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26 740185-2012

SCANNED BY  
PLANNING

# CONSTRUCTION PLANS FOR TUSCANY VILLAGE ALBUQUERQUE, NEW MEXICO

## INDEX

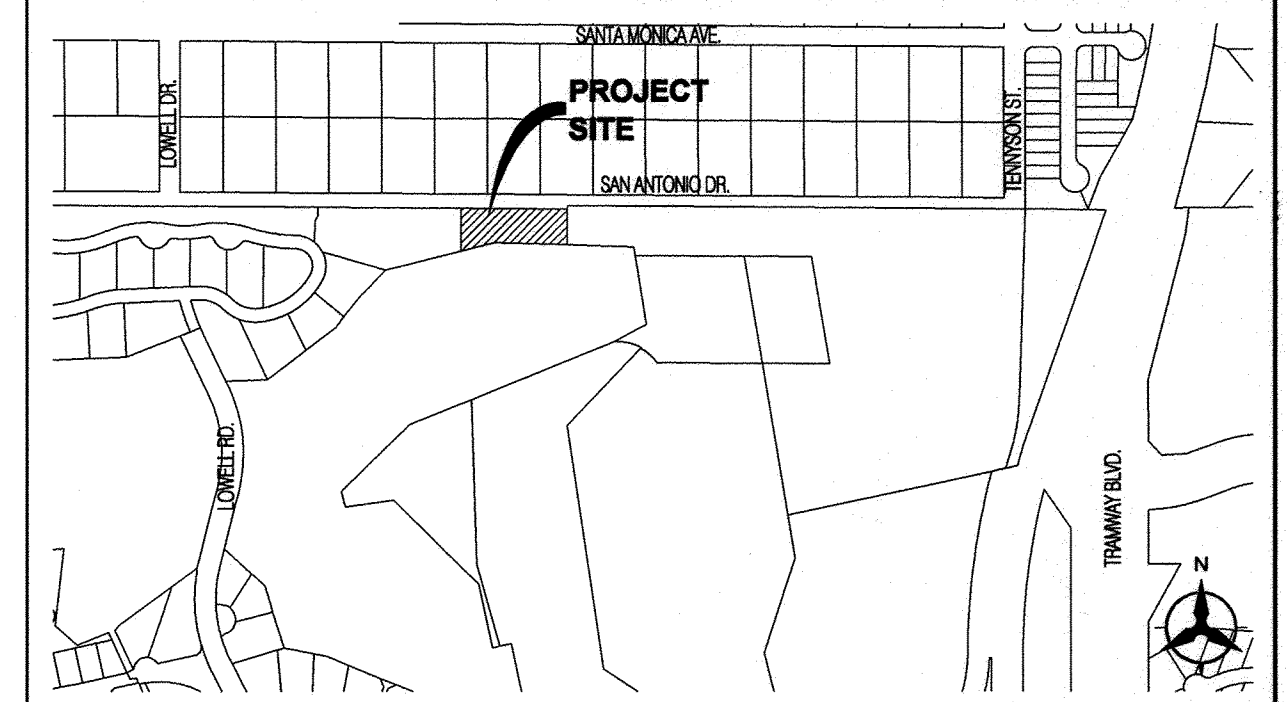
SHEET NUMBER	DESCRIPTION
1	TITLE SHEET
2	PRELIMINARY PLAT (FOR INFO ONLY)
3	GRADING PLAN (FOR INFO ONLY)
4	OVERALL PAVING PLAN
5	PAVING PLAN & PROFILE

I DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY, [REDACTED] AND ABCWUA ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY ANTHONY HARRIS NMPS 11463.



### THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☒ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.



VICINITY MAP: NOT TO SCALE ZONE MAP NO. E-22-Z

### NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE No. 8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNAGE UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
- DEVELOPER SHALL PROVIDE AND MAINTAIN ALL SIGNING AND STRIPING WITHIN PRIVATE STREETS / DEVELOPMENT.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITIES SHALL BE BACKFILLED TO 95% COMPACTION FOR THE ENTIRE DEPTH OF THE TRENCH. THIS INCLUDES ALL SANITARY SEWER LINES, WATER LINES, STORM DRAIN LINES, DRY UTILITY SLEEVES AND TRAFFIC SIGNAL / STREET LIGHT CONDUITS.

APPROVED AS RECORD DRAWINGS  
DESIGN REVIEW SECTION  
CITY CONSTRUCTION ENGINEER  
*Anthony Harris*  
DATE: 09/18/12

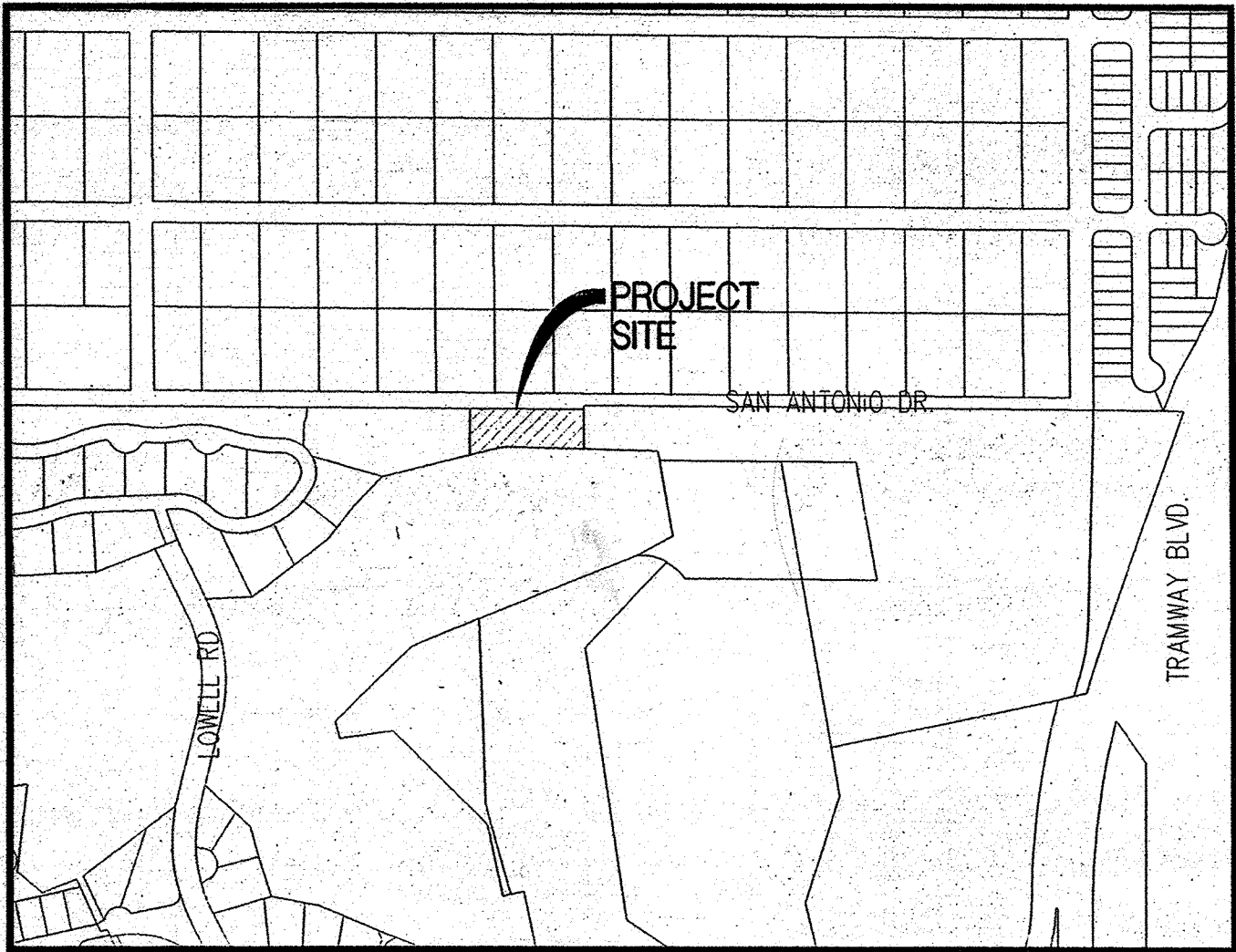
Record Drawing

**Bohannon & Huston**

ourtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman	<i>Yolanda Padilla</i>	4/9/12	APPROVED FOR CONSTRUCTION	<i>RLD Dard</i> 4-24-12 City Engineer Date	
		Transportation	<i>Yolanda Padilla</i>	3/22/12			
		Water/Wastewater	<i>Yolanda Padilla</i>	3/22/12			
		Hydrology	<i>Yolanda Padilla</i>	3-22-12			
		CIP	<i>Yolanda Padilla</i>	3-22-12			
		Const. Mngmt.					
		Const. Coord.					
		AMAFCA					
DRB CASE NUMBER		CITY PROJECT NO.		SHEET		OF	
1002074		740185		1		5	





LOCATION MAP  
ZONE ATLAS MAP NO. E-22-Z  
NOT TO SCALE

LEGAL DESCRIPTION:  
TRACT LETTERED C-TWO-A-TWO (C-2-A-2) OF THE PLAT OF TRACT C-2-A SAUVIGNON SUBDIVISION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 26, 2011 IN PLAT BOOK 2011C, PAGE 0133

PURPOSE OF THIS PRELIMINARY PLAT:  
TO SUBDIVIDE A CERTAIN TRACT OF LAND SITUATE WITH SECTION 27, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AND BEING ALL OF TRACT C-2-A-2 SAUVIGNON SUBDIVISION RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 26, 2011 IN BOOK 2011C, PAGE 0133 AS DOCUMENT NO. 201097041 INTO ONE SEPARATE SUBDIVISION TUSCANY VILLAGE CONSISTING OF 5 LOTS.

