

CONSTRUCTION PLANS

FOR

COPPER PARK

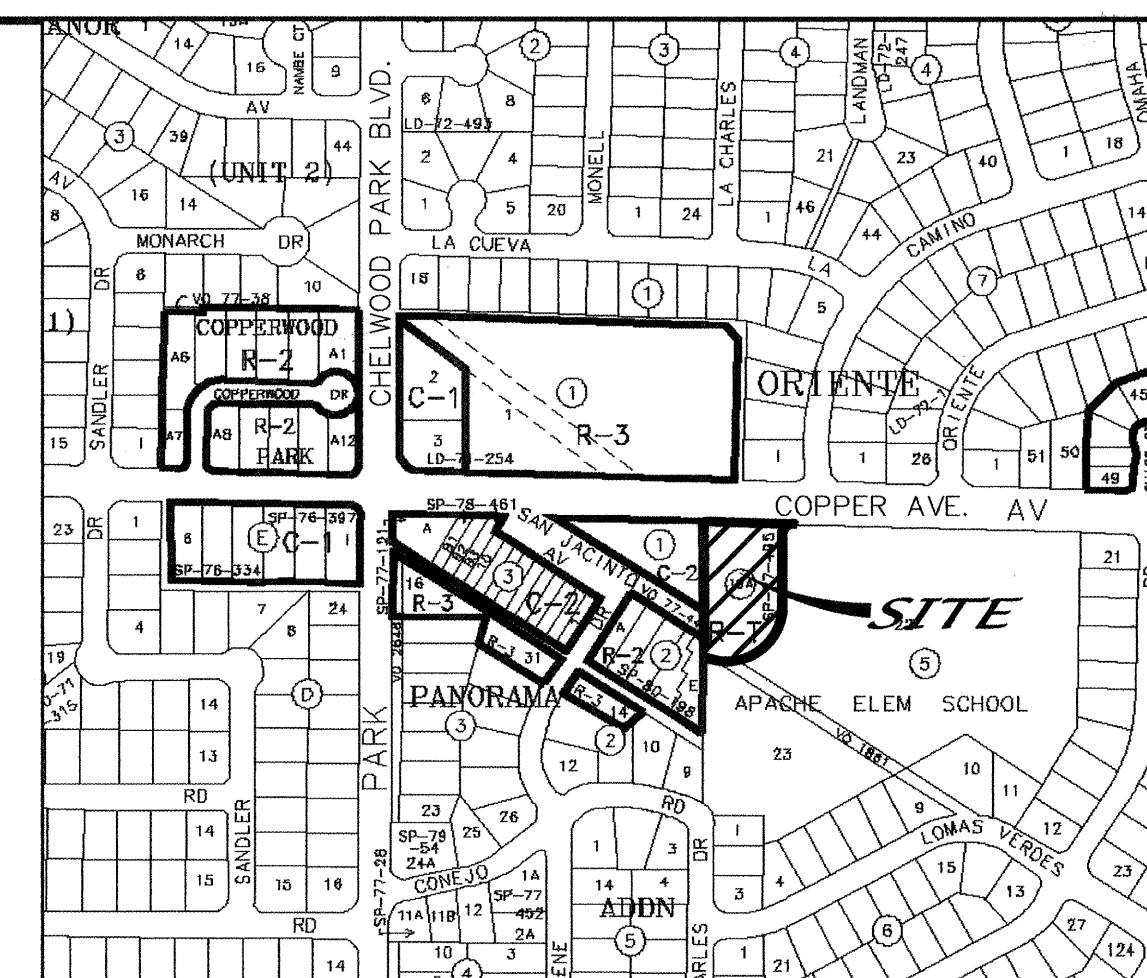
SUBDIVISION

ALBUQUERQUE, NEW MEXICO

FOR

*COPPER PARK
SUBDIVISION*

ALBUQUERQUE, NEW MEXICO



SCALE: NONE

GENERAL NOTES

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS LOCATED.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. IN THE EVENT OF A CHANGE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
12. FOR STORM DRAIN CONSTRUCTION, ROJ JOINTS SHALL NOT BE GROUDED PRIOR TO FINAL INSPECTION. FINAL JOINTS TO DETERMINE JOINTS TO BE GROUDED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200. FAX (505) 797-9532

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER ₁	DATE	*****		

	DRC CHAIRMAN	<i>[Signature]</i>	01-17-05	APPROVED FOR CONSTRUCTION
	TRANSPORTATION	<i>[Signature]</i>	12/27/04	
	WATER/WASTEWATER	<i>[Signature]</i>	12/22/04	
	HYDROLOGY	<i>[Signature]</i>	12/26/04	
	CIP			<i>[Signature]</i> 4-19-05
	CONSTR. MNGMT.			CITY ENGINEER DATE
CONSTR. COORD.	<i>[Signature]</i>	01-17-05		
CITY PROJECT NO.			SHEET OF	
749881			1 6	

A4041CP/A4041CP-COVER/12-14-04 NHE TAS

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2-3	PLAT
4	GRADING AND DRAINAGE PLAN
5	PAVING IMPROVEMENTS
6	UTILITY IMPROVEMENTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Diane Hoelzer, NMPE #1967, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

