	
		CITY PROJECT NO.		<u>.736481</u>		SHEET OF	
						<u>1 9</u>	



VICINITY MAP

ZONE ATLAS: H-11

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S83°55'07"E	257.88
L2	N37°47'46"E	184.36
L3	S22°01'33"E	160.97
L4	N27°57'23"E	453.49
L5	S08°59'03"E	481.82
L6	S75°58'32"W	25.58
L7	N13°37'33"W	612.51
L8	S38°20'01"W	341.04
L9	N51°41'57"W	199.81
L10	N38°16'21"E	302.90
L11	N24°13'25"E	10.00
L12	N24°13'25"E	10.00
L13	N65°46'35"W	20.00
L14	N81°00'57"E	55.00
L15	S51°43'39"E	10.00
L16	N33°20'57"E	17.47
L17	S66°24'37"E	32.94
L18	N08°59'03"W	35.00
L19	S81°00'57"W	15.00
L20	S81°00'57"W	25.00
L21	N34°51'34"E	18.00
L22	N37°47'46"E	70.96
L23	N62°02'37"W	44.77

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	115.86	652.66	10°10'15"	58.08	N70°33'24"E	115.71
C2	149.74	100.71	85°11'16"	92.59	S80°27'44"W	136.32
C3	70.50	180.00	22°26'32"	35.71	N21°54'10"W	70.05
C4	75.84	180.00	24°08'23"	38.49	S21°03'14"E	75.28
C5	46.37	80.00	33°12'28"	23.85	S07°37'11"W	45.72
C6	56.97	100.00	32°38'27"	29.28	N11°38'09"E	56.20
C7	28.60	38.57	42°28'50"	14.99	S16°33'21"W	27.95
C8	74.14	180.00	23°35'55"	37.60	S66°56'24"E	73.61
C9	64.59	71.87	51°29'38"	34.66	S12°07'17"W	62.44
C10	121.30	125.71	55°17'10"	65.84	S65°30'41"W	116.65
C11	112.57	75.71	85°11'16"	69.60	S80°27'44"W	102.48
C12	65.61	125.71	29°54'06"	33.57	N71°53'41"W	64.86
C13	10.26	54.57	10°46'36"	5.15	S32°24'27"W	10.25
C14	34.15	20.00	97°50'25"	22.94	N75°56'22"E	30.15
C15	33.06	20.00	94°42'43"	21.72	N19°23'59"W	29.42
C16	40.95	202.00	11°36'54"	20.55	S60°56'53"E	40.88
C17	69.50	122.00	32°38'27"	35.72	N11°38'09"E	68.57
C18	20.76	28.00	42°28'50"	10.88	S16°33'21"W	20.29
C19	23.19	20.00	66°25'19"	13.09	N88°21'05"W	21.91
C20	172.03	40.00	246°25'19"	61.10	S01°38'55"W	66.93
C21	162.16	40.00	232°16'33"	81.51	N39°38'18"W	71.82
C22	57.96	100.00	33°12'28"	29.82	S07°37'11"W	57.15
C23	29.84	20.00	85°29'01"	18.48	S33°45'28"W	27.15
C24	31.42	20.00	90°00'00"	20.00	S53°59'03"E	28.28
C25	31.42	20.00	90°00'00"	20.00	S36°00'57"W	28.28
C26	67.41	160.00	24°08'23"	34.21	S21°03'14"E	66.91
C27	71.51	200.00	20°29'07"	36.14	N22°52'52"W	71.13
C28	24.01	20.00	68°47'06"	13.69	S47°01'52"E	22.59
C29	28.90	20.00	82°48'18"	17.63	N30°43'15"E	26.45
C30	62.67	160.00	22°26'32"	31.74	N21°54'10"W	62.27
C31	84.26	200.00	24°08'23"	42.77	S21°03'14"E	83.64
C32	7.72	40.00	11°03'52"	3.87	N60°40'22"W	7.71
C33	52.72	40.00	75°31'21"	30.98	S76°02'02"W	48.99
C34	52.72	40.00	75°31'21"	30.98	S00°30'41"W	48.99
C35	44.03	40.00	63°04'04"	24.54	S68°47'02"E	41.84
C36	14.83	40.00	21°14'41"	7.50	N69°03'36"E	14.75
C37	28.45	25.00	65°11'52"	15.99	N60°33'20"E	26.94
C38	37.04	25.00	84°53'59"	22.87	S14°29'39"E	33.75
C39	87.00	75.71	65°50'26"	49.02	N89°51'52"W	82.29
C40	25.57	75.71	19°20'49"	12.91	S47°32'30"W	25.44
C41	43.15	40.00	61°48'34"	23.94	N89°53'57"W	41.09
C42	24.42	40.00	34°58'21"	12.60	S41°42'35"W	24.04
C43	37.80	100.00	21°39'25"	19.13	S09°41'31"W	37.57
C44	6.46	100.00	3°42'12"	3.23	S22°22'19"W	6.46
C45	13.70	100.00	7°50'51"	6.86	S05°03'37"E	13.69
C46	0.98	200.00	0°16'47"	0.49	S09°07'26"E	0.98
C47	40.07	200.00	11°28'48"	20.10	S15°00'14"E	40.01
C48	41.06	200.00	11°45'47"	20.80	S26°37'31"E	40.99
C49	38.92	160.00	13°56'20"	19.56	N26°09'16"W	38.83
C50	2.15	200.00	0°37'01"	1.08	S32°48'55"E	2.15
C51	23.75	160.00	8°30'12"	11.89	N14°56'00"W	23.72
C52	43.88	652.66	3°51'07"	21.95	N74°02'58"E	43.87
C54	25.96	40.00	37°11'14"	13.46	N57°54'21"E	25.51

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 11, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT C, BLOCK 5 and all of TRACT E AND F, BLOCK 2, VISTA MAGNIFICA as the same is shown and designated on the Correction Plat for VISTA MAGNIFICA filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 7, 1981 in Volume C17, Folio 175 together with all of LOT B, BLOCK 8, THE PALISADES ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 31, 1996 in Volume 96C, Folio 231 and a portion of LOT 9, BLOCK 8, THE PALISADES ADDITION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 23, 1945 in Book D, Page 58 and containing 6.5889 (GROSS) acres more or less.

EXCEPTING THEREFROM; a portion of Kevin Court N.W. containing 0.4182 leaving 6.1707 (NET) acres more or less.

PURPOSE OF PLAT

- SUBDIVIDE 3 EXISTING TRACTS AND 2 LOTS INTO 33 RESIDENTIAL LOTS.
- GRANT EASEMENTS AS SHOWN HEREON
- DEDICATE RIGHT-OF-WAY AS SHOWN HEREON
- VACATE RIGHT-OF-WAY AS SHOWN HEREON

EASEMENTS

- EXISTING PRIVATE ACCESS AND UTILITY EASEMENT (05-31-96, 96C-231) (PORTIONS VACATED BY THIS PLAT)
- EXISTING 8' PRIVATE DRAINAGE EASEMENT (07-16-84, C24-124)
- EXISTING 7' UNDERGROUND UTILITY EASEMENT (09-28-76, D7-64)
- EXISTING 5' PNM AND MST&T EASEMENT (11-14-63, BK.D 719, PG. 189)
- EXISTING 30' INGRESS/EGRESS AND UTILITY EASEMENT (12-24-86, MISC.BK. 434A, PGS. 189-193) (PORTIONS VACATED BY THIS PLAT)
- EXISTING 5' PNM EASEMENT (10-18-60, BK.D 157, PG. 473)
- EXISTING 5' PRIVATE DRAINAGE EASEMENT (06-03-97, BK. 97-15, PG. 1316)

PROPERTY CORNERS

- FOUND 1/2" REBAR WITH CAP "LS 11463" (TYP)
- FOUND 1/2" REBAR WITH CAP "LS 6446" (TYP)
- FOUND PK NAIL ON WALL (TYP)
- FOUND 1/2" REBAR (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

PRELIMINARY PLAT FOR VISTA MAGNIFICA WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 11 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO OCTOBER, 2003

SUBDIVISION DATA

GROSS ACREAGE 6.5889
ZONE ATLAS NO. H-11-Z
NO. OF EXISTING TRACTS/LOTS 3 TRACTS/2 LOTS
NO. OF TRACTS/LOTS CREATED 41 LOTS
NO. OF TRACTS/LOTS ELIMINATED 3 TRACTS/2 LOTS
DATE OF SURVEY JUNE, 2003
RIGHT-OF-WAY DEDICATED 1.4186 AC
ZONING R-3 and SU-1 for PRD
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER 2003251394

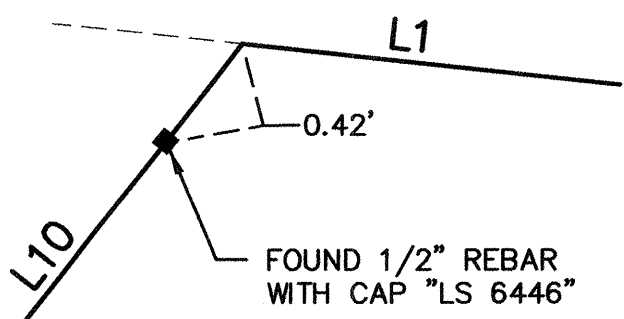
NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#7719
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲. WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:

"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
"ALS LS 7719"

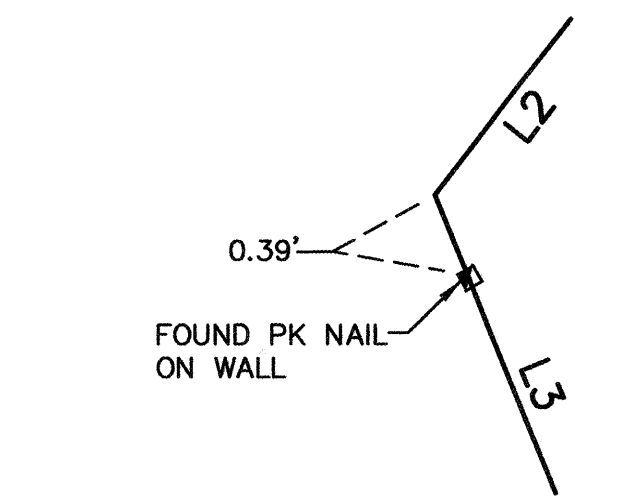
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINT OF CURVATURE, POINT OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

SCANNED BY
MESA REPRO



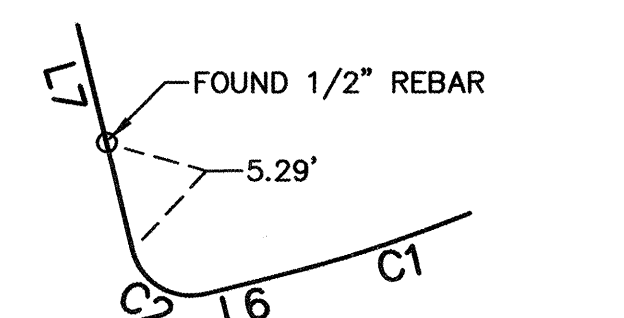
DETAIL "A"

NOT TO SCALE



DETAIL "B"

NOT TO SCALE



DETAIL "C"

NOT TO SCALE

OWNERS

STV INVESTMENTS III, LLC
400 GOLD SW, SUITE 700
ALBUQUERQUE, N.M. 87102

ENGINEERS

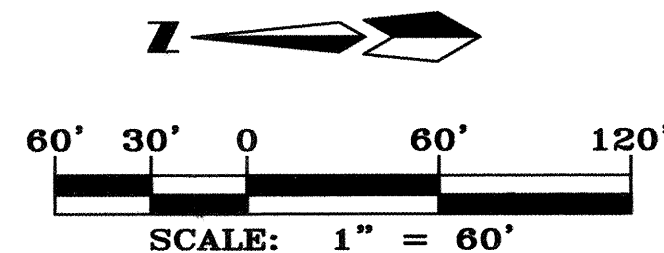
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

LEGEND

- 1-P1 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY
- PUE PUBLIC UTILITY EASEMENT
- PREVIOUS PROPERTY LINE



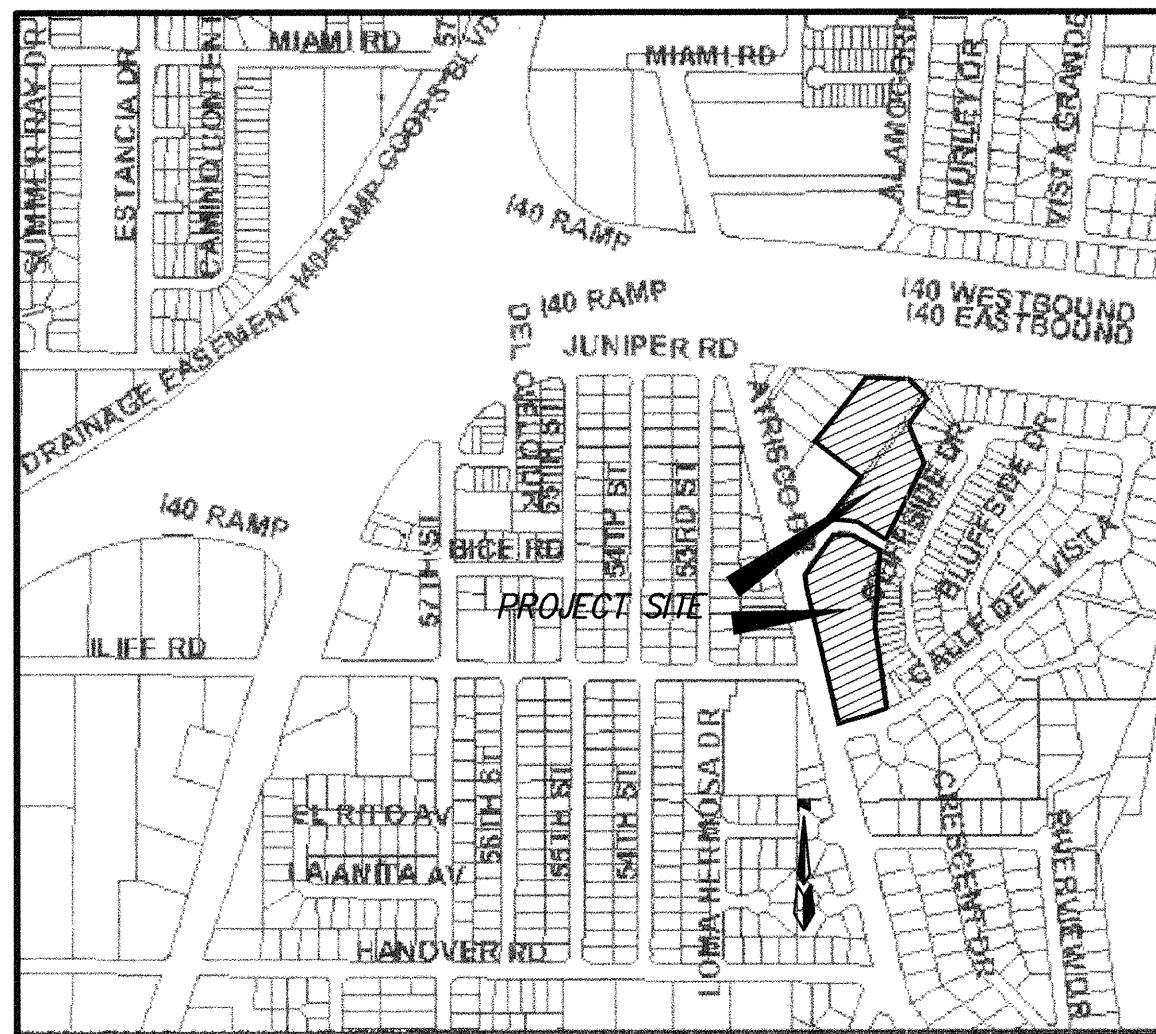
APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 2-18-04
City Surveyor, City of Albuquerque, N.M. Date

OWNER: VISTA MAGNIFICA LLC

[Signature] 2/18/04
Tim McNaney
Managing Member, Vista Magnifica LLC Date

Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 1
Scale: 1" = 60'	Date: 02/17/04	Job: A03060	



VICINITY MAP ZONE: H-11-Z

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and solely information provided by ALS, Inc., NMPS number 7719.

John M. MacKenzie 9-13-05
John M. MacKenzie NMPE 11619

- NOTES
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 6. A PERIMETER CMU WALL WILL BE CONSTRUCTED AROUND THE PROJECT SITE. INTERIOR PROPERTY BOUNDARIES WILL BE SEPARATED BY WALLS (SIDEYARDS AND BACK YARDS).

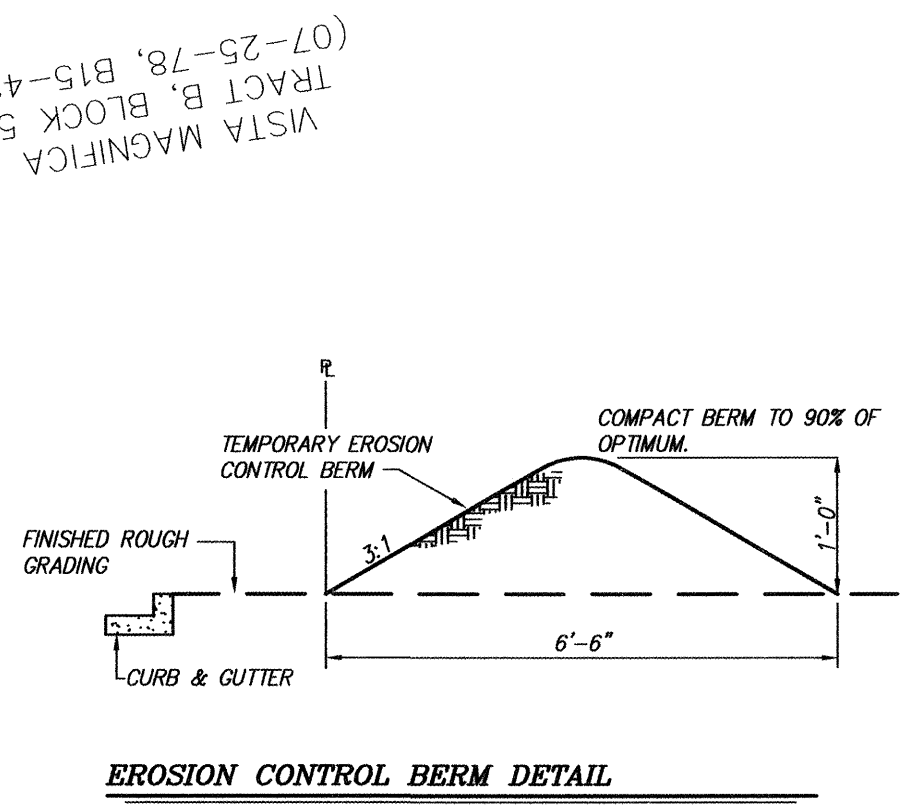
AS BUILT INFORMATION			
CONTRACTOR	SAI'S	DATE	
WORK STARTED BY	SAI'S	DATE	
INSPECTION BY	DMG	DATE	3/05
FIELD NOTES BY	ALS	DATE	3/05
DRAWING BY	ALS	DATE	3/05
CORRECTED BY		DATE	
MICRO-FILM INFORMATION			
RECORDED BY		DATE	
M. Ca Inspector: Henry Blair			

SURVEY INFORMATION			
FIELD NOTES	DATE	BY	
NO.			