EXISTING ZONING: R-D W/ IN ACADEMY-TRAMWAY-EUBANK SECTOR DEV. PLAN BOUNDARY  
PROPOSED DEVELOPMENT: SINGLE FAMILY DETACHED  
DESCRIPTION: TRACTS C-2-A-2 SAUVIGNON SUBDIVISION  
TOTAL SUBDIVISION ACREAGE: TUSCANY VILLAGE 0.8560 ACRES  
TOTAL NUMBER OF LOTS: TUSCANY VILLAGE 5 LOTS  
PROPOSED DENSITY: TUSCANY VILLAGE 0.1234 D.U./AC.  
MINIMUM LOT AREA: TUSCANY VILLAGE 7153 SF / 0.1642 AC.

NOTE:  
EACH LOT OWNER IS REQUIRED TO PROVIDE AN INDIVIDUAL SOILS REPORT FROM A GEOTECHNICAL ENGINEER FOR REVIEW AND ACCEPTANCE BY THE CITY OF ALBUQUERQUE.

GENERAL NOTES

- ALL SETBACKS SHOWN ARE IN ACCORDANCE WITH R-T ZONING. TYPICAL: 15' FRONT YARD (20' AT GARAGE) SIDE YARD AS REQUIRED BY THE C.O.A. ZONING CODE AND 15' BACKYARD.
- ALL SANITARY AND WATER UTILITIES ARE EXISTING & WITHIN C.O.A. / ABCWUA RECORDED EASEMENTS
- THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE CITY OF ALBUQUERQUE'S & ABCWUA FACILITIES. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE & ABCWUA.
- ALL SUBSURFACE STORM DRAINS IN THE STREET R/W AND/OR UTILITY EASEMENTS ARE TO BE PUBLIC AND SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF ALBUQUERQUE BY FINAL PLAT. (NOT APPLICABLE)

*William C. [Signature]*  
OWNER

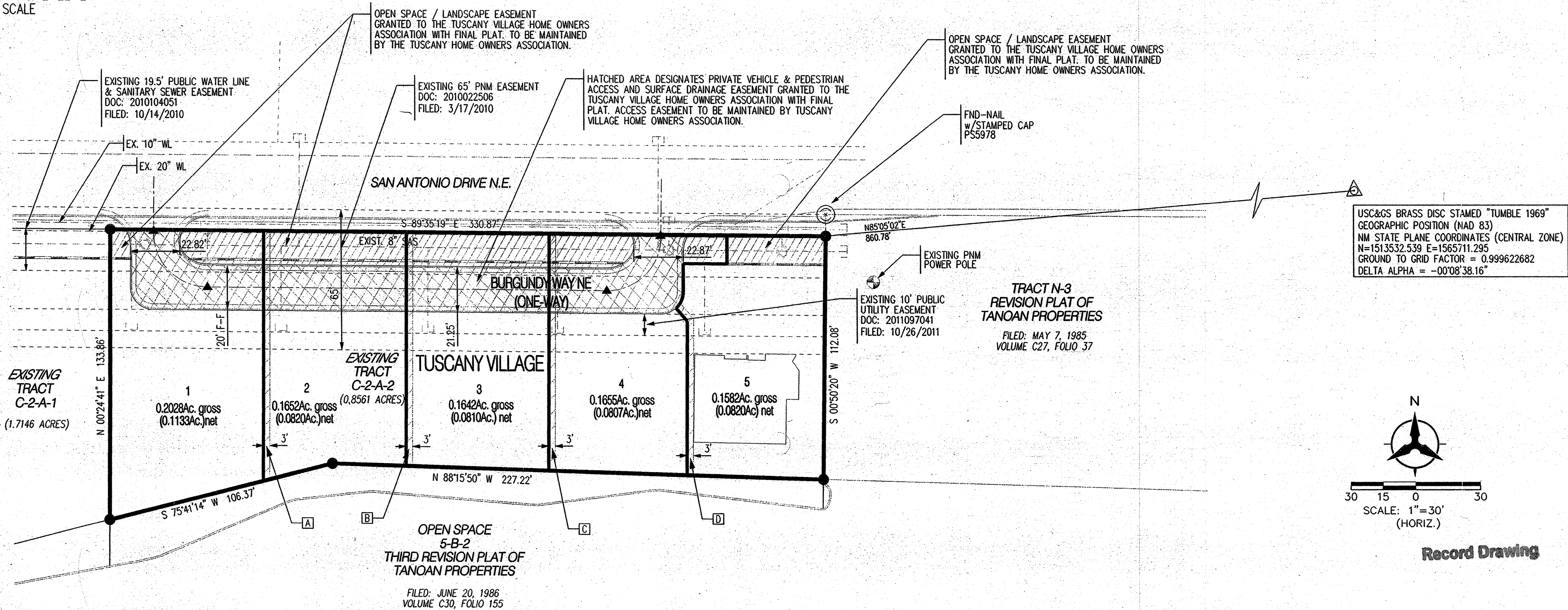
PRELIMINARY PLAT OF  
TUSCANY VILLAGE

A REPLAT OF  
TRACT C-2-A-2  
SAUVIGNON SUBDIVISION  
ALBUQUERQUE, NEW MEXICO  
FEBRUARY 2011

SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "GROMATZKY, PS 16469".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB, P.L.S. 16469".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS NAD 83.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED *[Signature]* 12-13-11  
CITY SURVEYOR DATE



