

CONSTRUCTION PLANS

FOR

SITIO BUSINESS PARK

EDITH ROAD

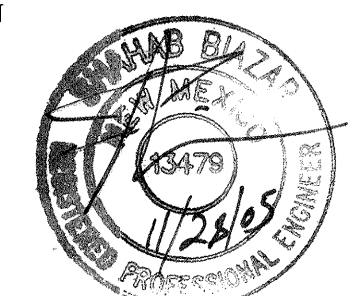
ROAD & UTILITY IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
DECEMBER 2004

RECORD DRAWING

I, SHAHAB BIAZAR, OF THE FIRM OF ADVANCED ENGINEERING AND CONSULTING, LLC, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY WILL PLOTNER OF CARTESIAN SURVEY, NMPS NUMBER 14271.

SHAHAB BIAZAR, PE
NMPE NO. 13479
DATE: 11/29/05
Advanced Eng. & Cons., LLC



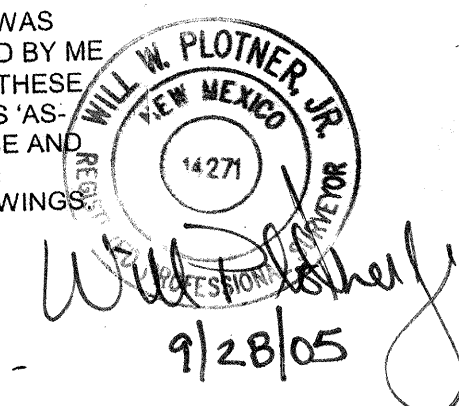
INDEX TO DRAWINGS

1. TITLE SHEET
2. SITE PLAN
3. GRADING AND DRAINAGE PLAN
4. PAVING IMPROVEMENTS
5. UTILITY IMPROVEMENTS

SURVEYOR'S CERTIFICATION

I, WILL PLOTNER JR., A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN, CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

WILL PLOTNER JR., NMPS 14271



TRAFFIC CONTROL PLAN

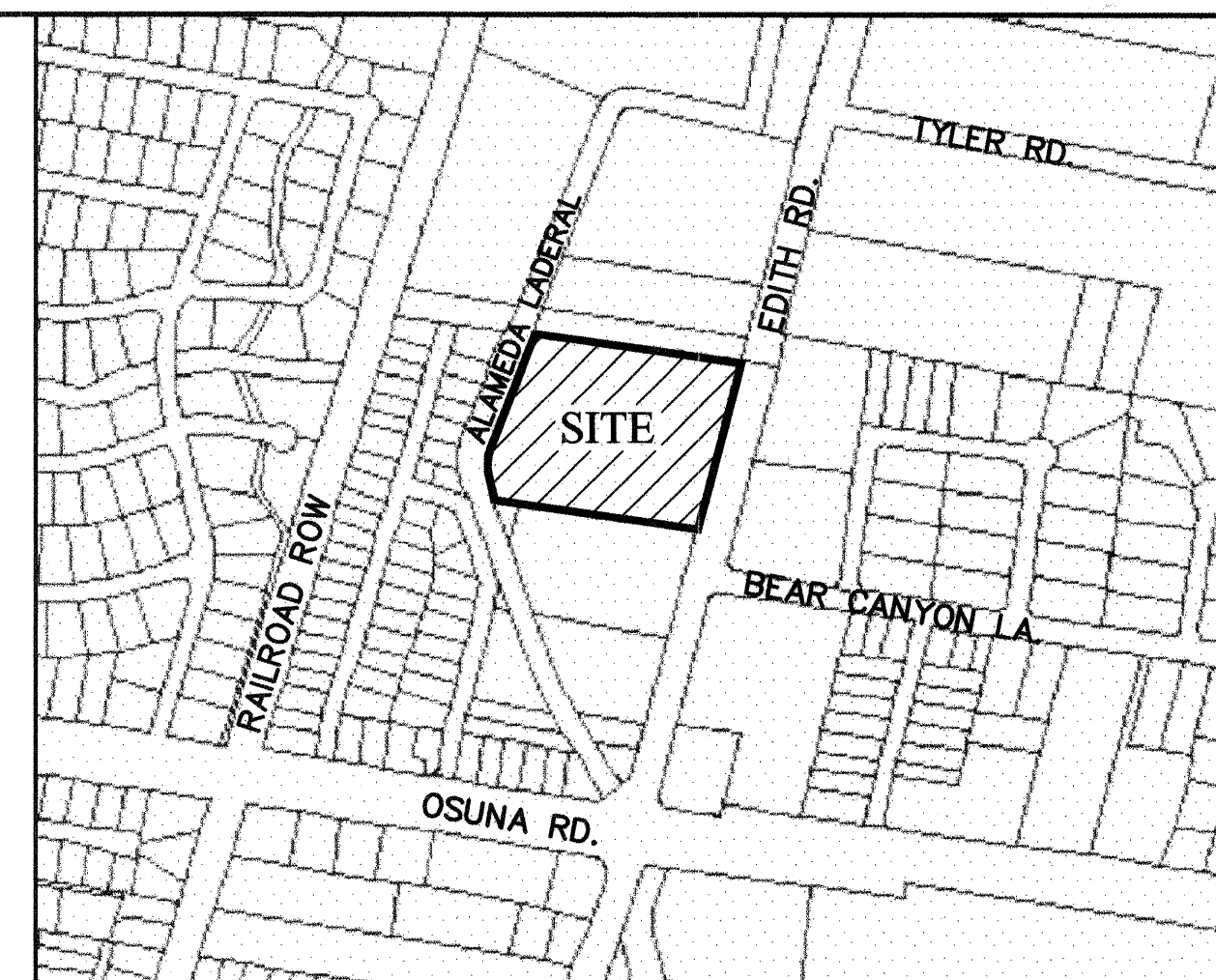
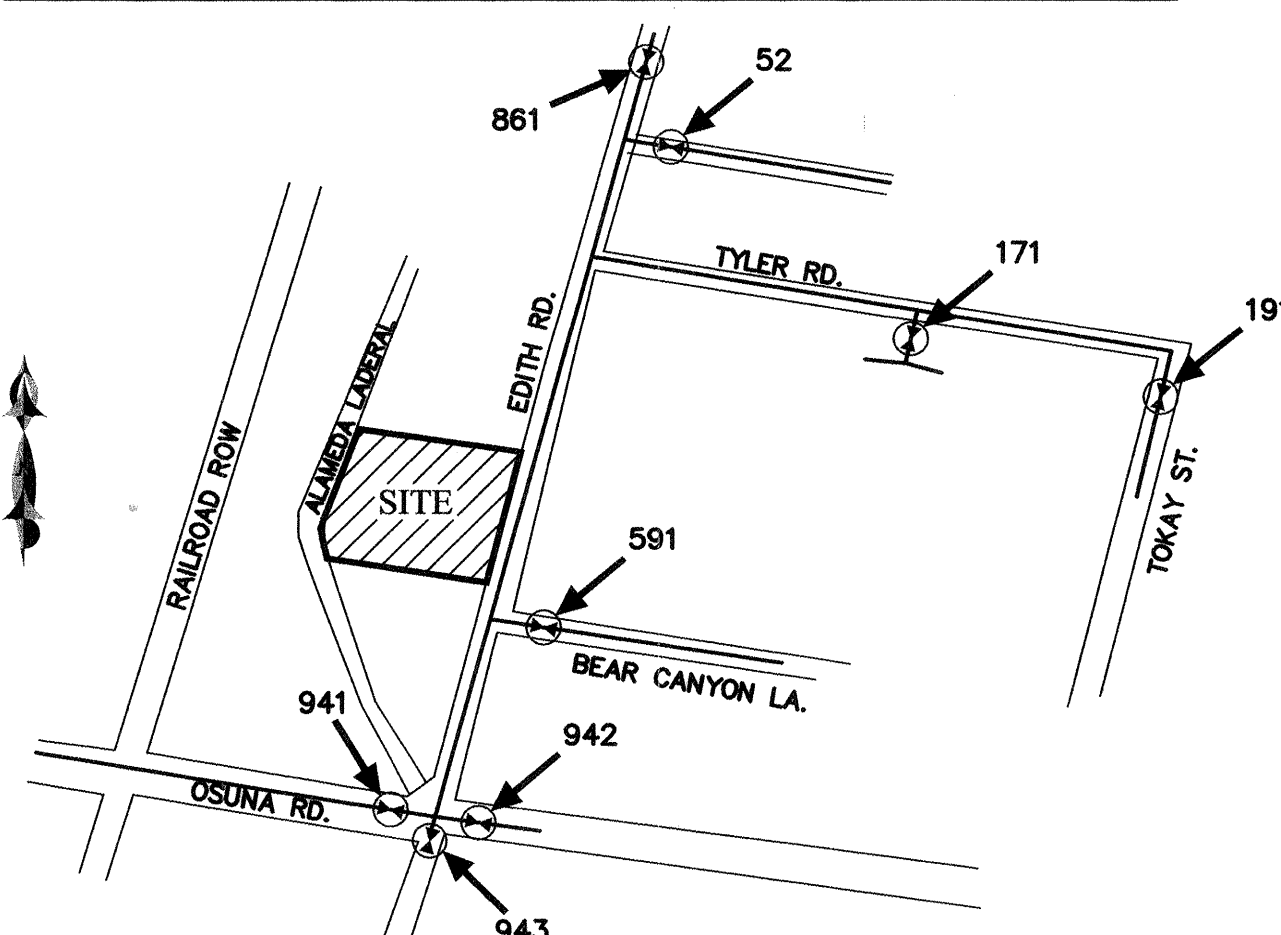
USE COA TRAFFIC CONTROL PLAN.