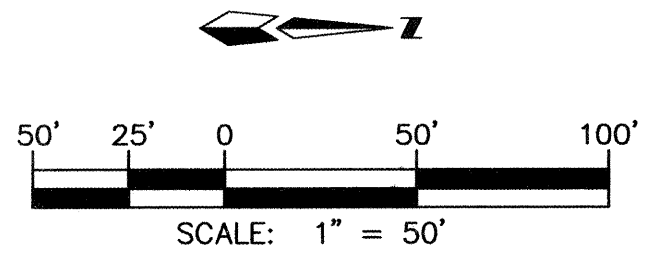
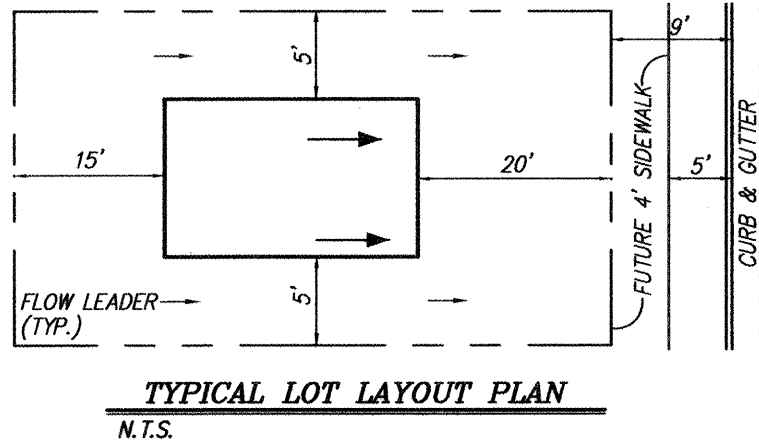


ENGINEER'S SEAL			
REMARKS	DATE	BY	
REVISIONS	DATE	BY	
DESIGN	DATE	BY	
DESIGNED BY	SD	DATE	10/03
DRAWN BY	ACH	DATE	10/03
CHECKED BY	DMG	DATE	10/03

- LEGEND
- EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - EXISTING SPOT ELEVATION
 - EXISTING CONCRETE CURB
 - EXISTING WALL OR HEAD WALL
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING FIRE HYDRANT
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING FENCE
 - EXISTING POWER POLE
 - EXISTING GAS LINE
 - EXISTING STORM DRAIN
 - EXISTING GAS LINE
 - EXISTING WATER LINE
 - NEW CURB & GUTTER
 - NEW STANDARD CURB & GUTTER
 - NEW SIDEWALK
 - NEW RIGHT-OF-WAY
 - NEW CENTERLINE
 - NEW LOT LINES
 - NEW EASEMENTS
 - NEW RETAINING WALL
 - NEW SPOT ELEVATIONS
 - NEW FLOW
 - NEW SLOPE
 - NEW HIGH POINT
 - NEW BASIN BOUNDARY



- EROSION CONTROL NOTES
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
 5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **VISTA MAGNIFICA
GRADING & DRAINAGE PLAN**

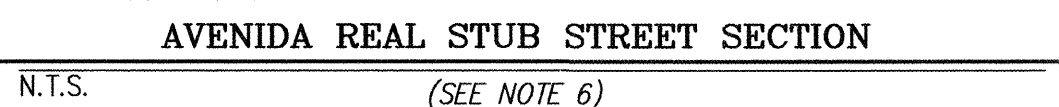
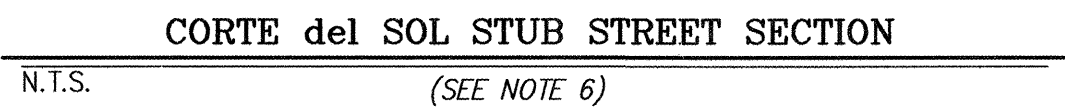
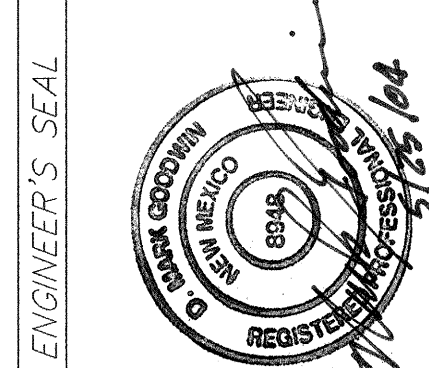
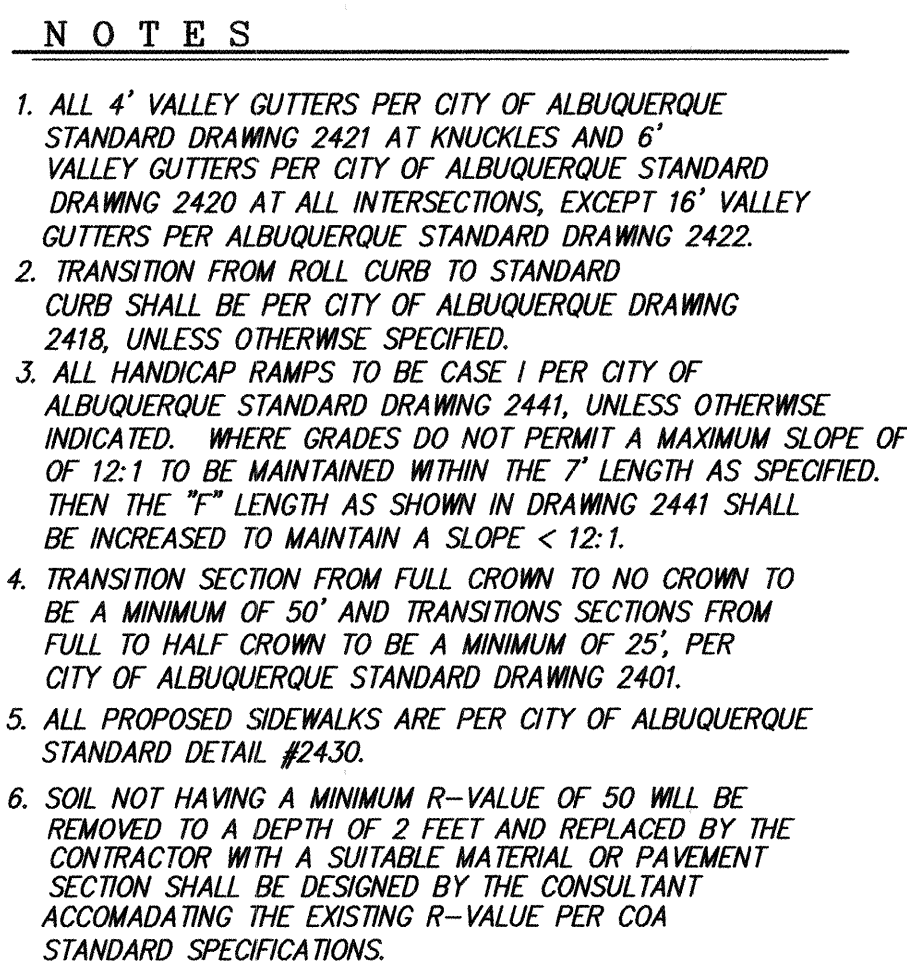
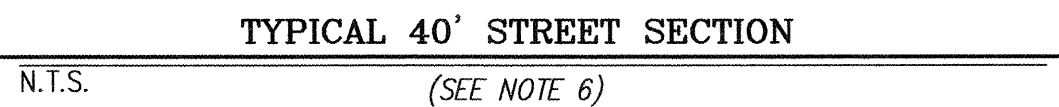
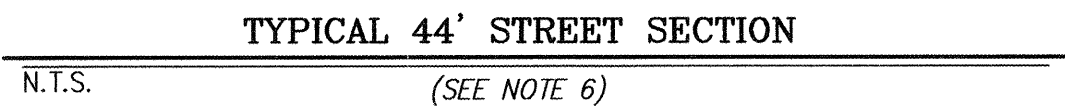
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

For Information Only

MO./DAY/YR. MO./DAY/YR.

