

SCANNED BY  
PLANNING

PUBLIC IMPROVEMENT PLANS  
FOR

7TH STREET PARKING LOTS  
ALBUQUERQUE, NEW MEXICO

JUNE 2011

PREPARED FOR:  
**P&C DOWNTOWN PARKING C/O PETERSON INVESTMENTS**  
2375 SAN PEDRO DR NE STE 2B  
ALBUQUERQUE, NM 87110

PREPARED BY:  
**ISAACSON & ARFMAN, P.A.**  
128 MONROE ST. NE  
ALBUQUERQUE, NM 87108

INDEX TO DRAWINGS

SHEET NO.	TITLE
1	COVER SHEET
2	SITE SURVEY
3	GRADING AND DRAINAGE PLAN
	<u>PAVING PLAN &amp; PROFILE SHEETS</u>
4	ALLEY & SEVENTH STREET

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Fred C. Arfman of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built or construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Stephen E. Walker of the firm Walker Surveying, NMPS number 6401.

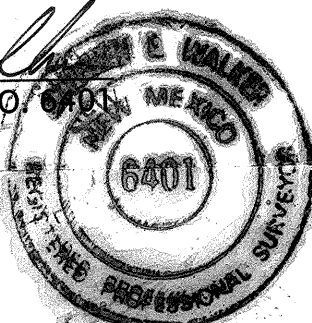
*Fred C. Arfman*  
Fred C. Arfman NMPE No. 7322



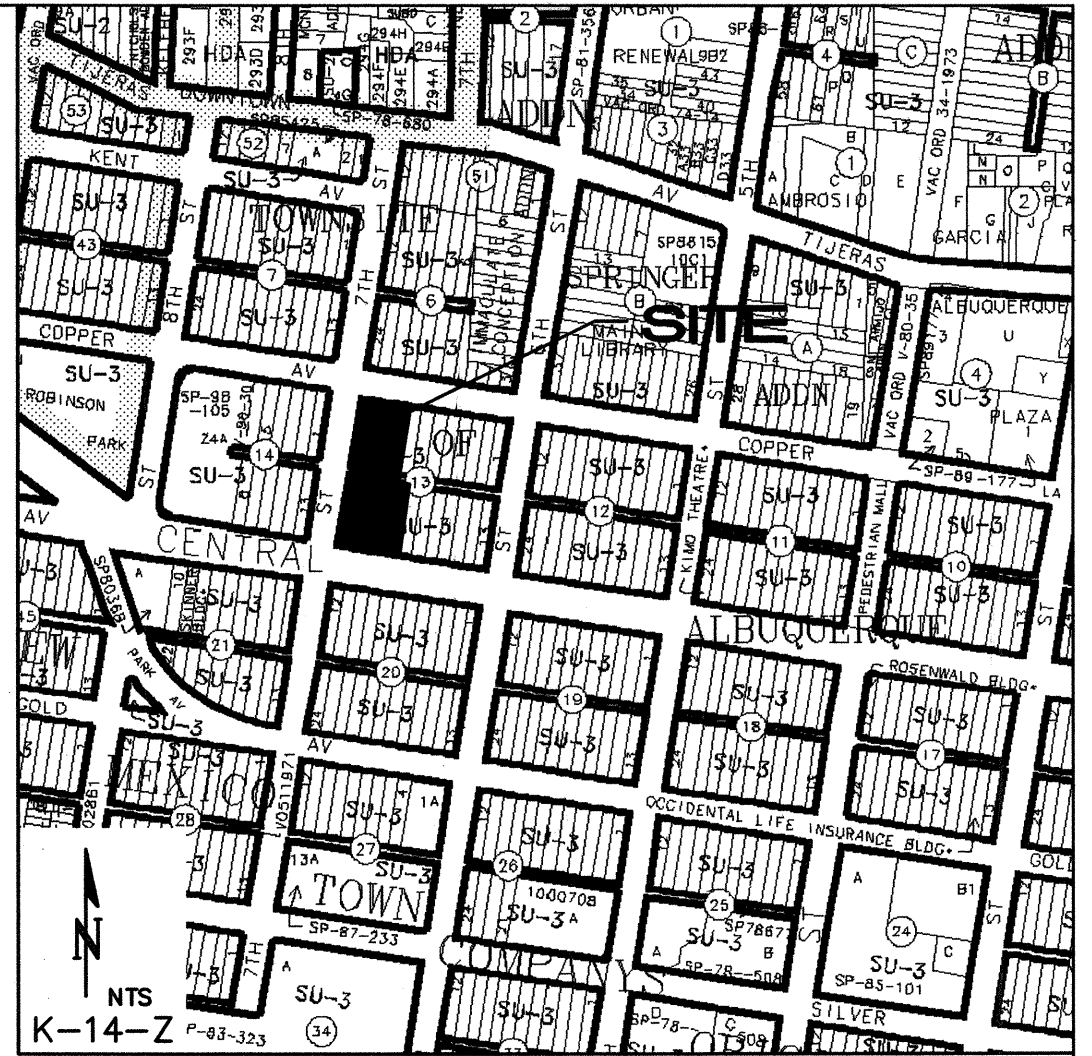
SURVEYOR'S CERTIFICATION

I, STEPHEN E. WALKER, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. WALKER SURVEYING COMPANY IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING OR INTENT OF THE RECORD DRAWINGS.

*Stephen E. Walker*  
STEPHEN E. WALKER, NMPS NO. 6401



10-12-11  
DATE



GENERAL NOTES



- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS - CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7, INCLUDING AMENDMENT 1.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PRE-FORMED THERMO REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE PER COA STD DWG #2415A.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS UPDATE #7.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE ENGINEER.
- PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF PREFORMED THERMO-PLASTIC IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY.
- THE CONTRACTOR SHALL NOTIFY THE ALBUQUERQUE TRAFFIC ENGINEERING DIVISION THREE (3) WORKING DAYS IN ADVANCE OF ANY WORK THAT REMOVES, RELOCATES, OR REINSTALLS ANY EXISTING REGULATORY SIGNS.
- CONTRACTOR SHALL REPLACE IN KIND ANY EXISTING STRIPING OR ANY OTHER PAVEMENT MARKINGS IMPACTED BY THE WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.

APPROVED AS RECORDED DRAWINGS  
DESIGN REVIEW SECTION  
CITY CONSTRUCTION ENGINEER  
*Pat Peterson*  
DATE: 02-08-2012

DRB NO. N/A

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com  
1809 C-001.dwg Jun 22, 2011



ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE		*****	
		DRC Chairman		A Woodruff		7/13/11		APPROVED FOR CONSTRUCTION	
		Transportation		R. Clark		7-5-11			
		Water/Wastewater		J. Murray		7-5-11			
		Hydrology		Nat. Olson		7-5-11			
		Constr. Mngmt.							
		Constr. Coord.						 8-30-11	
								City Engineer Date	
		City Project No.				737383			
						Sheet 1 Of 4			



# ALTA SURVEY

## SURVEY LEGAL DESCRIPTION:

The West one-half (W. 1/2) of Lot numbered Eight and all of Lots numbered Nine (9), Ten (10), Eleven (11), Twelve (12), Twenty (20), Twenty-one (21), Twenty-two (22), Twenty-three (23) and Twenty-four (24) in Block numbered Thirteen (13) of New Mexico Town Company's Original Townsite of Albuquerque, New Mexico, as the same is shown and designated on the map of said townsite filed in the Office of the Probate Clerk and Ex-Officio Recorder of Bernalillo County, New Mexico, on December 29, 1882, in Map Book D, folio 140.

