

PLANS FOR CONSTRUCTION OF

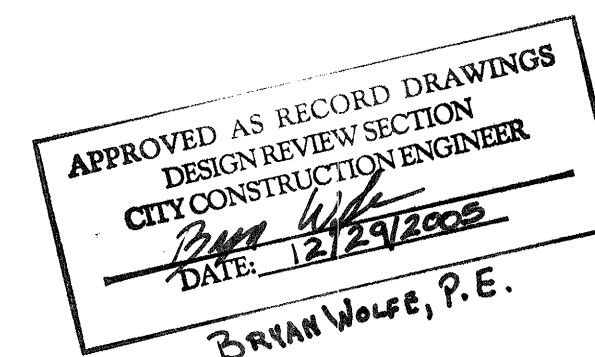
VILLAS TUSCANO

ALBUQUERQUE, NEW MEXICO

OCTOBER 2004

INDEX TO DRAWINGS

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CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

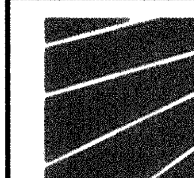
I, Steven K. Morrow, of the firm Brasher and Lorenz, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Jordan-Gallegos, Inc., NMPS number 8911.

[Signature]
Steven K. Morrow, NMPE 13679

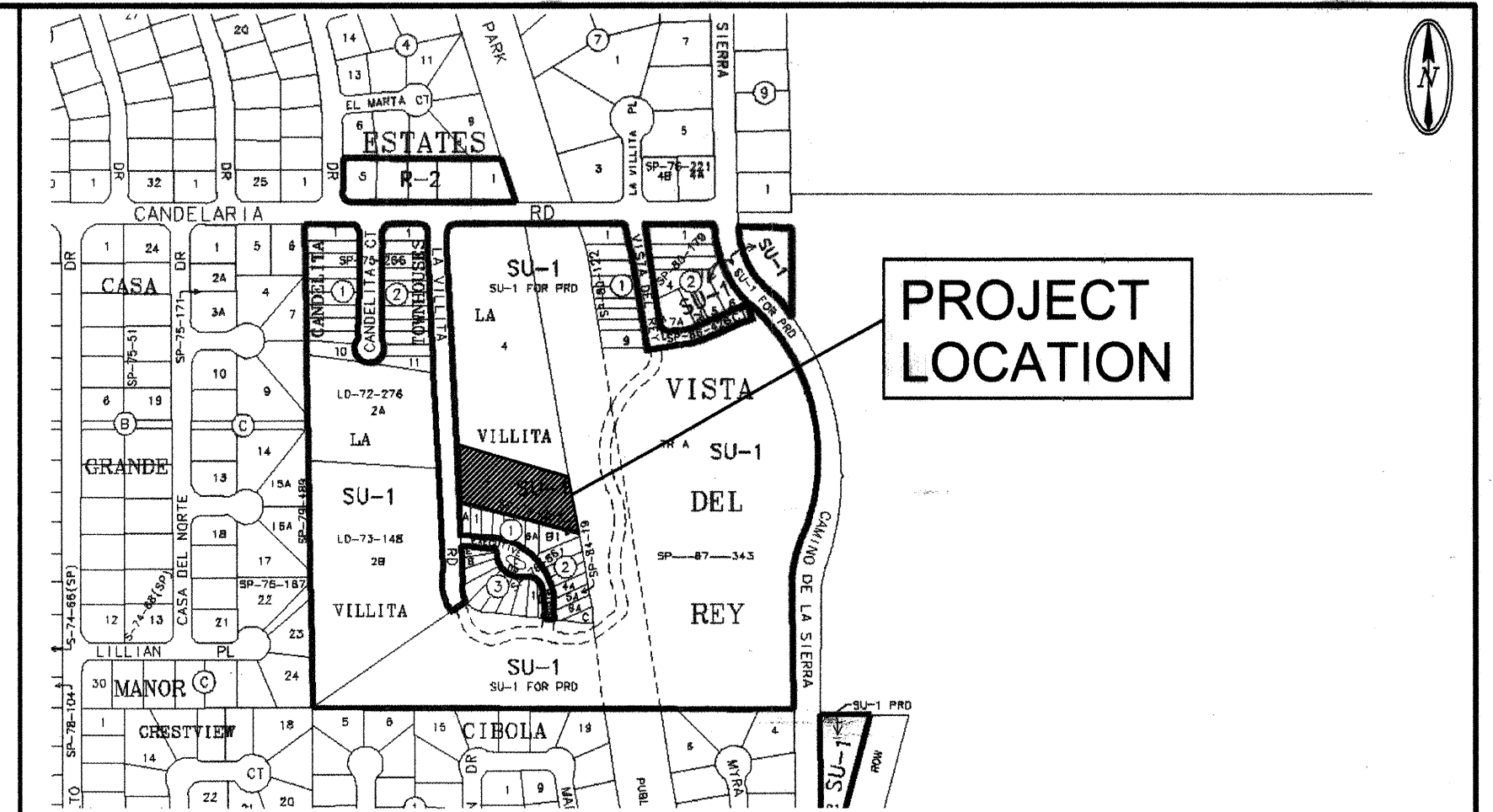
11-8-05
Date



DRB PROJECT 1001899



2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 958-6288 Fax: (505) 958-6188



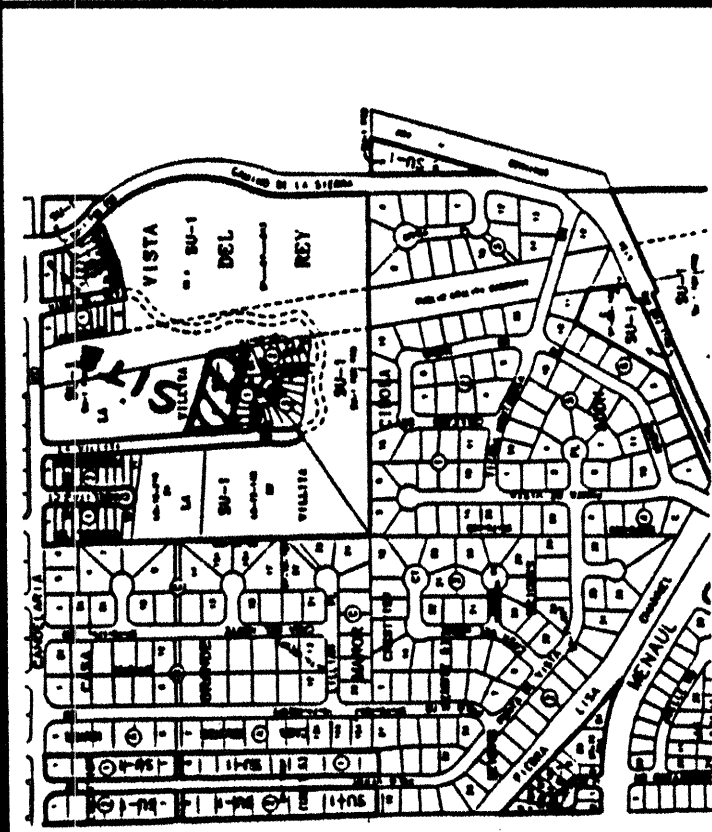
VICINITY MAP: H-23

SCALE: NTS

GENERAL NOTES:

- CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 7, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS
- THREE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
- ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
- ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEELCHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
- EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
- THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
- THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650, SUBPART P.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE	APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION			
	DRC Chair	<i>[Signature]</i>	01-11-05	<i>[Signature]</i> 1-25-05 City Engineer Date			
	Transportation	<i>[Signature]</i>	10/25/04				
	Water/Wastewater	<i>[Signature]</i>	10/25/04				
	Hydrology	<i>[Signature]</i>	10/25/04				
	CIP	<i>[Signature]</i>	01-11-05				
Constr. Mgmt.	<i>[Signature]</i>	01-11-05					
Constr. Coord.	<i>[Signature]</i>	01-11-05					
City Project No.	748881	Zone Map No.		H-23	Sheet	1	of 810

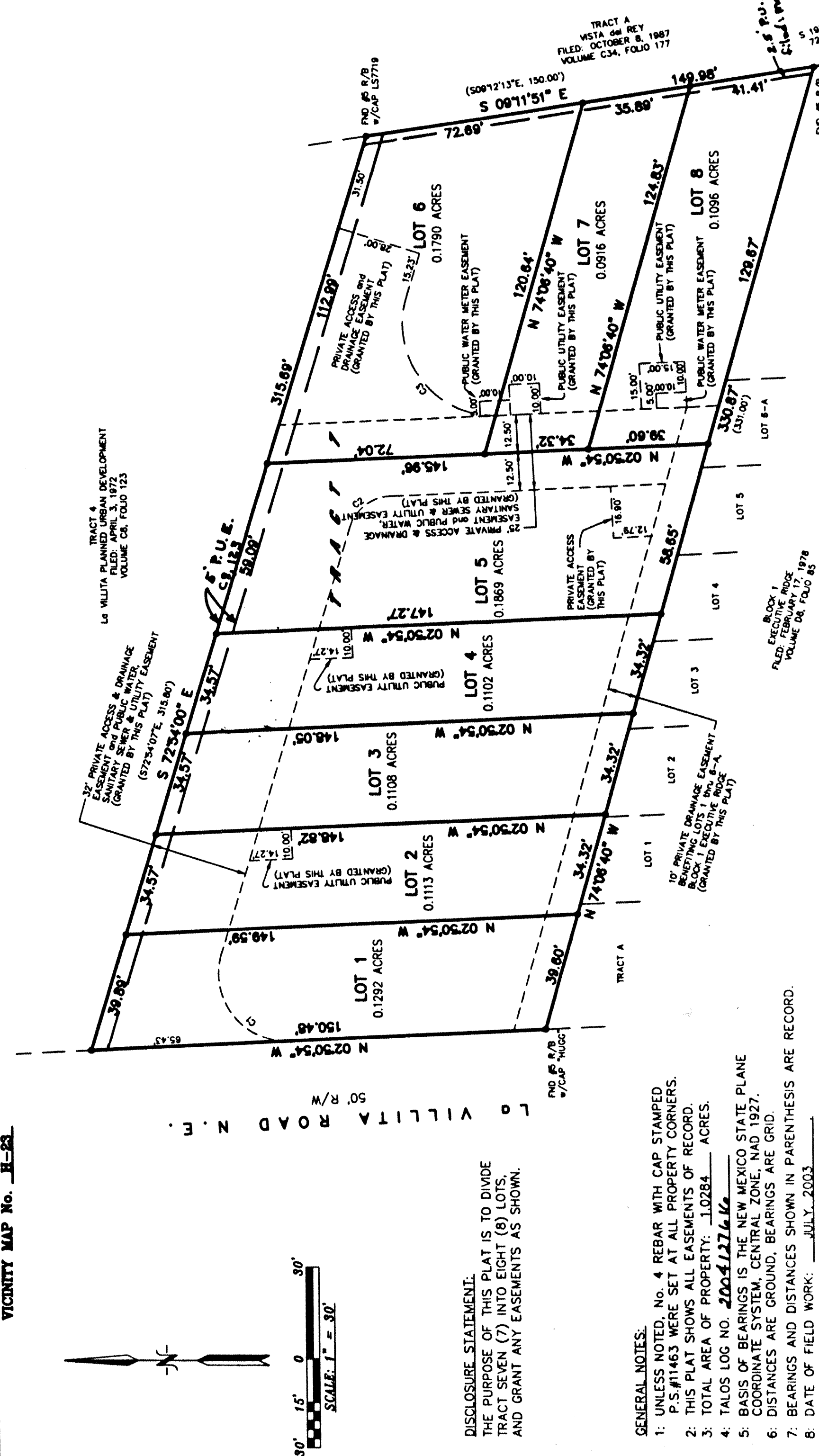


VICINITY MAP No. B-23

LEGAL DESCRIPTION:

TRACT LETTERED SEVEN (7) OF THE AMENDED PLAT, LA VILLITA PLANNED URBAN DEVELOPMENT, ALBUQUERQUE, NEW MEXICO, IS PART OF THE LAND DESIGNATED ON THE PLAT THEREOF, FILED IN THE PUBLIC OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 3, 1972 IN VOLUME CB, FOLIO 123.

CONE DATA	
C1	C2
D = 15.00' W	D = 15.00' W
O = 109.2654°	O = 109.2654°
CB = N 37°23'27" W	CB = N 37°23'27" W
L = 18.34'	L = 18.34'
D = 15.00' W	D = 15.00' W
O = 109.2654°	O = 109.2654°
CB = N 37°23'27" W	CB = N 37°23'27" W
L = 18.34'	L = 18.34'



- GENERAL NOTES:
- UNLESS NOTED, NO. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 1.0284 ACRES.
 - TALOS LOG NO. 2004127416
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
 - COORDINATES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: JULY, 2003
 - CURRENT ZONING: SU-1 FOR PRD
 - STRADA TUSCANO IS TO BE MAINTAINED BY THE PROPERTY OWNERS, LOTS 1 THRU 8, UNDER A ROAD MAINTENANCE AGREEMENT.

PLAT OF
LOTS 1 thru 8
VILLAS TUSCANO
WITHIN
SECTION 11, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2004

PROJECT NUMBER: _____
APPLICATION NUMBER: _____
UTILITY APPROVALS:
PNM ELECTRIC SERVICES _____ DATE _____
PNM GAS SERVICES _____ DATE _____
QWEST TELECOMMUNICATIONS _____ DATE _____
COMCAST _____ DATE _____
NEW MEXICO UTILITIES _____ DATE _____
CITY APPROVALS: _____
CITY SURVEYOR: *[Signature]* 8-10-04
REAL PROPERTY DIVISION (CONDITIONAL) _____ DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) _____ DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
UTILITIES DEVELOPMENT _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
AMATCA _____ DATE _____
CITY ENGINEER _____ DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

FREE CONSENT
THE SUBDIVISION HERON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETORS OF THE EIGHT (8) LOTS, AND THE UNDERSIGNED ENGINEER, AS EVIDENCED BY THE SIGNATURES HEREON, THAT THEY HOLD AMONG THEM TITLE TO THE LAND SHOWN HEREON COMPLETE AND INDEFEASIBLE.

GARY TIPTON, PRESIDENT
TIPON & ASSOCIATES, INC.

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 10th DAY OF August, 2004.

BY: *[Signature]* Tipton
OWNERS NAME

MY COMMISSION EXPIRES May 23, 2016 BY: *[Signature]* Notary Public

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
SURVEYOR CERTIFICATE
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE SURVEY HEREON IS A TRUE AND CORRECT SURVEY OF THE ALBUQUERQUE SUBDIVISION, ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 9th DAY OF August, 2004.