WATER SHUTOFF NOTES:

1. ONLY C.O.A. WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF VALVES INDICATED ON THE PLAN BELOW (→).

VALVE NUMBERS 861, 52, 171, 191, 591, 941, 942, AND 943.

WATER SHUTOFF PLAN



VICINITY MAP ZONE ATLAS E-15-Z

N.T.S.

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #7).
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.
8. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
9. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE DESIGN ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DERESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
362 BRYAN WOLFE P.E.
DATE: 11/19/2006

DRB CASE NUMBER 1003126



4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRC Chairman	<i>[Signature]</i>	01-28-05	APPROVED FOR CONSTRUCTION		
		Transportation	<i>[Signature]</i>	1/10/05			
		Water/Wastewater	<i>[Signature]</i>	1/05/05			
		Hydrology	<i>[Signature]</i>	1/5/05			
		C.I.P.	<i>[Signature]</i>	01-28-05			
CITY PROJECT NO.		745681		SHEET		1 OF 5	

SITE DATA

PROPOSED USAGE:	OFFICE/WAREHOUSE
LOT AREA:	265,731.99 S.F. (6.100 ACRES)
OFFICE AREA:	29,034.00 S.F.
WAREHOUSE AREA:	50,501.00 S.F.
GROSS BUILDING AREA:	79,535.00 S.F.
CONSTRUCTION TYPE:	V-N SPRINKLED

LANDSCAPE CALCULATIONS:

NET LOT AREA	186,196	SF ±
LANDSCAPING REQUIRED:	27,929	SF ±
15% OF 186,196 SF		
LANDSCAPE PROVIDED	28,421	SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:	
OFFICE AREA:	29,034 GSF / 200 GSF 145 SPACES
WAREHOUSE AREA:	50,501 GSF / 2000 GSF 25 SPACES
TOTAL PARKING REQUIRED:	170 SPACES
TOTAL PARKING PROVIDED:	183 SPACES
HC PARKING REQUIRED:	8 SPACES (2 VAN)
HC PARKING PROVIDED:	12 SPACES (2 VAN)
BICYCLE SPACES REQUIRED:	7 SPACES
BICYCLE SPACES PROVIDED:	7 SPACES