## SURVEYOR'S CERTIFICATION:

TO:

(BUYER), TBD  
(LENDER), TBD  
(TITLE COMPANY), Rio Grande Title Company, Inc.  
(UNDERWRITER), Lawyers Title Insurance Corporation

This is to certify that this map or plot and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 2005, and includes Items 1, 2, 3, 4, 6, 7(a), 7(b), 7(c), 8, 9, 10, 11(a) (location of utilities per visible, above-ground, on-site observation) & 13 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that the Positional Uncertainties resulting from the survey measurements made on the survey do not exceed the allowable Positional Tolerance.

Thomas D. Johnston, NMPS 14269  
June 16, 2010 rev. July 22, 2010



WAYJOHN SURVEYING, INC.

## NOTES CORRESPONDING TO SCHEDULE B:

RIO GRANDE TITLE COMPANY INC. COMMITMENT NO. 01001815-KM SG  
EFFECTIVE DATE MAY 28, 2010 AT 8:00 A.M.

12. Lease, between Holiday Inn, Inc., Lessor, and Parking Company of America, Lessee, dated August 11, 1981, as evidenced by that Warranty Deed, recorded in Book D182A, Page 572, records of Bernalillo County, New Mexico. Item does affect subject property. Item is blanket in nature.
13. Lease dated February 24, 1992, between Puccini Investments Inc., a New Mexico Corporation, as Trustee for the I. & L. Puccini Family Trust, Lessor, and 3 C Partnership, Ltd., a New Mexico Limited Partnership, Lessee, as evidenced by that Assignment of Leases and Rents and License Agreement dated September 29, 1992, recorded in Book 92-23, Page 9349, records of Bernalillo County, New Mexico. Item does affect subject property. Item is blanket in nature.
14. Partial Waiver granted by Public Service Company of New Mexico by document recorded February 17, 1970 in Book Misc. 164, Page 840, as Document No. 66213, records of Bernalillo County, New Mexico. Item does affect subject property. Item waives and releases air rights starting at 14 feet above the alley located within Block 13 adjacent to subject property.
15. Partial Waiver granted by Mountain States Telephone and Telegraph Company by document recorded February 17, 1970 in Book Misc. 164, Page 842, as Document No. 66214, records of Bernalillo County, New Mexico. Item does affect subject property. Item waives and releases air rights starting at 14 feet above the alley located within Block 13 adjacent to subject property.

## SURVEYOR'S NOTES:

1. INGRESS AND EGRESS TO THE SUBJECT PROPERTY IS PROVIDED BY CENTRAL AVENUE, NW, COPPER AVENUE, NW, 7th STREET, NW AND A PUBLIC ALLEY, DEDICATED AND ACCEPTED RIGHTS-OF-WAY MAINTAINED BY THE CITY OF ALBUQUERQUE, NEW MEXICO.
2. THE TITLE LINES AND ACTUAL POSSESSION LINES ARE THE SAME.
3. THE SUBJECT PROPERTY IS NOT SERVED AND IS NOT SERVICED BY ANY ADJOINING PROPERTY FOR DRAINAGE, INGRESS AND EGRESS EXCEPT AS SHOWN.
4. MONUMENTATION RECOVERED, ACCEPTED OR SET IS AS NOTED HEREON.

## BASIS OF BEARINGS:

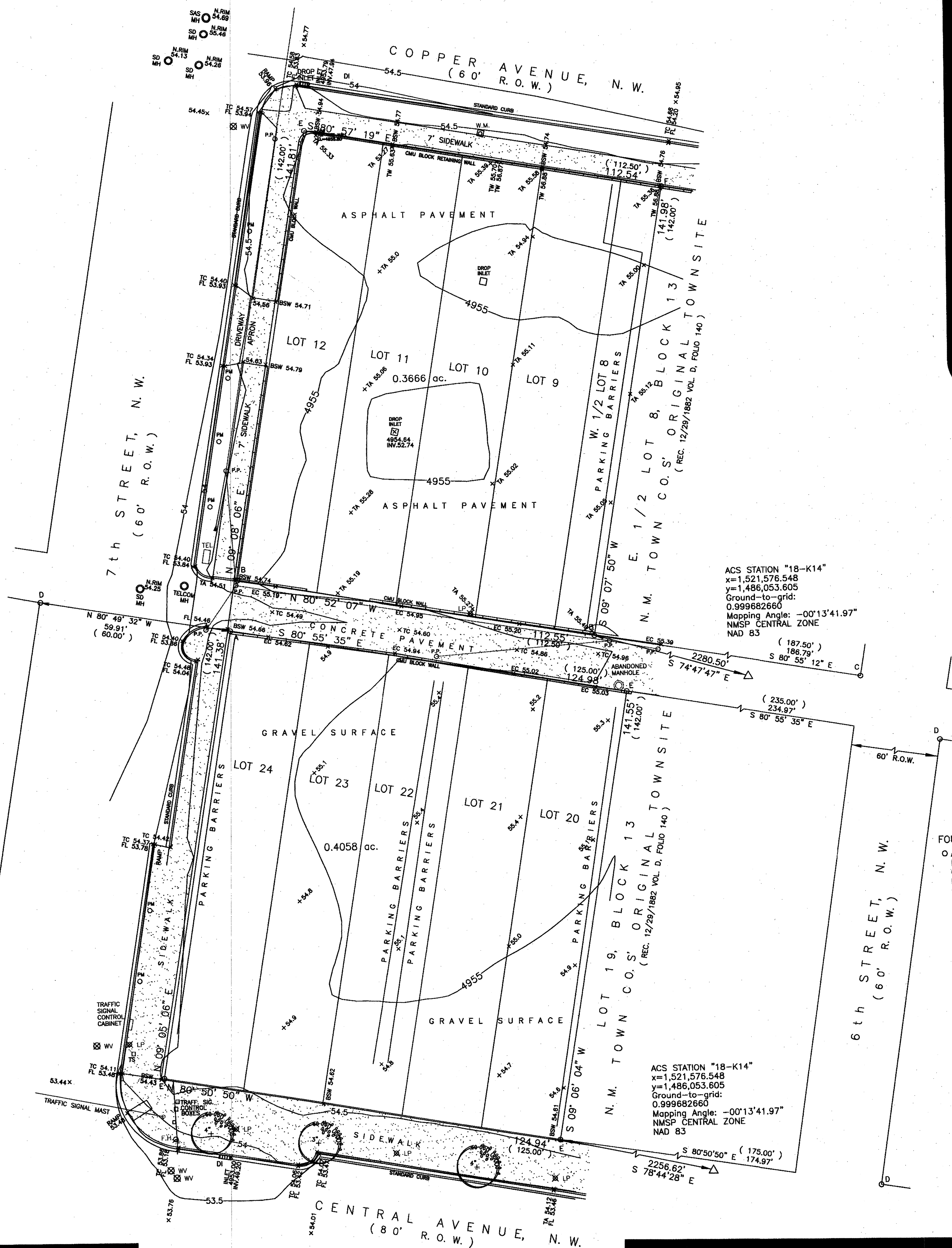
BEARINGS SHOWN HEREON ARE NEW MEXICO STATE PLANE GRID. ALL BEARINGS AND DISTANCES ARE FIELD MEASURED. RECORD BEARINGS AND/OR DISTANCES ARE SHOWN IN PARENTHESES.