ANTHONY L. HARRIS, P.S. #11463
SURVEYOR

My Commission Expires May 23, 2016

NOTARY PUBLIC

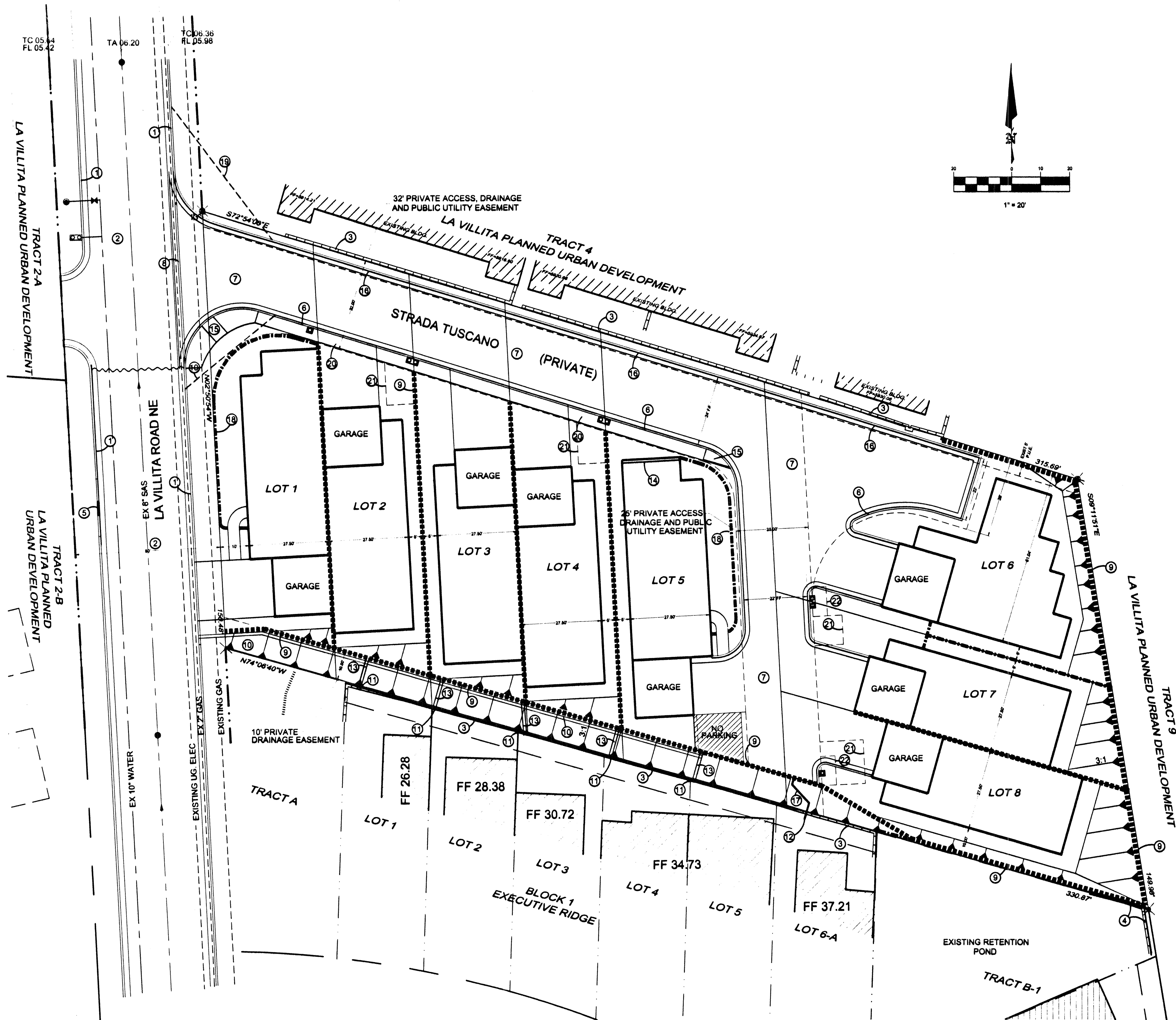
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

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BY: *[Signature]* Tipton
OWNERS NAME

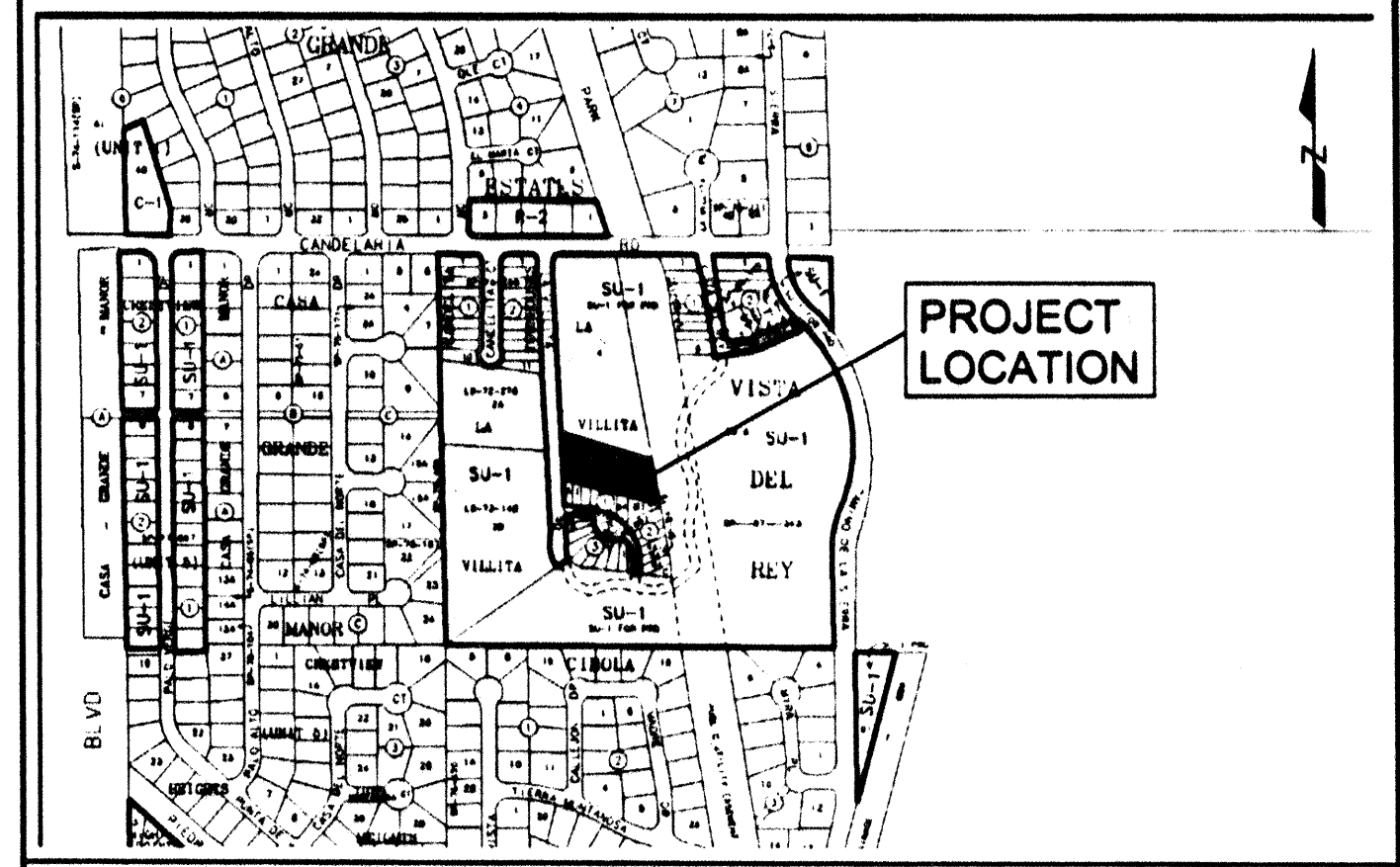
MY COMMISSION EXPIRES May 23, 2016 BY: *[Signature]* Notary Public

SCANNED BY
MESA REPRO



DRAWING INDEX

TITLE	SHEET
SITE PLAN FOR SUBDIVISION	1
DEVELOPMENT GUIDELINES	2
LANDSCAPE PLAN	3
CONCEPTUAL GRADING AND DRAINAGE PLAN	4
CONCEPTUAL UTILITY PLAN	5
SECTIONS	6



LOCATION MAP

MAP H - 23

LEGEND

NEW CURB & GUTTER	=====
NEW ASPHALT PAVEMENT	=====
NEW GARDEN WALL	-----
NEW RETAINING WALL	=====
EXISTING CMU WALL	=====
PROPOSED 3:1 SLOPE	=====
EXISTING BUILDING	=====
PROPOSED LOT LINE	=====

PROJECT NUMBER: 1001899

APPLICATION NUMBER: 01-01240

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 17, 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature]
Traffic Engineering, Transportation Division

8-18-04
Date

[Signature]
Utilities Development

8-18-04
Date

[Signature]
Parks and Recreation Department

8/18/04
Date

[Signature]
City Engineer

8/18/04
Date

[Signature]
*Environmental Health Department (conditional)

8-17-04
Date

[Signature]
Solid Waste Management

8-17-04
Date

[Signature]
DRB Chairperson, Planning Department

8/18/04
Date

PROJECT DATA

EXISTING LEGAL DESCRIPTION:

Tract 7, La Villita

PROPOSED LEGAL DESCRIPTION:

Lots 1 Through 8, Villas Tuscano

PROPERTY ADDRESS:

13200 LA VILLITA ROAD NE
ALBUQUERQUE, NEW MEXICO 87112

CURRENT ZONING:

SU-1 for PRD

SITE AREA:

Existing Lot 7: 1.03 Acres (48,467 sf)

Proposed Lot 1	0.129 Acres (5626 sf)
Proposed Lot 2	0.111 Acres (4849 sf)
Proposed Lot 3	0.111 Acres (4824 sf)
Proposed Lot 4	0.110 Acres (4799 sf)
Proposed Lot 5	0.191 Acres (8306 sf)
Proposed Lot 6	0.177 Acres (7725 sf)
Proposed Lot 7	0.090 Acres (3955 sf)
Proposed Lot 8	0.109 Acres (4733 sf)

OPEN SPACE:

Proposed Lot 1	1859 sf
Proposed Lot 2	1414 sf
Proposed Lot 3	1414 sf
Proposed Lot 4	1472 sf
Proposed Lot 5	2384 sf
Proposed Lot 6	2050 sf
Proposed Lot 7	1295 sf
Proposed Lot 8	2109 sf

OPEN SPACE:

300 Square Feet Of Useable Open Space Required On Each Lot

OFF STREET PARKING:

2 Standard Parking Spaces Required On Each Lot, Not Including Space Within The Garage

ROADWAY MAINTENANCE:

Strada Tuscano NE is to be maintained by the property Owners (Lots 1 thru 8) under a road maintenance agreement.

SITE PLAN FOR SUBDIVISION:

This Site Plan is For Subdivision Purposes Only. The Purpose Of This Site Plan is To Illustrate The Division Of Lot 7, La Villita Into 8 Residential Lots, And To Establish The Development Criteria For The Project.

SITE PLAN FOR BUILDING PERMIT:

The Site Plan For Building Permit Will Be Based On The Development Criteria Outlined On The Site Plan For Subdivision, And The Findings And Conditions Of Approval Established By The Environmental Planning Commission. Individual Site Plans For Building Permit may Be Submitted for Building Permit Approval without further review by the Environmental Planning Commission.

KEYED NOTES

- EXISTING MOUNTABLE CURB & GUTTER
- EXISTING ASPHALT ROADWAY
- EXISTING CMU WALL
- EXISTING CURB BREAK FOR DRAINAGE
- NEW MOUNTABLE CURB & GUTTER
- NEW ASPHALT PAVEMENT
- REMOVE AND DISPOSE EXIST CONC. C & G
- NEW RETAINING WALL
- NEW CONCRETE ALLEY GUTTER
- EXISTING 2" PVC DRAIN
- EXISTING 4" PVC DRAIN
- CONCRETE GUTTER AT PVC DRAINS
- STEM WALL
- NEW HANDICAP ACCESS RAMP
- NEW 6" CONCRETE CURB & GUTTER
- EXTEND 4" PVC DRAIN THRU RET. WALL
- NEW 6" CMU PATIO WALL
- CLEAR SIGHT TRIANGLE
- NEW 4" CONCRETE SIDEWALK
- 10'x10' PUE
- 5'x10' PUBLIC WATER METER EASEMENT

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-885-0088 Fax: 505-885-6188

VILLAS TUSCANO SITE PLAN FOR SUBDIVISION

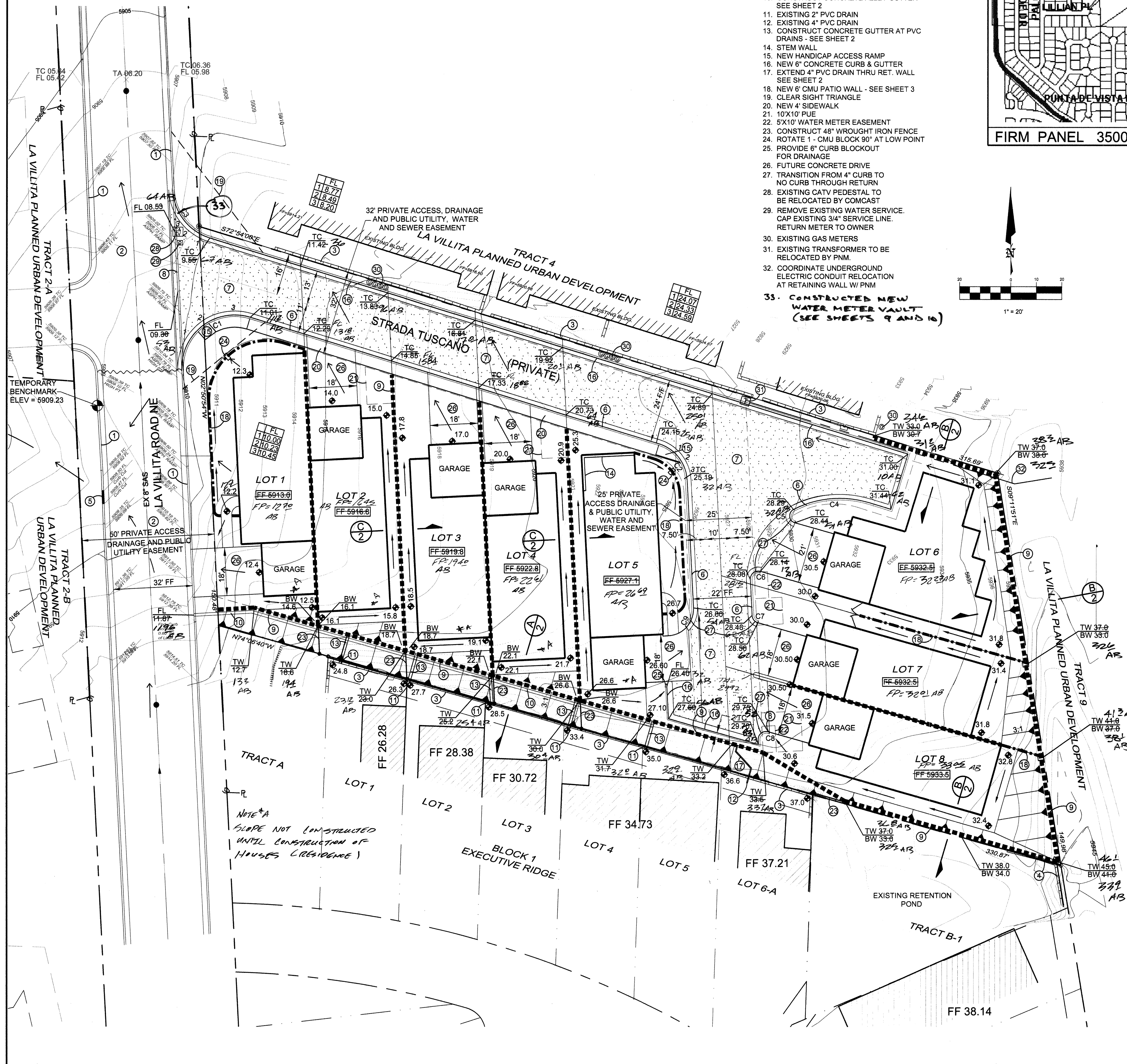
DRW: R.M.
CKD: D.A.L.
APP:
REV. NO.