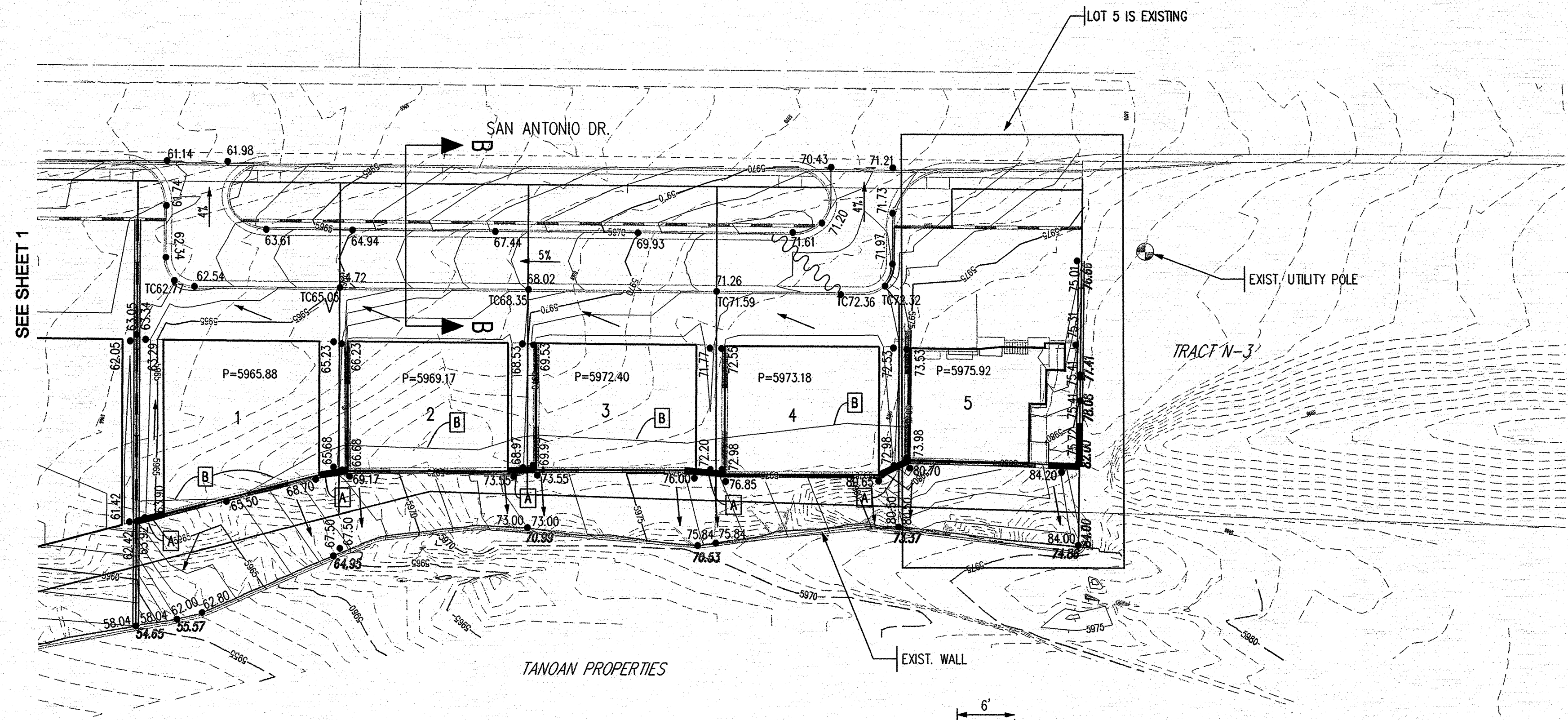
[A] PROPOSED THREE (3) FOOT USE EASEMENT ON LOT 2 FOR THE BENEFIT OF AND MAINTENANCE BY LOT 1 FOR THE PURPOSE OF OUTDOOR USE CONSISTING OF LANDSCAPE IMPROVEMENTS. SUCH LANDSCAPE IMPROVEMENTS MAY CONSIST OF LIVING PLANT MATERIALS AND/OR DECORATIVE SURFACE PAVEMENT MATERIALS AND/OR FULLY CONTAINED WATER FEATURES (PONDS AND WATERFALLS). NO PERMANENT STRUCTURES SHALL BE PERMITTED WITHIN THE EASEMENT. NO PHYSICAL ATTACHMENT OF ANY KIND SHALL BE PERMITTED TO THE RESIDENTIAL STRUCTURE ABUTTING THE EASEMENT. LOT 2 RETAINS ALL RIGHTS ASSOCIATED WITH PROPERTY OWNERSHIP INCLUDING BUT NOT LIMITED TO THE ABILITY TO ENTER, ACCESS, CROSS, AND MAINTAIN THE PROPERTY ENCUMBERED BY THE EASEMENT. SUCH RIGHTS SHALL INCLUDE BUT NOT BE LIMITED TO THE RIGHT TO ACCESS THE PROPERTY TO MAINTAIN ANY AND ALL PORTIONS OF THE RESIDENTIAL STRUCTURE(S) BUILT ON LOT 2. IF SUCH MAINTENANCE REQUIRES THE REMOVAL AND/OR DESTRUCTION OF IMPROVEMENTS INSTALLED BY LOT 1 WITHIN EASEMENT, LOT 1 SHALL BE FULLY RESPONSIBLE FOR REPLACING, REPAIRING, REHABILITATING OR OTHERWISE CORRECTING DAMAGE RESULTING IN SUCH ACTIONS. LOT 2 SHALL TAKE ALL REASONABLE CARE TO AVOID SUCH DAMAGE TO IMPROVEMENTS MADE BY LOT 1. LANDSCAPE IMPROVEMENTS INSTALLED BY LOT 1 WITHIN THE EASEMENT AREA SHALL NOT BE SUCH AS TO DAMAGE THE IMPROVEMENTS ON LOT 2. SHOULD SUCH DAMAGE OCCUR AND BE DETERMINED TO BE CAUSED BY THE IMPROVEMENTS OF LOT 1 WITHIN THE EASEMENT AREA, THEN LOT 1 SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIVE ACTION(S) DETERMINED TO BE THE CAUSE OF THE DAMAGE.

[B] PROPOSED THREE (3) FOOT USE EASEMENT ON LOT 3 FOR THE BENEFIT OF AND MAINTENANCE BY LOT 2 FOR THE PURPOSE OF OUTDOOR USE CONSISTING OF LANDSCAPE IMPROVEMENTS. SUCH LANDSCAPE IMPROVEMENTS MAY CONSIST OF LIVING PLANT MATERIALS AND/OR DECORATIVE SURFACE PAVEMENT MATERIALS AND/OR FULLY CONTAINED WATER FEATURES (PONDS AND WATERFALLS). NO PERMANENT STRUCTURES SHALL BE PERMITTED WITHIN THE EASEMENT. NO PHYSICAL ATTACHMENT OF ANY KIND SHALL BE PERMITTED TO THE RESIDENTIAL STRUCTURE ABUTTING THE EASEMENT. LOT 3 RETAINS ALL RIGHTS ASSOCIATED WITH PROPERTY OWNERSHIP INCLUDING BUT NOT LIMITED TO THE ABILITY TO ENTER, ACCESS, CROSS, AND MAINTAIN THE PROPERTY ENCUMBERED BY THE EASEMENT. SUCH RIGHTS SHALL INCLUDE BUT NOT BE LIMITED TO THE RIGHT TO ACCESS THE PROPERTY TO MAINTAIN ANY AND ALL PORTIONS OF THE RESIDENTIAL STRUCTURE(S) BUILT ON LOT 3. IF SUCH MAINTENANCE REQUIRES THE REMOVAL AND/OR DESTRUCTION OF IMPROVEMENTS INSTALLED BY LOT 2 WITHIN EASEMENT, LOT 2 SHALL BE FULLY RESPONSIBLE FOR REPLACING, REPAIRING, REHABILITATING OR OTHERWISE CORRECTING DAMAGE RESULTING IN SUCH ACTIONS. LOT 3 SHALL TAKE ALL REASONABLE CARE TO AVOID SUCH DAMAGE TO IMPROVEMENTS MADE BY LOT 2. LANDSCAPE IMPROVEMENTS INSTALLED BY LOT 2 WITHIN THE EASEMENT AREA SHALL NOT BE SUCH AS TO DAMAGE THE IMPROVEMENTS ON LOT 3. SHOULD SUCH DAMAGE OCCUR AND BE DETERMINED TO BE CAUSED BY THE IMPROVEMENTS OF LOT 2 WITHIN THE EASEMENT AREA, THEN LOT 2 SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIVE ACTION(S) DETERMINED TO BE THE CAUSE OF THE DAMAGE.

[C] PROPOSED THREE (3) FOOT USE EASEMENT ON LOT 4 FOR THE BENEFIT OF AND MAINTENANCE BY LOT 3 FOR THE PURPOSE OF OUTDOOR USE CONSISTING OF LANDSCAPE IMPROVEMENTS. SUCH LANDSCAPE IMPROVEMENTS MAY CONSIST OF LIVING PLANT MATERIALS AND/OR DECORATIVE SURFACE PAVEMENT MATERIALS AND/OR FULLY CONTAINED WATER FEATURES (PONDS AND WATERFALLS). NO PERMANENT STRUCTURES SHALL BE PERMITTED WITHIN THE EASEMENT. NO PHYSICAL ATTACHMENT OF ANY KIND SHALL BE PERMITTED TO THE RESIDENTIAL STRUCTURE ABUTTING THE EASEMENT. LOT 4 RETAINS ALL RIGHTS ASSOCIATED WITH PROPERTY OWNERSHIP INCLUDING BUT NOT LIMITED TO THE ABILITY TO ENTER, ACCESS, CROSS, AND MAINTAIN THE PROPERTY ENCUMBERED BY THE EASEMENT. SUCH RIGHTS SHALL INCLUDE BUT NOT BE LIMITED TO THE RIGHT TO ACCESS THE PROPERTY TO MAINTAIN ANY AND ALL PORTIONS OF THE RESIDENTIAL STRUCTURE(S) BUILT ON LOT 4. IF SUCH MAINTENANCE REQUIRES THE REMOVAL AND/OR DESTRUCTION OF IMPROVEMENTS INSTALLED BY LOT 3 WITHIN EASEMENT, LOT 3 SHALL BE FULLY RESPONSIBLE FOR REPLACING, REPAIRING, REHABILITATING OR OTHERWISE CORRECTING DAMAGE RESULTING IN SUCH ACTIONS. LOT 4 SHALL TAKE ALL REASONABLE CARE TO AVOID SUCH DAMAGE TO IMPROVEMENTS MADE BY LOT 3. LANDSCAPE IMPROVEMENTS INSTALLED BY LOT 3 WITHIN THE EASEMENT AREA SHALL NOT BE SUCH AS TO DAMAGE THE IMPROVEMENTS ON LOT 4. SHOULD SUCH DAMAGE OCCUR AND BE DETERMINED TO BE CAUSED BY THE IMPROVEMENTS OF LOT 3 WITHIN THE EASEMENT AREA, THEN LOT 3 SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIVE ACTION(S) DETERMINED TO BE THE CAUSE OF THE DAMAGE.