## FLOOD INFORMATION:

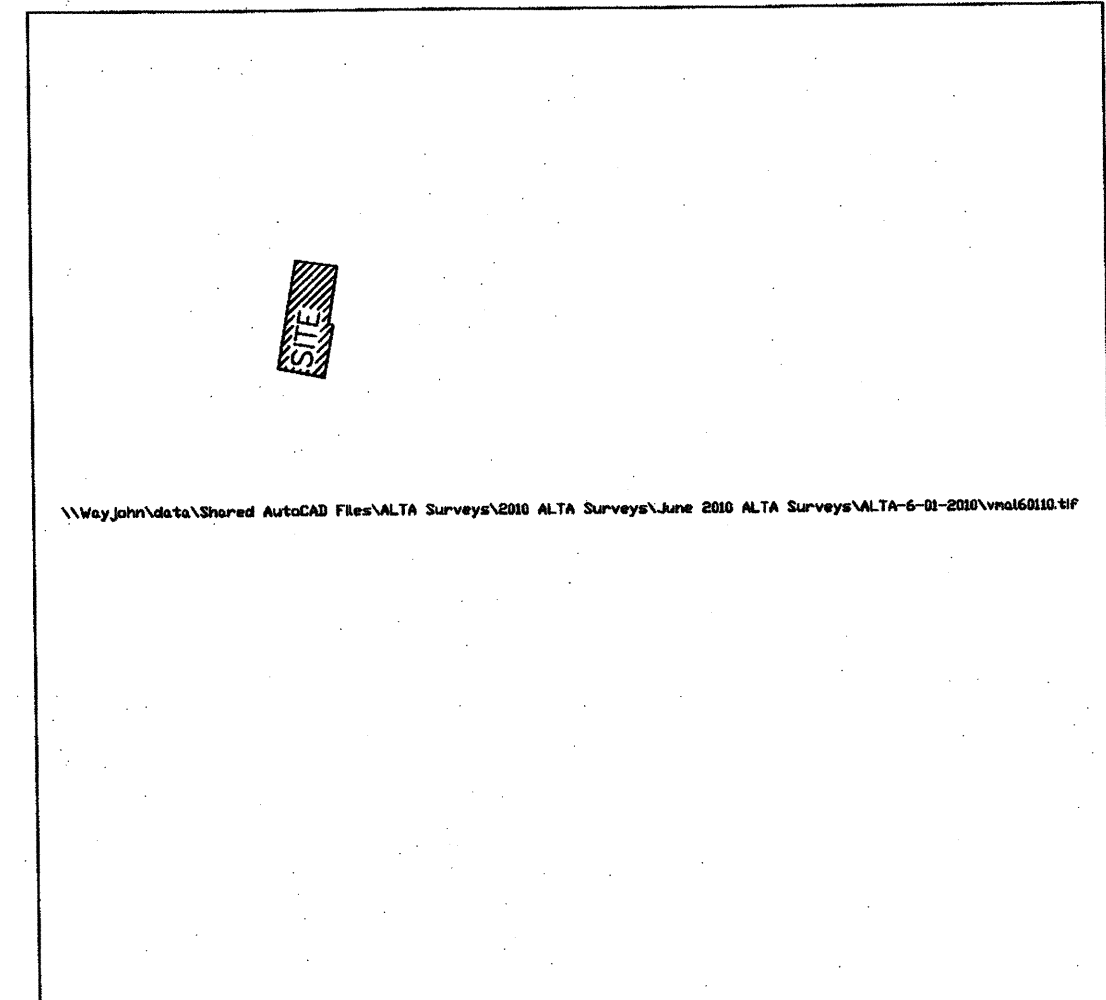
THIS PROPERTY DOES LIE IN AN AREA COVERED BY A FORMAL F.E.M.A. FLOOD STUDY. PROPERTY LIES WITHIN ZONE "X" (No Flood Hazard) AND IS NOT SUBJECT TO 100-YEAR FLOOD HAZARDS. REFERENCE: FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO PANEL 350002 0334 G; EFFECTIVE DATE: SEPTEMBER 26, 2008.

## STATEMENT OF ENCROACHMENTS:

- There are no edificial encroachments at the time of this survey.



## VICINITY MAP (NOT TO SCALE)



K-14-Z

## SITE RESTRICTIONS:

SETBACKS:

FRONT/CORNER SIDE: DEPENDENT ON USE  
SIDE: DEPENDENT ON USE  
REAR: DEPENDENT ON USE  
HEIGHT: DEPENDENT ON USE  
LOT SIZE: DEPENDENT ON USE  
LOT WIDTH: DEPENDENT ON USE

ZONE: DOWNTOWN 2010 ARTS/ENTERTAINMENT OVERLAY C-2 OR R-3 USES  
SITE RESTRICTIONS ARE AVAILABLE FROM CITY OF ALBUQUERQUE ZONING CODE.  
CITY OF ALBUQUERQUE ZONING DEPARTMENT (505) 924-3842.

## AREA:

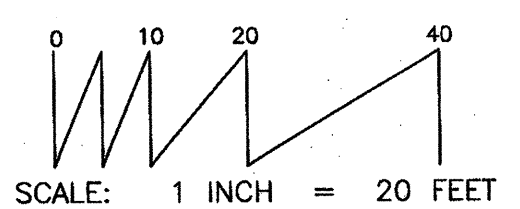
33,647.29 sq.ft.  
0.7724 Acres

## LEGEND:

- W.M. WATER METER
- LP LIGHT POLE
- WV WATER VALVE
- F.H. FIRE HYDRANT
- TEL TELEPHONE RISER
- OP OVERHEAD UTILITY POLE
- TS TRAFFIC SIGNAL BOX
- PM PARKING METER
- EXISTING CONTOURS @0.5 FT. INTERVALS
- INDEX CONTOURS @2.5 FT. INTERVALS

## FOUND/SET MONUMENT LEGEND:

- O A: FOUND #4 REBAR AND CAP "LS 4078"
- B: FOUND "X" IN CONCRETE
- C: FOUND 3" STEEL PIPE (DISTURBED)
- D: FOUND PK NAIL AND DISK AT BUILDING CORNER
- E: SET #4 REBAR AND CAP "WAYJOHN PS 14269"
- F: SET "+" IN CONCRETE