GENERAL NOTES:

- CURRENT ZONING IS SU-1 FOR IP USES.
- THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
- THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

NOTES:

- NEW 6" CONCRETE CURB PER COA STD. DWG. #2415.
- STANDARD CURB AND GUTTER PER COA STD. DWG. #2415.
- ACCESSIBLE SIDEWALK RAMP.
- NEW ASPHALT PAVING AREA.
- 5' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
- EXISTING CURB AND GUTTER.
- NEW 10' SIDEWALK PER COA STD. DWG. #2430.
- NEW 8' SIDEWALK PER COA STD. DWG. #2430.
- NEW 6' SIDEWALK PER COA STD. DWG. #2430.
- NEW DRIVE WAY ENTRANCE PER COA STD. DWG. #2426.
- 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS. (SEE DETAIL SHEET 4 OF 5.)
- PAINTED ARROW.
- NEW 6" HIGH FENCE.
- EXISTING POWER POLE.
- NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
- 9' WIDE X 20' DEEP PARKING SPACES.
- HANDICAP SIGN PER COA STANDARDS.
- BICYCLE RACK, PROVIDE MINIMUM 7 BICYCLE SPACES.
- NEW 7' GARDEN WALL.
- EXISTING CHAIN LINKED FENCE.
- NEW 400W METAL HALIDE SITE LIGHTING. (SEE SHEET 5-C FOR DETAIL)
- EDGE OF EXISTING ASPHALT.
- MONUMENT SIGN PER COA STANDARD. (SEE SHEET 5-A FOR DETAIL.)
- PROPOSED 24.00' WIDE PAVEMENT.
- NO LIGHTING THAT IS WITHIN 100'-FEET OF A RESIDENTIAL ZONE WILL BE HIGHER THAN 16'-FEET.
- 1,067.30 SF. OUTDOOR PATIO WITH SEATING AREA. SEE LANDSCAPING PLAN (SHEET 2 OF 5) FOR SHADING.
- 9.50' ROADWAY AND BICYCLE LANE EASEMENT GRANTED TO CITY OF ALBUQUERQUE ON 8-27-04, BK-A83, PG-1544

LEGEND

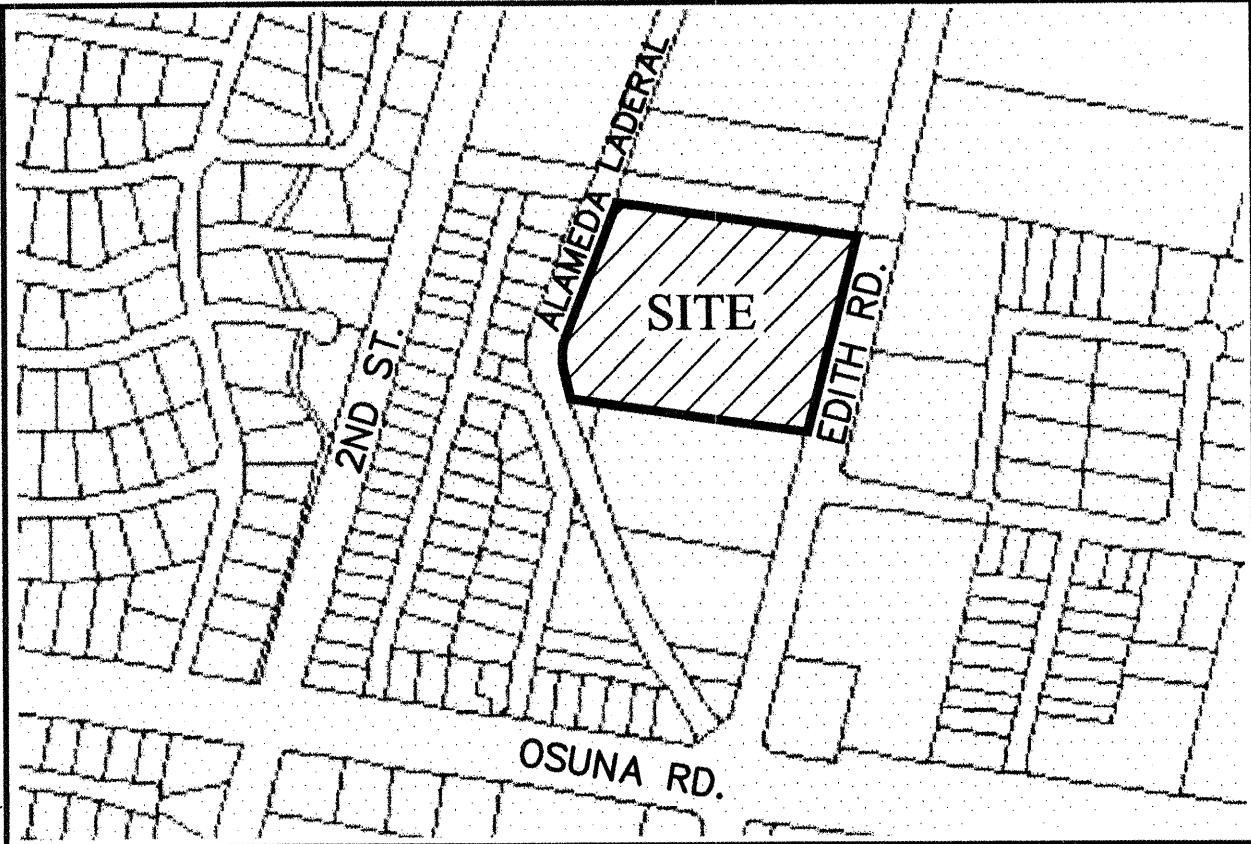
	BOUNDARY LINE
	BUILDING
	PROPOSED CURB ON SITE
	NEW SIDEWALK
	NEW PAVEMENT
	NUMBER OF PARKING SPACES
	EXISTING CURB & GUTTER
	EXISTING WATER LINE
	EXISTING SAS
	EXISTING STORM SEWER
	EXISTING FENCE
	SEATING AREA