[D] PROPOSED THREE (3) FOOT USE EASEMENT ON LOT 5 FOR THE BENEFIT OF AND MAINTENANCE BY LOT 4 FOR THE PURPOSE OF OUTDOOR USE CONSISTING OF LANDSCAPE IMPROVEMENTS. SUCH LANDSCAPE IMPROVEMENTS MAY CONSIST OF LIVING PLANT MATERIALS AND/OR DECORATIVE SURFACE PAVEMENT MATERIALS AND/OR FULLY CONTAINED WATER FEATURES (PONDS AND WATERFALLS). NO PERMANENT STRUCTURES SHALL BE PERMITTED WITHIN THE EASEMENT. NO PHYSICAL ATTACHMENT OF ANY KIND SHALL BE PERMITTED TO THE RESIDENTIAL STRUCTURE ABUTTING THE EASEMENT. LOT 5 RETAINS ALL RIGHTS ASSOCIATED WITH PROPERTY OWNERSHIP INCLUDING BUT NOT LIMITED TO THE ABILITY TO ENTER, ACCESS, CROSS, AND MAINTAIN THE PROPERTY ENCUMBERED BY THE EASEMENT. SUCH RIGHTS SHALL INCLUDE BUT NOT BE LIMITED TO THE RIGHT TO ACCESS THE PROPERTY TO MAINTAIN ANY AND ALL PORTIONS OF THE RESIDENTIAL STRUCTURE(S) BUILT ON LOT 5. IF SUCH MAINTENANCE REQUIRES THE REMOVAL AND/OR DESTRUCTION OF IMPROVEMENTS INSTALLED BY LOT 4 WITHIN EASEMENT, LOT 4 SHALL BE FULLY RESPONSIBLE FOR REPLACING, REPAIRING, REHABILITATING OR OTHERWISE CORRECTING DAMAGE RESULTING IN SUCH ACTIONS. LOT 5 SHALL TAKE ALL REASONABLE CARE TO AVOID SUCH DAMAGE TO IMPROVEMENTS MADE BY LOT 4. LANDSCAPE IMPROVEMENTS INSTALLED BY LOT 4 WITHIN THE EASEMENT AREA SHALL NOT BE SUCH AS TO DAMAGE THE IMPROVEMENTS ON LOT 5. SHOULD SUCH DAMAGE OCCUR AND BE DETERMINED TO BE CAUSED BY THE IMPROVEMENTS OF LOT 4 WITHIN THE EASEMENT AREA, THEN LOT 4 SHALL BE RESPONSIBLE FOR ANY AND ALL CORRECTIVE ACTION(S) DETERMINED TO BE THE CAUSE OF THE DAMAGE.

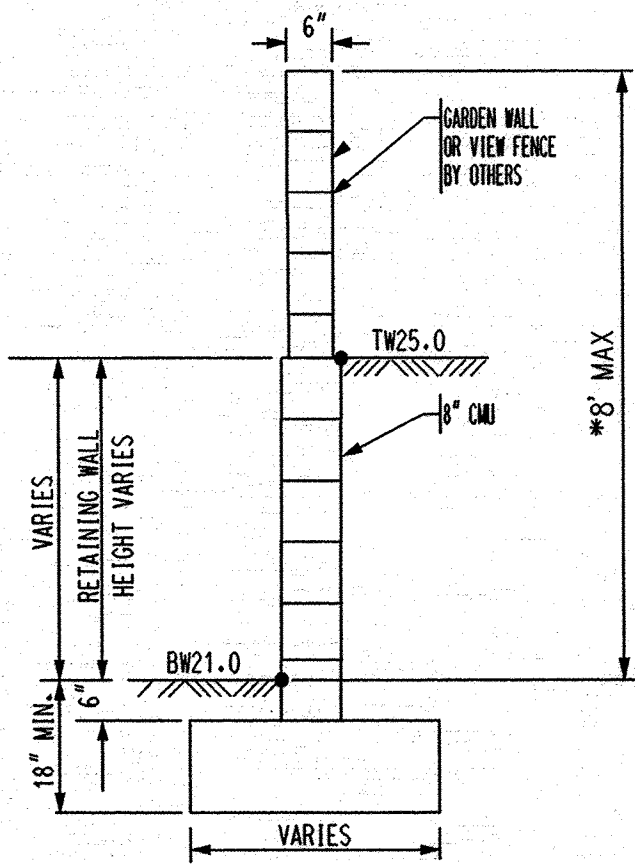
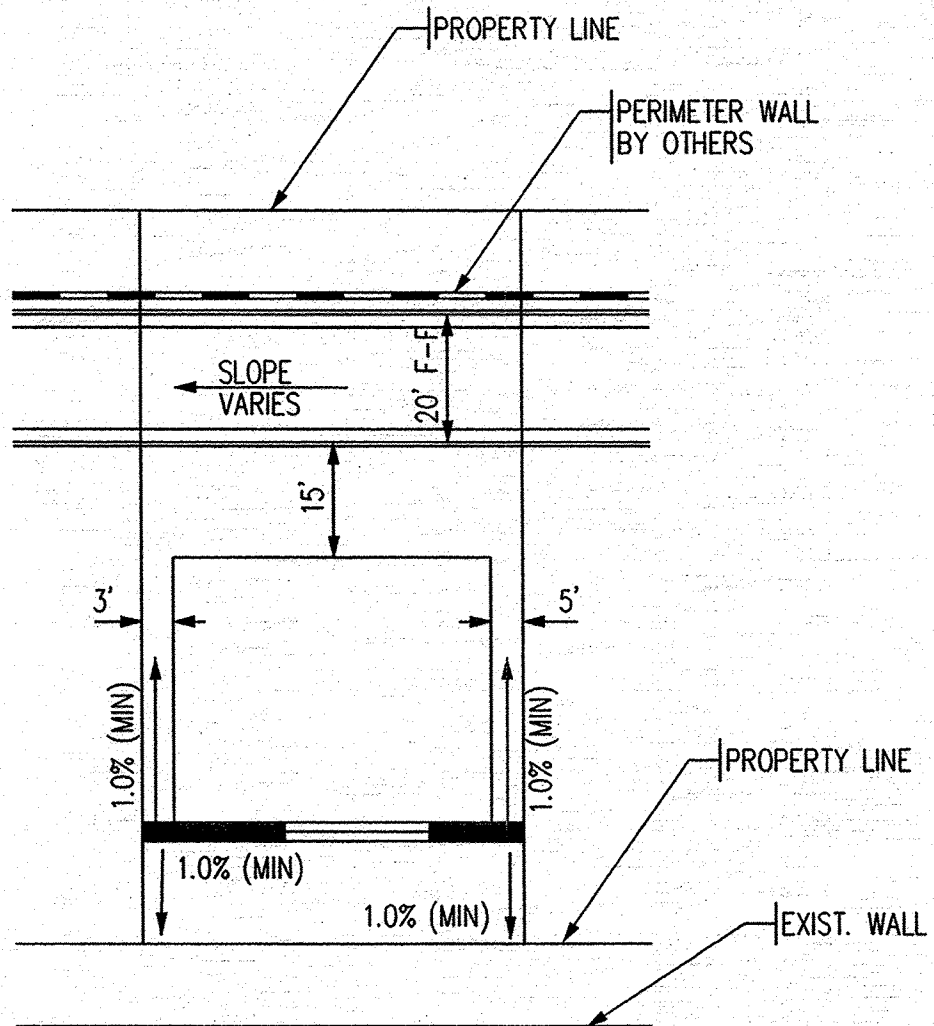
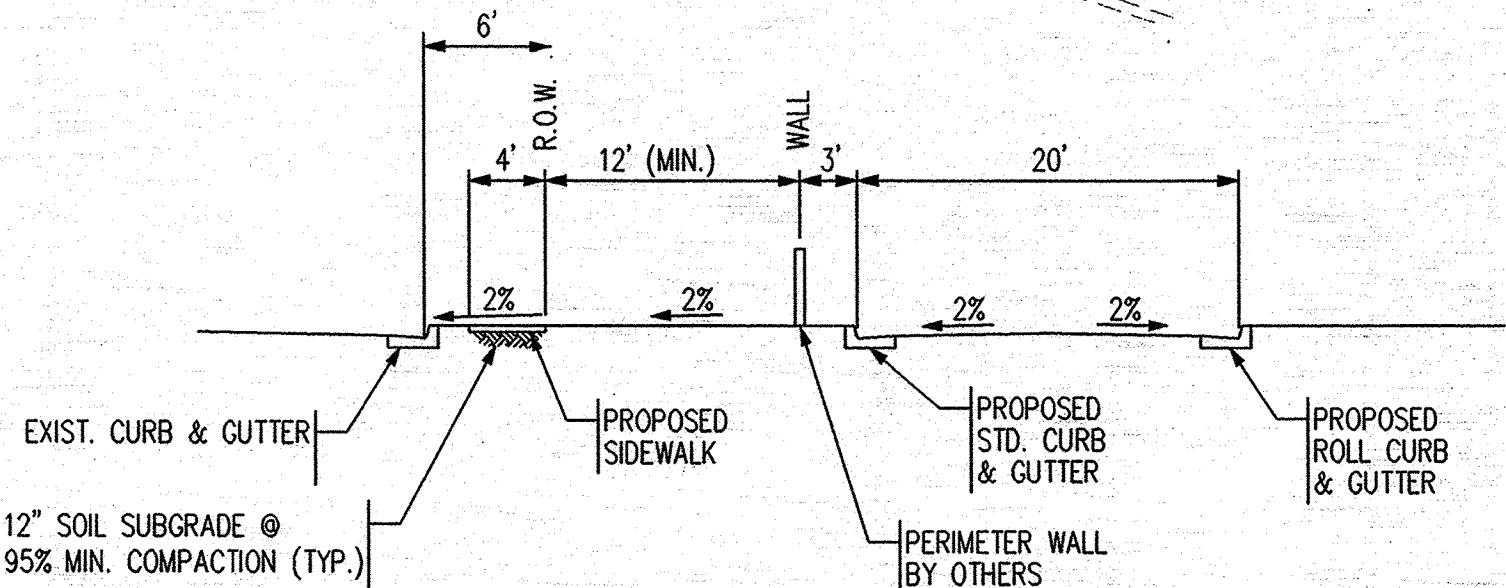