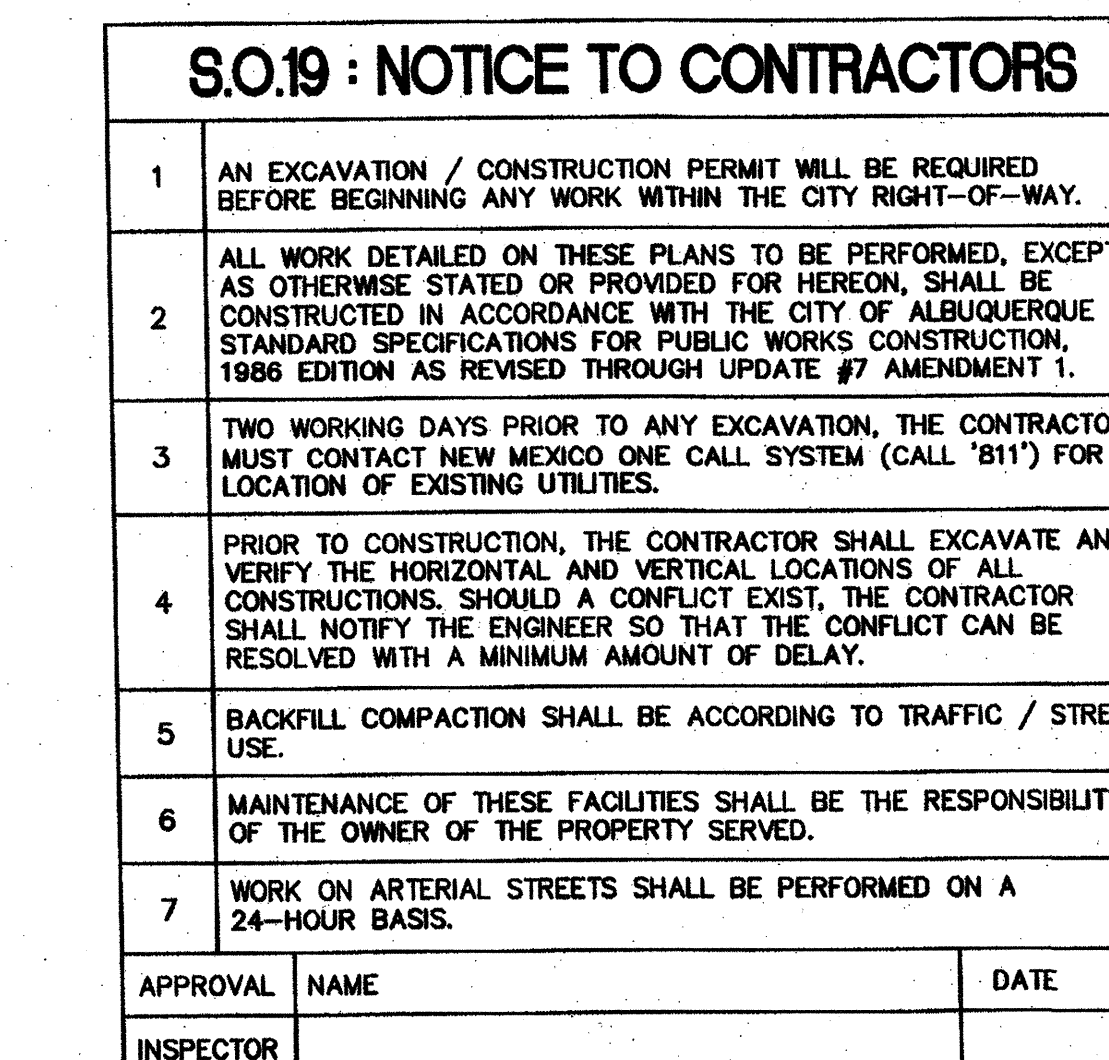
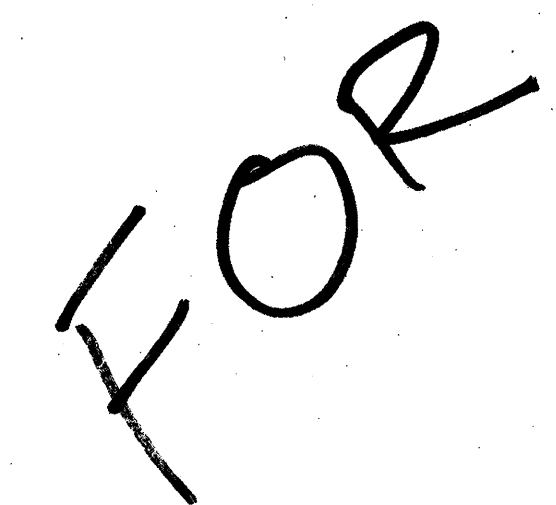


330 Louisiana Blvd, N.E. Albuquerque, NM 87108  
Phone: (505) 255-2052 Fax: (505) 255-2887

Date of Survey: 6/4/2010 Draftsman: T D J  
Date of Last Revision: N/A Job No.: ALTA-6-01-2010  
For: DOUGLAS PETERSON  
Company: PETERSON PROPERTIES

FOR INFORMATION ONLY





**CALCULATIONS - 7th St. Parking Lots :**

**Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993**

**ON-SITE**

**AREA OF SITE:**  
**HISTORIC FLOWS:**

**5545.29** SF = **0.8** AC  
**DEVELOPED FLOWS:**

	Treatment SF	%
Area A	0	0%
Area B	0	0%
Area C	3554.329	100%
Area D	31990.761	90%
<b>Total Area</b>	<b>35545.29</b>	<b>100%</b>

	Treatment SF	%
Area A	0	0%
Area B	0	0%
Area C	5332	15%
Area D	30213	85%
<b>Total Area</b>	<b>35545.29</b>	<b>100%</b>

**EXCESS PRECIP:**  
 Precip. Zone 2  
 E<sub>A</sub> = 0.53  
 E<sub>B</sub> = 0.78  
 E<sub>C</sub> = 1.13  
 E<sub>D</sub> = 2.12

**On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)**  
**Weighted E =**  $E_A A_A + E_B A_B + E_C A_C + E_D A_D$   
 $A_A + A_B + A_C + A_D$

**Historic E = 2.02 in.**

**Developed E = 1.97 in.**

**On-Site Volume of Runoff: V<sub>360</sub> = E \* A / 12**  

**Historic V<sub>360</sub> = 5986 CF**

**Developed V<sub>360</sub> = 5840 CF**

**On-Site Peak Discharge Rate: Q<sub>p</sub> = Q<sub>pa</sub>A<sub>a</sub> + Q<sub>pb</sub>A<sub>b</sub> + Q<sub>pc</sub>A<sub>c</sub> + Q<sub>pd</sub>A<sub>d</sub> / 43,560**  
**For Precipitation Zone 2**  

Q<sub>pa</sub> = 1.56  
 Q<sub>pb</sub> = 2.28

Q<sub>pc</sub> = 3.14  
 Q<sub>pd</sub> = 4.70

**Historic Q<sub>p</sub> = 3.7 CFS**

**Developed Q<sub>p</sub> = 3.6 CFS**

BASIN NO.	DESCRIPTION	SF	Ac.	Soil/Lot
1		5270		

The following calculations are based on Treatment areas as shown in table to the right

**Sub-basin Weighted Excess Precipitation (see formula above)**

**Weighted E = 1.97 in.**

**Sub-basin Volume of Runoff (see formula above)**

**V<sub>360</sub> = 2624 CF**

**Sub-basin Peak Discharge Rate: (see formula above)**

**Q<sub>p</sub> = 1.6 cfs**

**LAND TREATMENT**

A = 0%

B = 0%

C = 10%

D = 85%

BASIN NO.	DESCRIPTION	SF	Ac.	Soil/Lot
2		7677		

The following calculations are based on Treatment areas as shown in table to the right

**Sub-basin Weighted Excess Precipitation (see formula above)**

**Weighted E = 1.97 in.**

**Sub-basin Volume of Runoff (see formula above)**

**V<sub>360</sub> = 2904 CF**

**Sub-basin Peak Discharge Rate: (see formula above)**

**Q<sub>p</sub> = 1.8 cfs**

**LAND TREATMENT**

A = 0%

B = 0%

C = 15%

D = 85%

BASIN NO.	DESCRIPTION	SF	Ac.	Soil/Lot
3		1598		

The following calculations are based on Treatment areas as shown in table to the right