Diane Hoelzer 1-6-06
Diane Hoelzer NMPE 11967

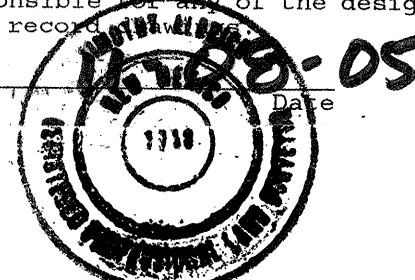
DRB NO. *1002334*

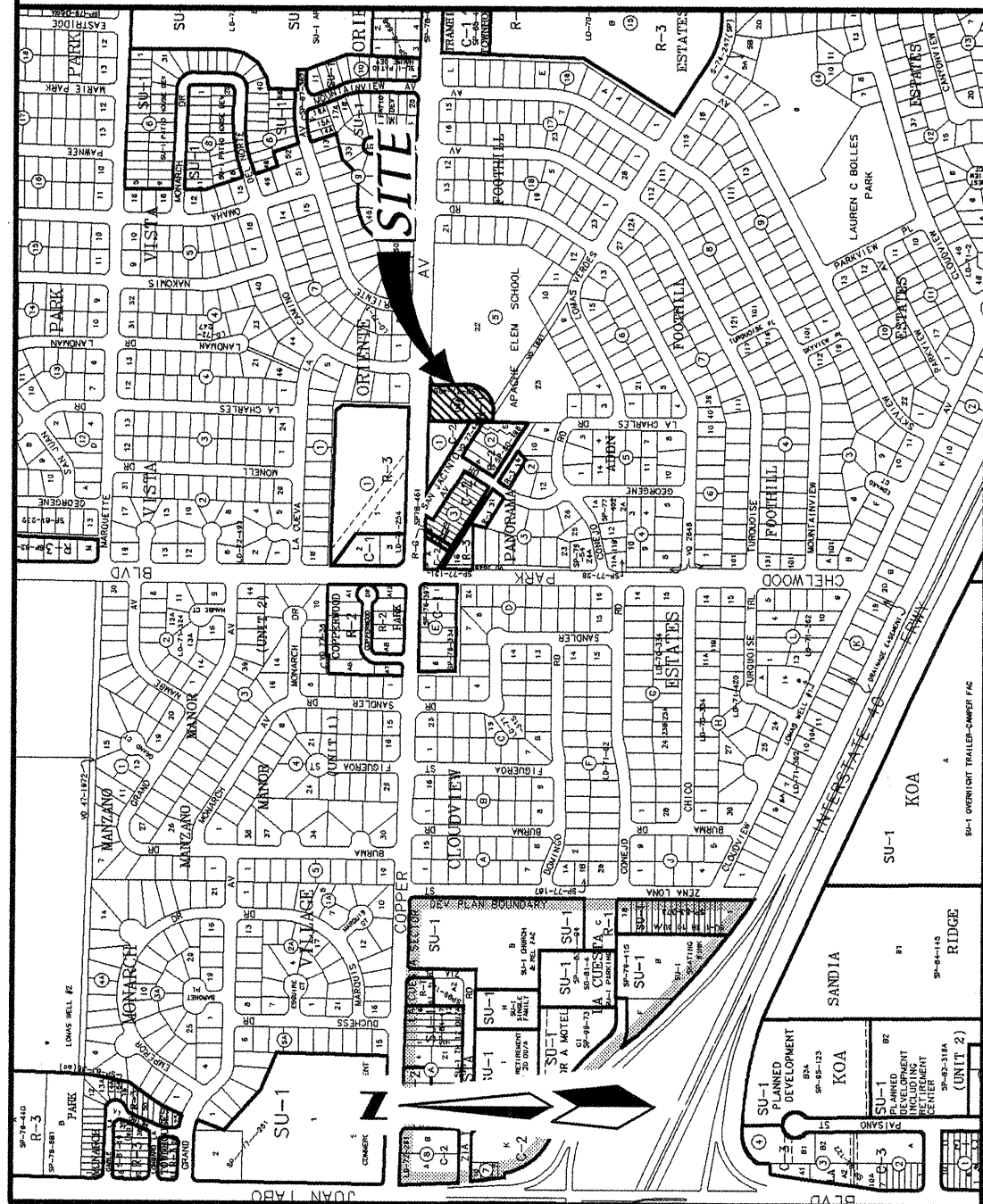
APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
B. Wolfe **BY: DAVAN Wolfe, P.E.**
DATE: **4/13/2006**

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible _____ of the design concepts, calculations, engineering, or intent of the record and reference _____

Timothy Aldrich, P.S. No. 7719





ZONE ATLAS

K-22-Z
SCALE 1" = 750'

SUBDIVISION DATA

GROSS ACREAGE.....0.9538 AC
ZONE ATLAS NO.....K-22-Z
NO. OF EXISTING TRACT/LOT.....1 TRACT / 0 LOT
NO. OF TRACT/LOTS CREATED.....0 TRACT / 8 LOTS
MILES OF FULL WIDTH STREETS CREATED.....0.04
AREA DEDICATED TO CITY OF ALBUQUERQUE.....0.3084 AC
DATE OF SURVEY.....MAY 2004
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER.....2004372020
ZONING.....R-T

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among their complete and inalienable title in fee simple to the land subdivided.

Harvest Homes, LLC
Lowell Williams
Managing Member

Lowell Williams 10/26/04 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on *October 26, 2004*
By Lowell Williams Managing Member Harvest Homes, LLC, A New Mexico Corporation on behalf of *Harvest Homes, LLC*

Lowell Williams 10-26-07
NOTARY PUBLIC
OFFICIAL SEAL
BETH GONZALES
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires

PURPOSE OF PLAT

1. SUBDIVIDE ONE (1) TRACT INTO EIGHT (8) RESIDENTIAL LOTS
2. GRANT NEW EASEMENTS AS SHOWN HEREON
3. DEDICATED RIGHT-OF-WAY
4. VACATE EASEMENT AS SHOWN HEREON

LEGAL DESCRIPTION

A tract of land situate within Section 22, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of BLOCK 19-A, FOOTHILL ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on November 10, 1977 in Book C12, Page 151 and containing 0.9538 acres more or less.

SCANNED BY *PLM*

PLAT FOR
COPPER PARK SUBDIVISION

WITHIN
SECTION 22
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002334

Application Number: _____

PLAT APPROVAL

Utility Approvals:

Lowell Williams 11-18-04 Date
PNM Electric Services
Lowell Williams 11-18-04 Date
PNM Gas Services
David R. Mueller 11-19-04 Date
Qwest Telecommunications
Rita Sivila 11-19-04 Date
Comcast

City Approvals: *Lowell Williams* 11-19-04 Date
City Surveyor

Traffic Engineering, Transportation Division
Utilities Development
Parks and Recreation Department
AMAFCA
City Engineer
DRB Chairperson, Planning Department

SURVEYOR'S CERTIFICATION:

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich No. 1119 11-10-04 Date

Timothy Aldrich
ALDRICH LAND
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