LAST DESIGN UPDATE

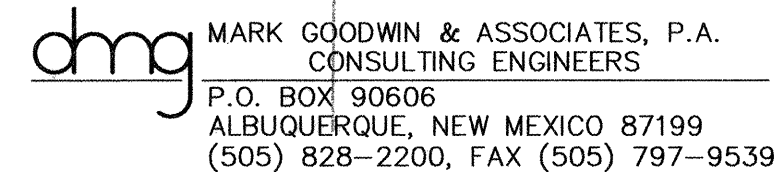
CITY PROJECT NO. **736481** ZONE MAP NO. **H-11** SHEET **3** OF **9**



I, John MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on the inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS.

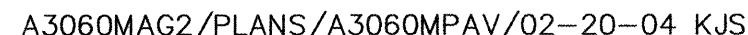
John M. MacKenzie 6-20-05

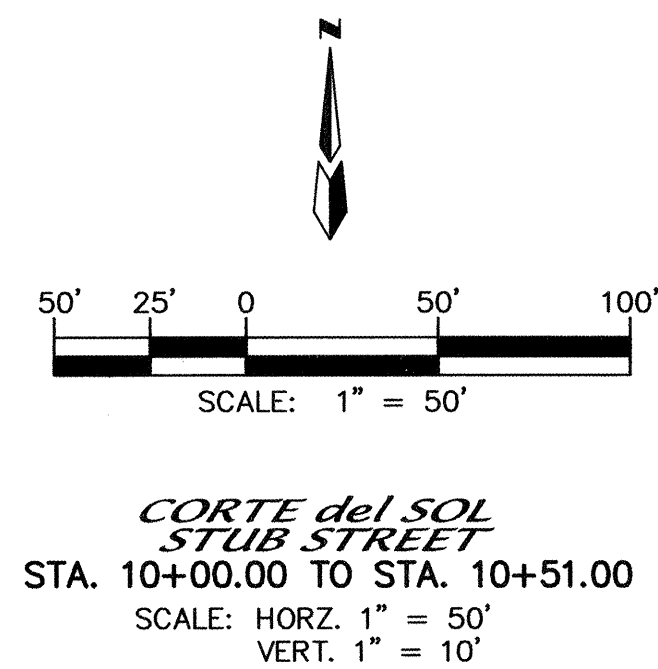
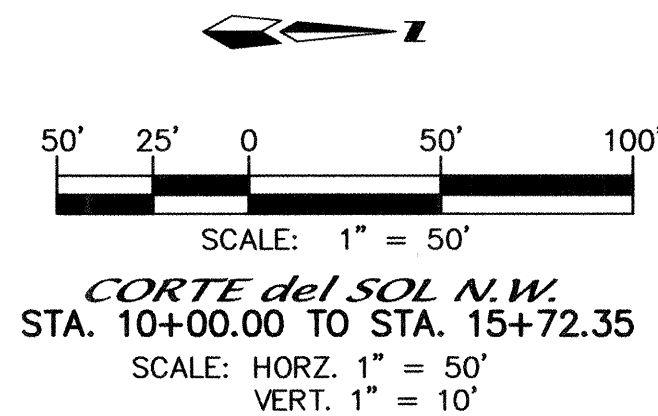
John M. MacKenzie NMPE 11619