**Sub-basin Weighted Excess Precipitation (see formula above)**

**Weighted E = 2.12 in.**

**Sub-basin Volume of Runoff (see formula above)**

**V<sub>360</sub> = 353 CF**

**Sub-basin Peak Discharge Rate: (see formula above)**

**Q<sub>p</sub> = 0.2 cfs**

**LAND TREATMENT**

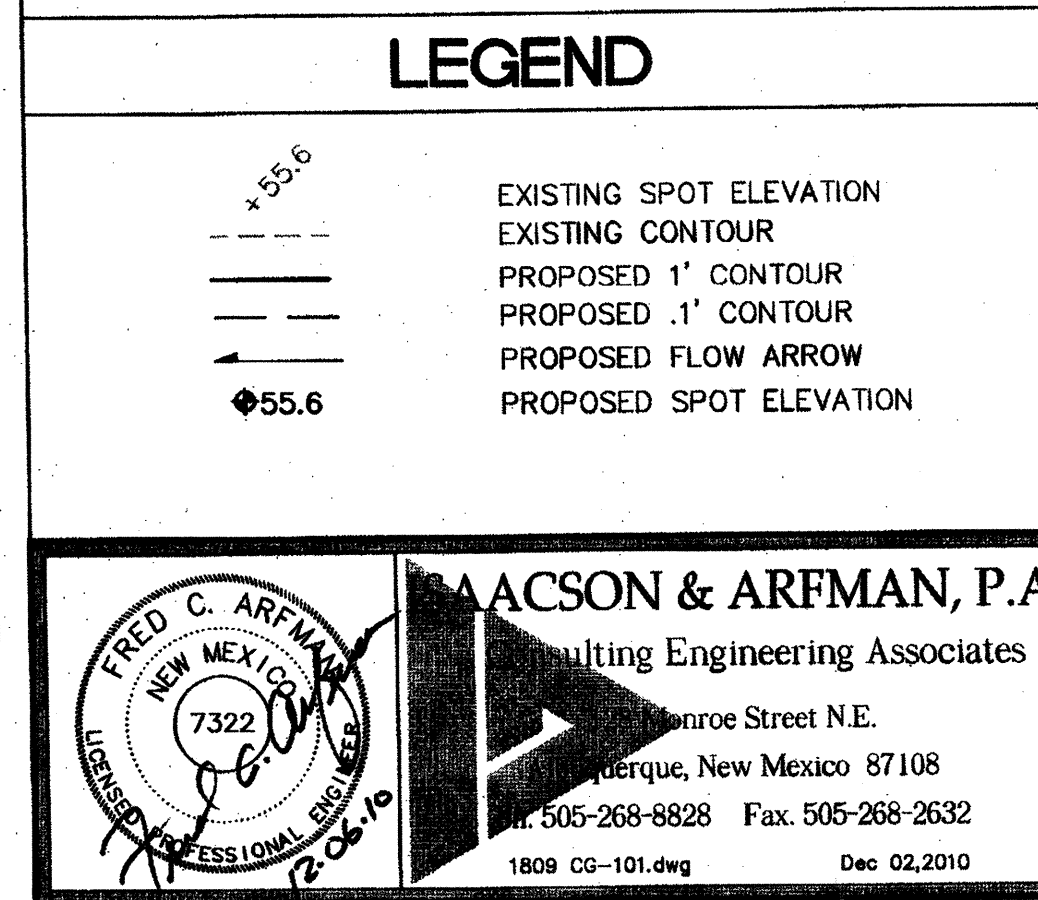
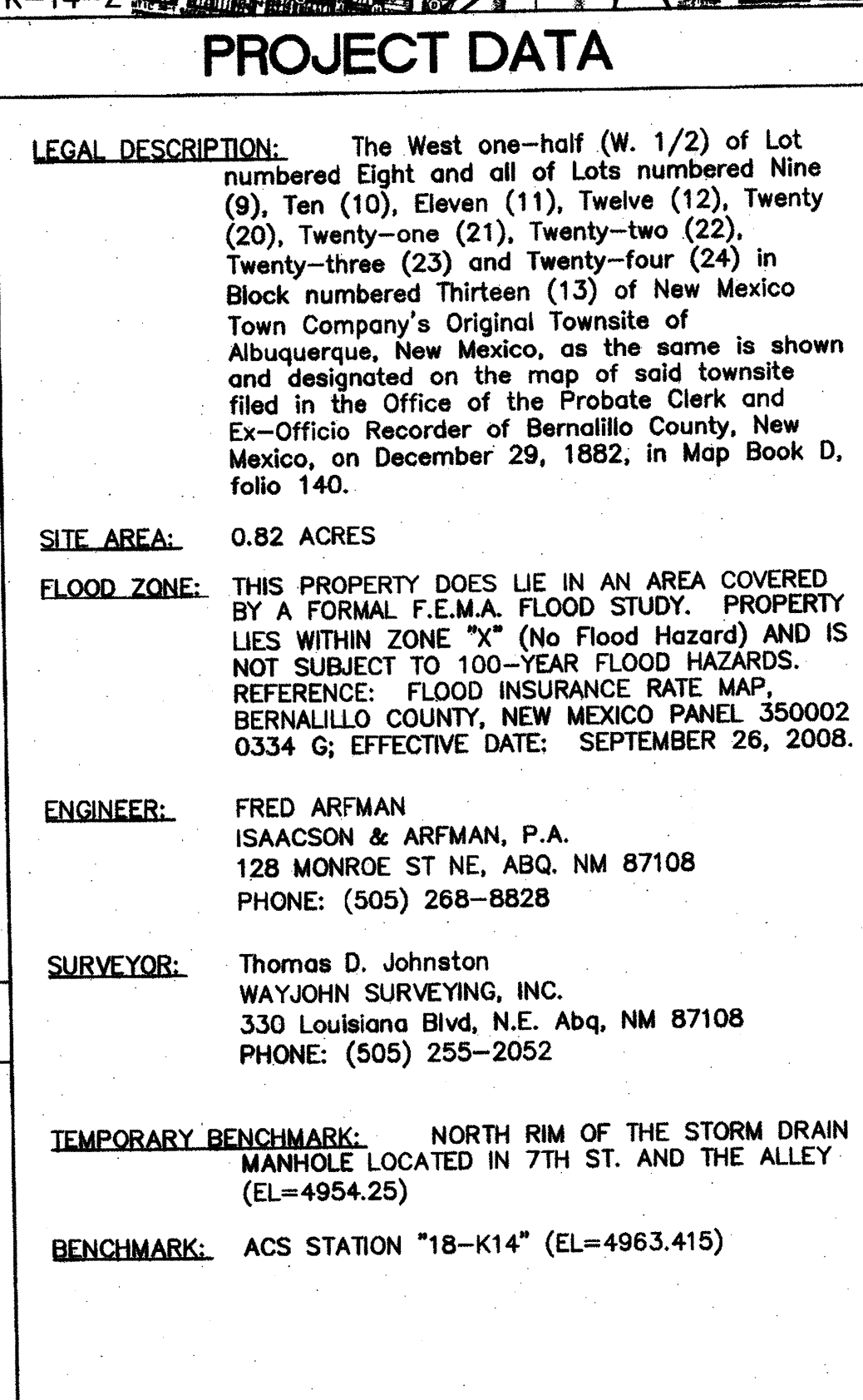
A = 0%

B = 0%

C = 0%

D = 100%

- # GENERAL NOTES
- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
  - B. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
  - C. ALL SUBGRADE EXCAVATION AND NON-STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
  - D. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
  - E. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
  - F. UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
  - G. MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
  - H. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
  - I. OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LAGS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
  - J. OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
  - K. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
  - L. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHEN NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS SHALL BE SMOOTH AND LEVEL.
  - M. SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.E. ROCK OR LANDLICK TRM 450 G.E. INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
  - N. ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
  - O. OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.