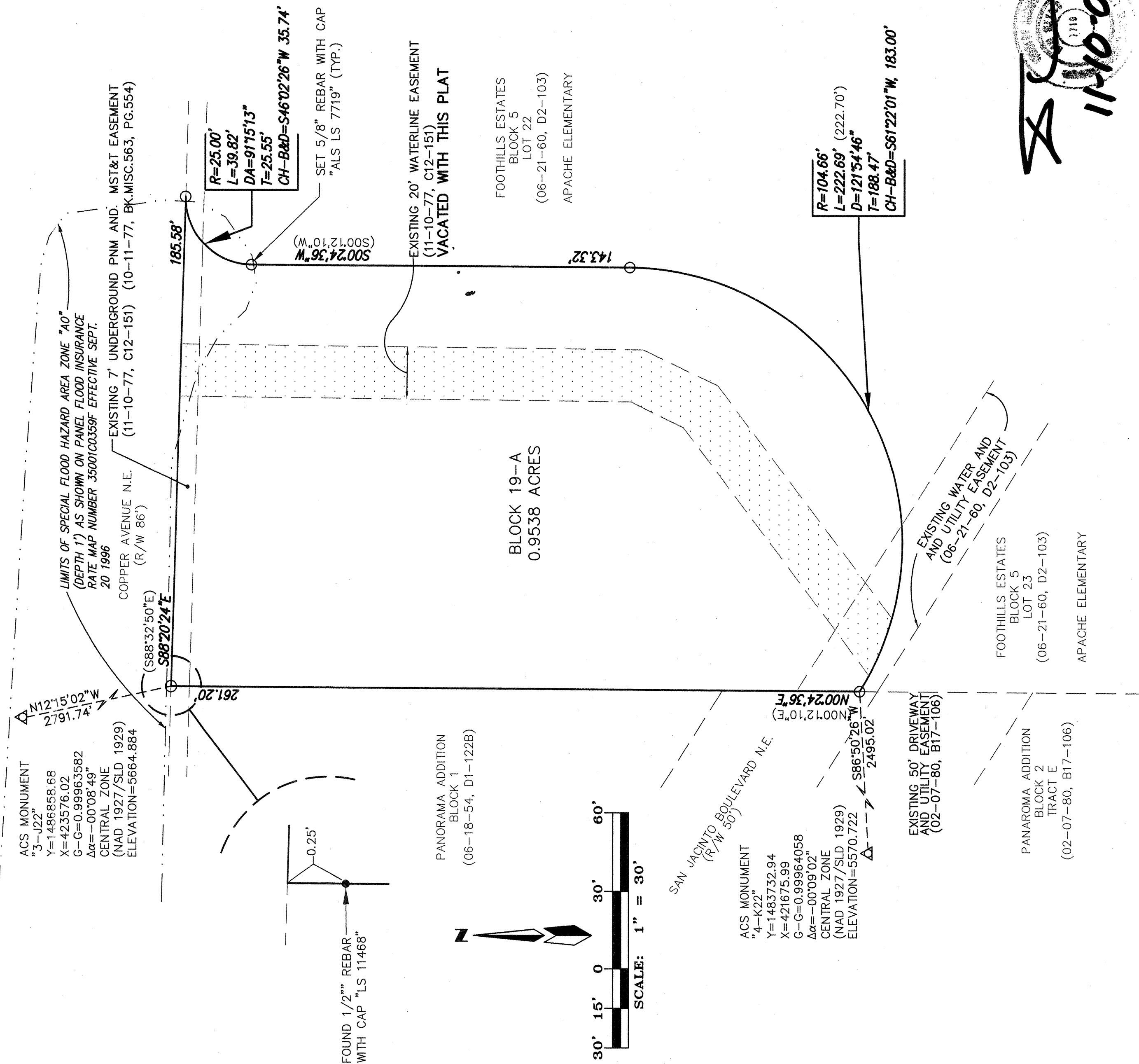
Dwg: Cover sheet.dwg Drawn: STEPHEN Checked: ALS Sheet 1 of 3
Scale: N/A Date: 10/25/04 Job: A04041

PLAT FOR
COPPER PARK SUBDIVISION

WITHIN
SECTION 22
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is the following plats of record entitled:
PLAT OF "FOOTHILL ESTATES", (06-21-60, D2-103)
PLAT OF "FOOTHILL ESTATES SUBDIVISION, BLOCK 19-A", (11-10-77, C12-151)
PLAT OF "PANORAMA ADDITION", (06-18-54, D1-122B)
PLAT OF "PANORAMA ADDITION", (03-13-78, C13-26)
PLAT OF "PANORAMA ADDITION", (02-07-80, B17-106)
being records of Bernalillo County, New Mexico.
5. Field Survey performed: May, 2004.
6. Title Report: provided by Fidelity National Title Insurance Company
Commitment No.: 04-1044229-B-RAD (Effective date: 04-19-04)
7. Utility Council Location System No.: 2004372020



PLAT FOR
COPPER PARK SUBDIVISION
WITHIN
SECTION 22
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2004

ABBREVIATIONS:

PUE = PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)

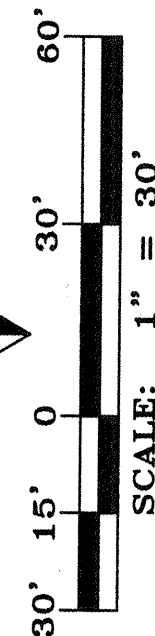
ROW = RIGHT-OF-WAY (DEDICATED BY THIS PLAT)

UNLESS SHOWN OTHERWISE ALL
POINTS ARE SET 5/8" REBAR WITH
CAP *ALS LS 7719"

CURVE	LENGTH	RADIUS	DELTA	TANGENT CH-BEARING-CH-DIST=
C3	31.63	20.00	97°50'0"	20.44 S46°02'07"W 28.59
C4	2.38	104.66	178°18"	1.19 N01°03'46"E 2.38
C5	27.40	104.66	150°01'	13.78 N09°12'54"E 27.32
C6	159.66	104.66	87°24'25"	100.03 N60°25'07"E 144.62
C7	121.64	40.00	174°42'7"	51.70 N06°06'W 79.90
C8	9.65	40.00	13°49'33"	4.85 N63°12'21"W 9.63
C9	24.62	20.00	70°31'44"	14.14 S34°51'16"E 23.09
C10	111.99	40.00	160°24'54"	231.76 S23°54'52"W 78.83
C11	33.25	104.66	181°20'5"	16.71 S66°46'38"E 33.11

PANORAMA ADDITION
BLOCK 1
(06-18-54, D1-122B)

SAN JUAN BOULEVARD N.E.
(R/W 50')



10' WIDE PRIVATE DRAINAGE EASEMENT
GRANTED TO, FOR THE BENEFIT OF, AND TO
BE MAINTAINED BY THE OWNERS OF LOTS
1-P1 THROUGH 7-P1
EXISTING 7' UNDERGROUND PNM AND MST&T EASEMENT
(11-10-77, C12-151) (10-11-77, BK.MISC.563, PG.554)

COPPER AVENUE N.E. (R/W 86')

1-P1
0.046 AC
N 89°35'24" W
119.99'
2-P1
0.0744 AC
N 89°35'24" W
119.99'
3-P1
0.0744 AC
N 89°35'24" W
119.99'
4-P1
0.0744 AC
N 89°35'24" W
119.99'
5-P1
0.0744 AC
N 89°35'24" W
119.99'
6-P1
0.0744 AC
N 89°35'24" W
119.99'
7-P1
0.0701 AC
N 89°35'24" W
119.99'
8-P1
0.0988 AC
N 89°35'24" W
119.99'

15' WIDE PRIVATE DRAINAGE
EASEMENT GRANTED TO, FOR THE
BENEFIT OF, AND TO BE MAINTAINED
BY THE OWNERS OF LOTS 1-P1
THROUGH 7-P1
FOOTHILLS ESTATES
BLOCK 5
LOT 23
(06-21-60, D2-103)
APACHE ELEMENTARY