SITE DEVELOPMENT PLAN FOR BUILDING NOTES:

- PERMISSIVE USES: PERMISSIVE USES AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-2-20-A (PERMISSIVE USES) AND -B (CONDITIONAL USES) INDUSTRIAL PARK ZONE.
- SIGNAGE: SIGN ON-PREMISES AS SPECIFIED IN SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE, AND FURTHER PROVIDED IN ITEM 23, a THROUGH f, IN THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-2-19 IP INDUSTRIAL PARK ZONE.
- HEIGHT: STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 45-DEGREE ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 120 FEET. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN 14-16-3-3 OF THE CITY OF ALBUQUERQUE ZONING CODE AND, FOR SIGN HEIGHT, IN DIVISION (A) OF THIS SECTION.
- LOT SIZE: MINIMUM LOT AREA SHALL BE ONE-HALF ACRE. MINIMUM LOT WIDTH SHALL BE 100 FEET. NO MORE THAN 50% OF THE SURFACE OF ANY LOT OR SITE SHALL BE COVERED WITH BUILDINGS.
- SETBACKS: THE FOLLOWING REGULATIONS APPLY, EXCEPT AS PROVIDED IN SECTION 14-16-3-3 OF THE CITY OF ALBUQUERQUE ZONING CODE. THERE SHALL BE A FRONT-YARD SETBACK OF NOT LESS THAN THIRTY FEET. THERE SHALL BE A SIDE-YARD SETBACK OF NOT LESS THAN TEN FEET. THERE SHALL BE A REAR-YARD SETBACK OF NOT LESS THAN TEN FEET. NO SETBACK WILL BE REQUIRED ON SIDES ABUTTING RAIL TRACKAGE OR RAIL EASEMENTS.
- OFF-STREET PARKING: OFF-STREET PARKING SHALL BE AS PROVIDED IN 14-16-3-1 OF THE CITY OF ALBUQUERQUE ZONING CODE.
- OUTSIDE STORAGE: ALL OUTDOOR STORAGE AND TRASH COLLECTION AREAS SHALL BE VISUALLY SCREENED FROM ALL PROPERTY LINES BY A SOLID WALL OR FENCE OR BY AN EVERGREEN HEDGE AT LEAST SIX FEET HIGH.

SITE DEVELOPMENT PLAN FOR BUILDING NOTES:

- LANDSCAPING: LANDSCAPING SHALL BE AS SPECIFIED IN SECTION 14-16-3-10 OF THE CITY OF ALBUQUERQUE ZONING CODE, EXCEPT THAT A MINIMUM LANDSCAPED STRIP OF TEN FEET SHALL BE MAINTAINED BETWEEN PARKING AREAS AND THE STREET RIGHT-OF-WAY LINE, REGARDLESS OF SITE SIZE.
- ARCHITECTURAL CHARACTER / BUILDING MATERIALS AND COLORS.
- BUILDING HEIGHTS: STRUCTURE HEIGHT AND WIDTH SHALL FALL WITHIN 45E ANGLE PLANES DRAWN FROM THE HORIZONTAL AT THE MEAN GRADE ALONG EACH BOUNDARY OF THE PREMISES, BUT A STRUCTURE SHALL NOT EXCEED A HEIGHT OF 120 FEET. EXCEPTIONS TO THE ABOVE ARE PROVIDED IN 14-16-3-3 OF THE CITY OF ALBUQUERQUE ZONING CODE AND, FOR SIGN HEIGHT, IN DIVISION (A) OF THIS SECTION.
- BUILDING TYPES: BUILDINGS WILL BE MASONRY, STUCCO, METAL PANELING, OR ANY COMBINATION.
- ROOFS: PITCHED ROOFS WILL BE SHINGLED, TILED, OR METAL.
- BUILDING COLORS: BUILDING COLORS WILL BE TAN TO LIGHT BROWN, ACCENTS AND EARTHTONE. THE USE OF DARK COLORS FOR THE ROOF IS PROHIBITED.
- ROOF EQUIPMENT SCREENS: MECHANICAL EQUIPMENT ON ROOFS IS TO BE SCREENED FROM PUBLIC VIEW AS MUCH AS PRACTICAL. ROOF EQUIPMENT SCREENS ARE TO BE AT LEAST AS HIGH AS THE HIGHEST PART OF THE EQUIPMENT. ROOF SCREENS ARE TO BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING.
- LIGHTING: AS SPECIFIED IN CITY OF ALBUQUERQUE ZONING CODE SECTION 14-16-3-9, AREA LIGHTING REGULATIONS. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE MOUNTED. LIGHTING SHALL NE CONTROLLED BY PHOTOCELLS AND/OR TIME CLOCKS. ALL LIGHTING SHALL BE SHIELDED FROM SURROUNDING PROPERTIES. PARKING LOT FIXTURES ARE TO HAVE AN OVERALL HEIGHT OF TWENTY (20) FEET. IN ADDITION, ALL OUTDOOR LIGHTING FIXTURES MOUNTED ON BUILDINGS OR STRUCTURES SHALL BE MOUNTED AT A HEIGHT NO MORE THAN 16 FEET ABOVE FINISHED GRADE.



VICINITY MAP:

E-15-Z

LEGAL DESCRIPTION:

TRACT 45-B, MRGCD MAP NO. 29, CONTAINING 265,731.99 S.F. (6.100 AC.)