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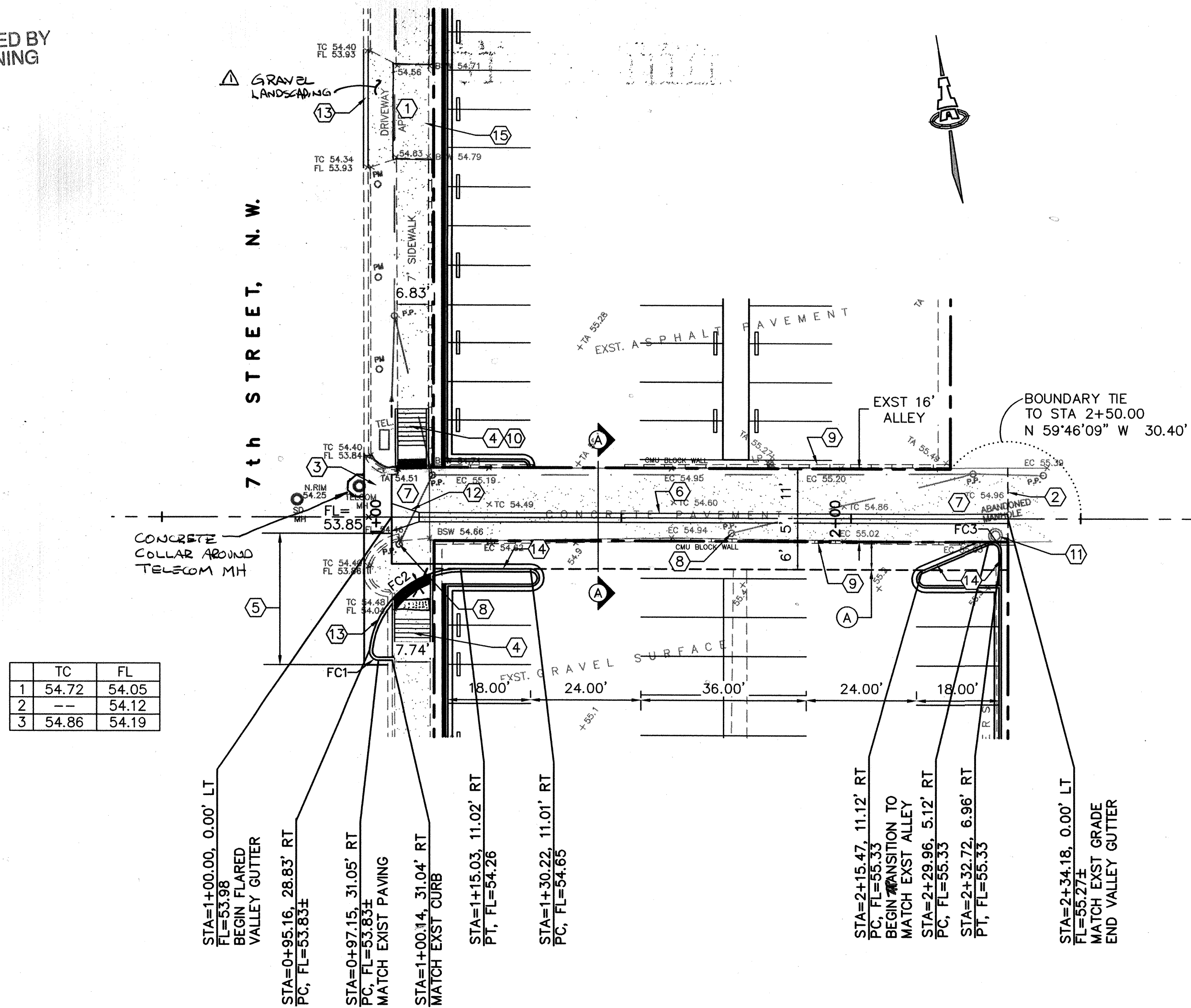
**7th Street Parking Lots  
Lot 24A Townsite of Albuquerque**