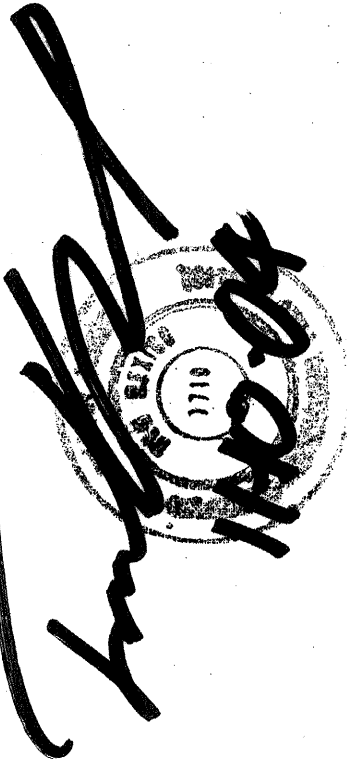
EXISTING 50' DRIVEWAY
AND UTILITY EASEMENT
(02-07-80, B17-106)
PANORAMA ADDITION
BLOCK 1
TRACT E
(02-07-80, B17-106)
EXISTING WATER AND
UTILITY EASEMENT
(06-21-60, D2-103)
APACHE ELEMENTARY

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

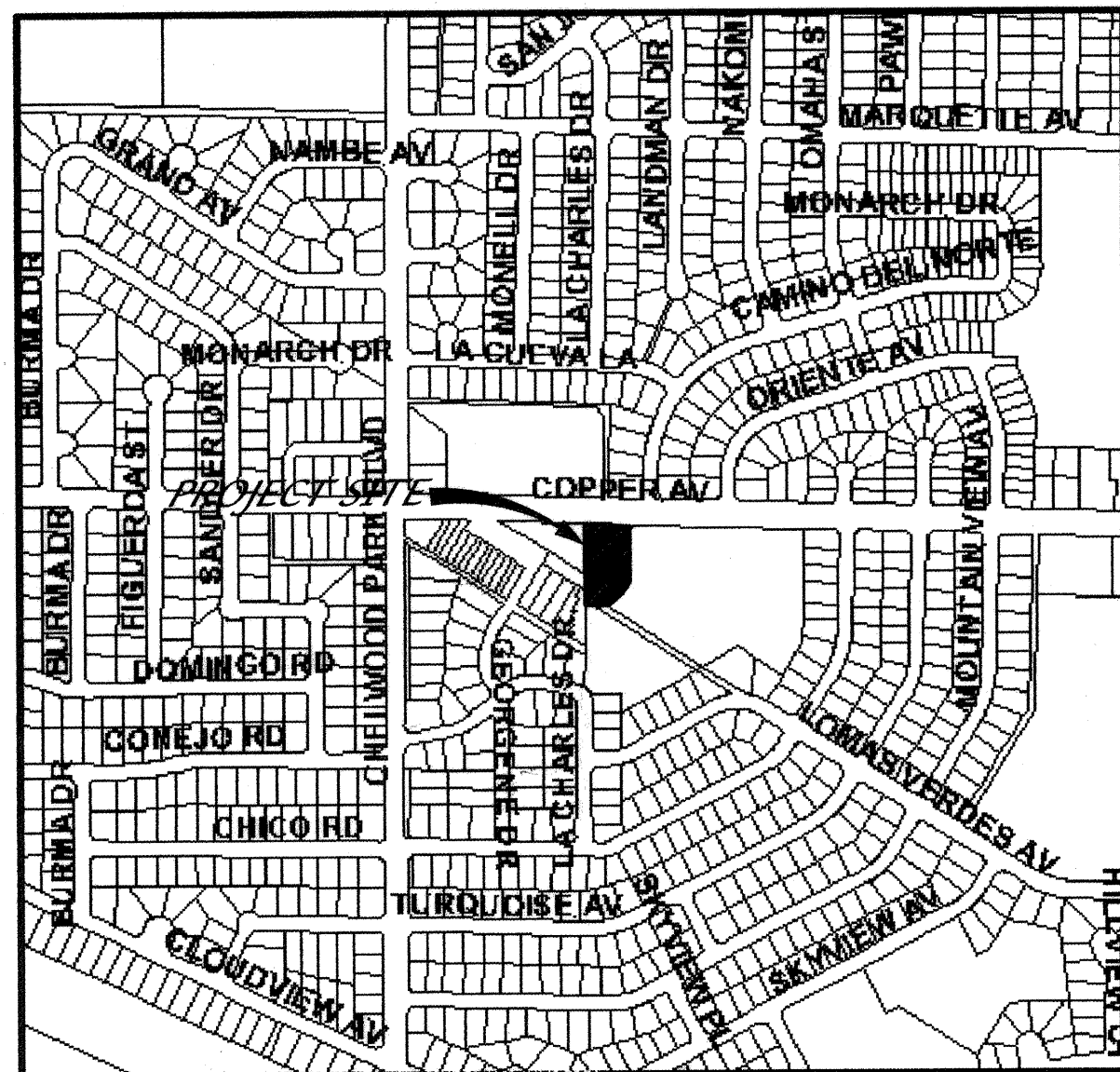
1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
 2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
 3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
 4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.
- Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



**ALDRICH LAND
SURVEYING**

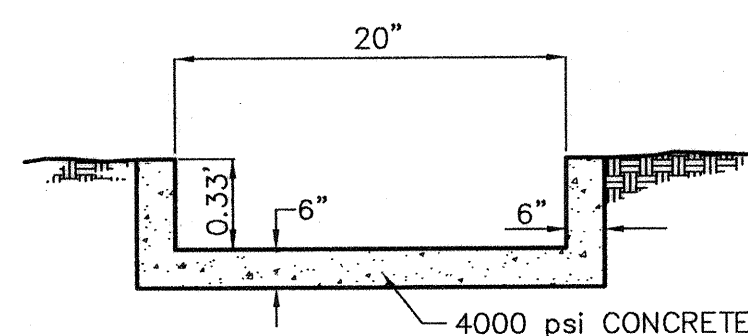
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990



LOCATION MAP

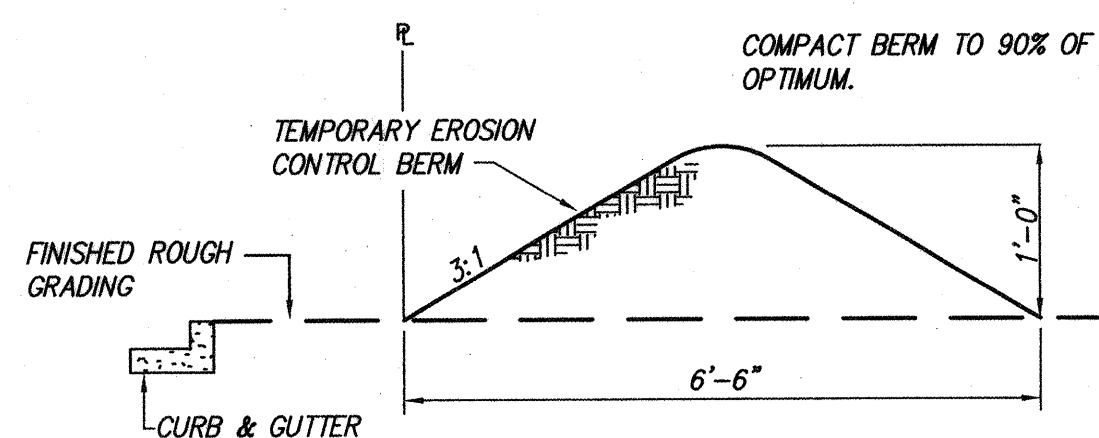
ZONE ATLAS H-10

SCALE: NONE



CONCRETE CHANNEL SECTION

N.T.S.