TR:
OK:
ACAD FILE:
04506 DWG

DATE: 08-01-2004
SCALE: 1"=20'
SHT: 3 OF 10

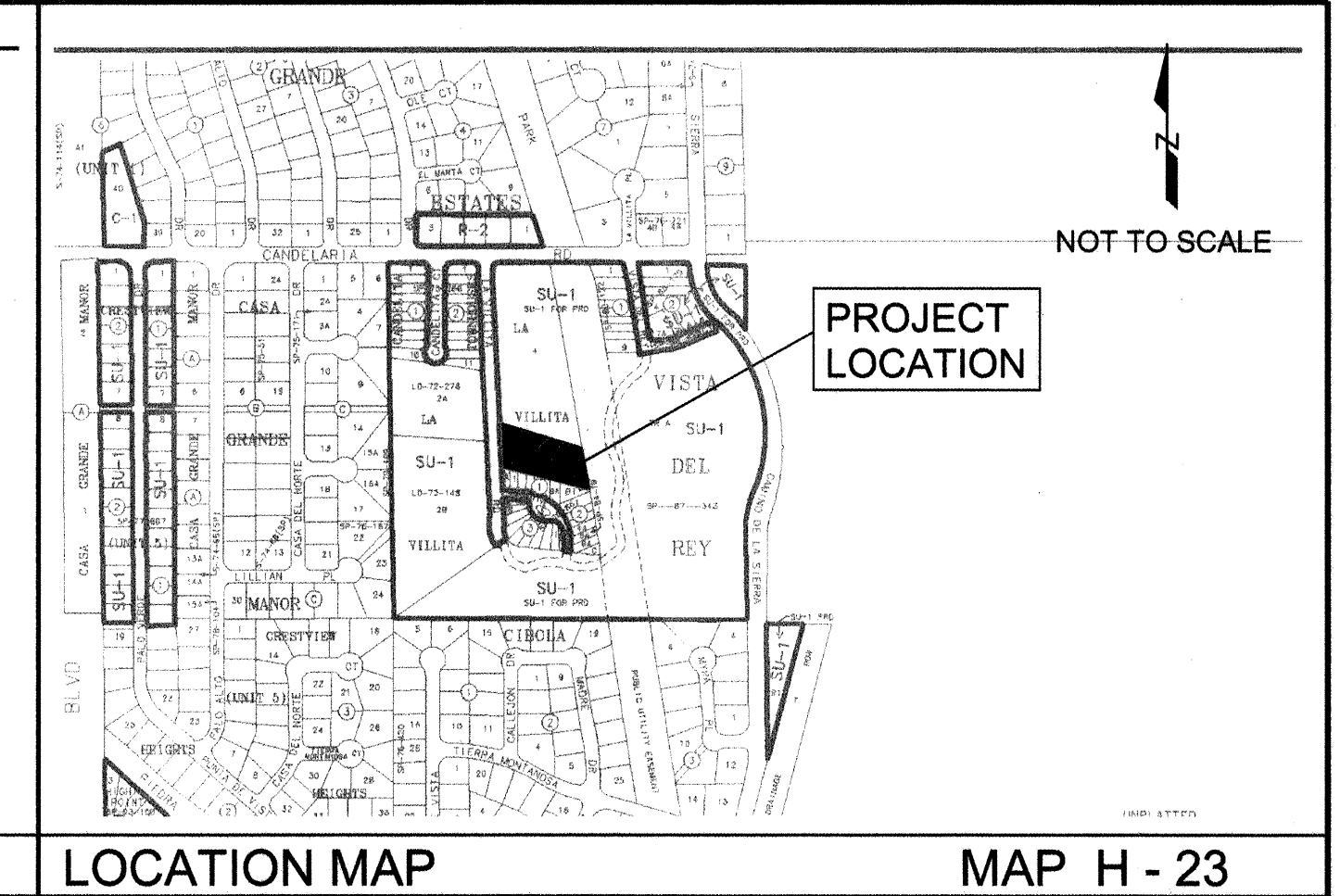
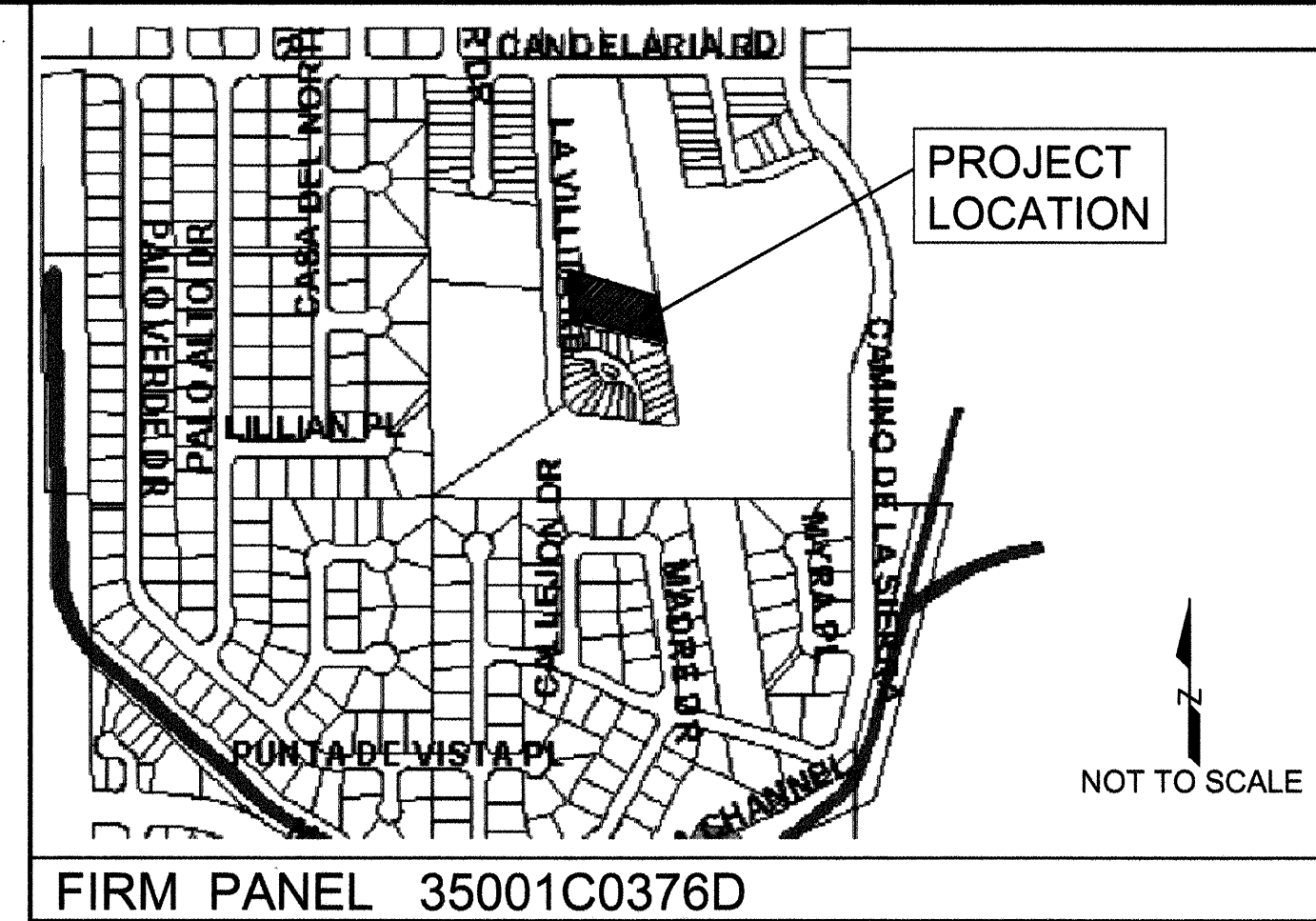
748881

SCANNED BY
MESA REPRO



KEYED NOTES

1. EXISTING MOUNTABLE CURB & GUTTER
2. EXISTING ASPHALT ROADWAY
3. EXISTING CMU WALL
4. EXISTING CMU RETAINING WALL
5. EXISTING CURB BREAK FOR DRAINAGE
6. NEW MOUNTABLE CURB & GUTTER
7. NEW ASPHALT PAVEMENT
8. REMOVE AND DISPOSE EXIST CONC. C & G
9. CONSTRUCT RETAINING WALL - SEE SHEET 3
10. CONSTRUCT CONCRETE ALLEY GUTTER SEE SHEET 2
11. EXISTING 2" PVC DRAIN
12. EXISTING 4" PVC DRAIN
13. CONSTRUCT CONCRETE GUTTER AT PVC DRAINS - SEE SHEET 2
14. STEM WALL
15. NEW HANDICAP ACCESS RAMP
16. NEW 8" CONCRETE CURB & GUTTER
17. EXTEND 4" PVC DRAIN THRU RET. WALL SEE SHEET 2
18. NEW 6" CMU PATIO WALL - SEE SHEET 3
19. CLEAR SIGHT TRIANGLE
20. NEW 4' SIDEWALK
21. 10'X10' PUE
22. 5'X10' WATER METER EASEMENT
23. CONSTRUCT 48" WROUGHT IRON FENCE
24. ROTATE 1 - CMU BLOCK 90° AT LOW POINT
25. PROVIDE 6" CURB BLOCKOUT FOR DRAINAGE
26. FUTURE CONCRETE DRIVE
27. TRANSITION FROM 4" CURB TO NO CURB THROUGH RETURN
28. EXISTING CATV PEDESTAL TO BE RELOCATED BY PMM
29. REMOVE EXISTING WATER SERVICE CAP EXISTING 3/4" SERVICE LINE. RETURN METER TO OWNER
30. EXISTING GAS METERS
31. EXISTING TRANSFORMER TO BE RELOCATED BY PMM
32. COORDINATE UNDERGROUND ELECTRIC CONDUIT RELOCATION AT RETAINING WALL W/ PMM
33. CONSTRUCTED NEW WATER METER VAULT (SEE SHEETS 9 AND 10)



GRADING & DRAINAGE PLAN

SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling runoff from the project site. The property is to be developed as eight single family residences with associated paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS:

The currently undeveloped project site is approximately 1.029 acres in size and is located on the east side of La Villita Road NE approximately 600 feet south of Candelaria Road NE. The site is bounded on the north and south by developed lots with walls located close to the property lines. To the east, the site is bounded by Vista Del Rey Condominiums, the western portion of which is comprised of a 150' easement dedicated to PNM.

The site presently consists predominantly of compacted earth supporting sparse vegetation and draining to the west at approximately 10 percent to an increasingly more well defined channel. The historic contributing basin associated with this channel has been diverted north toward Candelaria Road by a berm on the west side of the PNM easement. Currently, no significant off-site flows impact the site. The site accepts minor flows from Executive Ridge located to the south. Minor drainage flows enter the site from Lot 1 through Lot 6-A through PVC pipe penetrations at the CMU garden walls. Off-site runoff from the north discharges from an existing dip section in La Villita Road NE and into a well-defined, broad, sodded swale between Tracts 2A and 2B of La Villita Subdivision. The swale has ample capacity to carry developed runoff from its entire off-site basin to a point on the western boundary of La Villita, Tract 2B, where it reaches a public drainage right of way at Casa Grande Manor. Immediately north of the existing dip section in La Villita Road NE, approximately 55 feet from the northwest corner of the project site, is a local high point in the street barring drainage in La Villita Road NE from continuing north toward Candelaria Road. Roughly 200 feet north, along La Villita Road NE, a similar dip exists, from which drainage flows are removed from the street by a drop inlet and released north through an existing 4-inch pipe. It has been observed that during heavy rainfall events this drop inlet becomes clogged with debris thereby causing water to flood the dip section to a depth of approximately 1-foot.

As shown on the attached FIRM Panel, this site does not lie within a designated flood hazard zone.

PROPOSED CONDITIONS:

As shown by the plan, the project consists of the development of the site into 8 single-family residences on separate lots. Each lot will drain from south to north by way of yard swales, outfalling at Strada Tuscano. Drainage will flow west to La Villita Road, the turn north to the existing dip section located approximately 200 feet north of the site. The dip section will drain by an existing inlet and 4-inch storm drain to a point approximately 165 feet further north. The existing inlet and storm drain will be thoroughly cleaned and repaired as necessary to improve system function.

EROSION CONTROL:

Temporary erosion control will be required along the west project boundary during construction to prevent the discharge of sediment onto adjoining private property. The exact erosion controls will be outlined in a Storm Water Pollution Prevention Plan to be prepared prior to construction.

CALCULATIONS:

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Development Process Manual," dated July 1997.

DRAINAGE PLAN NOTES

1. All structural design earthwork and foundation preparation shall be performed in accordance with the geotechnical evaluation for Villas Tuscano prepared by Vinyard & Assoc. 8-30-2004.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. This plan assumes that more than 1.0 acre of land will be disturbed with each construction permit. A Storm Water Pollution Prevention Plan and Notice of Intent will be required.
9. BLI recommends all roof drainage to be managed by implementing gutters and downspouts. Downspouts shall be positioned to promote positive drainage to the proposed ponding areas.

LEGEND

- 6001 EXIST. CONTOUR / ELEV.
- 02.5 x EXIST. SPOT ELEV.
- 27 PROPOSED CONT. / ELEV.
- PROPERTY LINE
- 01.5 PROPOSED SPOT ELEV.
- DIRECTION OF FLOW
- DRAINAGE SWALE
- EXIST. POLE W/GUY
- EXIST. FENCE
- EXIST. ROAD
- EXIST. CMU WALL
- EXISTING CMU WALL
- NEW RETAINING WALL
- TW 36.6 TOP OF WALL ELEV.
- 3:1 SLOPE
- PROPOSED ASPHALT

PROPERTY ADDRESS

13200 LA VILLITA

PROJECT LOCATION

EAST OF LA VILLITA
SOUTH OF CANDELARIA
ALBUQUERQUE, NEW MEXICO
BENCHMARK

13-G23
ELEVATION = 5862.89
NGVD 1929

LEGAL DESCRIPTION: TRACT 7, LA VILLITA

EXISTING ZONING: SU-1 for PRD
PROPOSED ZONING: (NO CHANGE)

SUBDIVISION AREA: 1.03 AC.