**Peterson Investment**

**GRADING AND DRAINAGE PLAN**

Date:	No.	Revision	Date:	Job No.
				1809
Drawn By:				PAGE
Ckd By:				SH. OF

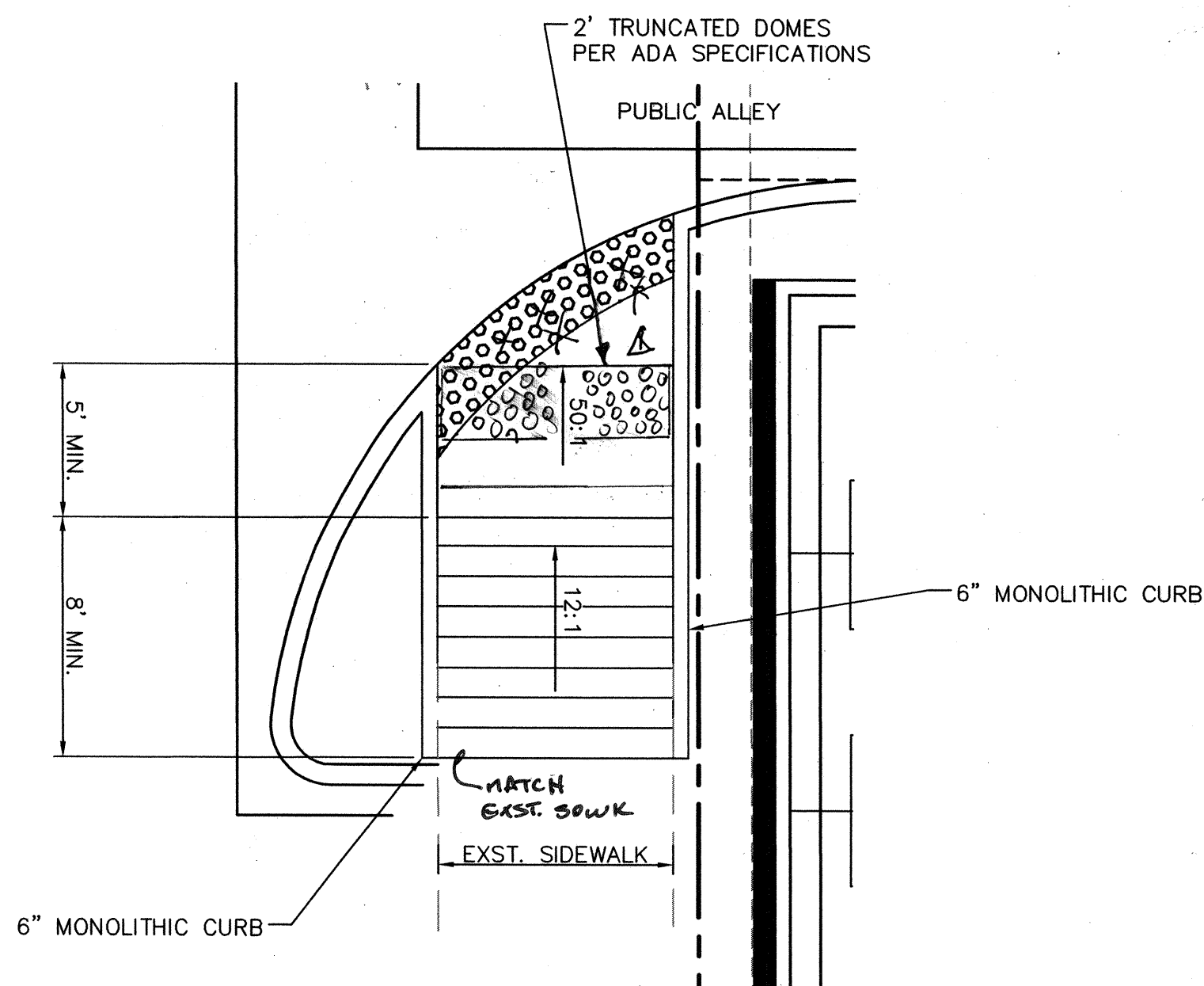
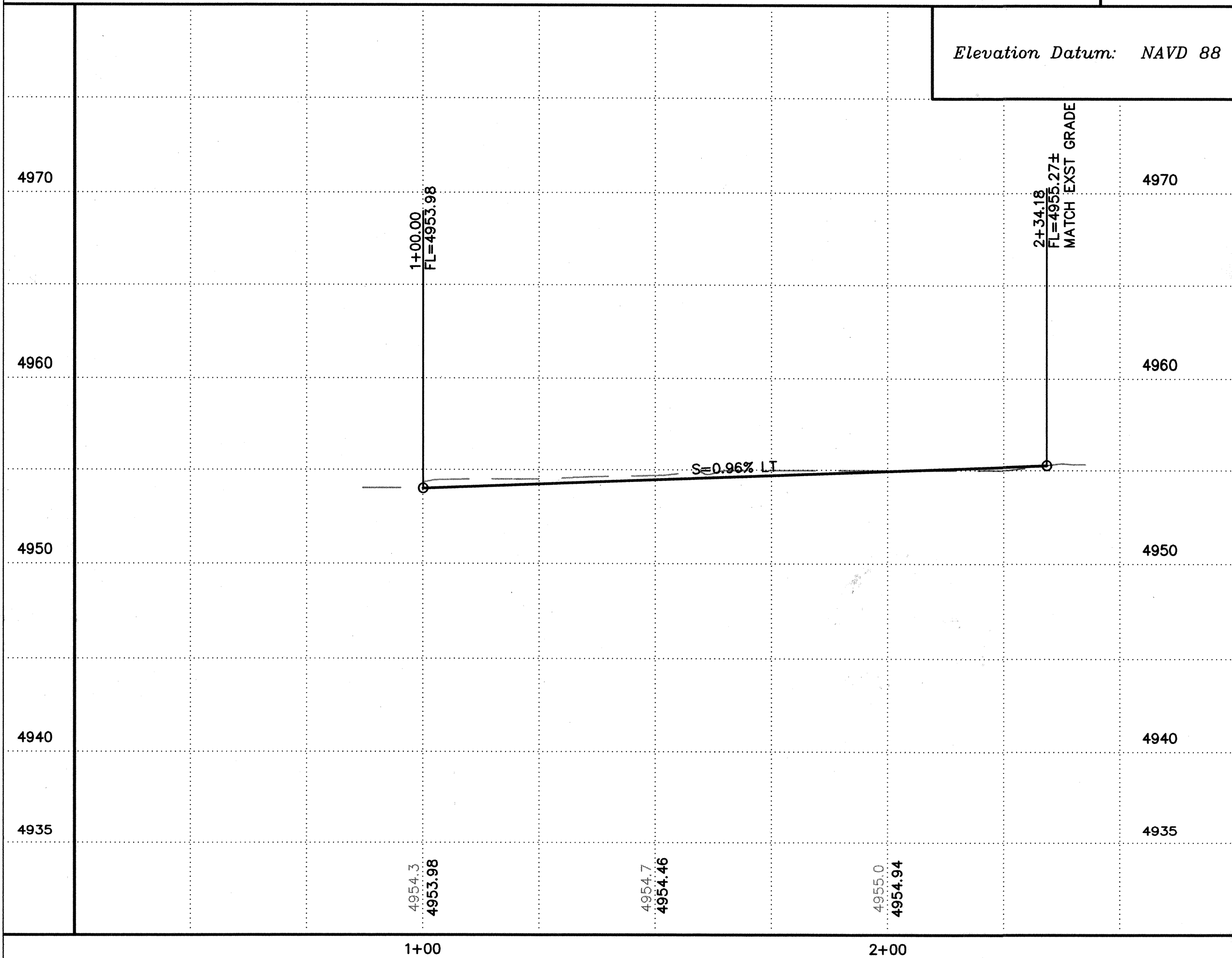




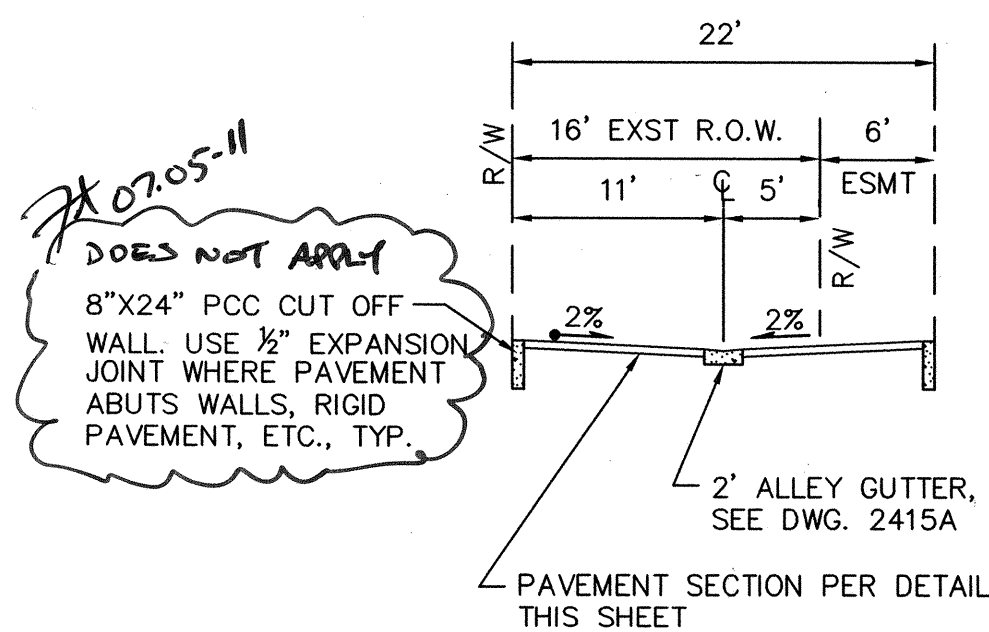
ALLEY (NORTH OF CENTRAL AVE)

SCALES:  
1"=20' HOR.  
1"=5' VERT.