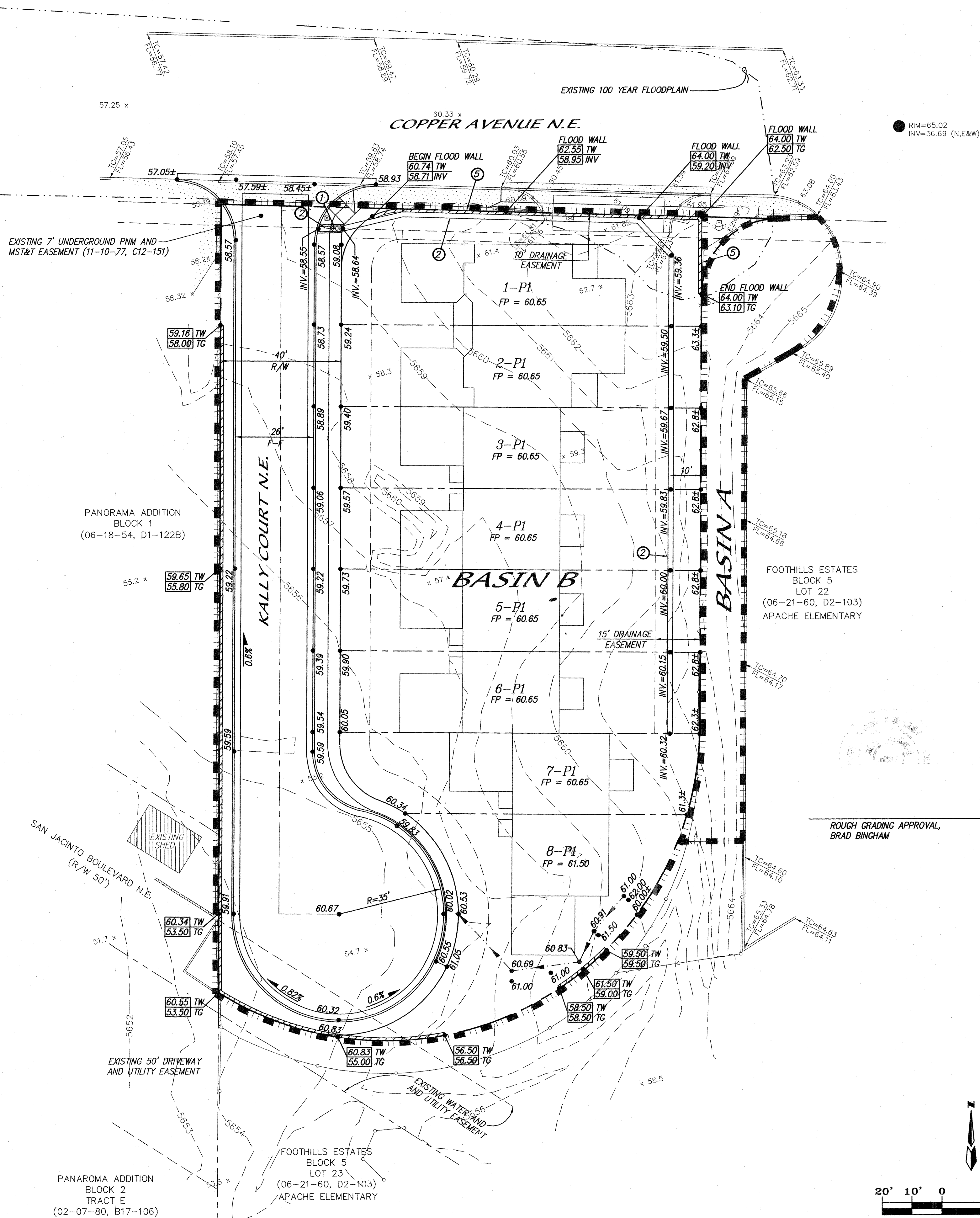


EROSION CONTROL BERM DETAIL

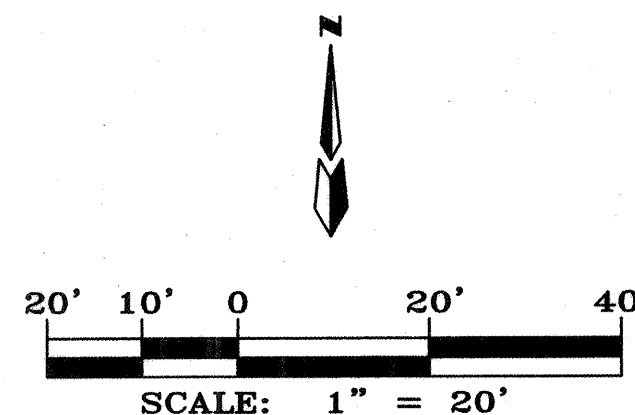
N.T.S.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
- ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



ROUGH GRADING APPROVAL,
BRAD BINGHAM
11-8-04
± 1 FT.



NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.

NOTES

- 5660 — EXISTING CONTOUR (MAJOR)
- 5661 — EXISTING CONTOUR (MINOR)
- TC= — EXISTING TOP CURB ELEVATION
- FL= — EXISTING FLOWLINE ELEVATION
- x 00.00 — EXISTING SPOT ELEVATION
- — EXISTING CONCRETE CURB
- — EXISTING CONCRETE/SIDEWALK
- — EXISTING WALL OR HEAD WALL
- — EXISTING SIGN
- — EXISTING CHAIN LINK FENCE
- — EXISTING SANITARY SEWER MANHOLE
- — EXISTING WATER VALVE
- — EXISTING FIRE HYDRANT
- — EXISTING TELEPHONE PEDESTAL
- — PROPOSED CURB & GUTTER
- FP = 60.65 — PROPOSED FINISHED PAD ELEVATION
- INV = 60.00 — PROPOSED INVERT ELEVATION
- 59.90 — PROPOSED SPOT ELEVATION
- 60.83 TW — PROPOSED TOP WALL ELEVATION
- 55.00 TG — PROPOSED TOP GROUND ELEVATION
- 0.6% — PROPOSED SLOPE
- — PROPOSED VALLEY GUTTER

KEYED NOTES

- 20" WIDE SIDEWALK CULVERT PER C.O.A. STANDARD DWG #2236.
- 20" WIDE X 0.33" HIGH CONCRETE CHANNEL PER DETAIL THIS SHEET.
- STRUCTURAL DESIGN OF FLOOD WALL BY OTHERS.