- A RETAINING WALL BY HOMEOWNER  
B TEMPORARY (TYP) TIE BACK  
UNTIL RETAINING WALL IS BUILT  
BY HOMEOWNER

LEGEND	
PROPOSED SPOT	● 5235.25
EXISTING SPOT	○ 5235.25
LIMITS OF GRADING	---
EXISTING CONTOUR	--- 5910 ---
PROPOSED CONTOUR	— 5910 —
FLOW DIRECTION ARROW	→
TRACT BOUNDARY	~~~~~
HIGH POINT	▲
LOW POINT	▼
RETAINING WALL	=====
GARDEN WALL	=====
WALL IN STEMMALL OF HOUSE	=====
EXISTING WALL	=====

- GENERAL NOTES
- A GRADING/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK ON THIS PROJECT.
  - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORTS
  - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS, AND APPROVALS.
  - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAY.
  - THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
  - ALL TIEBACKS ARE 4:1 UNLESS OTHERWISE NOTED
  - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.

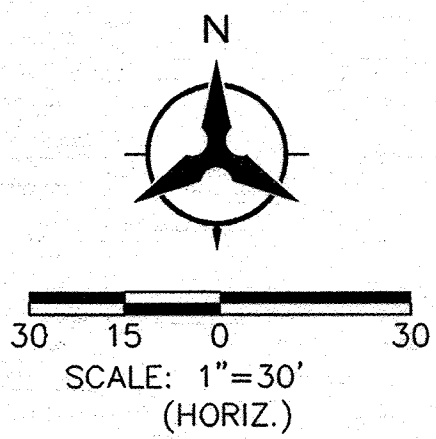


TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL  
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

**TYPICAL RETAINING WALL NOMENCLATURE**  
**NOT TO SCALE**

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

\*WALL HEIGHTS SHALL BE IN ACCORDANCE WITH ALBUQUERQUE CODE OF ORDINANCE SECTION 14-16-3-19 GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES AND RETAINING WALLS.



Grading Certification provided  
in separate document.

Record Drawing

**Bohannon & Huston**  
Courtney I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

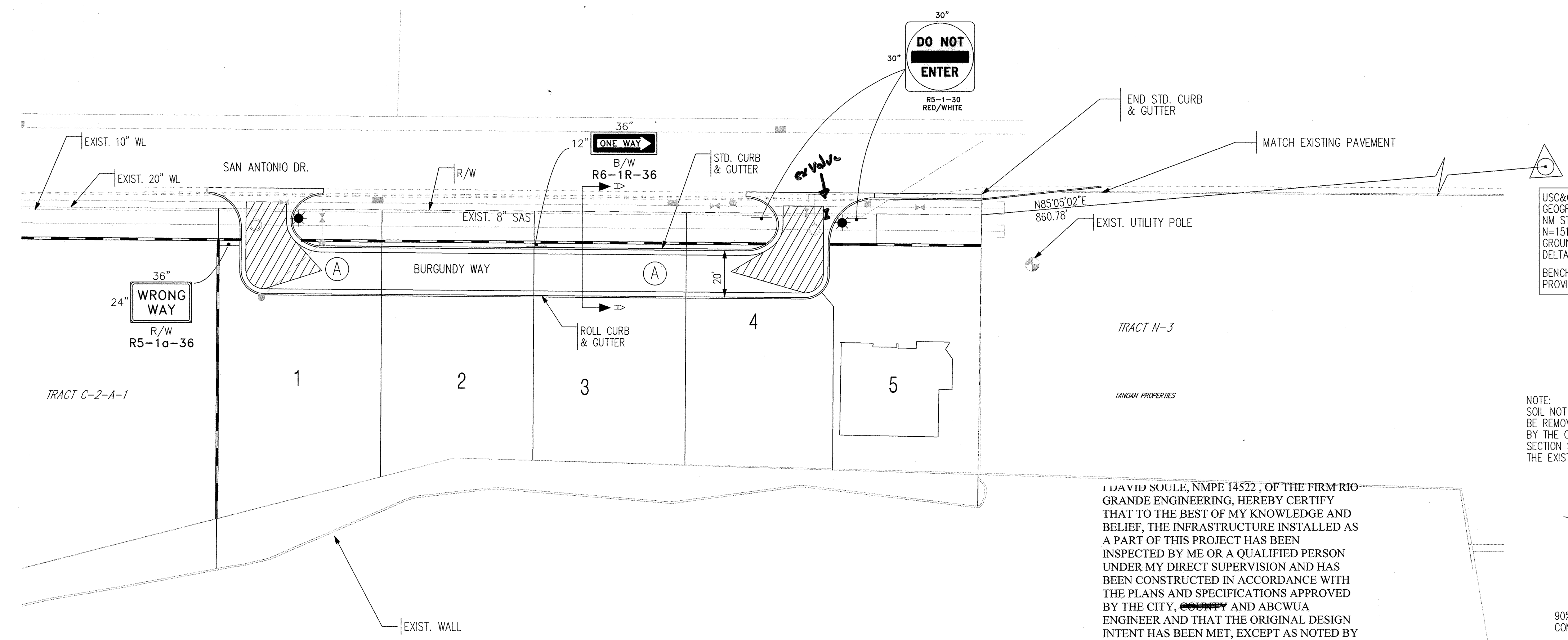


**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**  
SAUVIGNON PHASE III / TUSCANY VILLAGE  
GRADING PLAN

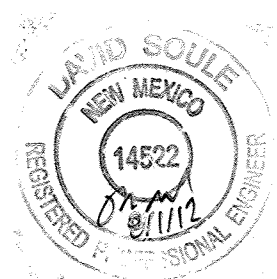
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. 740185	ZONE MAP NO. E-22-Z	SHEET 3	OF 5

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	16035	NO.	BY	DATE	USC&GS BRASS DISC STAMPED "TUMBLE 1969"	CONTRACTOR	DATE
					GEORGIC POSITION (NAD 83)	STANDARD	DATE
					N.M. STATE PLANE COORDINATES	INSPECTOR'S	DATE
					(CENTRAL ZONE)	FIELD	DATE
					N=1513532.539 E=1565711.295	VERIFICATION BY	DATE
					GROUND TO GRID = 0.999622682	CORRECTED BY	DATE
					DELTA ALPHA = -0.00083816"	MICRO-FILM INFORMATION	DATE
						RECORDED BY	DATE
						NO.	DATE