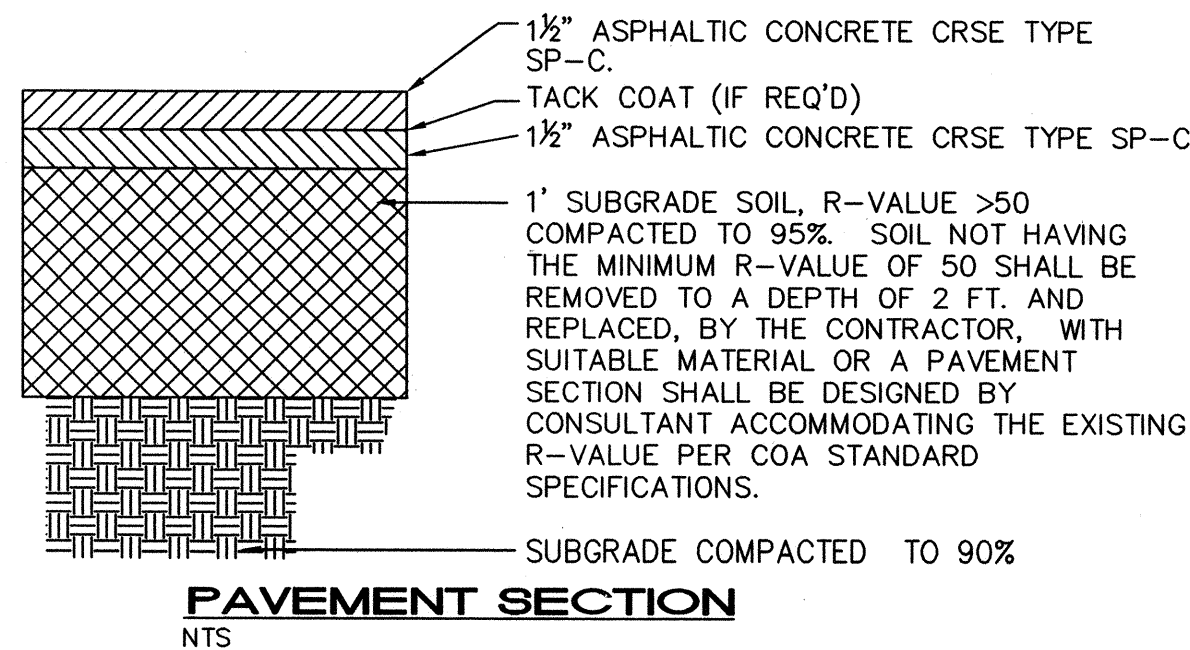
Elevation Datum: NAVD 88



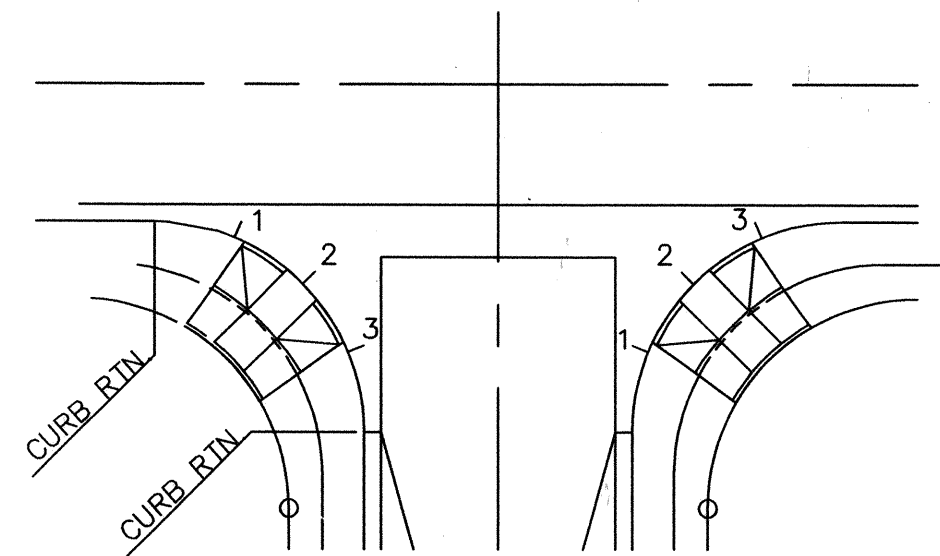
HANDICAP RAMP DETAIL  
SCALE: 1"=5'



ALLEY SECTION A-A  
1"=10'



PAVEMENT SECTION  
NTS



NOTE:  
QUARTER POINT GRADES ARE REFERENCED AS 1, 2, & 3  
ALONG THE FACE OF CURB IN A CLOCKWISE DIRECTION.

QUARTER POINT DETAIL  
NTS

KEYED CONSTRUCTION NOTES

- REMOVE & DISPOSE OF EXISTING CONCRETE DRIVEPAD.
- PROVIDE SMOOTH TRANSITION AT TIE TO EXISTING ASPHALT.
- CONSTRUCT PCC VALLEY GUTTER 6' WIDE, 1 1/2" INVERT PER COA STD DWG #2420. PROVIDE MIN 4' WIDE PEDESTRIAN PATH WITH 2% MAX. CROSS-SLOPE PER ADA REQUIREMENTS.
- CONSTRUCT HANDICAP RAMP PER DETAIL ON THIS SHEET. INSTALL TRUNCATED DOMES PER ADA GUIDELINES. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.
- REMOVE & DISPOSE 79 LF EXISTING CURB & GUTTER AND 62 SY EXISTING SIDEWALK.
- BUILD 2' ALLEY GUTTER PER COA STD DWG #2415A.
- TRANSITION FROM INVERTED CROWN TO NO CROWN OVER 25' PER COA STD DWG #2401.
- PNM POWER POLE ALREADY REMOVED.
- REMOVE & DISPOSE OF EXISTING CMU WALL.
- REMOVE & DISPOSE OF EXISTING HANDICAP RAMP & SIDEWALK.
- EXISTING ABANDONED MANHOLE. BURY IF FOUND.
- FLARE ALLEY GUTTER OVER 6' LENGTH TO 6' WIDTH AT VALLEY GUTTER. THICKEN FLARED PORTION TO 10" THICK CONCRETE.
- STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- MEDIAN CURB & GUTTER PER COA STD DWG #2415B.
- NEW SIDEWALK PER COA STD DWG #2430.

EASEMENT NOTES

- A. 6' PUBLIC ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE. (DOC#201063928, BK 4A PG. 4A) (07/13/11).

FACE OF CURB CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
FC1	3.36'	2.00'	96°20'34"
FC2	29.21'	20.00'	83°40'23"
FC3	3.93'	2.00'	112°26'46"

RECORD DRAWING

LEGEND

- BOUNDARY LINE
- ADJOINING PROPERTY LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER

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1809 CP-301.dwg Jun 23, 2011

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: 7TH STREET PARKING LOTS ALLEY & 7th ST. PAVING PLAN & PROFILE & DETAILS	
Design Review Committee APPROVED JUL 13 2011 DESIGN REVIEW COMMITTEE	City Engineer Approval APPROVED AUG 30 2011 CITY ENGINEER
City Project No. 737383	Zone Map No. K-14
Sheet 4	Of 4