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE:

COPPER PARK SUBDIVISION
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

MO./DAY/YR. MO./DAY/YR.

For Information Only

LAST DESIGN UPDATE

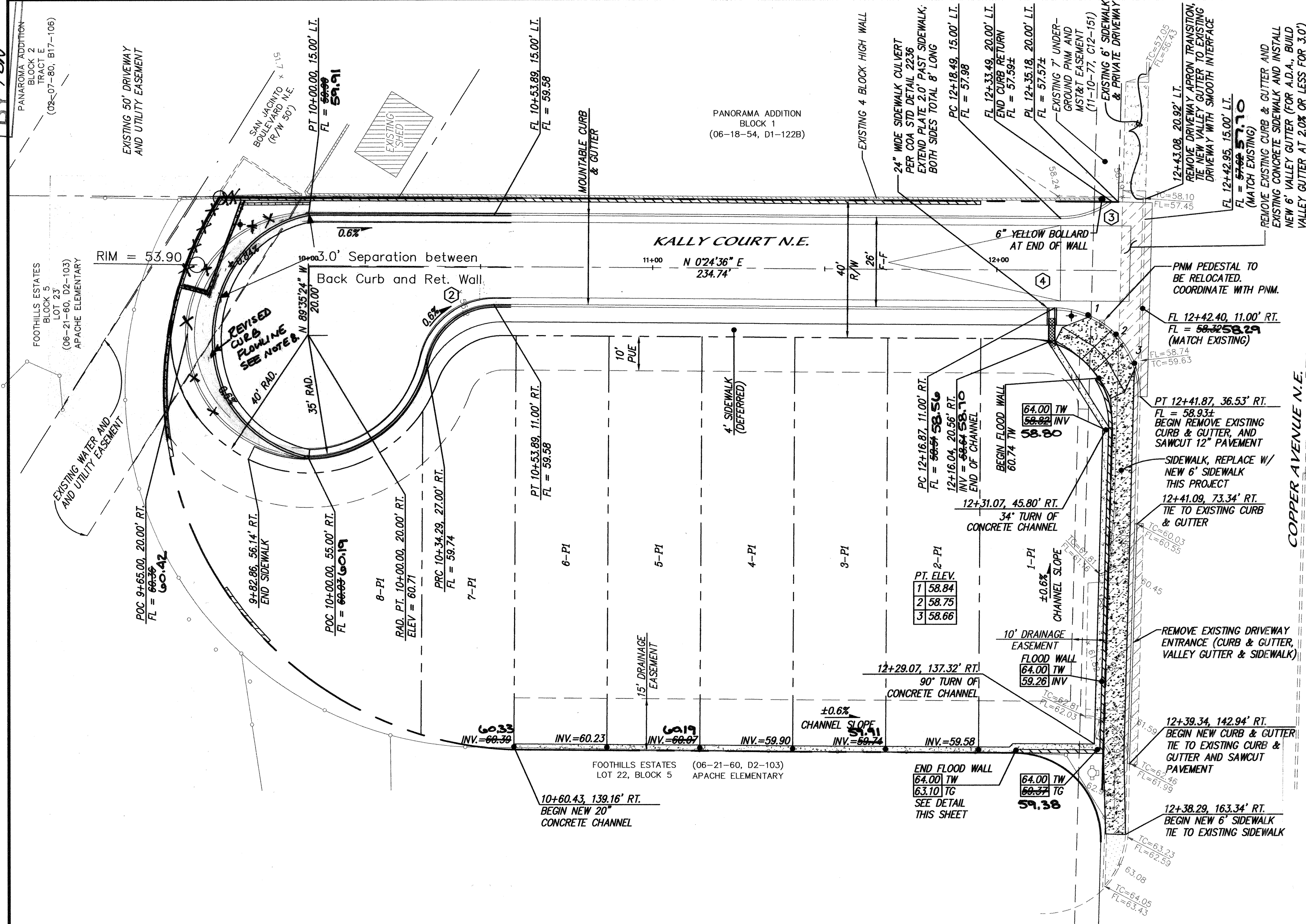
MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. 749881

ZONE MAP NO. K-22-Z

SHEET 4 OF 6

SCANNED
BY PLN



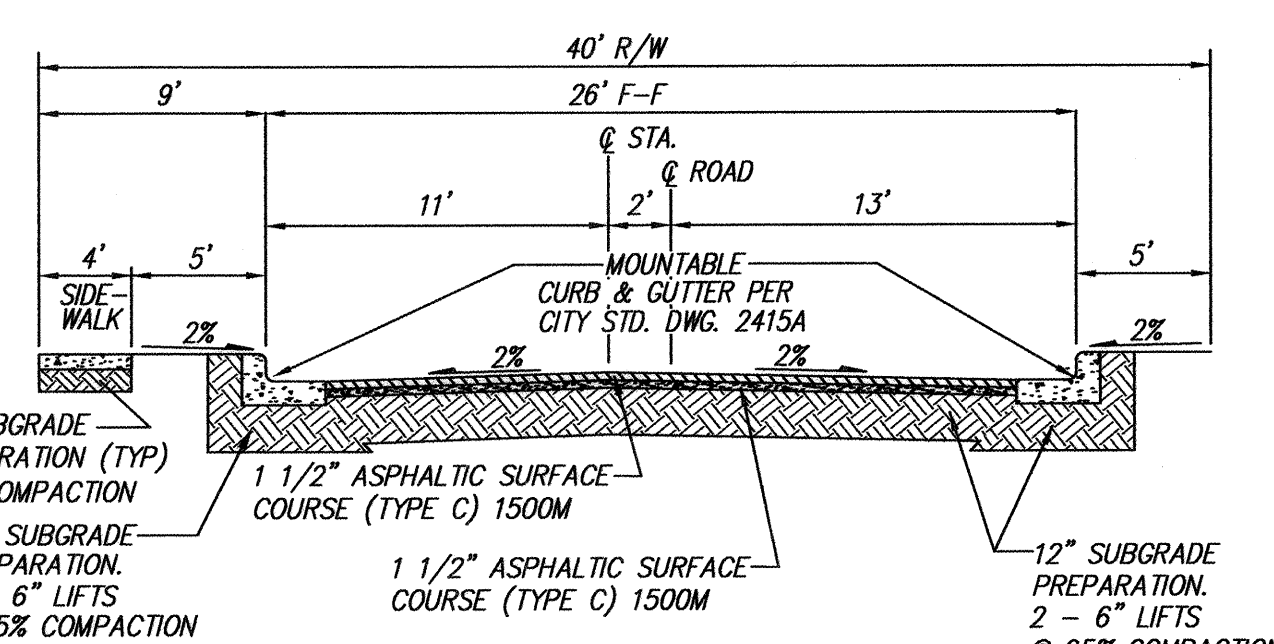
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