PROPOSED DEVELOPMENT:

SINGLE FAMILY RESIDENTIAL
TOTAL NUMBER OF LOTS EXISTING: 1
TOTAL NUMBER OF LOTS PROPOSED: 8

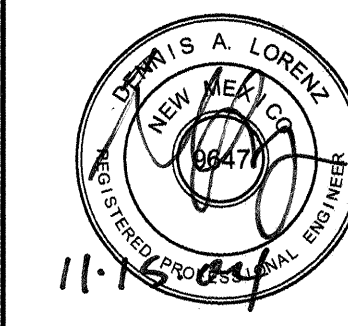
ACCESS:
EXISTING LA VILLITA RD (PRIVATE)
PROPOSED: STRADA TUSCANO (PRIVATE)

WATER / WASTEWATER: CONNECTION TO
EXISTING CITY WATER AND SEWER LINES IN LA
VILLITA; EXTENSION OF CITY WATER AND
SEWER LINES IN PROPOSED STRADA TUSCANO
CITY WATER AND SEWER EASEMENT

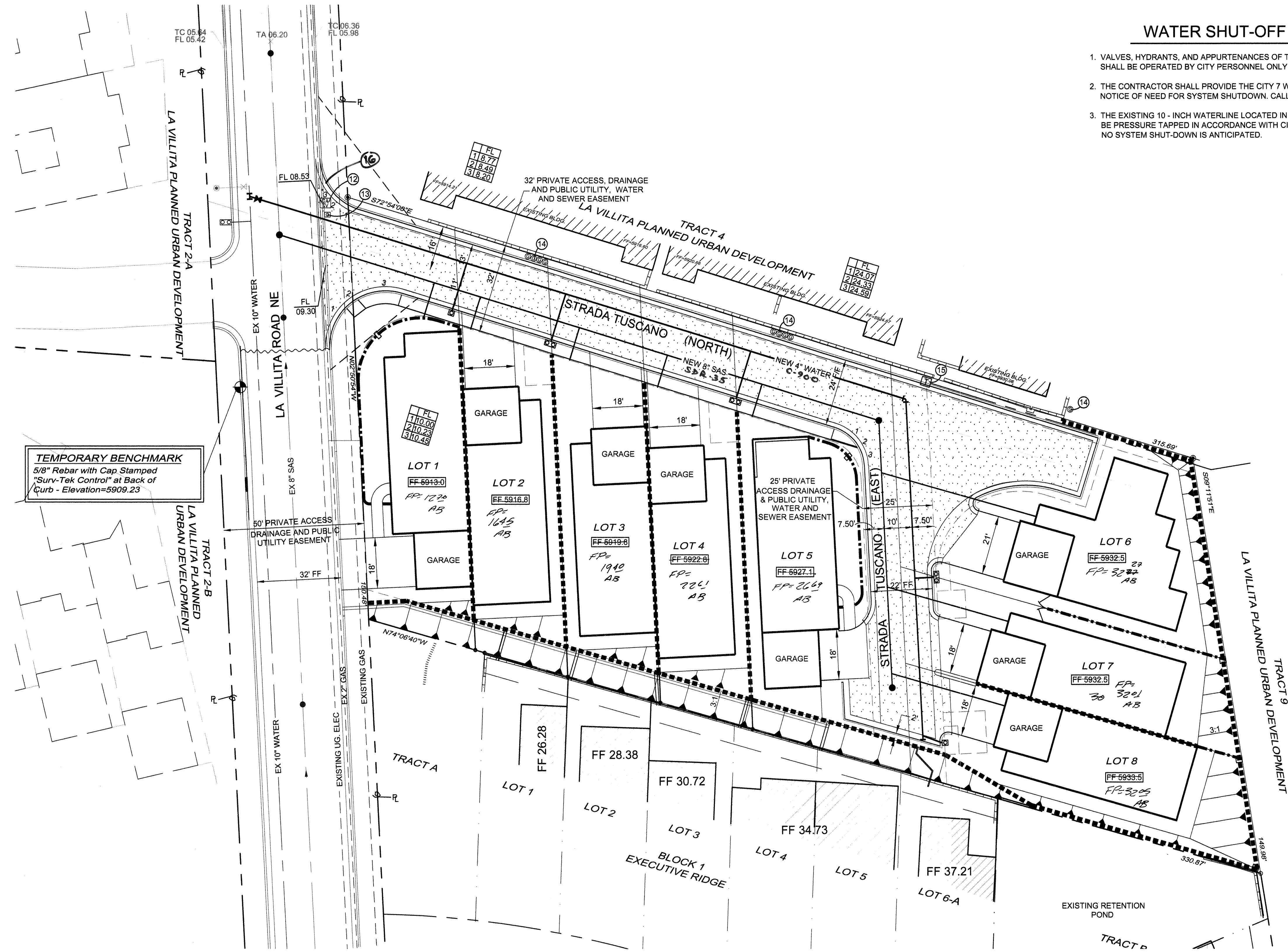
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

VILLAS TUSCANO GRADING & DRAINAGE PLAN

DRW: R.M.	TR:	DATE: 11-15-2004
CKD: P.T.B.	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 4 OF 10
REV. NO.	04506.DWG	



749881



WATER SHUT-OFF PLAN

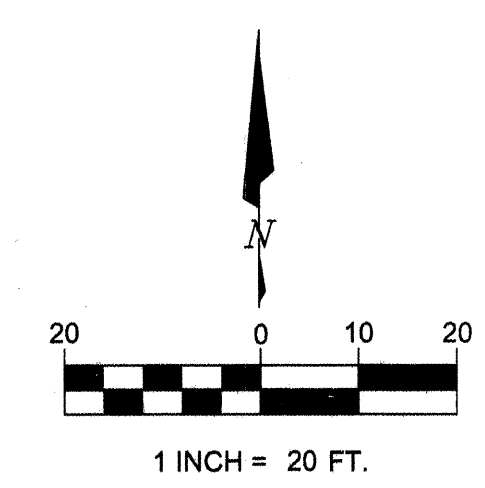
1. VALVES, HYDRANTS, AND APPURTENANCES OF THE CITY WATER SYSTEM SHALL BE OPERATED BY CITY PERSONNEL ONLY.
2. THE CONTRACTOR SHALL PROVIDE THE CITY 7 WORKING DAYS ADVANCE NOTICE OF NEED FOR SYSTEM SHUTDOWN. CALL 857-8200
3. THE EXISTING 10 - INCH WATERLINE LOCATED IN LA VILLITA ROAD NE WILL BE PRESSURE TAPPED IN ACCORDANCE WITH CITY SPECIFICATIONS. NO SYSTEM SHUT-DOWN IS ANTICIPATED.

LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC. GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	x 16.7	16.7
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUVED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
ASPHALT PAVMENT		

NOTES

1. ALL STATIONING IS BASED ON CENTERLINE OR R.O.W. UNLESS NOTED OTHERWISE
2. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
3. ALL RESIDENTIAL PAVEMENT WORK SHALL BE PER STD DWG 2465.
4. ALL CONCRETE CURB & GUTTER WORK SHALL BE PER STD DWG 2415 A.
5. ALL SIDEWALK WORK SHALL BE PER STD DWG 2430.
6. ALL STREET PAVEMENT CUTS FOR UTILITY TRENCHING SHALL BE MADE PERPENDICULAR TO THE STREET CENTERLINE
7. ALL FIRE HYDRANTS SHALL BE CONSTRUCTED PER STD DWG 2340.
8. ALL GATE VALVES SHALL BE CONSTRUCTED PER STD DWGS 2326, 2328 AND 2461.
9. FOR STREET PLAN & PROFILES SEE SHEET 6
10. FOR WATER AND SANITARY SEWER PLAN & PROFILE SEE SHEET 7
11. ASPHALT PAVING IS LIMITED TO THE SHADED AREA INDICATED ON THE PLAN
12. EXISTING CATV PEDESTAL TO BE RELOCATED BY COMCAST
13. REMOVE EXISTING WATER SERVICE. CAP EXISTING 3/4" SERVICE LINE. RETURN METER TO OWNER
14. EXISTING GAS METERS
15. EXISTING TRANSFORMER TO BE RELOCATED BY PNM.
16. CONSTRUCTED WATER METER VAULT (SEE SHEETS 9 AND 10)



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Phone: (505) 888-4088 Fax: (505) 888-6188

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

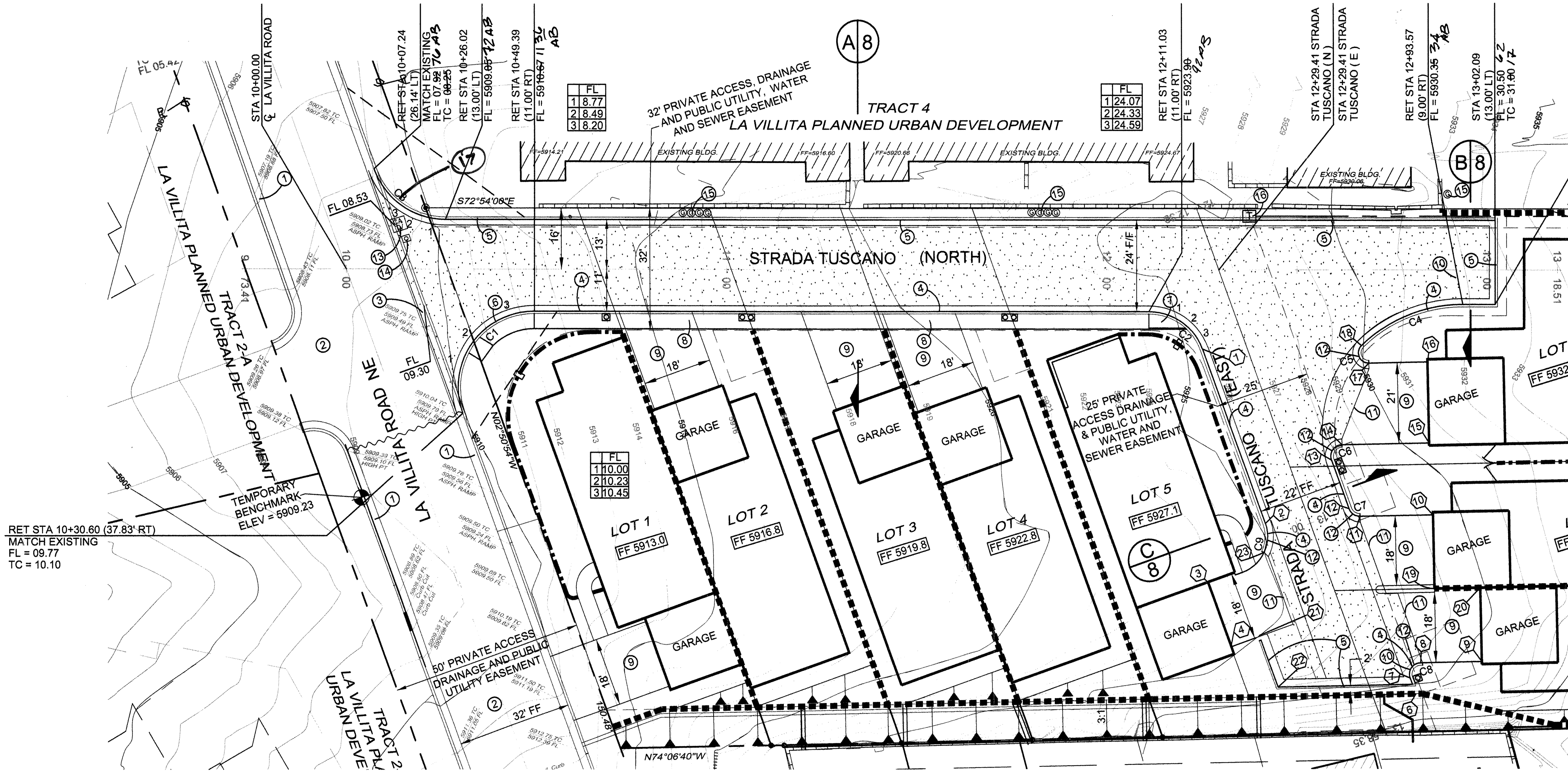
TITLE: VILLAS TUSCANO LAYOUT PLAN		City Project No. 748881		Zone Map No. H-23		Sheet 5 of 810	
Design Review Committee APPROVED JAN 11 2005	City Engineer Approval APPROVED JAN 26 2005 CITY ENGINEER	Mo./Day/Yr.	Mo./Day/Yr.	Mo./Day/Yr.	Mo./Day/Yr.	Mo./Day/Yr.	Mo./Day/Yr.
DESIGNED BY DAL	DRAWN BY R.M.	CHECKED BY DAL	REMARKS	REVISIONS	DESIGN	DATE 11-15-2004	DATE 11-15-2004
Last Design Update		Last Design Update		Last Design Update		Last Design Update	

AS-BUILT INFORMATION	
CONTRACTOR	DATE 07/05/05
WORK	DATE 07/05/05
STATION	DATE 07/05/05
APPROVED BY	DATE 07/05/05
FIELD	DATE 07/05/05
REVISIONS	DATE 07/05/05
CORRECTED BY	DATE 07/05/05
MICRO-FILM INFORMATION	
DATE	DATE

BENCHMARKS	
ACS STATION "13-023"	ELEVATION = 5962.89
NGVD 1929	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	
ENGINEER'S SEAL	

REMARKS	BY
REVISIONS	
DESIGN	
NO.	DATE
DESIGNED BY DAL	DATE 11-15-2004
DRAWN BY R.M.	DATE 11-15-2004
CHECKED BY DAL	DATE 11-15-2004