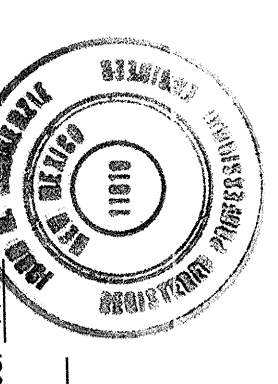


AST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

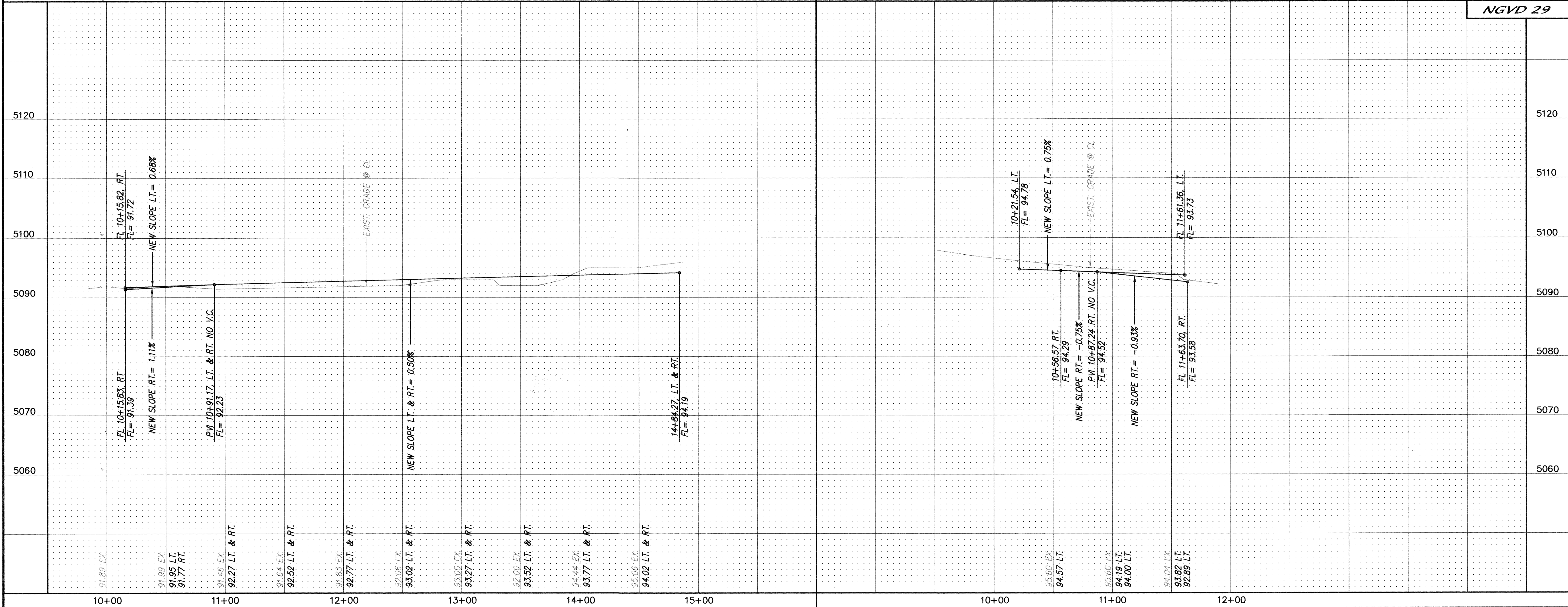
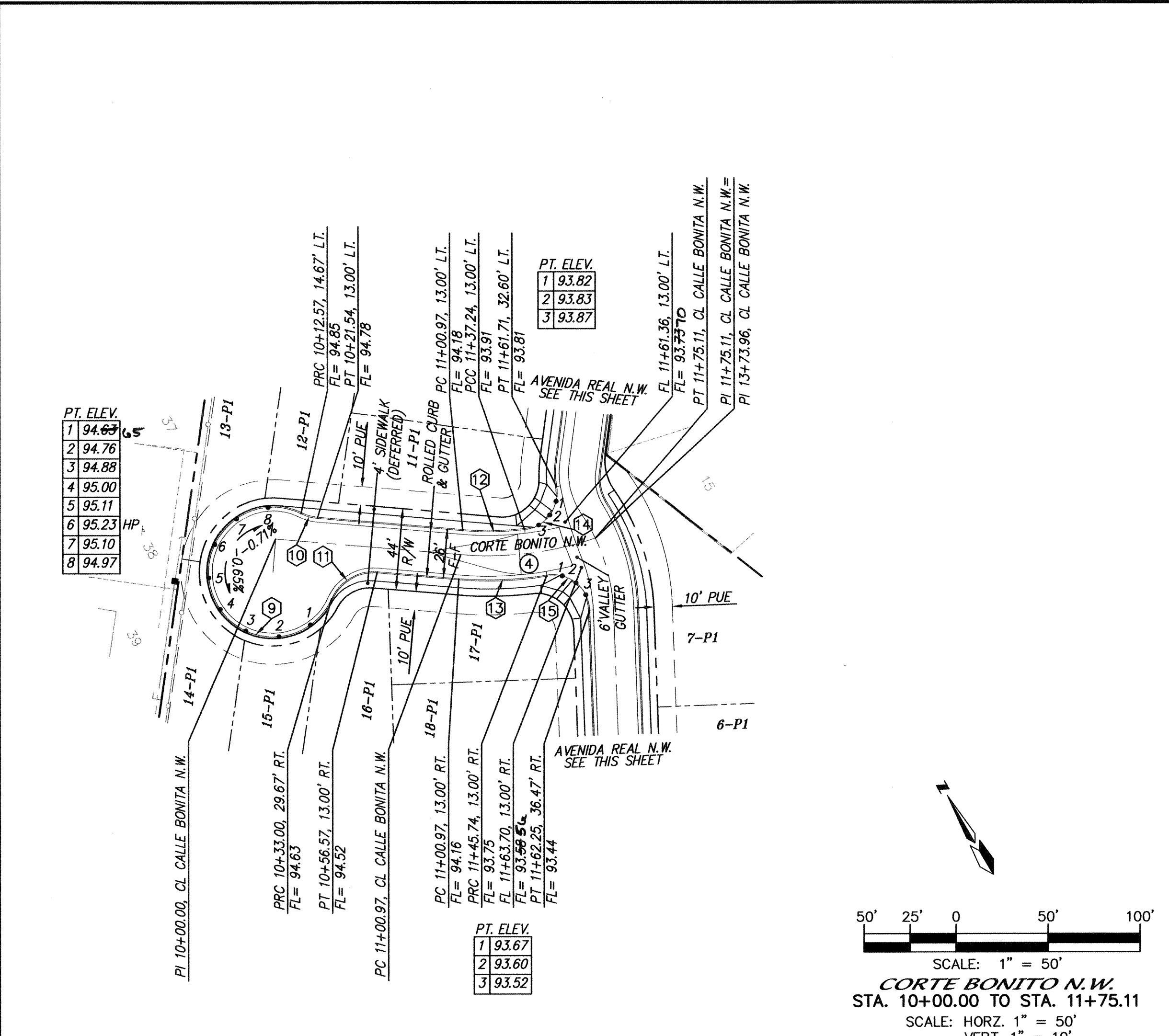
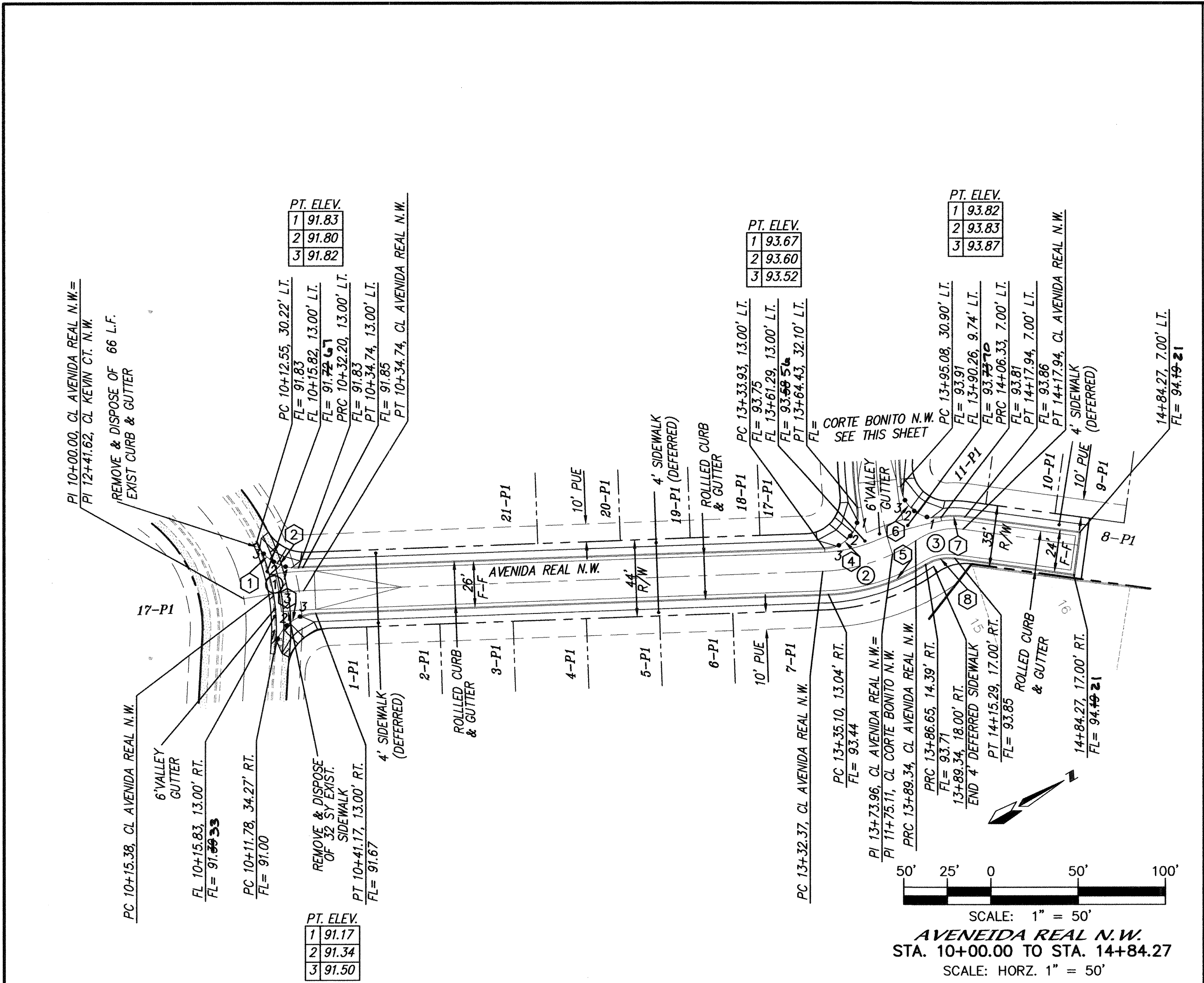
CITY PROJECT NO.	736481	ZONE MAP NO.	H-11-Z	SHEET	OF	4	9
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NOTES 1. ALL STATIONING IS CENTERLINE STATIONING. CURVE DATA - DESCRIBES CENTERLINE																																	
① Δ = 22°26'32" ② Δ = 24°08'23" ③ Δ = 33°12'28" R = 180.00' R = 180.00' R = 80.00' L = 70.50' L = 75.84' L = 46.37' T = 35.71' T = 38.49' T = 23.85'								AS BUILT INFORMATION	SAIS																								
CURVE DATA - DESCRIBES FACE OF NEW CURB CONTRACTOR: Sais STAKED BY: ALS INSPECTED BY: ALS FIELD STATION BY: ALS DRAWINGS: 365 CORRECTED BY: 365 MICRO-FILM INFORMATION RECORDED BY: _____ DATE: _____																																	
① Δ = 102°46'44" ② Δ = 20°41'26" ③ Δ = 24°08'23" R = 25.00' R = 195.00' R = 5045.00' L = 44.85' L = 70.42' L = 79.02' T = 31.31' T = 35.60' T = 39.51' ④ Δ = 85°29'01" ⑤ Δ = 255°18'58" ⑥ Δ = 16°21'57" R = 25.00' R = 35.00' R = 25.00' L = 37.30' L = 155.96' L = 7.14' T = 23.10' T = N/A T = 3.59' ⑦ Δ = 26°31'59" ⑧ Δ = 24°08'23" ⑨ Δ = 22°26'32" R = 91.00' R = 191.00' R = 169.00' L = 42.14' L = 80.47' L = 66.20' T = 21.46' T = 40.84' T = 33.53'																																	
⑩ Δ = 83°41'39" ⑪ Δ = 90°00'00" ⑫ Δ = 90°00'00" R = 25.00' R = 20.00' R = 20.00' L = 35.97' L = 31.42' L = 31.42' T = 22.39' T = 20.00' T = 20.00'																																	
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS I, <u>John MacKenzie</u>, NMPE 11619, of the firm <u>Mark Goodwin & Associates, PA.</u>, a Registered Professional Engineer in the State of New Mexico, hereby certify to the best of my knowledge and belief, that the infrastructure installation depicted on these plans has been inspected by me or by a qualified person under my direct supervision and that the same has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by <u>ALS</u> line. NMPE number <u>11619</u> and <u>11619</u>. <i>John MacKenzie</i> 6-20-05 John M. MacKenzie NMPE 11619 ENGINEER'S SEAL  SURVEY INFORMATION <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">FIELD NOTES</th> </tr> <tr> <th>NO.</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table> BENCH MARKS ACS 1 3/4" ALUMINUM DISK, STAMPED "ACS BM 14-H11", EPOXIED ON TOP OF THE CONCRETE CURB RETURN, SSE QUADRANT OF CALLE DEL VISTA & ALBUQUERQUE ROAD, NW ELEVATION = 5089.600 (MAD 1929)										FIELD NOTES		NO.	DATE																				
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REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REMARKS</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> DESIGN DESIGNED BY: <u>SD</u> DATE: <u>02/04</u> DRAWN BY: <u>KJS</u> DATE: <u>02/04</u> CHECKED BY: <u>DWG</u> DATE: <u>02/04</u>										NO.	DATE	REMARKS	BY																				
NO.	DATE	REMARKS	BY																														
dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 828-2200, FAX (505) 797-9539 CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT																																	
TITLE: <u>VISTA MAGNIFICA 2</u> <u>CORTE DEL SOL N.W.</u> <u>PAVING IMPROVEMENTS</u>																																	
DESIGN REVIEW COMMITTEE APPROVED: _____ DATE: <u>Jul 28 2004</u> CITY ENGINEER APPROVAL APPROVE: _____ CITY ENGINEER LAST DESIGN UPDATE MO./DAY/YR. _____ MO./DAY/YR. _____																																	
CITY PROJECT NO. <u>#736491</u> ZONE MAP NO. <u>H-11-Z</u> SHEET <u>5</u> OF <u>9</u>																																	

SCANNED BY
MESA REPRO



NOTES
1. ALL STATIONING IS CENTERLINE STATIONING.