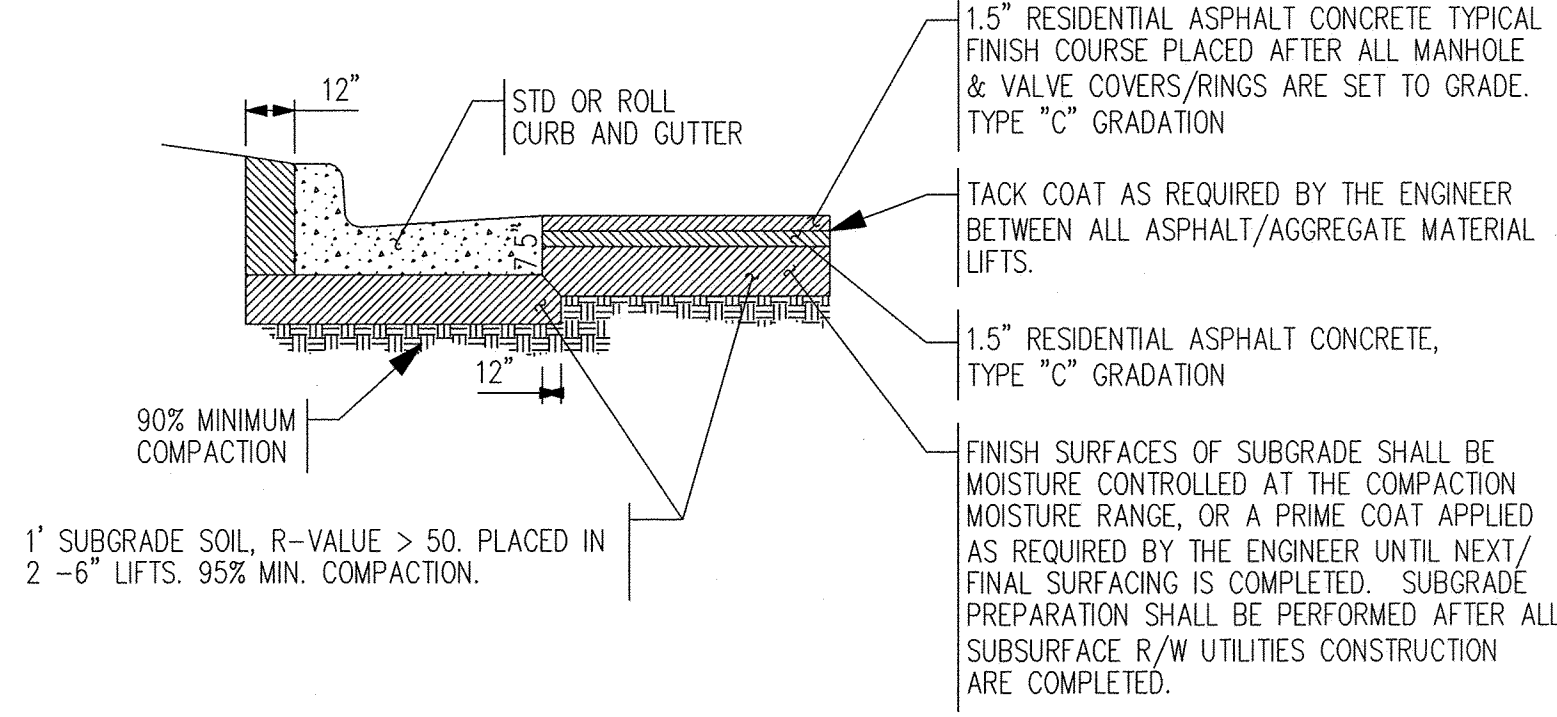




I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY, COUNTY AND ABCWUA ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY ANTHONY HARRIS NMPS 11463.



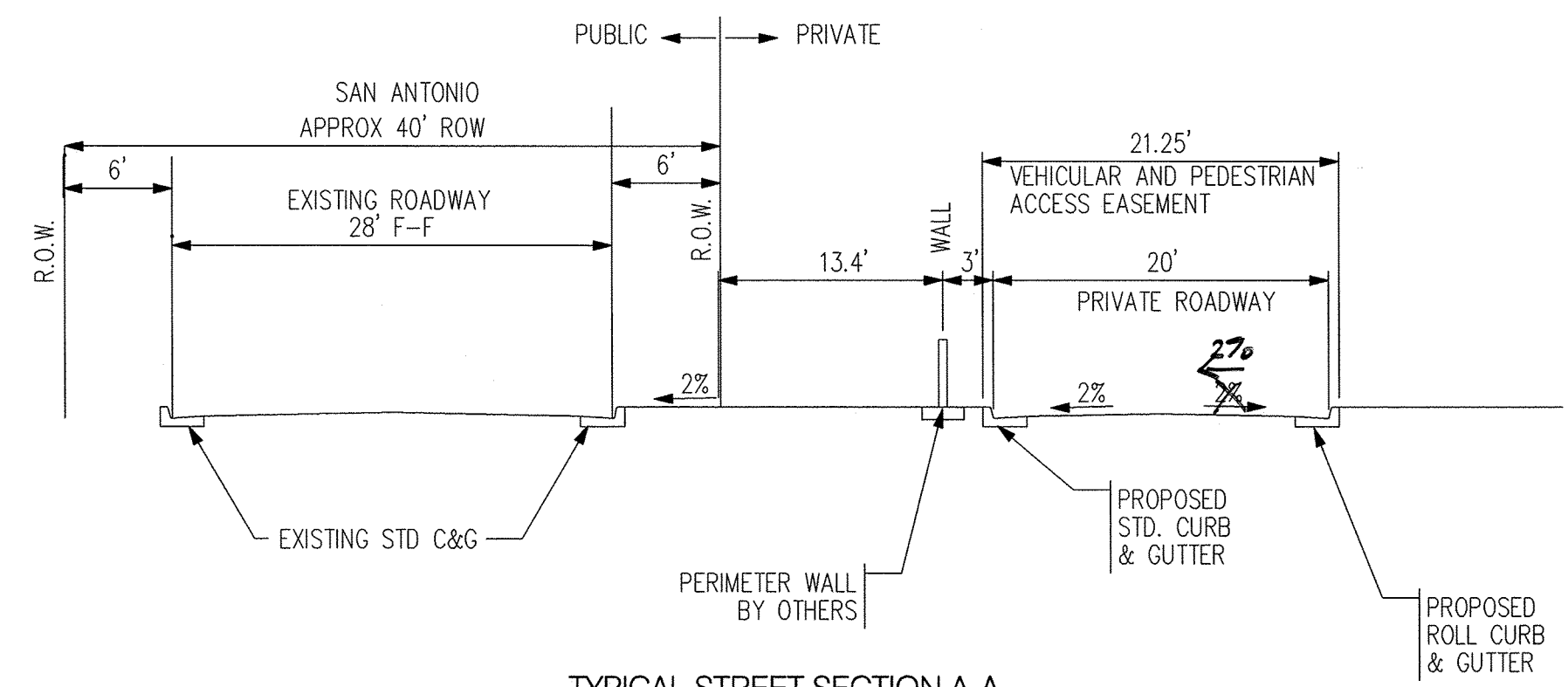
NOTE:  
SOIL NOT HAVING THE MINIMUM R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED, BY THE CONTRACTOR, WITH SUITABLE MATERIAL OR PAVEMENT SECTION SHALL BE DESIGNED, BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.