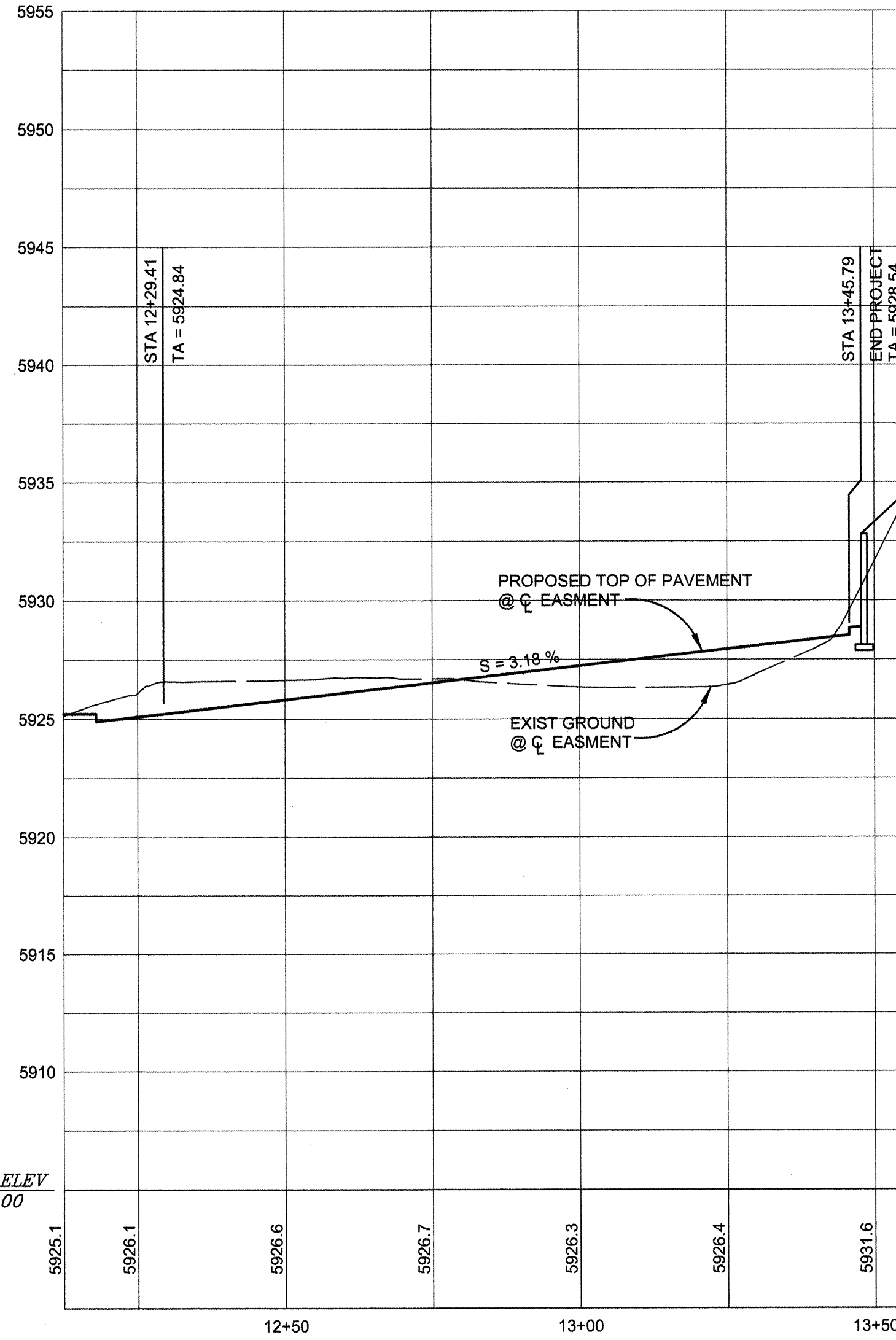
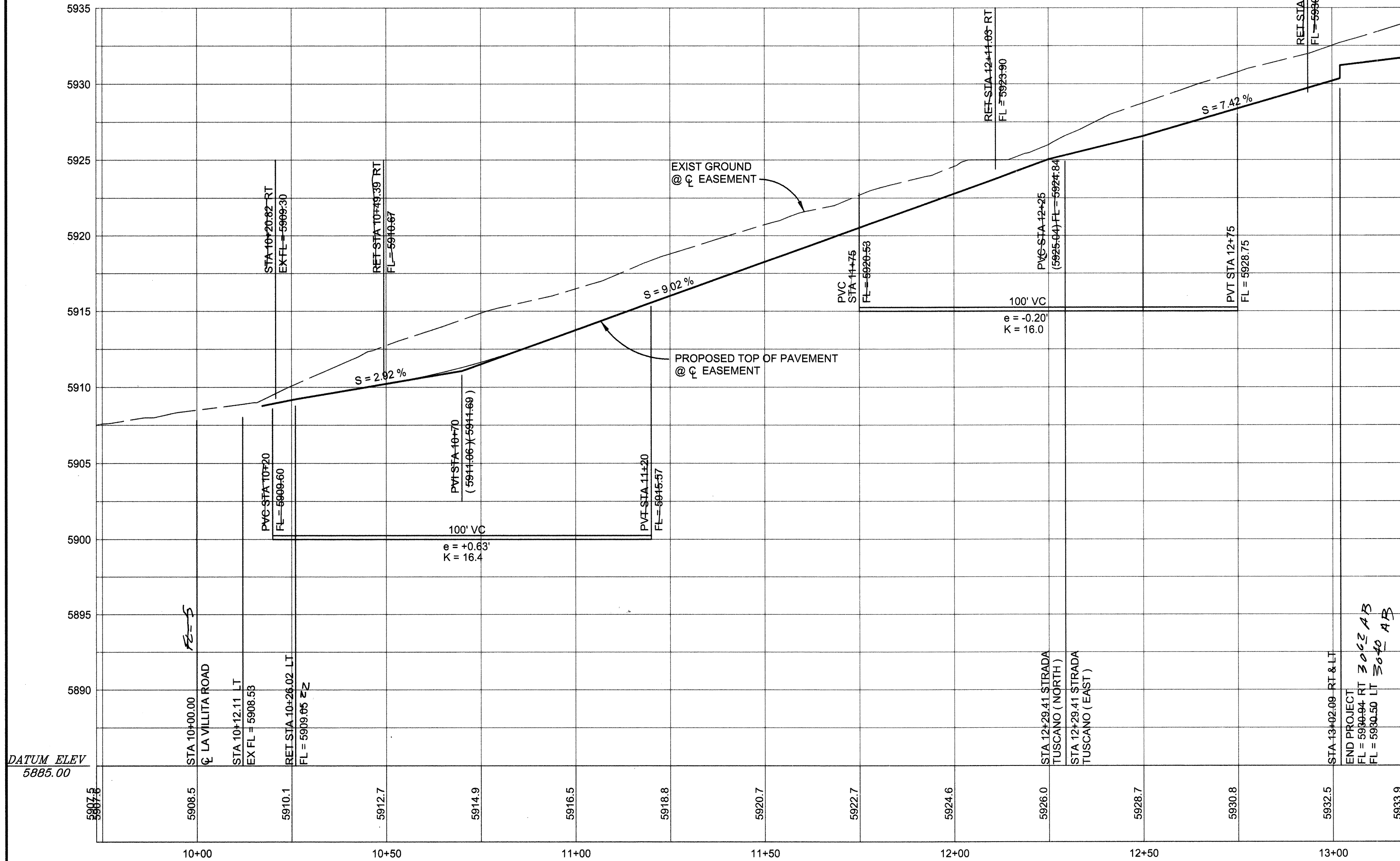
STRADA TUSCANO EAST			
NO	STA	OFFSET	FL ELEV
1	12+47.58	11.15' RT	24.85
2	12+96.00	11.10' RT	26.26
3	13+05.33	30.54' RT	26.30
4	13+25.33	30.54' RT	26.30
5	13+37.40	30.65' RT	27.10
6	13+50.96	9.35' LT	29.20
7	13+47.03	10.85' LT	29.20
8	13+44.19	14.81' LT	29.41
9	13+49.36	30.04' LT	31.00
10	13+08.88	31.06' LT	30.50
11	13+02.73	12.93' LT	28.22
12	12+99.89	10.90' LT	28.14
13	12+86.33	10.90' LT	27.24
14	12+83.49	14.86' LT	27.80
15	12+90.85	36.54' LT	29.00
16	12+70.81	43.34' LT	29.00
17	12+65.86	28.76' LT	28.10
18	12+60.91	28.51' LT	27.95
19	13+27.19	24.85' LT	30.50
20	13+31.06	36.25' LT	31.00
21	13+23.09	22.42' RT	26.40
22	13+37.48	22.61' RT	27.10
23	13+03.08	14.03' RT	26.35

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	TANGENT	DELTA
C1	38.39	20.00	32.76	28.55	109°58'45"
C2	18.34	15.00	17.22	10.51	70°03'13"
C3	24.41	20.00	22.92	13.99	69°55'54"
C4	29.48	38.00	28.75	15.53	44°27'23"
C5	6.37	2.67	4.96	6.74	136°45'10"
C6	5.69	3.00	4.88	4.19	108°44'14"
C7	3.73	3.00	3.50	2.15	71°15'46"
C8	5.69	3.00	4.88	4.19	108°44'14"
C9	15.71	10.00	14.14	10.00	90°00'00"

STRADA TUSCANO (NORTH)

STRADA TUSCANO (EAST)

1" = 20' (H)
1" = 5' (V)



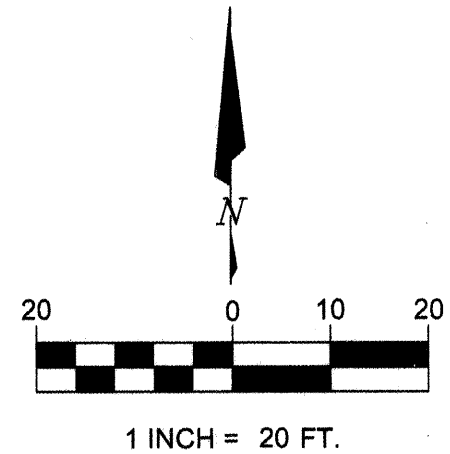
LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	16.7	16.7
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYN)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
RETAINING WALL		
CMU WALL		
ASPHALT PAVEMENT		

KEY NOTES

- EXISTING MOUNTABLE C & G
- EXISTING ASPHALT PAVEMENT
- R & D APPROX 70 LF EXISTING C & G PER COA STD DWG 2415 A
- CONSTRUCT MOUNTABLE C & G PER COA STD DWG 2415 A
- CONSTRUCT 6" MEDIAN C & G PER COA STD DWG 2415 B
- CONSTRUCT HANDICAP RAMP - SEE DETAIL E/8
- CONSTRUCT HANDICAP RAMP - SEE DETAIL F/8
- DEFERRED 4' SIDEWALK
- FUTURE CONCRETE DRIVE
- 5' TRANSITION FROM MOUNTABLE C & G TO 6" MEDIAN C & G
- LIMITS OF PAVING THIS PROJECT
- TRANSITION FROM 4" CURB TO NO CURB THROUGH RETURN.
- EXISTING CATV PEDESTAL TO BE RELOCATED BY COMCAST
- REMOVE EXISTING WATER SERVICE. CAP EXISTING 3/4" SERVICE LINE. RETURN METER TO OWNER
- EXISTING GAS METERS
- EXISTING TRANSFORMER TO BE RELOCATED BY PNM.
- CONSTRUCTED NEW WATER METER VAULT (SEE SHEETS 9 AND 10)

NOTES

- ALL STATIONING IS BASED ON CENTERLINE OF EASEMENT UNLESS NOTED OTHERWISE
- ASPHALT PAVING IS LIMITED TO THE SHADED AREA INDICATED ON THE PLAN



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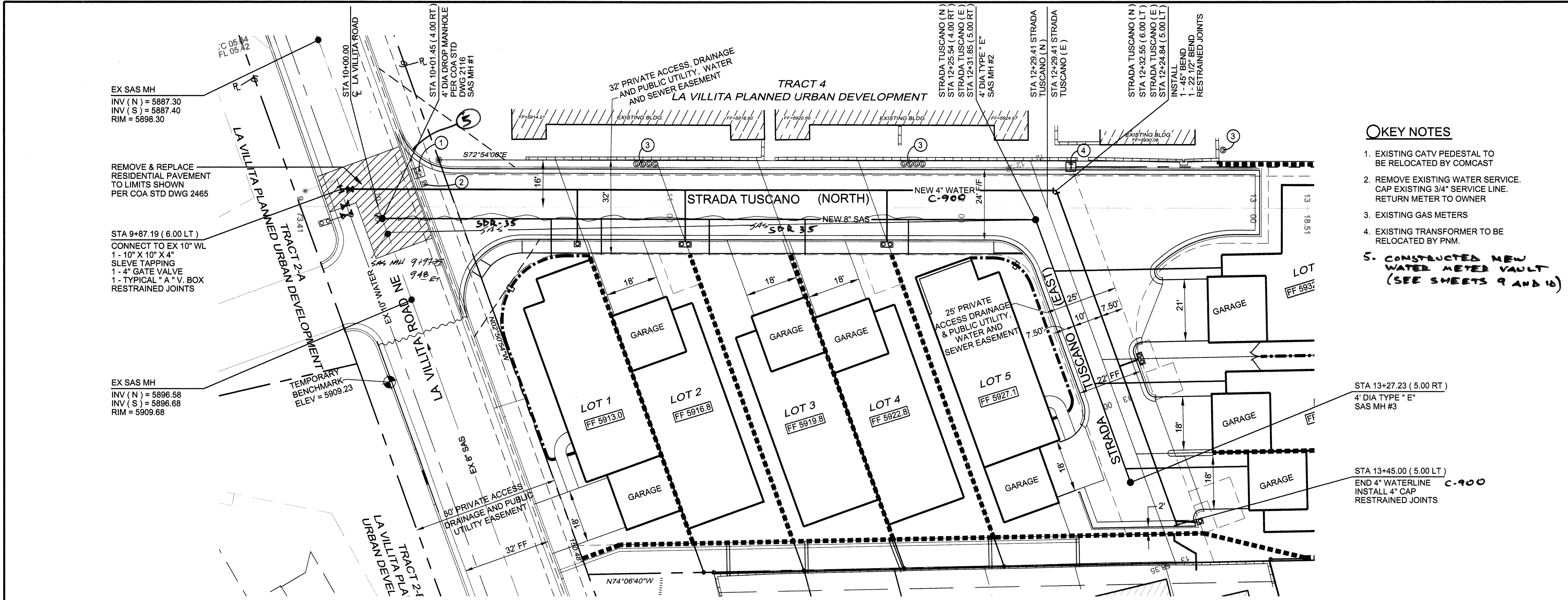
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **VILLAS TUSCANO**
STRADA TUSCANO STREET PAVING PLAN & PROFILE

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED JAN 11 2005	APPROVED JAN 26 2005 CITY ENGINEER		

City Project No. 748881 Zone Map No. H-23 Sheet of 6

ENGINEER'S SEAL				SURVEY INFORMATION		BENCHMARKS		AS-BUILT INFORMATION		
				FIELD NOTES						
				NO.	BY	DATE				
						ACS STATION "13-G23"		CONTRACTOR		
						ELEVATION = 5862.89		STATIONED BY: <i>Shogren & Associates Inc</i> DATE <i>08/05</i>		
						NGVD 1929		INSPECTORS: <i>B. J. HERR</i> DATE <i>08/07/05</i>		
								ACCEPTANCE BY: <i>L. J. HERR</i> DATE <i>08/10/05</i>		
								VERIFICATION BY: <i>Shogren & Associates</i> DATE <i>08/10/05</i>		
								DRAWINGS: <i>Shogren & Associates</i> DATE <i>08/05/05</i>		
								CORRECTED BY: <i>Shogren & Associates</i> DATE <i>08/05/05</i>		
								MICRO-FILM INFORMATION		
								DATE		



- ### KEY NOTES
- EXISTING CATV PEDESTAL TO BE RELOCATED BY COMCAST
 - REMOVE EXISTING WATER SERVICE. CAP EXISTING 3/4" SERVICE LINE. RETURN METER TO OWNER
 - EXISTING GAS METERS
 - EXISTING TRANSFORMER TO BE RELOCATED BY PNM.
 - CONSTRUCTED NEW WATER METER VAULT (SEE SHEETS 9 AND 10)