SHEET INDEX

- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPING PLAN
- CONCEPTUAL GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- ELEVATION PLANS

PROJECT NUMBER: 1003126

APPLICATION NUMBER: 04-01025

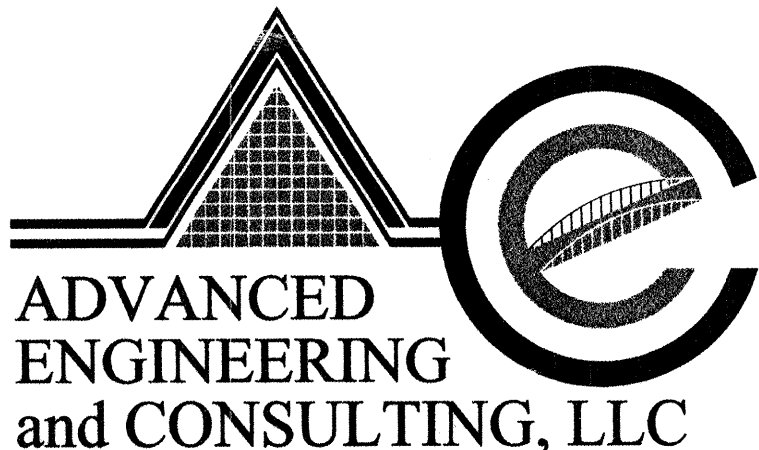
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED , AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? ☒ YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	10-15-04
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
	7-14-04
UTILITIES DEVELOPMENT	DATE
	7-14-04
PARKS AND RECREATION DEPARTMENT	DATE
	10/5/04
CITY ENGINEER	DATE
	6-29-04
SOLID WASTE MANAGEMENT	DATE
	7/14/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



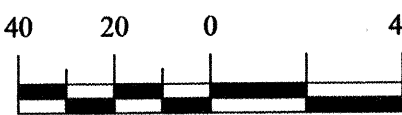
SHAHAB BLAZAR
P.E. #13479



ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

GRAPHIC SCALE



SITIO BUSINESS PARK
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
200355-ST.DWG	SHH	11-10-03	1 OF 5

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
745681	E-15-Z	2	5

GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5008.12 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.
6. ADD 5000 TO ALL THE SPOT ELEVATIONS (UNLESS THE ELEVATION IS A 6 DIGIT NUMBER)

GARDEN WALL (GROUT FILL FIRST FOUR COURSES / DESIGN BY OTHERS)

WATER PROOF WALL UP TO 5001.00

MAXIMUM PONDING LIMITS

MATCH EXISTING GRADE

4999.00

5000.50

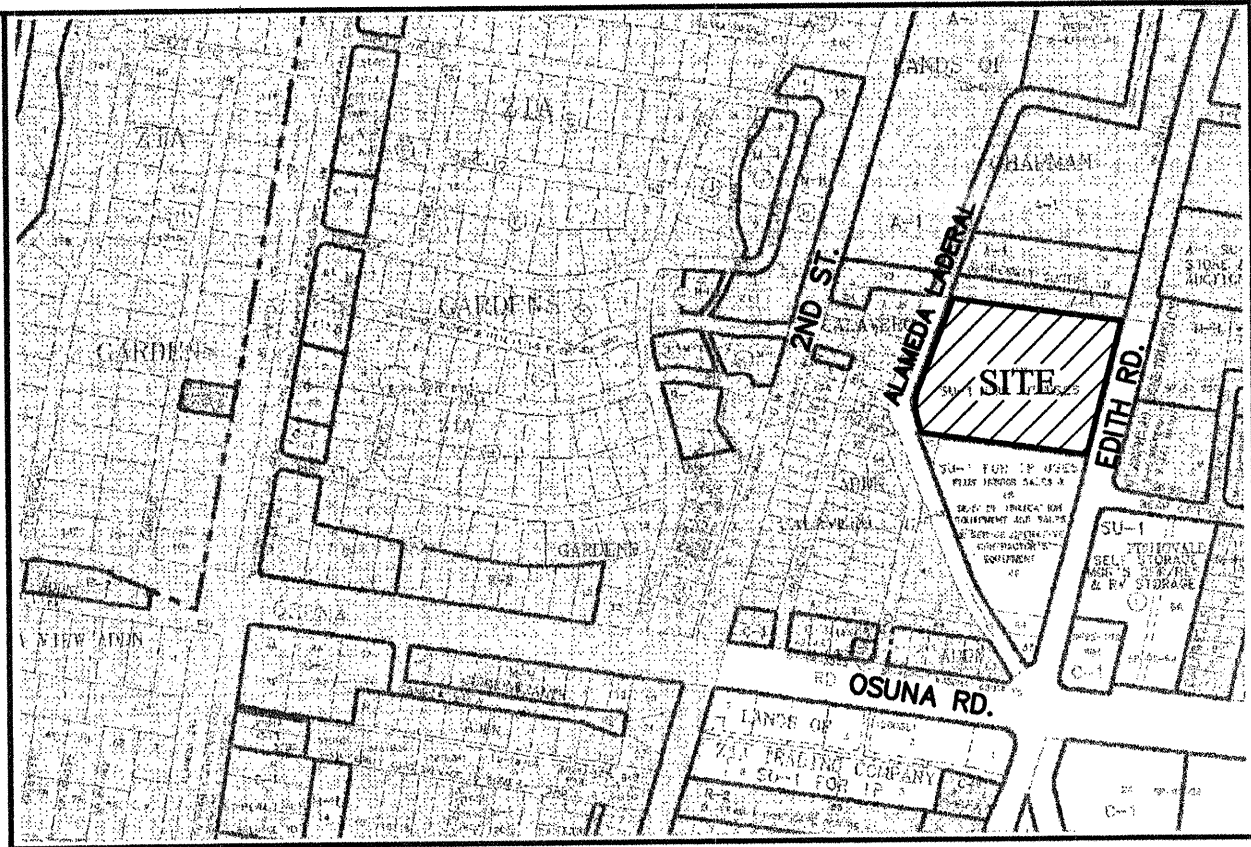
4999.60

SECTION A-A

NTS

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



VICINITY MAP:

E-15-Z

LEGAL DESCRIPTION:

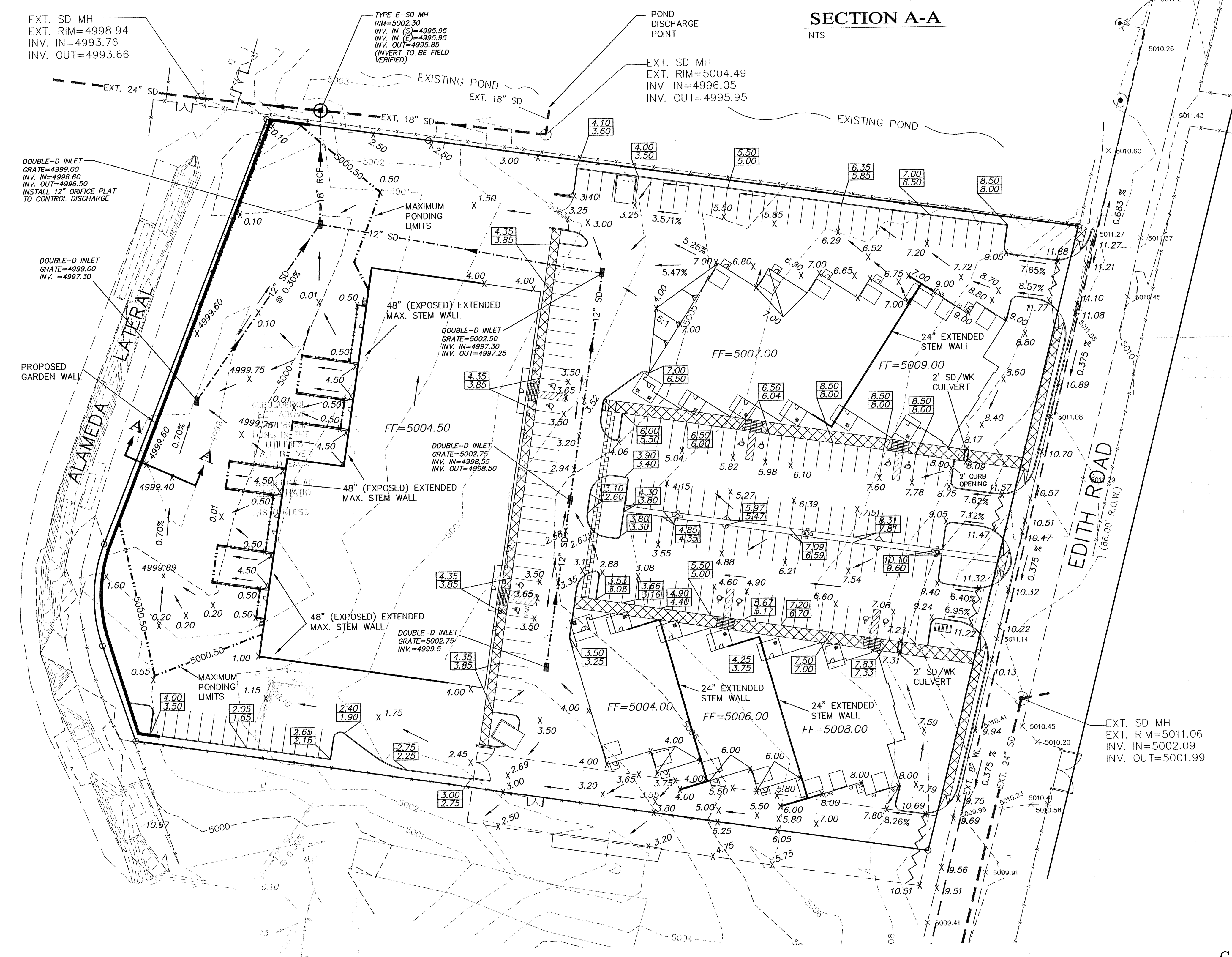
TRACT 45-B, MRCD MAP NO. 29, CONTAINING ±6.10 AC.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

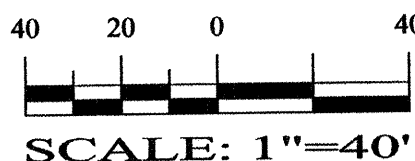
LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EX. 8" SAS
- EX. 16" WL
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- WATER BLOCK
- STEM WALL / RETAINING WALL



EXT. SD MH
EXT. RIM=5011.06
INV. IN=5002.09
INV. OUT=5001.99

GRAPHIC SCALE



SCALE: 1"=40'