Diane Hoelzer 1-6-06
Diane Hoelzer NMPE 11967

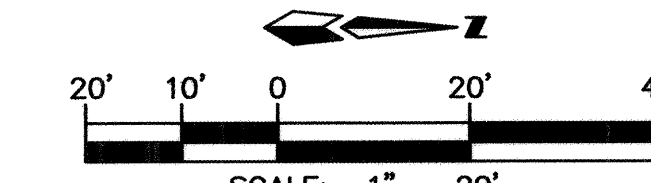
CONCRETE CHANNEL / FLOOD WALL SECTION

N.T.S.
Q = 0.93 cfs
D = 0.22'
V = 2.44 fps



TYPICAL 40' STREET SECTION

(PER C.O.A. STD. #2405B)



SCALE: 1" = 20'

KALLY COURT N.E.

STA. 10+00.00 TO STA. 12+43.38

SCALE: HORIZ. 1" = 20'

VERT. 1" = 5'

NOTES

- 6" VALLEY GUTTERS PER C.O.A. STANDARD DRAWING 2420 AT ALL INTERSECTIONS.
- ALL 4" INTERIOR SIDEWALKS ARE DEFERRED.
- HANDICAP RAMPS TO BE PER COA DETAIL 2441 CASE II UNLESS OTHERWISE NOTED.
- TRANSITION SECTION FROM FULL CROWN TO NO CROWN TO BE A MINIMUM OF 50', PER CITY OF ALBUQUERQUE STANDARD DRAWING 2401 & 25' FOR HALF CROWN.
- ALL SIDEWALKS PER COA STANDARD DRAWING 2430.
- SOIL NOT HAVING A MINIMUM R-VALUE OF 50 WHERE INDICATED ON SECTIONS OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH A SUITABLE MATERIAL OR PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCORDING TO THE EXISTING R-VALUE PER COA STANDARD SPECIFICATIONS.
- ALL STATIONING IS CENTERLINE STATIONING.
- RETAINING WALL WAS MOVED NORTH TO AVOID EXIST SANITARY SEWER MANHOLE. PAVEMENT WAS SHIFTED NORTH AS A RESULT OF WALL RELOCATION.

LEGEND

- EXISTING CONCRETE CURB
- EXISTING CONCRETE/SIDEWALK
- EXISTING TELEPHONE PEDESTAL
- EXISTING DROP INLET
- EXISTING BLOCK WALL
- EXISTING CEDAR FENCE
- EXISTING STORM PIPE
- EXISTING STAND-UP STORM PIPE
- PROPOSED STORM DRAIN
- PROPOSED STORM INLET
- PROPOSED STANDARD CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED RETAINING WALL
- PROPOSED 4' SIDEWALK (DEFERRED)
- PROPOSED STREET LIGHT
- PROPOSED WHEEL CHAIR RAMP
- 50' CROWN TRANSITION (SEE NOTE 4)
- EXISTING FIRE HYDRANT
- REMOVE EXISTING CURB & GUTTER, SIDEWALK OR PAVEMENT
- 6" BOLLARD PAINTED YELLOW

CURVE DATA - DESCRIBES FACE OF NEW CURB

① Δ = 258°27'47"	② Δ = 78°27'47"	③ Δ = 36°52'12"
R = 35.00'	R = 20.00'	R = 25.00'
T = 42.87'	T = 16.33'	T = 8.33'
L = 157.89'	L = 27.39'	L = 16.09'
④ Δ = 91°12'22"		
R = 25.00'		
T = 25.63'		
L = 39.80'		

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **COPPER PARK SUBDIVISION
KALLY COURT N.E.
PAVING IMPROVEMENTS**

DESIGN REVIEW COMMITTEE
APPROVED
JAN 17 2005
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVED
APR 19 2005
CITY ENGINEER

CITY PROJECT NO.

749881

ZONE MAP NO.

K-22-Z

SHEET

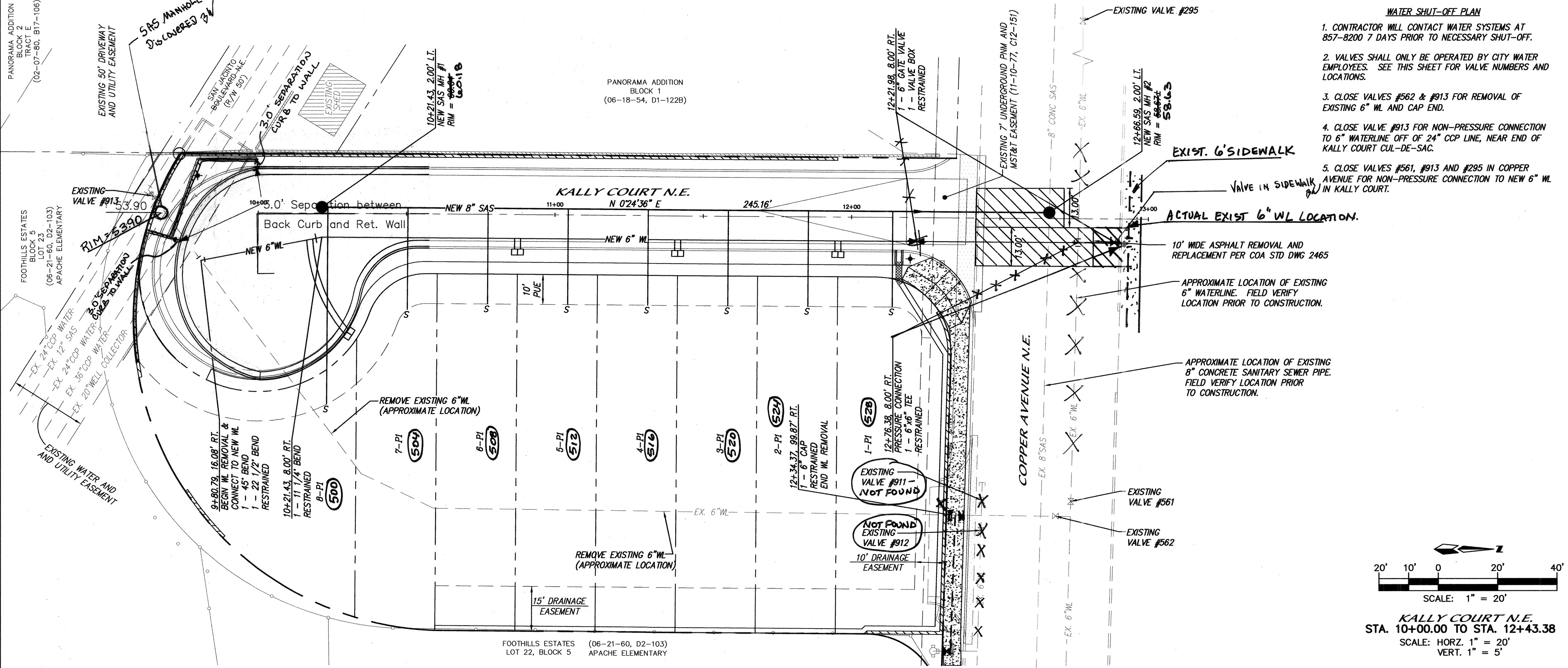
5 OF 6

A4041CP/KALLY-PP1 12-23-04 NHE DER TAS

SCANNED BY PLN

PANORAMA ADDITION
BLOCK 2
TRACT E
(02-07-60, B17-106)