LEGEND

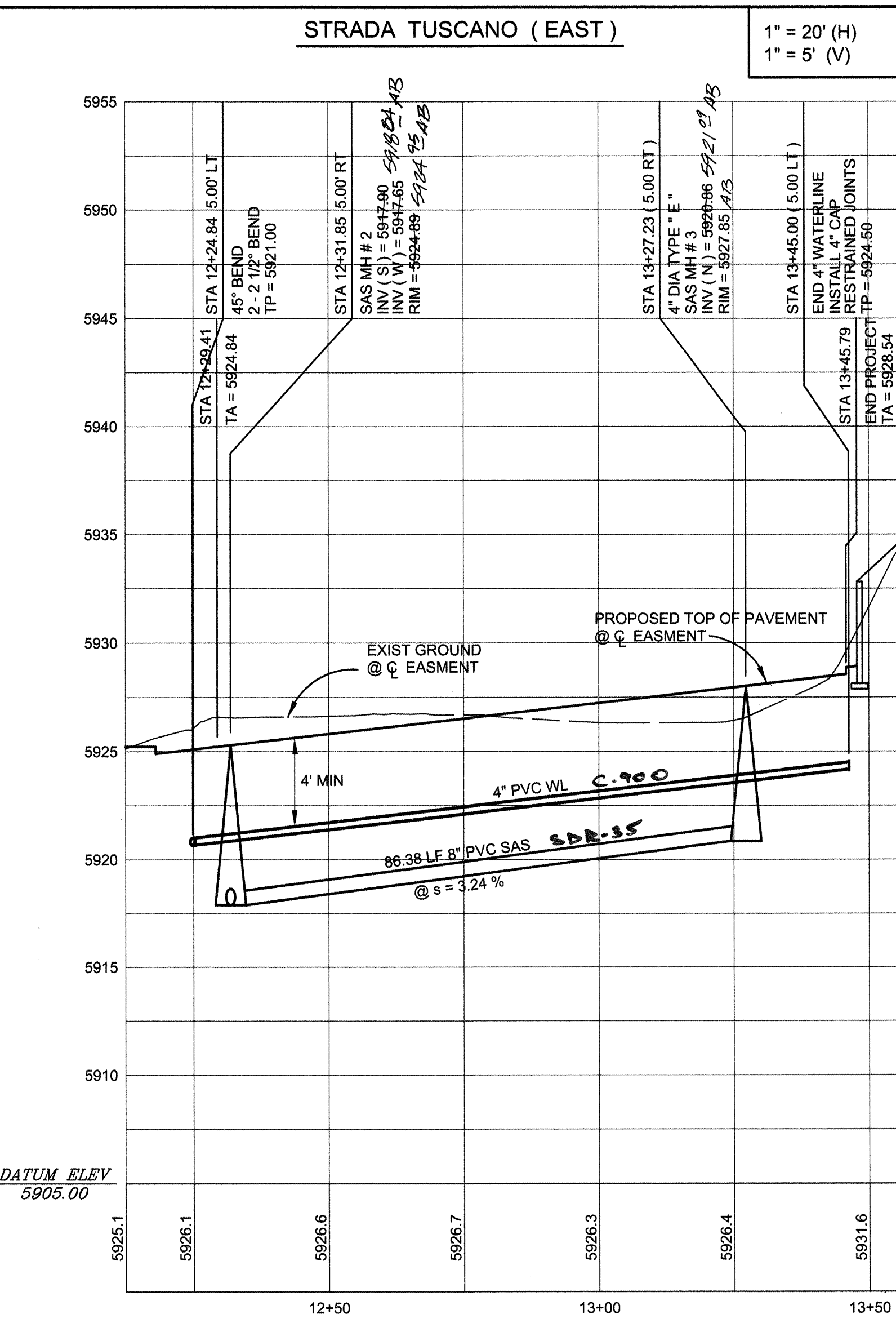
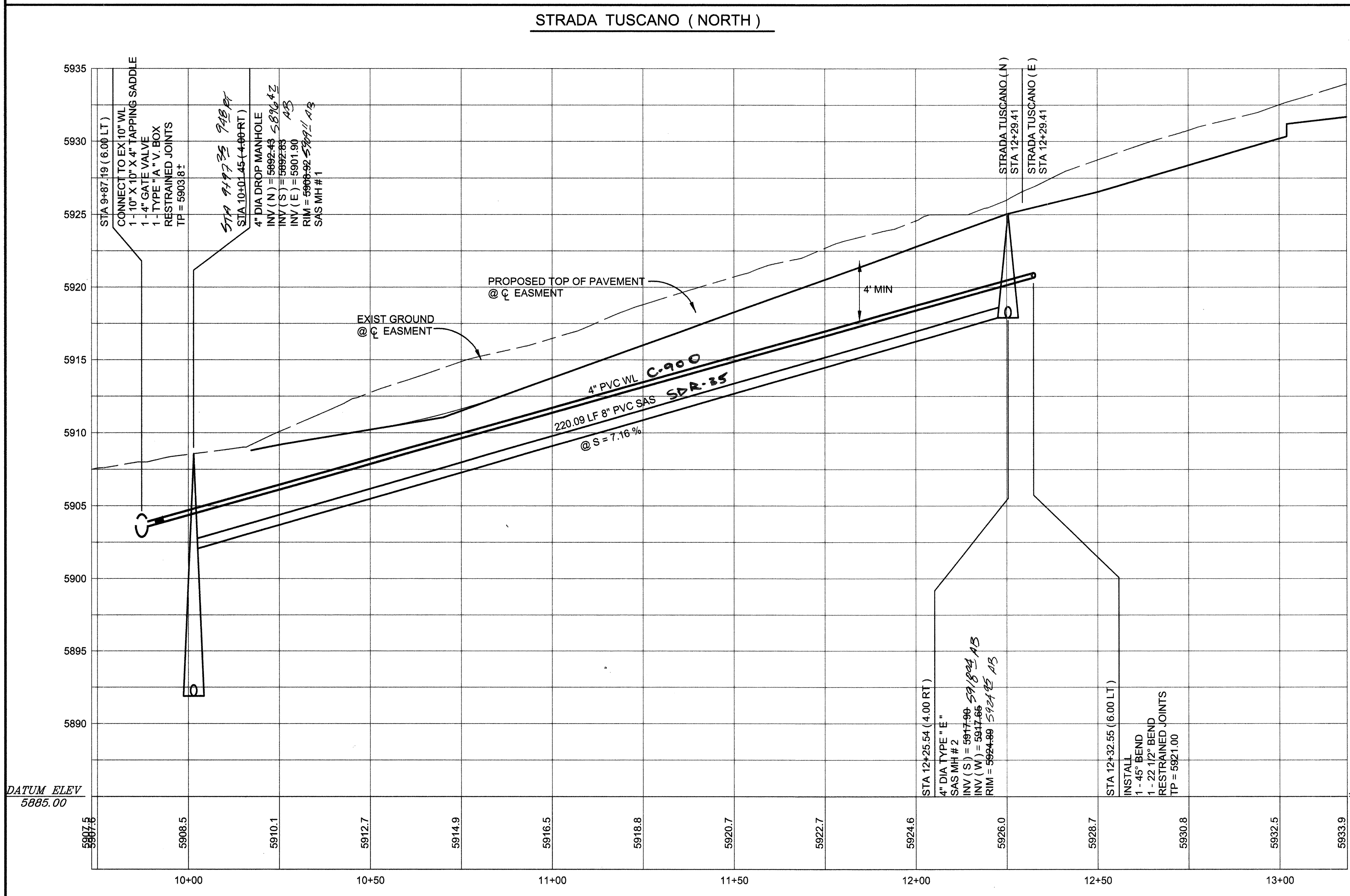
ITEM	EXISTING	PROPOSED
WATERLINE	8" W	8" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
VALVE		
METERED WATER SERVICE		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS	× 16.7	× 16.7
SPOT ELEV.		
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
RETAINING WALL		
CMU WALL		

SANITARY SEWER SERVICES

LOT NO	STATION	OFFSET	INV
1	10+82.91	12.00' RT	5907.57
2	10+82.91	12.00' RT	5909.00
3	11+13.54	12.00' RT	5911.20
4	11+52.06	12.00' RT	5913.96
5	11+86.63	12.00' RT	5916.44
6	12+63.19	42.70' LT	5921.15
7	13+11.14	17.50' LT	5921.98
8	13+29.87	17.50' LT	5922.59

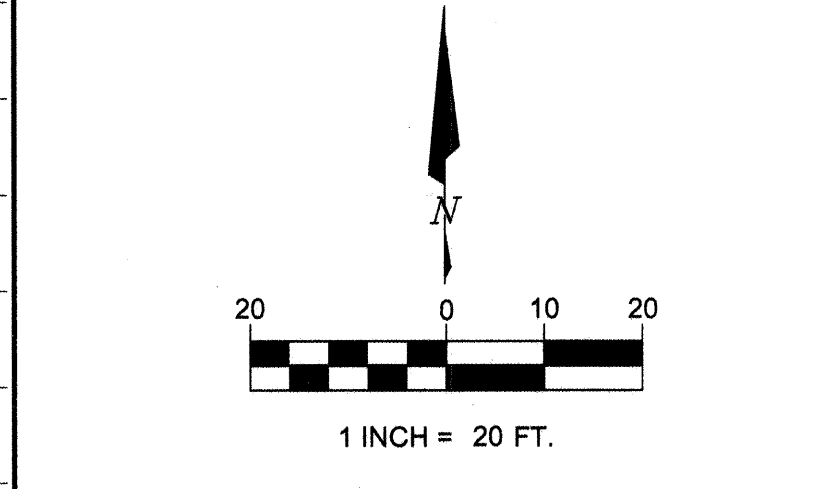
NOTES

1. ALL STATIONING IS BASED ON CENTERLINE OF EASEMENT UNLESS NOTED OTHERWISE



RESTRAINED JOINTS LENGTH

SIZE	90°	45°	22-1/2°	11 1/4°	TEE	VALVE
4"	21'	9'	5'	3'	21'	52'
6"	26'	11'	6'	3'	37'	74'
8"	31'	13'	7'	4'	54'	97'
10"	34'	15'	7'	4'	69'	107'
12"	54'	23'	11'	6'	85'	120'



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Phone: (505) 888-0088 Fax: (505) 888-6188

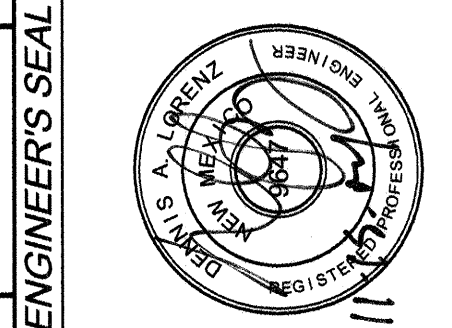
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **VILLAS TUSCANO**
STRADA TUSCANO WATER & SEWER PLAN & PROFILE

DESIGNED BY: DAL
DRAWN BY: R.M.
CHECKED BY: DAL

DATE 11-15-2004
DATE 11-15-2004
DATE 11-15-2004

City Project No. **748881**
Zone Map No. **H-23**
Sheet **7** of **10**



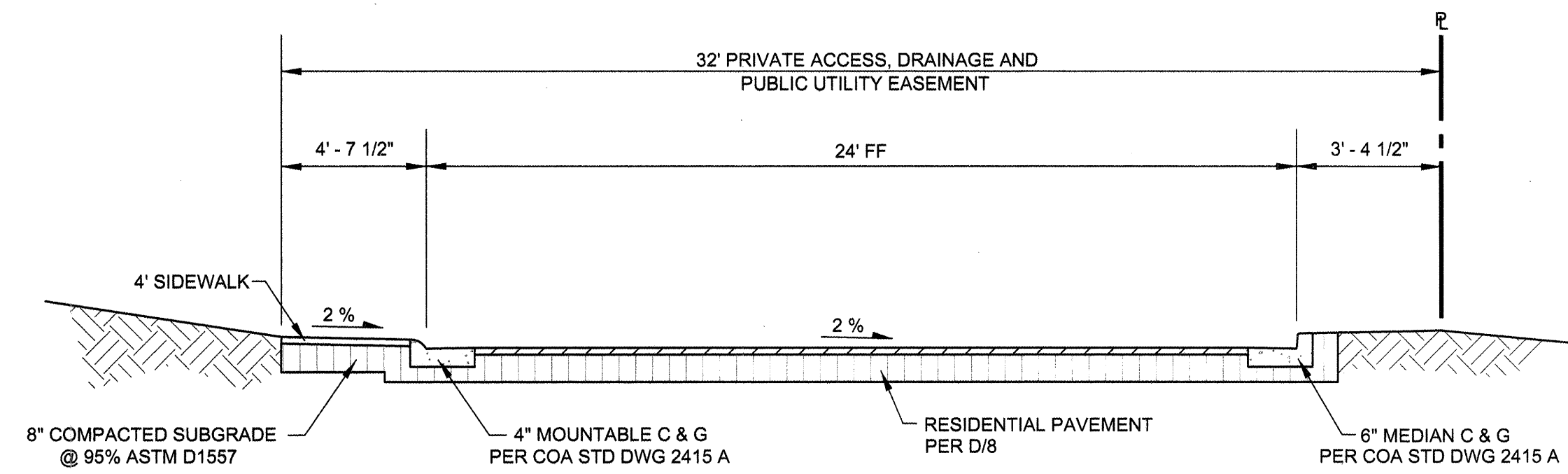
REVISIONS
DESIGN

REMARKS

NO. DATE

AS-BUILT INFORMATION

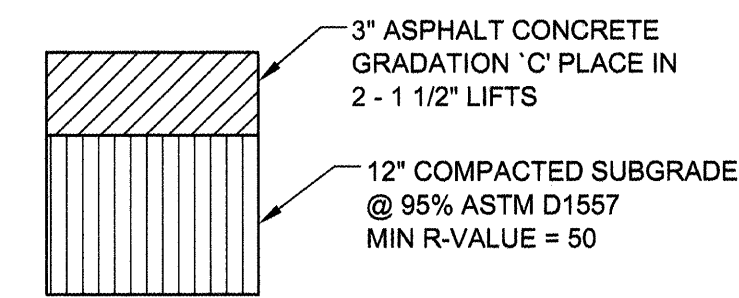
CONTRACTOR: **BRASHER & LORENZ**
DATE: **07-31-05**
INSPECTOR: **BRASHER & LORENZ**
DATE: **07-31-05**
VERIFICATION: **BRASHER & LORENZ**
DATE: **07-31-05**
MICRO-FILM INFORMATION