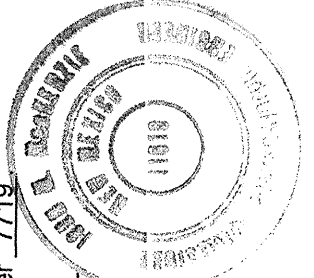
CURVE DATA - DESCRIBES CENTERLINE

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④ $\Delta = 2335'55''$ $R = 180.00'$ $L = 74.14'$ $T = 37.60'$		

CURVE DATA - DESCRIBES FACE OF NEW CURB

① $\Delta = 6875'11''$ $R = 25.00'$ $L = 29.78'$ $T = 16.94'$	② $\Delta = 0053'32''$ $R = 163.00'$ $L = 254.00'$ $T = 1.27'$	③ $\Delta = 8442'19''$ $R = 25.00'$ $L = 32.38'$ $T = 22.79'$
④ $\Delta = 9720'48''$ $R = 20.00'$ $L = 33.98'$ $T = 22.74'$	⑤ $\Delta = 2954'55''$ $R = 113.00'$ $L = 59.00'$ $T = 30.19'$	⑥ $\Delta = 9245'22''$ $R = 25.00'$ $L = 32.38'$ $T = 20.98'$
⑦ $\Delta = 1714'18''$ $R = 45.57'$ $L = 13.71'$ $T = 69.07'$	⑧ $\Delta = 3945'18''$ $R = 25.00'$ $L = 17.35'$ $T = 9.04'$	⑨ $\Delta = 27134'06''$ $R = 35.00'$ $L = 165.89'$ $T = N/A$
⑩ $\Delta = 2102'22''$ $R = 25.00'$ $L = 9.18'$ $T = 4.64'$	⑪ $\Delta = 7031'44''$ $R = 25.00'$ $L = 30.77'$ $T = 17.68'$	⑫ $\Delta = 1132'44''$ $R = 167.00'$ $L = 33.98'$ $T = 22.74'$
⑬ $\Delta = 1474'59''$ $R = 193.00'$ $L = 48.00'$ $T = 24.12'$	⑭ $\Delta = 9245'22''$ $R = 20.00'$ $L = 32.38'$ $T = 20.98'$	⑮ $\Delta = 9720'48''$ $R = 20.00'$ $L = 33.98'$ $T = 22.74'$

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS
I, John Mackenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and that the same conforms to the plans and specifications approved by the City Engineer and that the original design intent of the project has been maintained. This certification is based on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc. NMPS number 7719.
John M. Mackenzie NMPE 11619
6-20-05



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

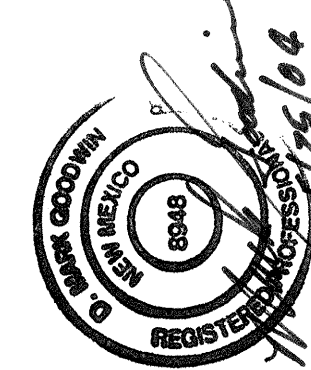
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **VISTA MAGNIFICA 2
AVENIDA REAL AND CORTE BONITO N.W.
PAVING IMPROVEMENTS**

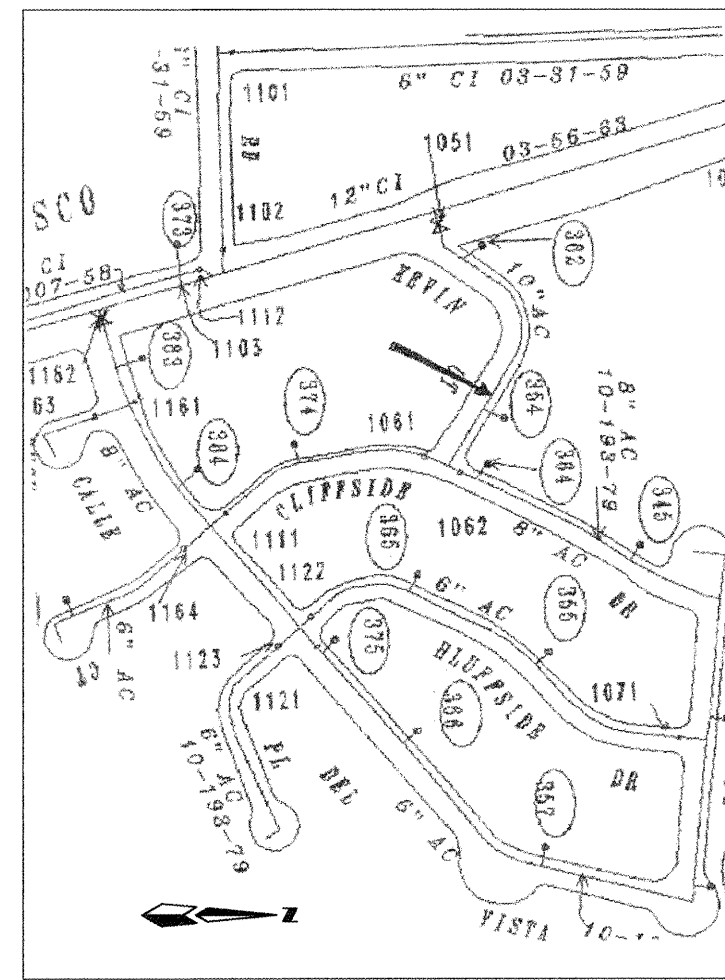
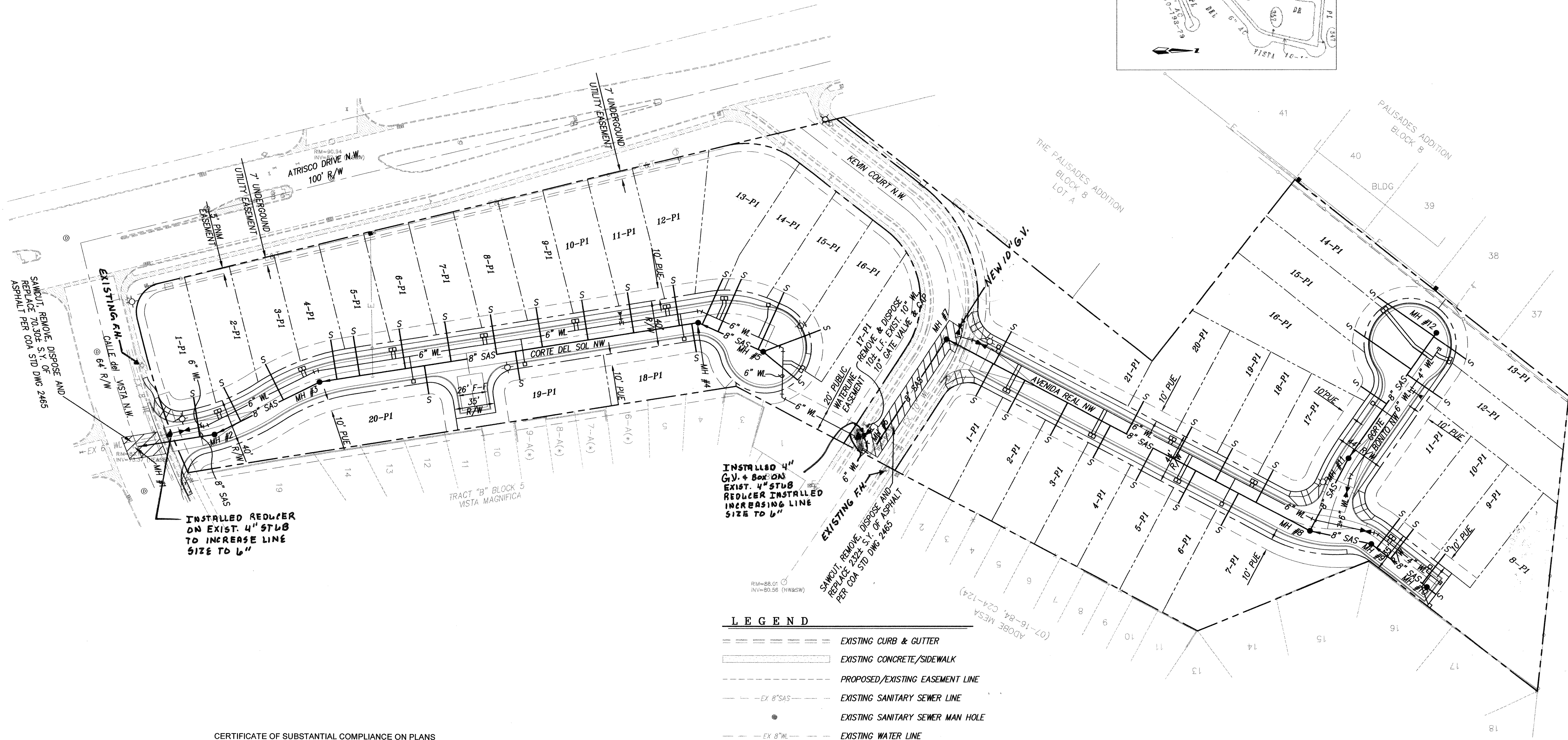
DESIGN REVIEW COMMITTEE
APPROVED
CITY ENGINEER
JUN 28 2004

CITY PROJECT NO. **#736481** ZONE MAP NO. **H-11-Z** SHEET **6** OF **9**

AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	WORK	STATIONED BY	DATE	INSPECTOR'S	DATE	FIELD	DATE	NO.	BY	DATE	DATE	NO.	DATE	REMARKS	BY
Sails	ALS	ALS	3/05	ALS	3/05	ALS	3/05								
VERIFICATION BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE								
CORRECTED BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE								
RECORDED BY	DATE	DATE	DATE	DATE	DATE	DATE	DATE								
NO.															