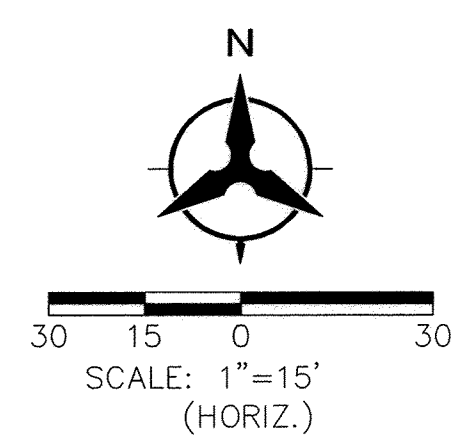
(A) TYPICAL SUBDIVISION PAVEMENT SECTION  
(REFER TO C.O.A. STD. DWG. 2405A)  
NOT TO SCALE

**LEGEND**

PROPOSED CURB AND GUTTER	=====
EXISTING CURB AND GUTTER	=====
FUTURE CURB AND GUTTER	=====
PROPOSED STORM DRAIN MANHOLE	●
EXISTING STORM DRAIN MANHOLE	○
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	●
PROPOSED GATE VALVE	✕
EXISTING GATE VALVE	✕
STREET LIGHT	★
CROWN FLATTENING NO CROWN TRANSITION	▨



TYPICAL STREET SECTION A-A  
NOT TO SCALE



**Bohannon & Huston**  
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

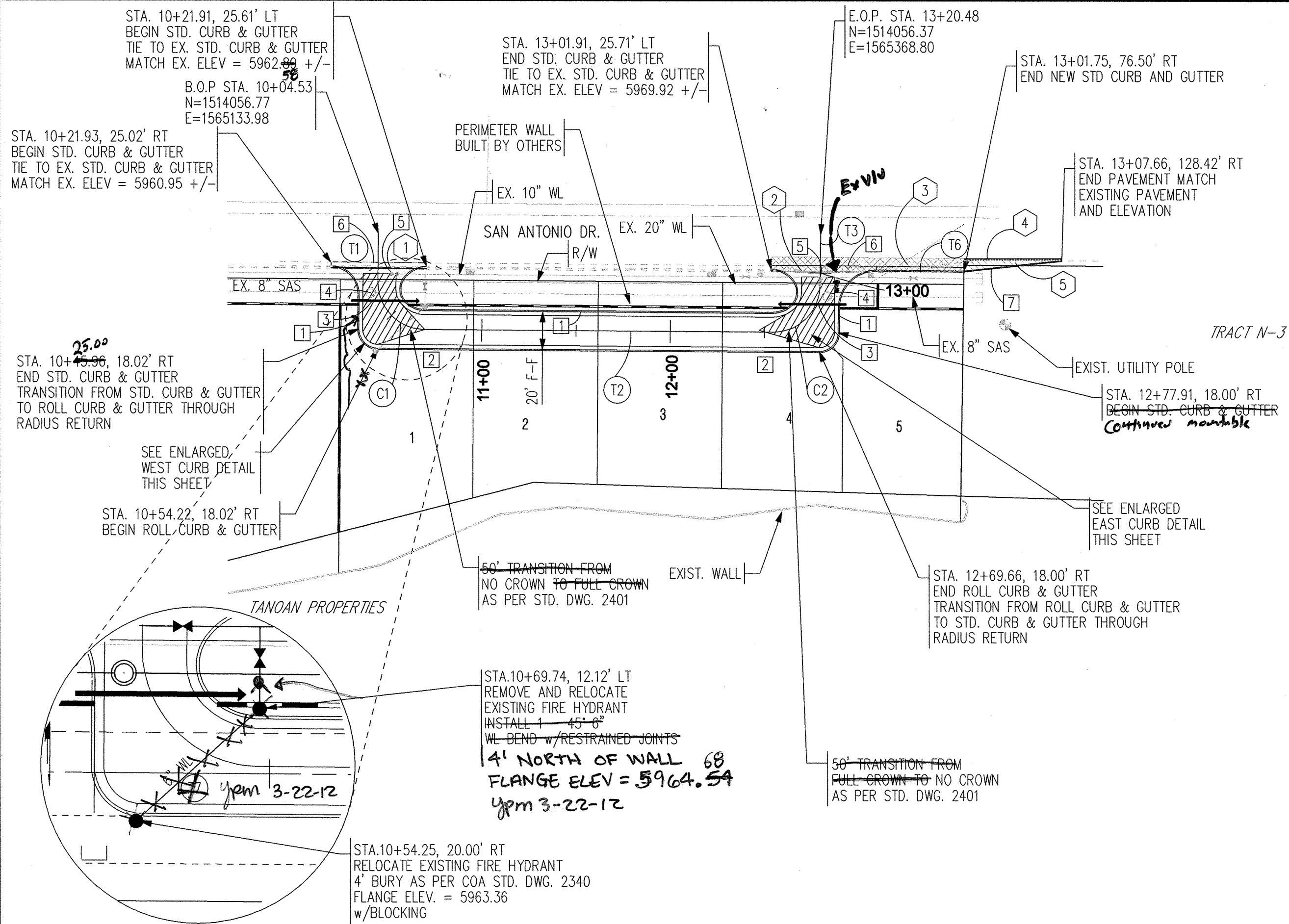
TUSCANY VILLAGE  
OVERALL PAVING PLAN

DESIGN REVIEW COMMITTEE <b>APPROVE</b> APR 09 2012 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

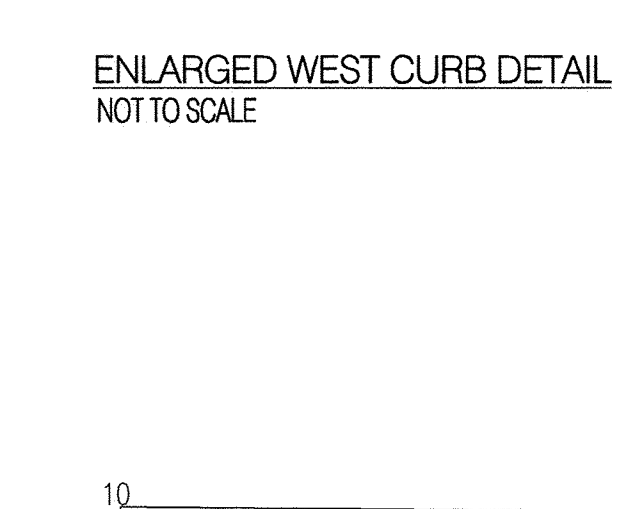
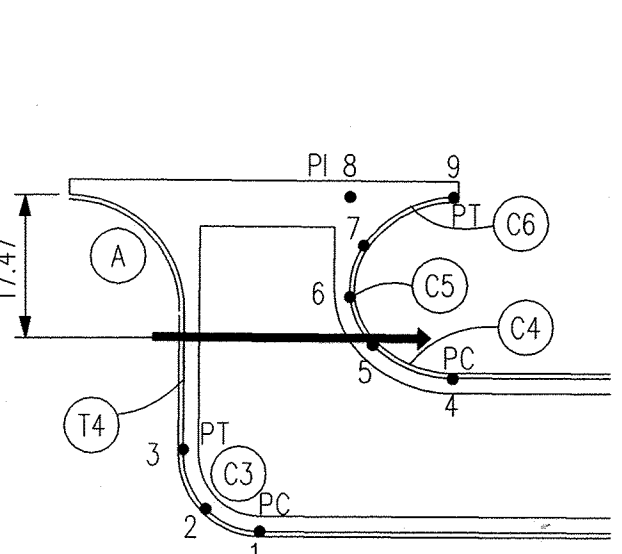
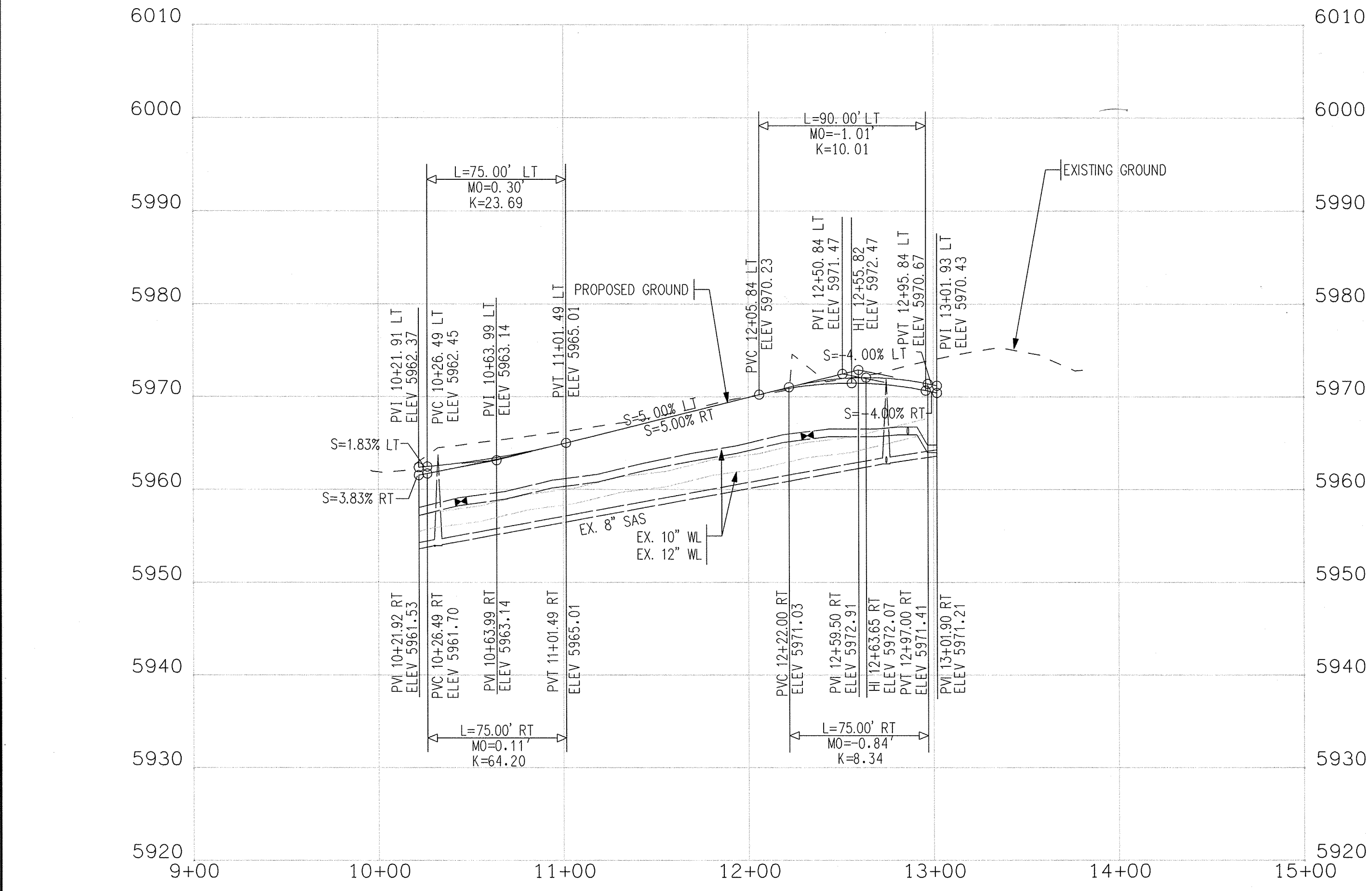
CITY PROJECT NO. 740185	ZONE MAP NO. E-22-Z	SHEET 4	OF 5
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Record Drawing