PRIVATE STREET SECTION

STRADA TUSCANO - NORTH

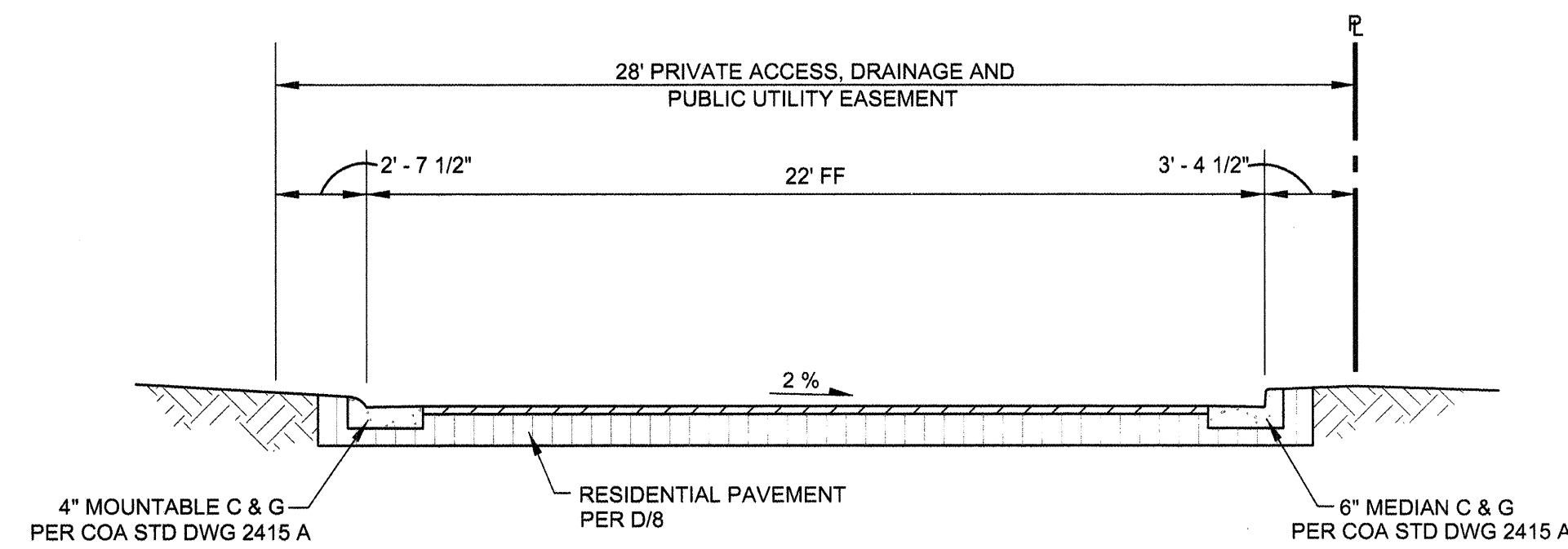
NTS

$$\frac{A}{8}$$


PAVEMENT SECTION

NTS

D
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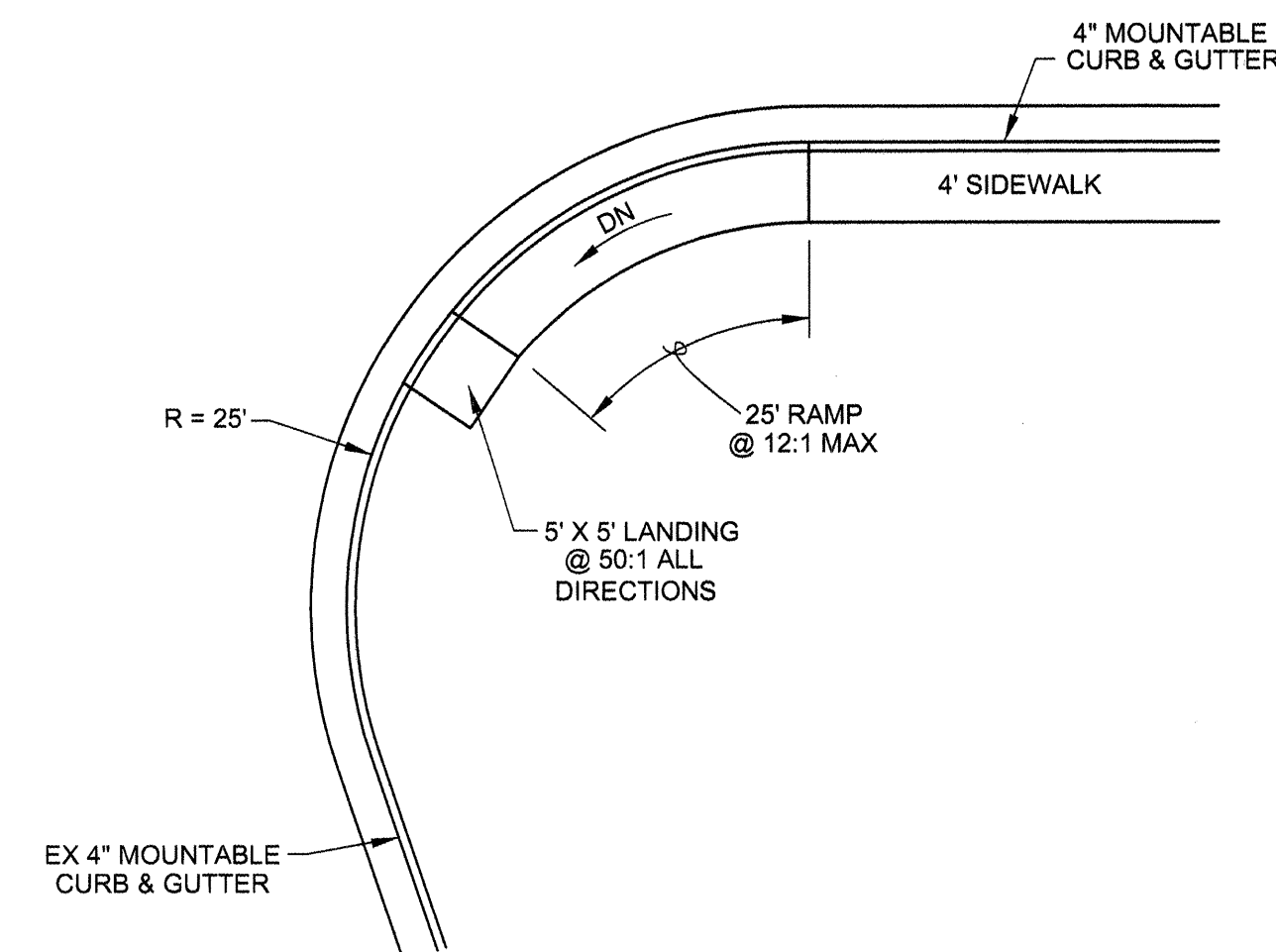


RESIDENTIAL STREET SECTION

STRADA TUSCANO - NORTH

NTS

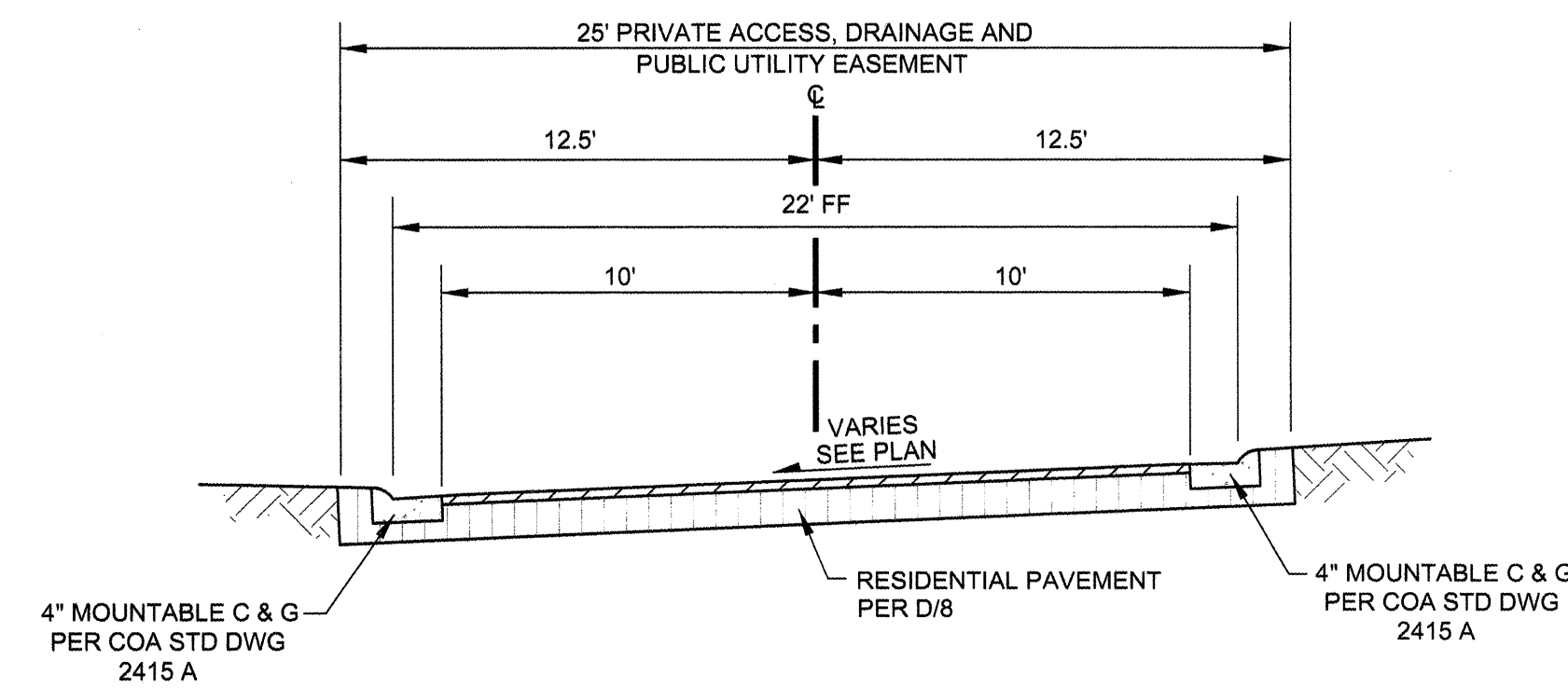
B
8



HANDICAP ACCESS RAMP - A

NTS

Ε
8

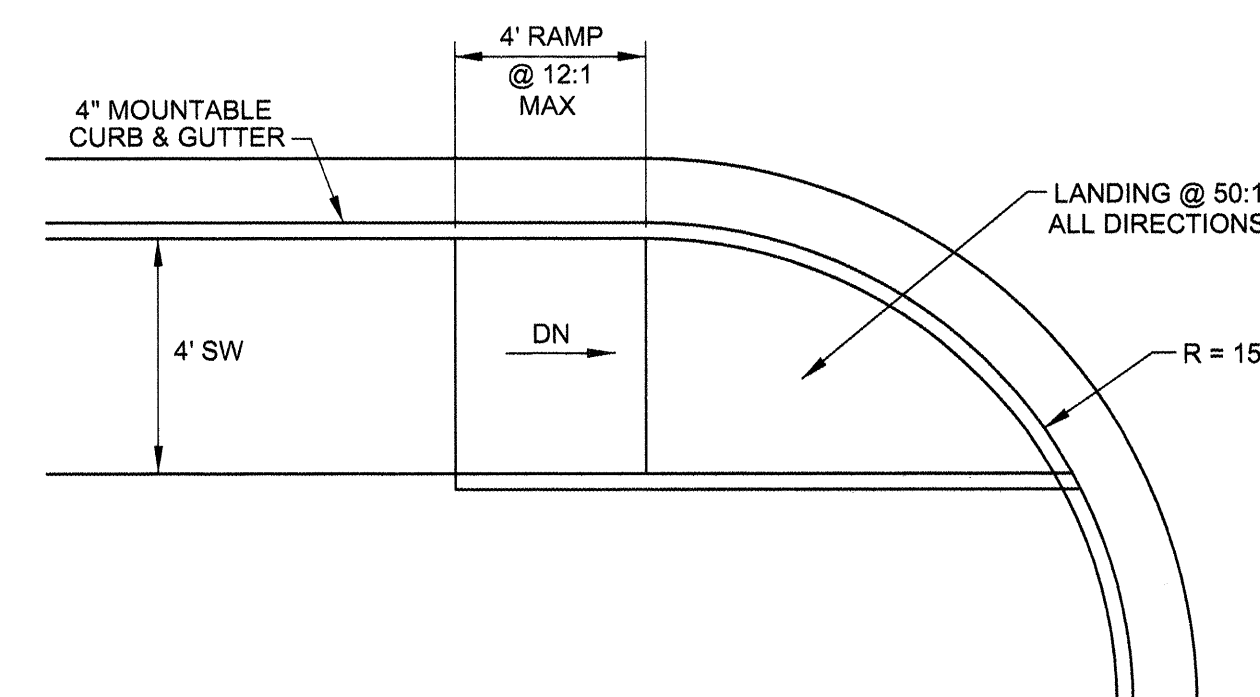


PRIVATE STREET SECTION

STRADA TUSCANO - EAST

NTS

$\frac{C}{8}$

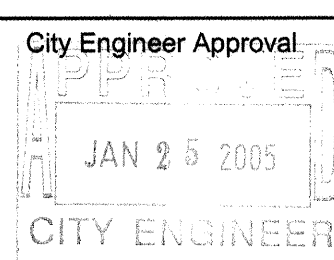


HANDICAP ACCESS RAMP - B

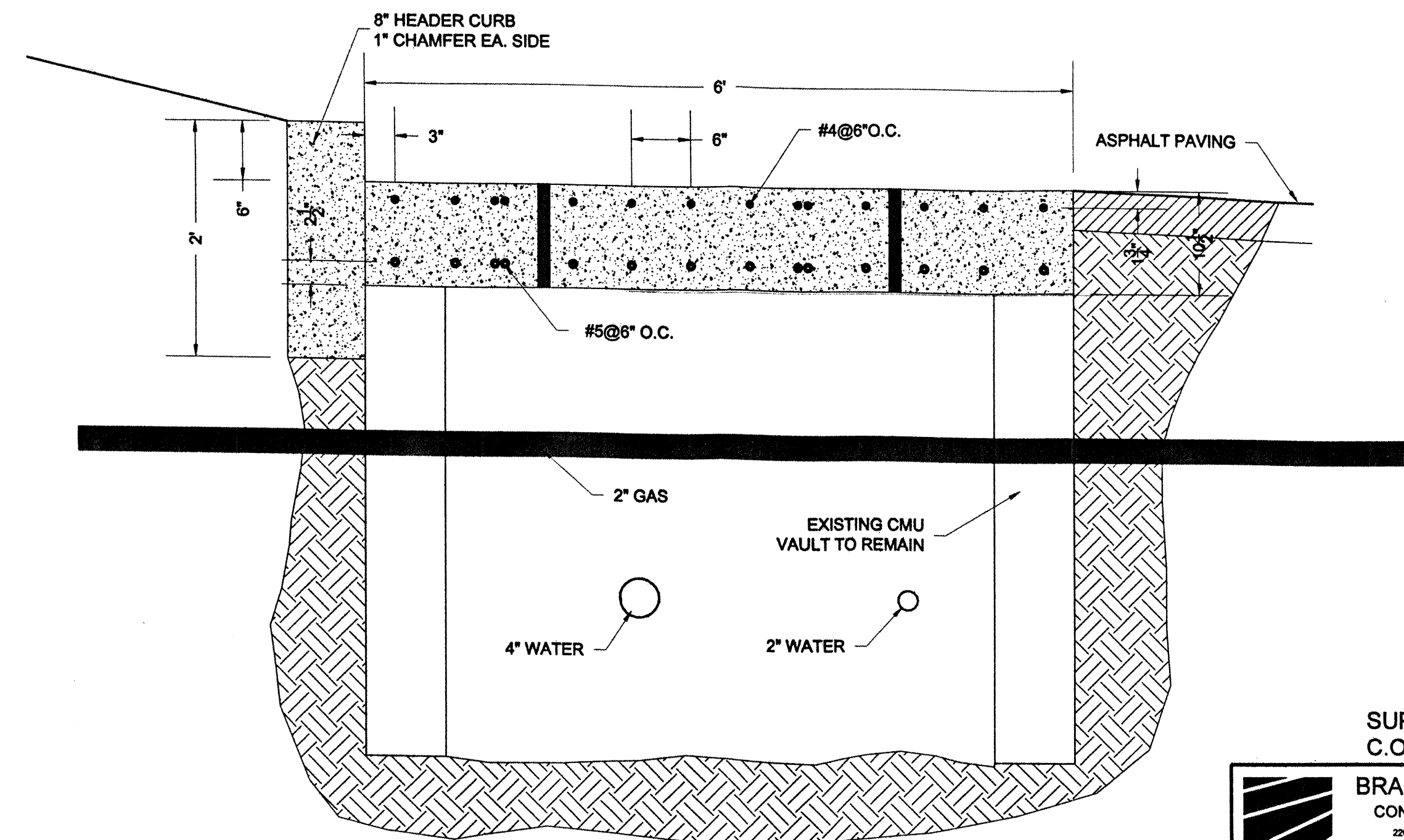
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⑧ F

Map No. Sheet of 8		Mo./Day/Yr. Mo./Day/Yr.	
INSPECTION GROUP		DATE 09-16-2004 DATE 09-16-2004 DATE 09-16-2004	
NO. DATE	REMARKS REVISIONS DESIGN	DESIGNED BY DRAWN BY CHECKED BY	DAL R. M. DAL
NO. DATE	REMARKS REVISIONS DESIGN	DESIGNED BY DRAWN BY CHECKED BY	DAL R. M. DAL
ENGINEER'S SEAL		FIELD NOTES	
		NO. BY DATE	
BENCHMARKS		SURVEY INFORMATION	
AS-BUILT INFORMATION		CONTRACTOR STAKED BY INSPECTORS FIELD VERIFICATION BY DRAINAGE EXISTING TO	
DATE 09-31-05 DATE 08/07/05 DATE 09-31-05 DATE 09-31-05 DATE 09-31-05		DATE 09-31-05 DATE 09-31-05 DATE 09-31-05 DATE 09-31-05 DATE 09-31-05	
MICRO-FILM INFORMATION		DATE	

	BRASHER & LORENZ CONSULTING ENGINEERS 2201 San Pedro Blvd. NE. Bldg. 1, Suite 1200 Albuquerque, New Mexico 87110 Phone: (505) 888-6088 Fax: (505) 888-6188		DESIGNED BY DRAWN BY CHECKED BY	
	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP		NO. DATE	
TITLE: VILLAS TUSCANO DETAILS				
Design Review Committee 		City Engineer Approval 		Last Design Update
City Project No. 748881		Zone Map No. H-23		Sheet 8 of 10