SHAHAB BIAZAR
P.E. #13479

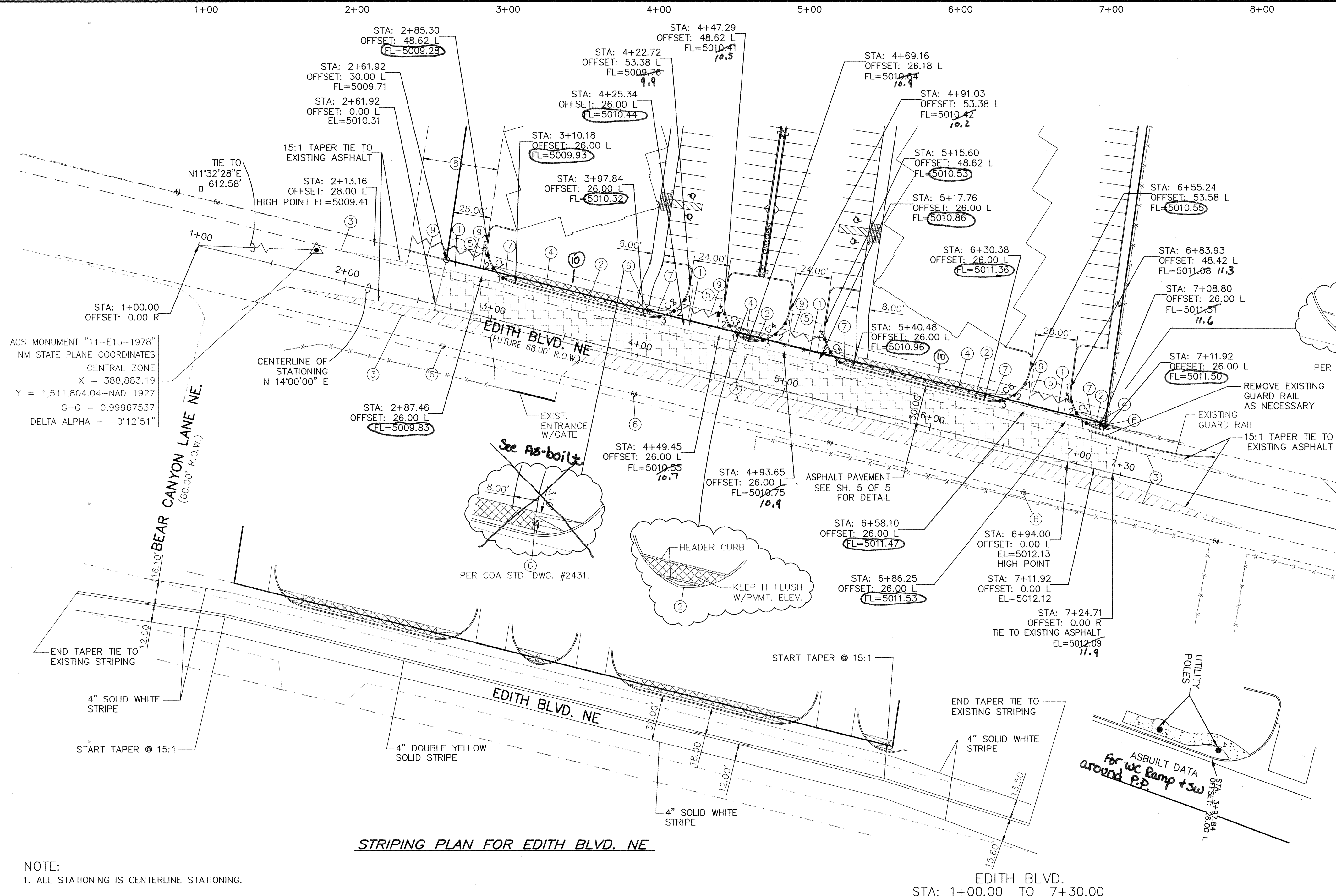
ADVANCED
ENGINEERING
and CONSULTING, LLC

10205 SNOWLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

SITIO BUSINESS PARK			
CONCEPTUAL GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200355-GR.DWG	SBB	11-10-03	4 OF 6
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
745681	E-15-Z	3	5

ROUGH GRADING APPROVAL DATE

SCANNED BY
MESA REPRO



QUARTER POINTS

STATION	FL	ELEV.
1	5009.88	
2	5010.11	
3	5010.33	

STATION	FL	ELEV.
1	5010.94	
2	5010.66	
3	5010.38	

STATION	FL	ELEV.
1	5010.60	110.9
2	5010.83	111.1
3	5011.05	

STATION	FL	ELEV.
1	5011.25	
2	5010.98	111.1
3	5010.70	110.9

STATION	FL	ELEV.
1	5010.91	111.1
2	5011.14	
3	5011.36	

STATION	FL	ELEV.
1	5011.80	
2	5011.61	
3	5011.42	

STATION	FL	ELEV.
1	5011.52	
2	5011.89	111.9
3	5011.86	112.0

Certification
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will P. [Signature]

- NOTES:
1. NEW 6" VALLEY GUTTER PER COA STANDARD DRAWING #2420.
 2. STANDARD CURB AND GUTTER PER COA STD. DWG. #2415A.
 3. EDGE OF EXISTING ASPHALT.
 4. NEW 6" SIDEWALK PER COA STD. DWG. #2430.
 5. NEW DRIVE WAY ENTRANCE PER COA STD. DWG. #2426.
 6. EXISTING POWER POLE.
 7. NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
 8. EXISTING 50.00' PUBLIC UTILITY & PRIVATE ACCESS EASEMENT.
 9. 2-1 1/2" AC, TYPE C, 1500#.
 10. Roadway easement 2004/12/18/9 BK A83 Pg 1544 08-27-2004

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	36.88	25.00	84°32'00"	22.72	33.63	N56°16'00"E
C2	41.66	25.00	95°28'00"	27.51	37.00	N33°44'00"W
C3	33.86	25.00	77°36'35"	20.10	31.33	N59°43'43"E
C4	38.63	25.00	88°32'35"	24.37	34.90	N37°11'43"W
C5	36.88	25.00	84°32'00"	22.72	33.63	N56°16'00"E
C6	41.85	25.00	95°55'00"	27.72	37.13	N33°57'30"W
C7	36.69	25.00	84°05'00"	22.54	33.48	N56°02'30"E

GENERAL NOTE:
PAVE ALL ENTRANCE WITH 25' R ON THE EAST SIDE OF EDITH BLVD. WITH 4" TEMP. ASPHALT PER COA STD. DWG. #2415B (ENTRANCES FRONTING THIS PROJECT).