BURGUNDY WAY



Curb Point Table			
ID	STATION	OFFSET	ELEVATION
1	10+54.22	18.02' RT	5962.83
2	10+50.09	20.37' RT	5962.65
3	10+45.96	18.02' RT	5962.48
4	10+69.74	10.00' LT	5963.44
5	10+50.47	10.00' LT	5963.01
6	10+38.60	10.82' LT	5962.71
7	10+28.31	13.32' LT	5962.49
8	10+22.00	11.52' LT	5962.37
9	10+21.91	25.61' LT	5962.91
10	13+01.91	25.71' LT	5969.90
11	13+01.90	11.59' LT	5970.43
12	12+95.45	13.37' LT	5970.69
13	12+84.92	10.83' LT	5971.05
14	12+72.93	10.00' LT	5971.33
15	12+54.16	10.00' LT	5971.47
16	12+77.91	18.00' RT	5971.95
17	12+73.78	20.34' RT	5972.41
18	12+69.66	18.00' RT	5972.05

- DEMOLITION KEY NOTES:
- STA. 10+22.63 25.61' RT TO STA. 10+22.56 25.02' LT REMOVE & DISPOSE APPROX. 50 LF OF EXISTING CURB & GUTTER (HATCHED AREA) ypm 3-22-12
  - STA. 13+01.12 25.72' LT TO STA. 13+01.08 25.64' RT NEATLY SAWCUT, REMOVE & DISPOSE APPROX. 51 LF OF EXISTING CURB & GUTTER (HATCHED AREA) ypm 3-22-12
  - STA. 13+08.51 25.71' LT TO STA. 13+08.28 76.48' RT NEATLY SAWCUT, REMOVE, DISPOSE & REPLACE APPROX. 83 SY OF EXISTING PAVEMENT. MATCH EXISTING PAVEMENT AND ELEVATION PER COA STD DWG 2465 (HATCHED AREA)
  - STA. 13+08.28 76.48' RT TO STA. 13+08.66 128.41' RT. NEATLY SAWCUT, REMOVE (6SY), DISPOSE AND REPLACE (24 SY) EXISTING PAVEMENT AS PER COA STD DWG 24158 APPROX. 52 LF
  - STA. 13+01.75 76.50' RT TO STA. 13+07.66 128.42' RT. INSTALL NEW EXTRUDED ASPHALT CURB PER COA STD DWG 24158 APPROX. 52 LF

I DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY, COUNTY AND ABCWA ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY ANTHONY HARRIS NMPS 11463.

CL CURVE TABLE			
ID	ARC	RADIUS	DELTA
C1	39.29'	25.00'	90°02'30"
C2	39.07'	25.00'	89°31'51"

CURB CURVE TABLE			
ID	ARC	RADIUS	DELTA
C3	15.72'	10.00'	90°02'30"
C4	11.56'	15.00'	44°09'37"
C5	14.11'	10.00'	80°50'52"
C6	14.41'	15.00'	55°01'24"
C7	11.26'	15.00'	43°00'49"
C8	14.25'	10.00'	81°39'42"
C9	14.49'	15.00'	55°21'08"
C10	15.70'	10.00'	89°57'30"

CL TANGENT TABLE		
ID	BEARING	LENGTH
T1	S00°24'41"W	25.92'
T2	S89°37'49"E	184.61'
T3	N00°50'20"E	27.26'

CURB TANGENT TABLE		
ID	BEARING	LENGTH
T4	N00°24'41"E	18.54'
T5	N00°24'41"E	13.43'
T6	S89°27'50"E	46.46'

A FLOWLINE DATA FOR CURB RETURN

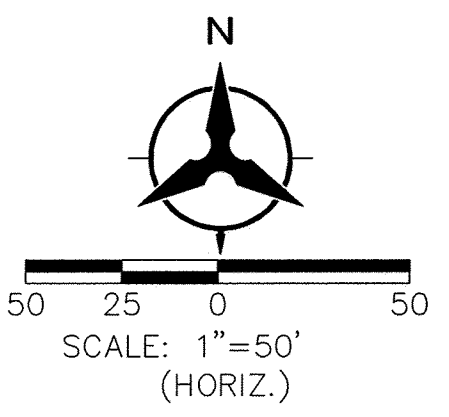
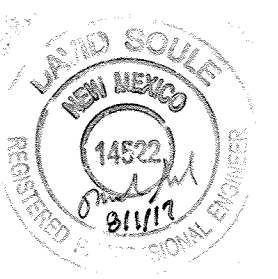
PC	60.95	D = 90°03'43"
1	61.27	R = 15.00'
2	61.58	T = 15.02'
3	61.81	L = 23.58'
PT	62.04	C = 21.22'
PI	61.53	

PC STA. 10+21.93, 25.02' RT  
PT STA. 10+35.03, 10.60' RT  
PI STA. 10+21.94, 9.99' RT  
RAD STA. 10+25.07, 25.42' RT

B FLOWLINE DATA FOR CURB RETURN

PC	71.79	D = 90°07'29"
1	71.55	R = 20.00'
2	71.31	T = 20.04'
3	71.63	L = 31.46'
PT	71.94	C = 28.32'
PI	71.21	

PC STA. 12+85.44, 11.86' RT  
PT STA. 13+01.85, 30.04' RT  
PI STA. 13+01.90, 10.22' RT  
RAD STA. 12+88.23, 31.20' RT



NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURB RETURN RADI SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
- ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- GRADE ELEVATIONS, WHERE NOTED, ARE ALONG FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND EMB AT THE END OF EACH SANITARY SEWER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
- ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING LINES.
- CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
- ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
- REMOVAL OF THE EXISTING CURB AND GUTTER SHALL BE AT NEAREST JOINT.
- WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.
- RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUDED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

KEYED NOTES

- STD. CURB & GUTTER PER COA STD. DWG. 2415A
- MOUNTABLE (ROLL TYPE) CURB PER COA STD. DWG. 2415A
- PRIVATE GATE (BY OTHERS)
- ADJUST RIM TO GRADE
- ADJUST VALVE TO GRADE
- 6" VALLEY GUTTER PER COA STD DWG 2420
- REFLECTORIZED THERMOPLASTIC PAVEMENT MARKING - 4" SOLID WHITE STRIPE

**Bohannon & Huston**  
Court yard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT

TUSCANY VILLAGE  
PAVING AND UTILITY PLAN & PROFILE  
STA. 10+00 TO 13+20.48 ypm 3-22-12

DESIGN REVIEW COMMITTEE  
APPROVE  
APR 09 2012  
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

DESIGNED BY YPM / BCP  
DRAWN BY ARR  
CHECKED BY YPM

REMARKS  
REVISIONS  
DESIGN

NO. DATE  
BY

DATE 04/2011  
DATE 04/2011  
DATE 04/2011

ZONE MAP NO.  
E-22-Z

SHEET  
5

OF  
5