SCANNED BY
MESA REPRO



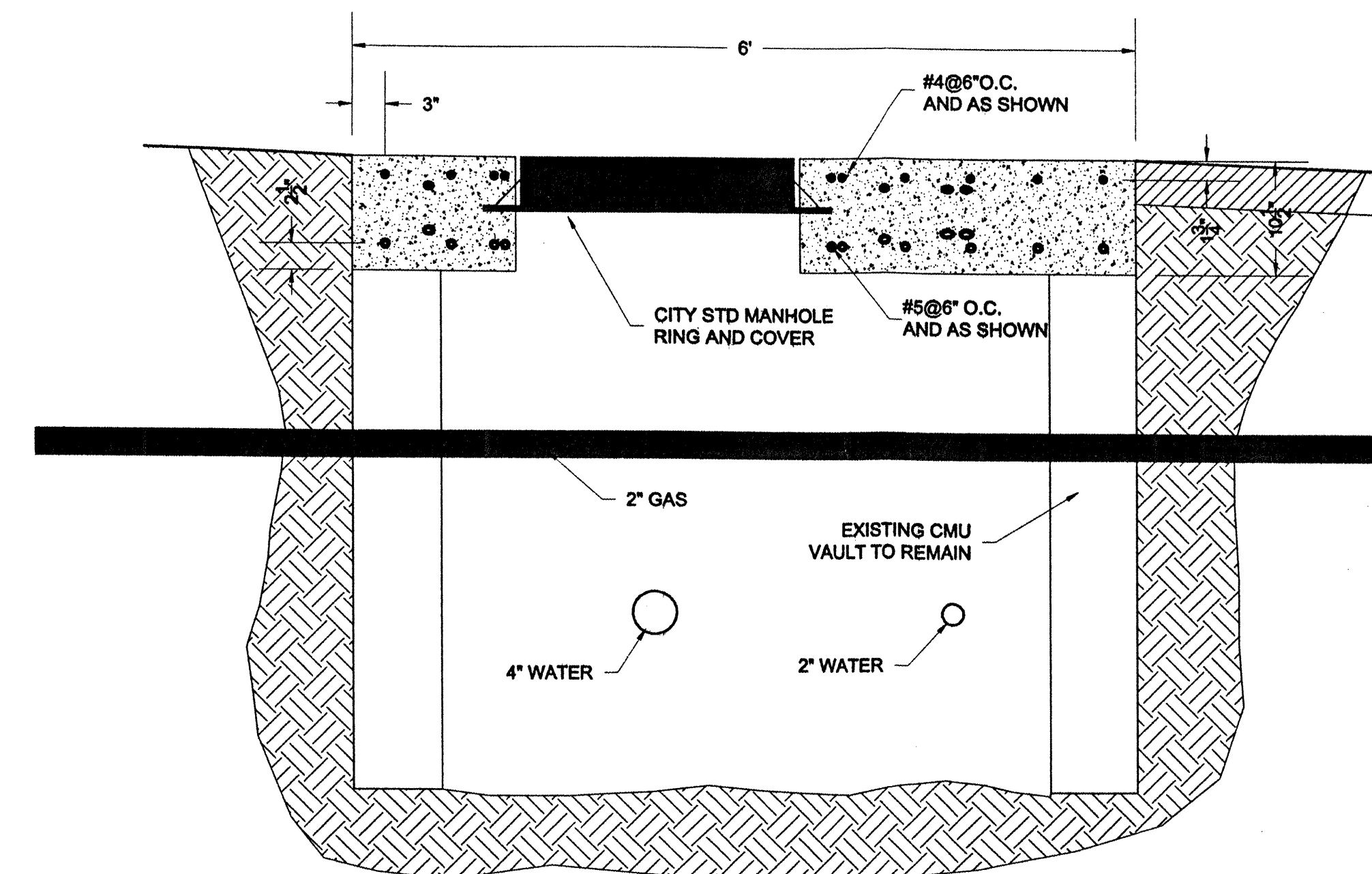
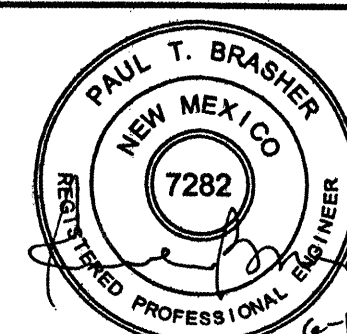
SECTION C-C

SUPPLEMENTAL TO
C.O.A.WO #7488

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-885-8088 Fax: 505-885-8188

VILLAS TUSCANO
METER VAULT DETAIL

DRW: R.M.	DATE: 05/19/05
CKD: P.T.B	SCALE: 1"=1'
APP:	
REV. NO.	SHT: 4 OF 7



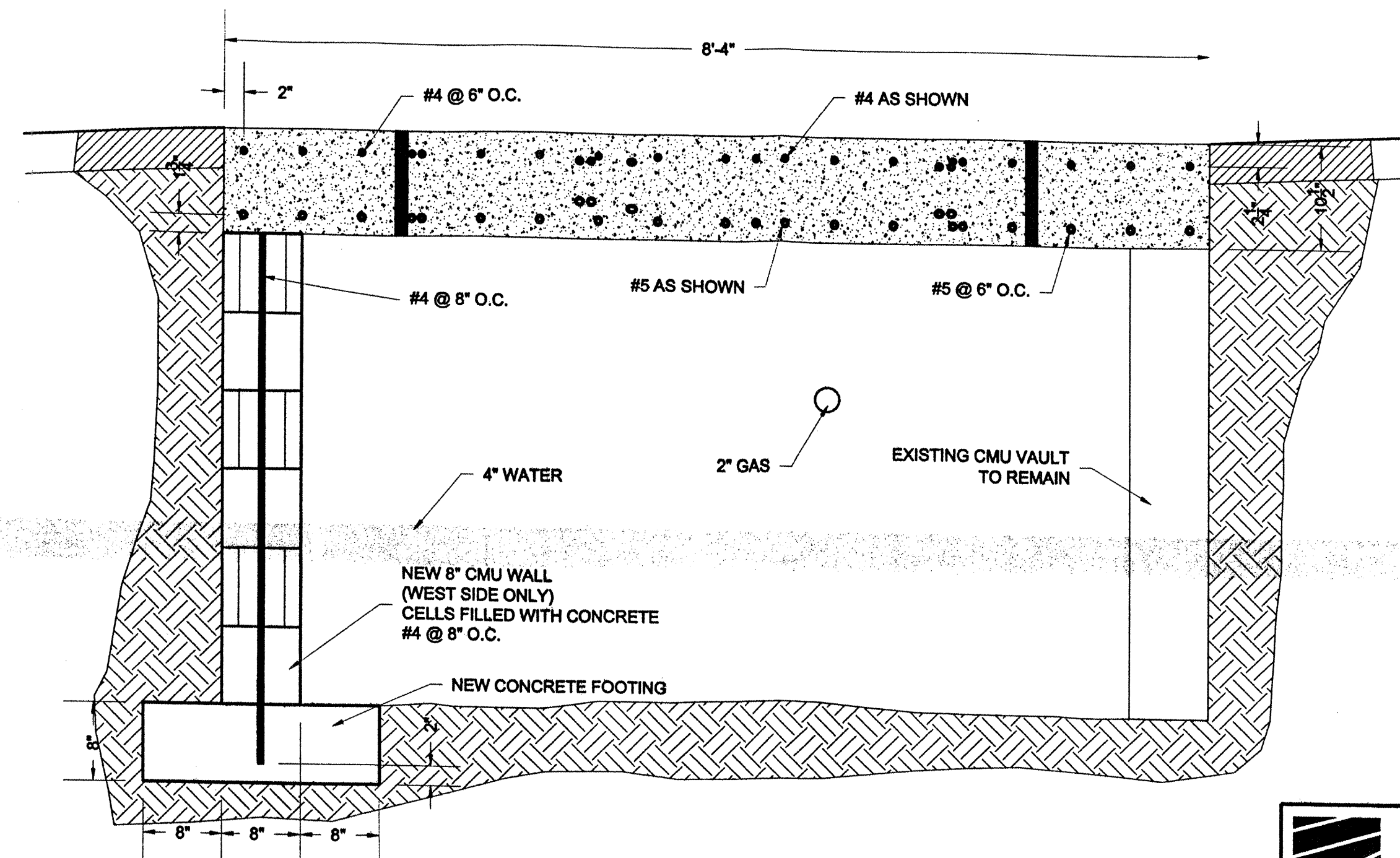
SECTION A-A

SUPPLEMENTAL TO
C.O.A.WO #7488

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CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-885-8088 Fax: 505-885-8188

VILLAS TUSCANO
METER VAULT DETAIL

DRW: R.M.	DATE: 05/19/05
CKD: P.T.B	SCALE: 1"=1'
APP:	
REV. NO.	SHT: 2 OF 7



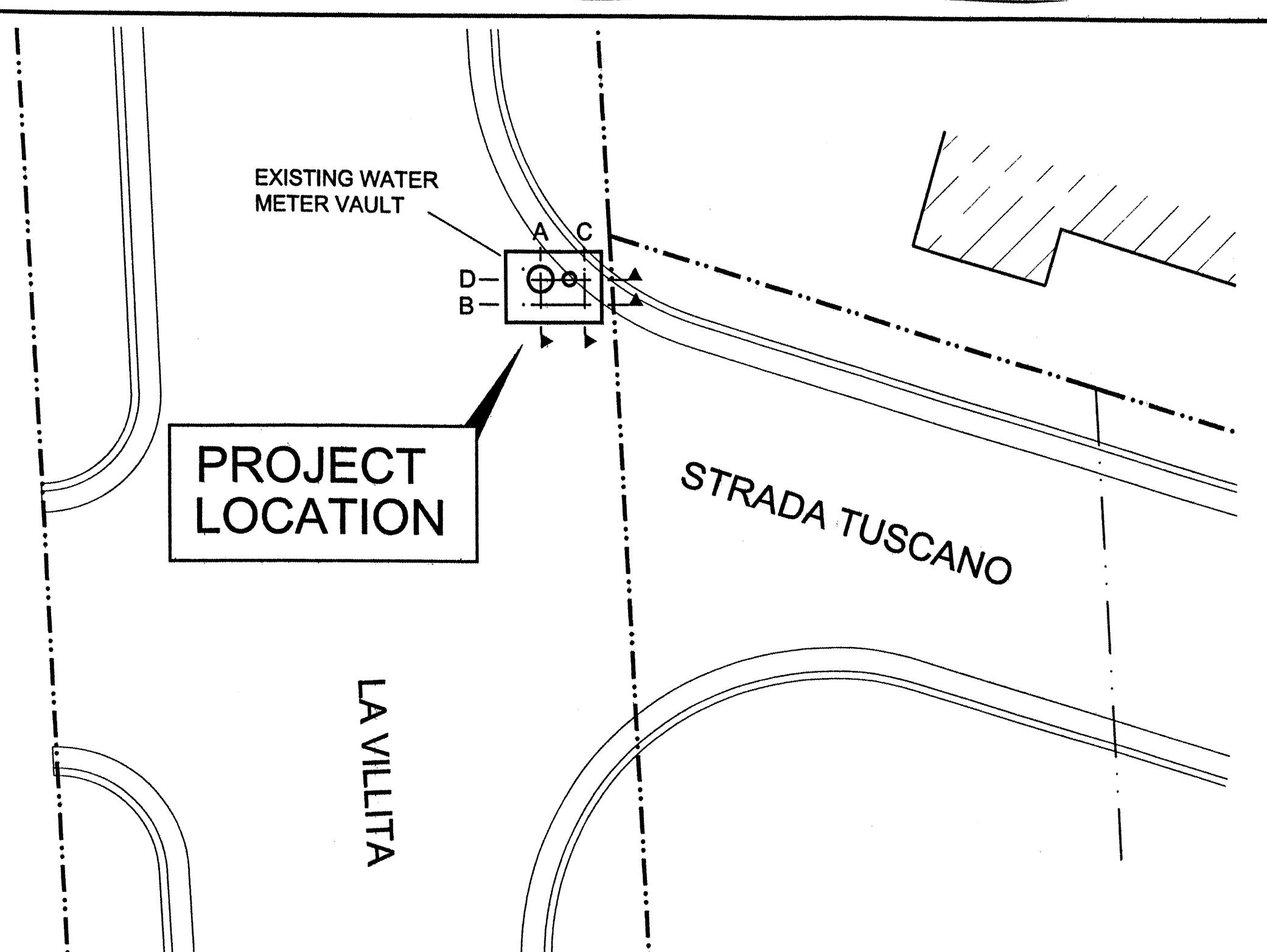
SECTION B-B

SUPPLEMENTAL TO
C.O.A.WO #7488

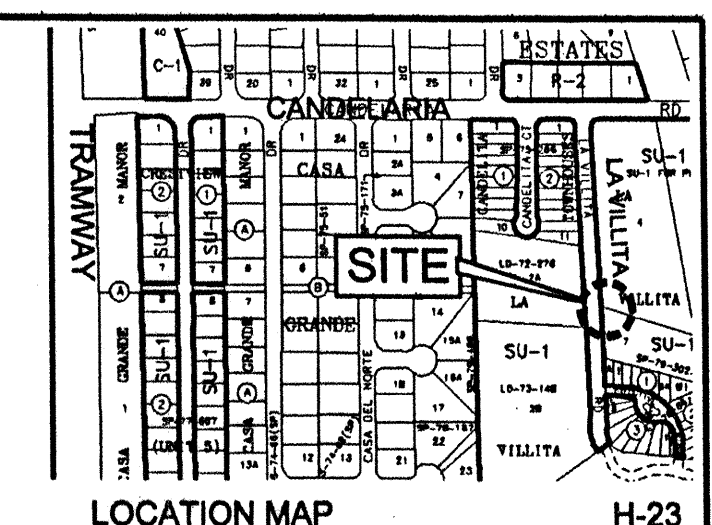
BRASHER & LORENZ
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Albuquerque, New Mexico 87110
Ph: 505-885-8088 Fax: 505-885-8188

VILLAS TUSCANO
METER VAULT DETAIL

DRW: R.M.	DATE: 05/19/05
CKD: P.T.B	SCALE: 1"=1'
APP:	
REV. NO.	SHT: 3 OF 7



PLAN



GENERAL NOTES

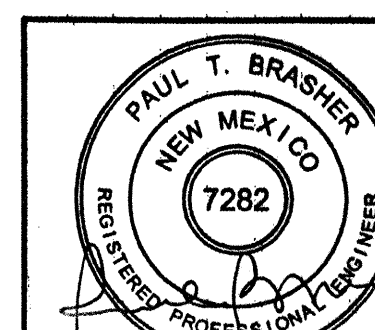
1. COMPRESSIVE STRENGTH OF ALL NEW CONCRETE SHALL BE 4000 PSI AT 28 DAYS.
2. ALL NEW STEEL REINFORCEMENT SHOWN SHALL BE GRADE 60 DEFORMED.
3. ALL BACKFILL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR PER ASTM D - 1557.
4. REINFORCED CONCRETE VAULT LID SHALL BE ADJUSTED TO GRADE TO MATCH SURROUNDING PAVING IMPROVEMENTS.
5. CONTRACTOR SHALL NOTIFY PNM GAS SERVICES AND CITY WATER AUTHORITY 48 HOURS BEFORE PLACING NEW CONCRETE LID OVER VAULT.
6. THE EXISTING REMOTE METER REGISTER SHALL BE MOUNTED TO THE UNDER SIDE OF THE NEW CONCRETE LID BY SUITABLE MEANS APPROVED BY THE ENGINEER.

SUPPLEMENTAL TO
C.O.A.WO #7488

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CONSULTING ENGINEERS
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Albuquerque, New Mexico 87110
Ph: 505-885-8088 Fax: 505-885-8188

VILLAS TUSCANO
METER VAULT DETAIL

DRW: R.M.	DATE: 05/19/05
CKD: P.T.B	SCALE: 1"=1'
APP:	
REV. NO.	SHT: 1 OF 7



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