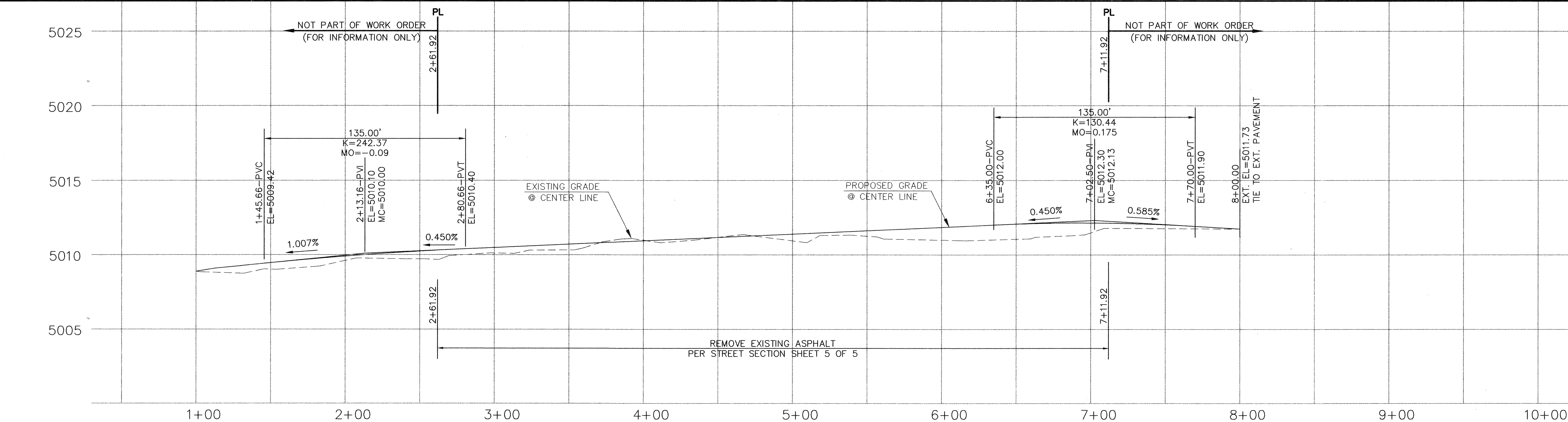
REMOVE EXISTING ASPHALT

REMOVE EXISTING ASPHALT AND REPLACE PERMANENT PAVEMENT PER EDITH STREET SECTION SH. 5 OF 5

SCALE: HORIZ. 1"=40'
VERT. 1"= 4'

NOTE:
1. ALL STATIONING IS CENTERLINE STATIONING.

STRIPING PLAN FOR EDITH BLVD. NE



ELEVATIONS ARE NGVD 29

ADVANCED ENGINEERING and CONSULTING, LLC

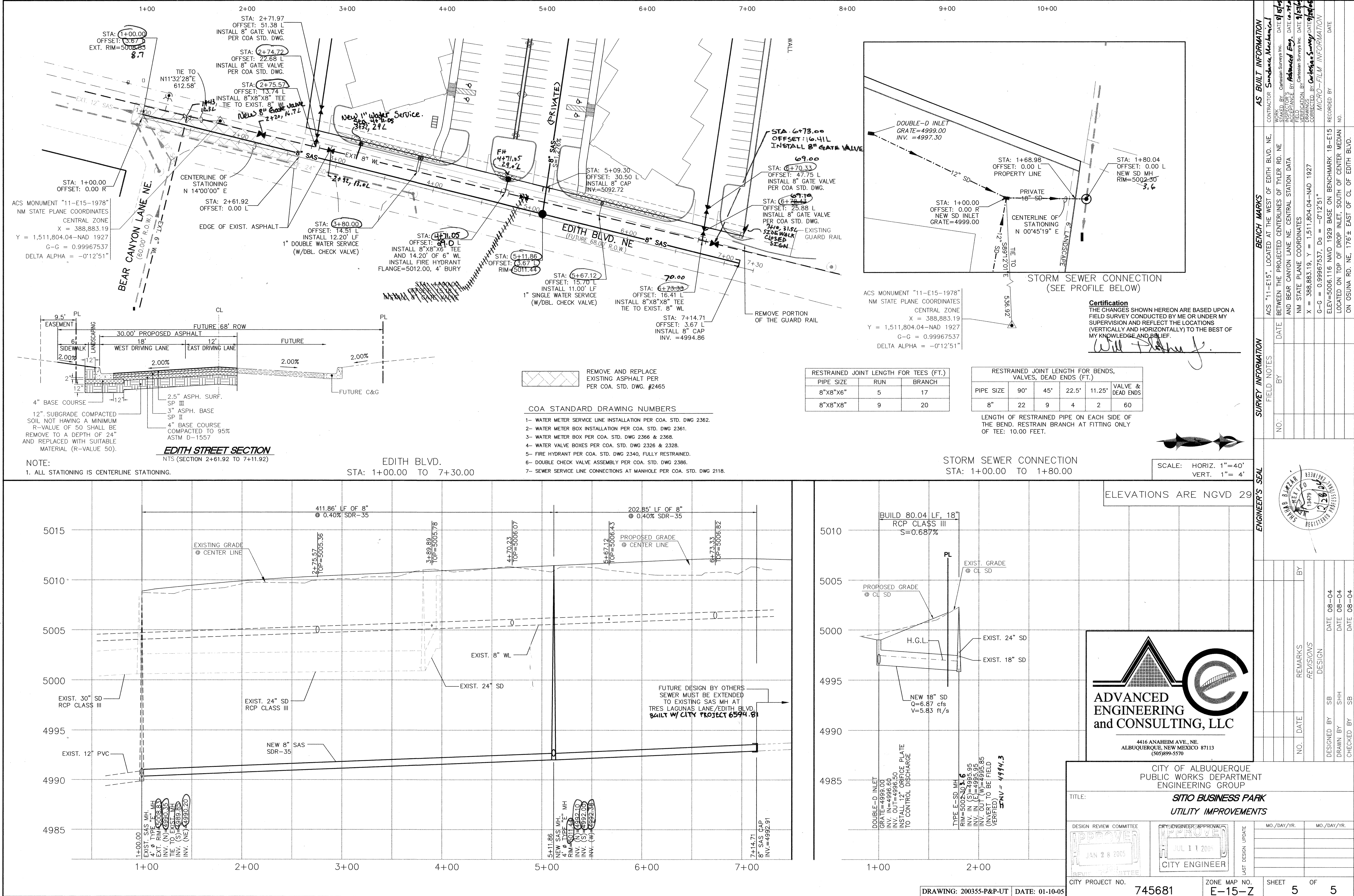
4416 ANAHEIM AVE. NE.
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **SITIO BUSINESS PARK
PAVING IMPROVEMENTS**

DESIGN REVIEW COMMITTEE APPROVAL: *[Signature]* JAN 28 2005

CITY ENGINEER APPROVAL: *[Signature]* JAN 11 2005



SCANNED BY
MESA REPRO