DESIGNED BY	DATE	02/04
DRAWN BY	DATE	02/04
CHECKED BY	DATE	02/04



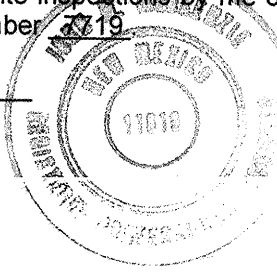
NOTES

- WATER SHUT-OFF PLAN**
- NON-PRESSURE CONNECTION IS TO BE MADE TO THE 10" MAIN IN KEVIN COURT, BY CLOSING EXISTING VALVES 1051, 1061 & 1062.
 - NON-PRESSURE CONNECTION IS TO BE MADE TO THE 8" MAIN IN CALLE DE VISTA, BY CLOSING EXISTING VALVES 1161 & 1162.
 - CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
 - VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

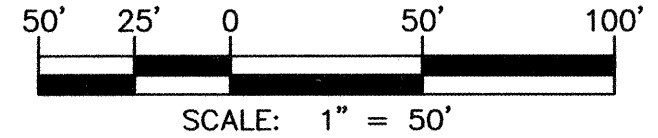
I, John MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certificate is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 2719.

John M. MacKenzie 6-20-05
John M. MacKenzie NMPE 11619



LEGEND

- EXISTING CURB & GUTTER
- EXISTING CONCRETE/SIDEWALK
- PROPOSED/EXISTING EASEMENT LINE
- EX 8" SAS
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MAN HOLE
- EX 8" WL
- EXISTING WATER LINE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING CAP
- EXISTING STREET LIGHT
- 8" SAS
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER MAN HOLE
- 6" WL
- PROPOSED WATER LINE
- PROPOSED SINGLE WATER METER
- PROPOSED DOUBLE WATER METER
- PROPOSED WATER GATE VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED TEE
- PROPOSED BEND
- XXXX
- PROPOSED STREET ADDRESS
- PROPOSED STREETLIGHT



A3060MAG2/PLANS/A3060MUTL/02-20-04 KJS

dmg MARK GOODWIN & ASSOCIATES, P.A.
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P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **VISTA MAGNIFICA SUBDIVISION
MASTER UTILITY PLAN**

DESIGN REVIEW COMMITTEE
JUN 28 2004
REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVE
CITY ENGINEER

LAST DESIGN UPDATE

CITY PROJECT NO. **#136481** ZONE MAP NO. **H-11-Z** SHEET **7** OF **9**

ENGINEER'S SEAL



SURVEY INFORMATION

NO.	BY	DATE

AS BUILT INFORMATION

CONTRACTOR	DATE
SAILS	3-05
INSPECTOR'S	DATE
ALS	3-05
FIELD	DATE
ALS	3-05
VERIFICATION BY	DATE
ALS	3-05
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE

BENCH MARKS

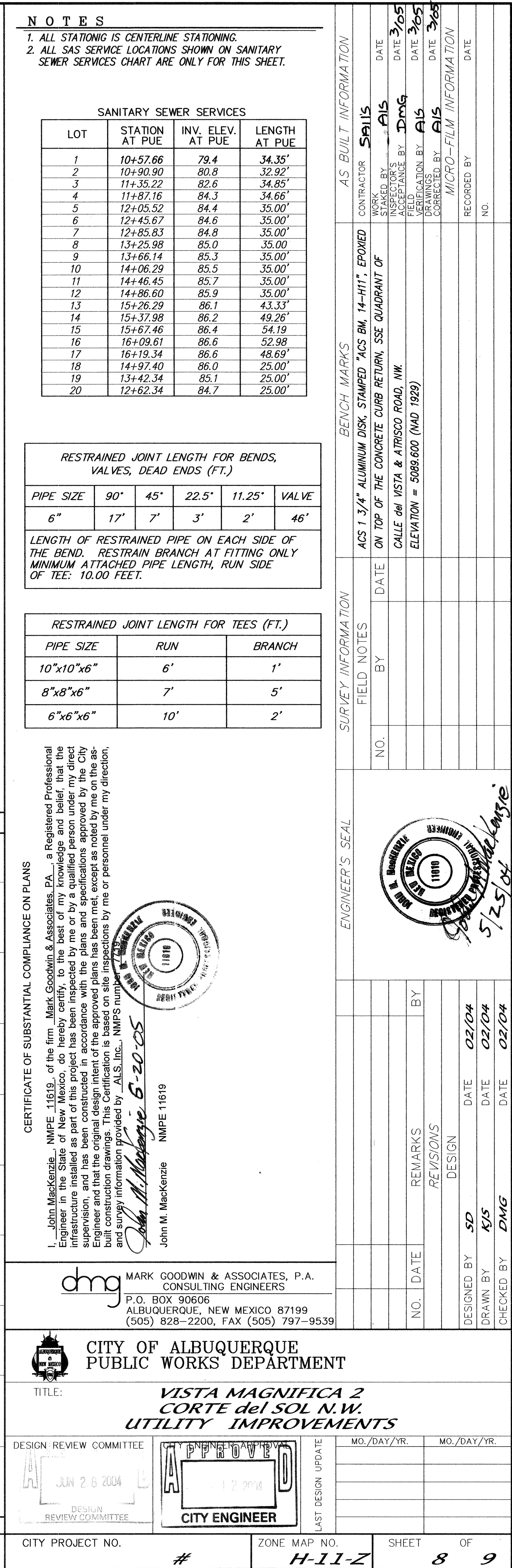
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SAILS	3-05
INSPECTOR'S	DATE
ALS	3-05
FIELD	DATE
ALS	3-05
VERIFICATION BY	DATE
ALS	3-05
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE

FIELD NOTES

NO.	BY	DATE

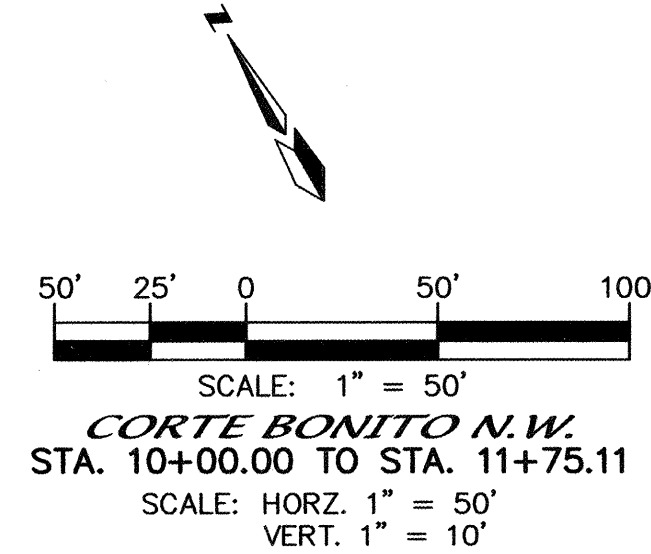
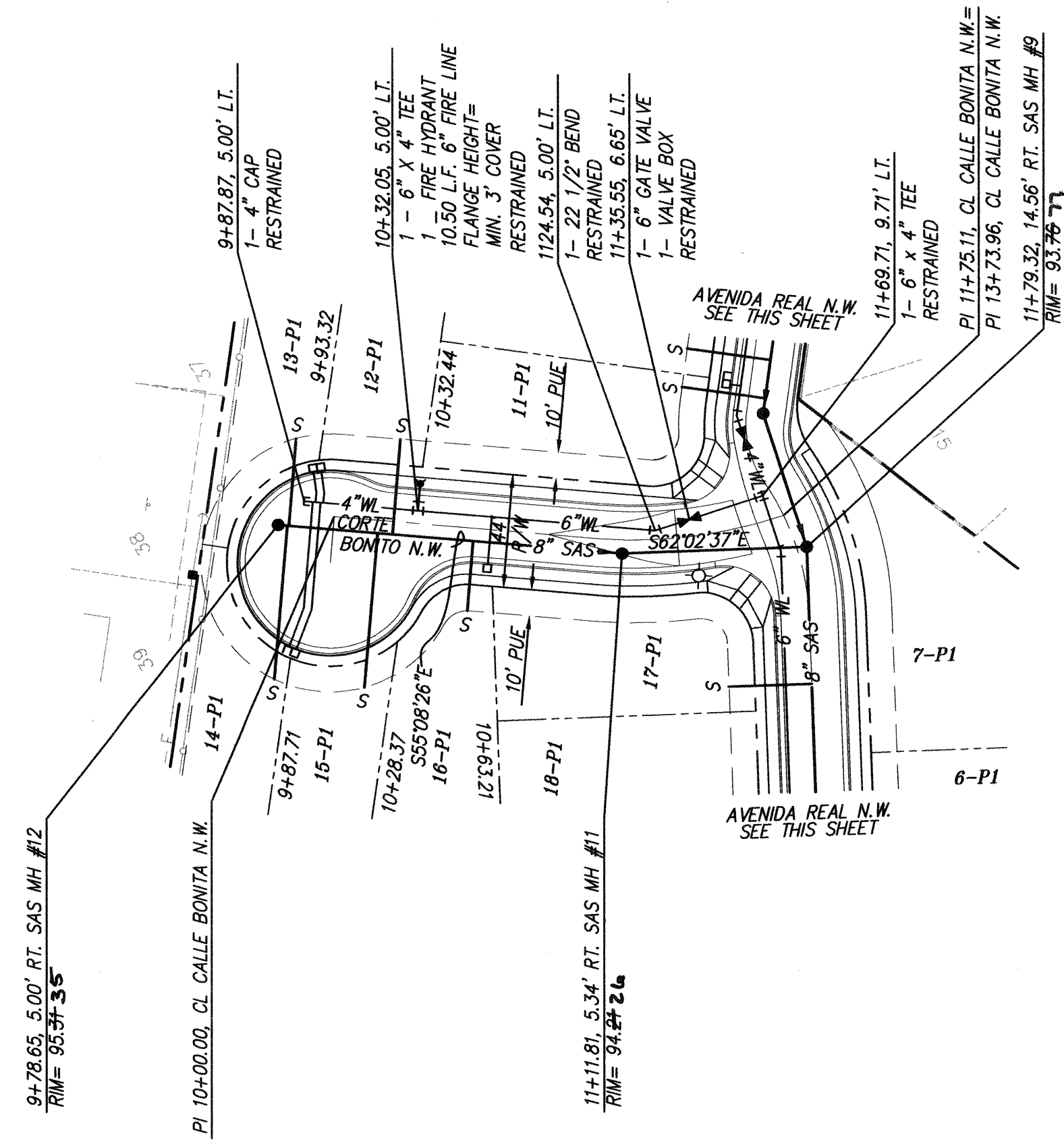
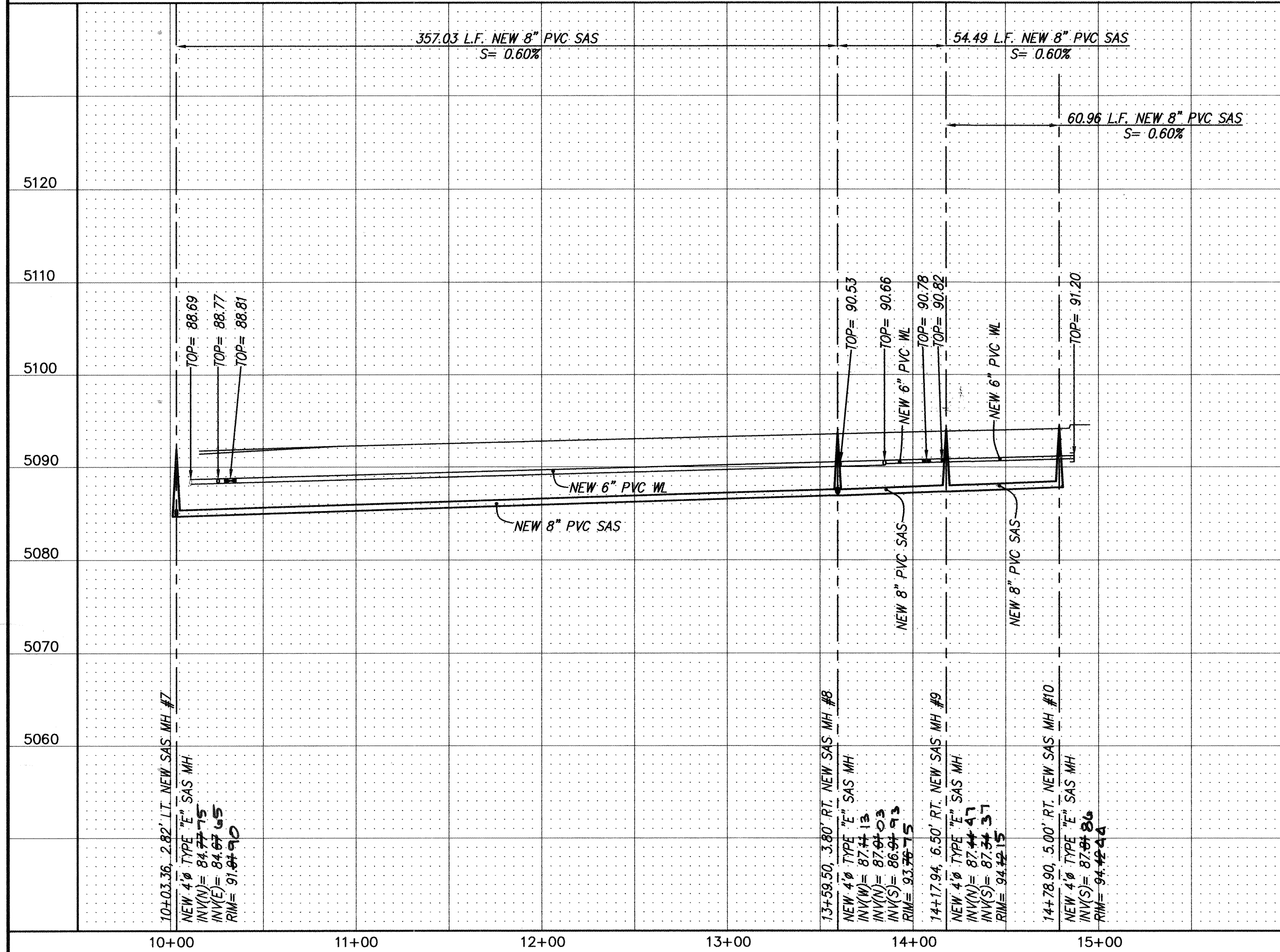
AS BUILT INFORMATION

CONTRACTOR	DATE
SAILS	3-05
INSPECTOR'S	DATE
ALS	3-05
FIELD	DATE
ALS	3-05
VERIFICATION BY	DATE
ALS	3-05
RECORDED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE



736481

SCANNED BY
MESA REPRO



SCALE: 1" = 50'
CORTE BONITO N.W.
STA. 10+00.00 TO STA. 11+75.11
SCALE: HORIZ. 1" = 50'
VERT. 1" = 10'

- NOTES**
1. ALL STATIONING IS CENTERLINE STATIONING.
 2. ALL SAS SERVICE LOCATIONS SHOWN ON SANITARY SEWER SERVICES CHART ARE ONLY FOR THIS SHEET.

SANITARY SEWER SERVICES			
LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
1	10+48.95	86.7	32.00'
2	10+80.05	86.1	32.00'
3	11+22.05	87.3	32.00'
4	11+64.05	87.5	32.00'
5	12+16.05	87.8	32.00'
6	12+48.05	88.0	32.00'
7	12+90.05	88.2	32.00'
8	14+88.90	89.5	10.80' TO R/W
9	14+73.90	89.1	32.50'
10	14+38.90	88.9	32.50'
11	14+23.90	88.9	32.50'
12	10+23.02	89.7	37.00'
13	9+82.76	89.7	33.94'
14	9+82.19	89.7	59.72'
15	10+17.24	89.7	59.94'
16	10+54.35	94.5	27.02'
17	13+07.17	88.3	32.00'
18	12+67.17	88.1	32.00'
19	12+27.17	87.9	32.00'
20	11+79.75	87.6	32.00'
21	10+49.74	86.9	32.00'

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)				
PIPE SIZE	90°	45°	22.5°	11.25° VALVE
6"	17'	7'	9'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

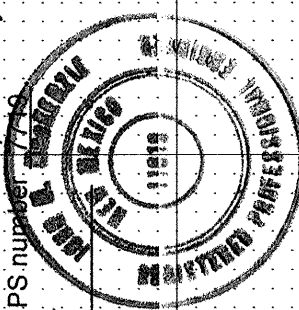
RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
8"x8"x6"	7'	5'
6"x6"x6"	10'	2'

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John MacKenzie, NMPE 11619, of the firm, Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer, and that the original design intent of the approved plans has been met, except as noted by me on the as-built drawings. This certificate is given by me or personnel under my direction, and survey information provided by A.L.S. Inc.

John MacKenzie 6-20-05

John M. MacKenzie NMPE 11619



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

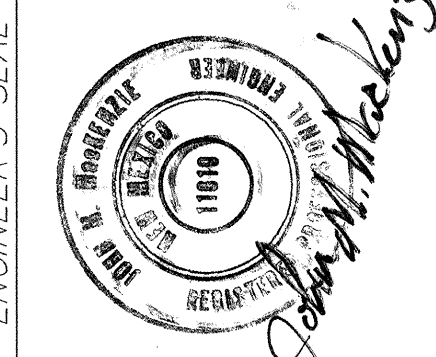
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **VISTA MAGNIFICA 2**
AVENIDA REAL AND CORTE BONITO N.W.
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE
JUL 2 8 2004

APPROVED
CITY ENGINEER

CITY PROJECT NO. # ZONE MAP NO. H-11-Z SHEET 9 OF 9



REVISIONS
DESIGN
DATE 02/04
DRAWN BY KJS
CHECKED BY DMG