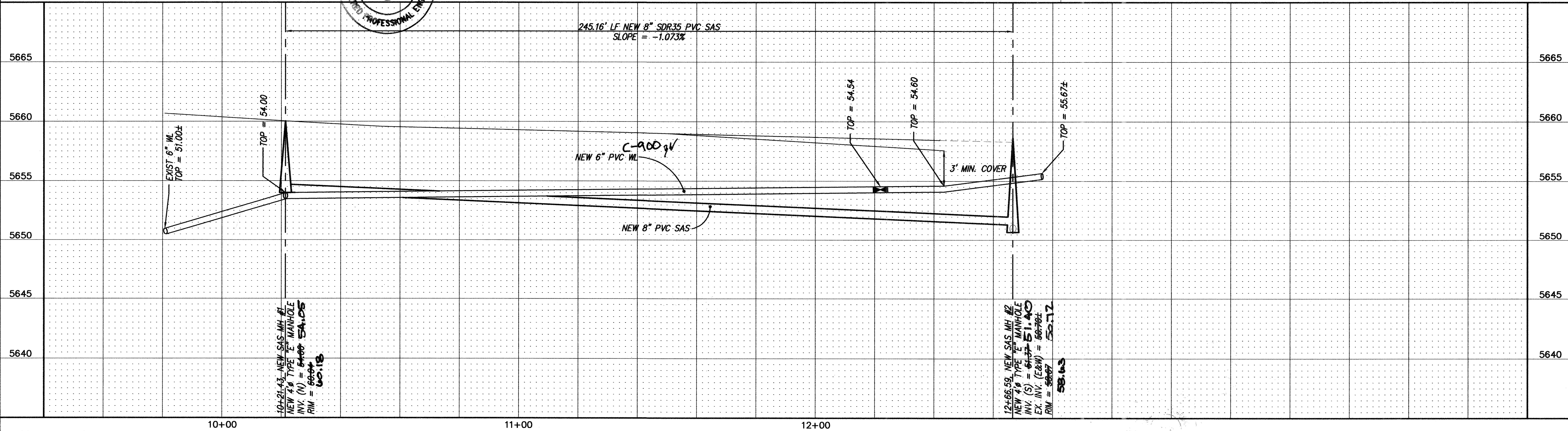
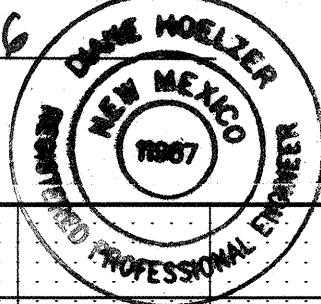
FOOTHILLS ESTATES
BLOCK 5
LOT 23
(06-21-60, D2-103)
APACHE ELEMENTARY



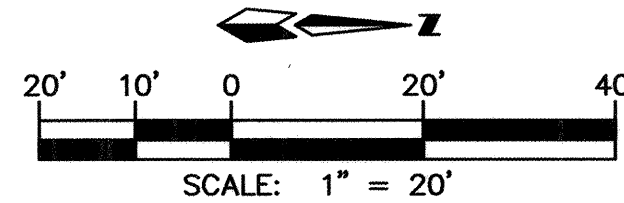
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Diane Hoelzer, NMPE 11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

Diane Hoelzer 1-6-06
Diane Hoelzer NMPE 11967



- WATER SHUT-OFF PLAN**
- CONTRACTOR WILL CONTACT WATER SYSTEMS AT 857-8200 7 DAYS PRIOR TO NECESSARY SHUT-OFF.
 - VALVES SHALL ONLY BE OPERATED BY CITY WATER EMPLOYEES. SEE THIS SHEET FOR VALVE NUMBERS AND LOCATIONS.
 - CLOSE VALVES #562 & #913 FOR REMOVAL OF EXISTING 6" WL AND CAP END.
 - CLOSE VALVE #913 FOR NON-PRESSURE CONNECTION TO 6" WATERLINE OFF OF 24" COP LINE, NEAR END OF KALLY COURT CUL-DE-SAC.
 - CLOSE VALVES #561, #913 AND #295 IN COPPER AVENUE FOR NON-PRESSURE CONNECTION TO NEW 6" WL IN KALLY COURT.



NOTES

- ALL STATIONING IS CENTERLINE STATIONING.
- ALL WATERLINE PIPE IS C-900 PVC AND ALL SANITARY SEWER PIPE IS SDR-35 PVC UNLESS OTHERWISE NOTED.
- 3' MIN. COVER ON ALL WATERLINES.
- WATER METERS PER COA STD DWG 2362.
- VALVE BOX PER COA STD DETAIL 2326 & 2328.

SANITARY SEWER SERVICES

LOT	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
1-P1	12+13.86	54.14	32.00'
2-P1	11+85.43	54.46	32.00'
3-P1	11+58.43	54.73	32.00'
4-P1	11+31.43	55.25	32.00'
5-P1	11+04.43	55.25	32.00'
6-P1	10+77.43	55.51	32.00'
7-P1	10+50.43	55.78	34.10'
8-P1	10+23.43	56.69	66.17'

LEGEND

- EXISTING CURB & CUTTER
- EXISTING CONCRETE/SIDEWALK
- PROPOSED/EXISTING EASEMENT LINE
- EX 8"SAS
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER MAN HOLE
- EX 8"WL
- EXISTING WATER LINE
- EXISTING WATER GATE VALVE
- EXISTING FIRE HYDRANT
- EXISTING POWER POLE W/GUY WIRE
- EXISTING STREET LITE
- NEW SIDEWALK CULVERT
- EXISTING TELEPHONE PEDESTAL
- 8"SAS
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY SEWER SERVICE LINE
- PROPOSED SANITARY SEWER MAN HOLE
- 6"WL
- PROPOSED WATER LINE
- PROPOSED DOUBLE WATER METER
- PROPOSED WATER GATE VALVE
- PROPOSED STREET LIGHT
- PROPOSED STREET ADDRESS
- PROPOSED WHEEL CHAIR RAMP
- REMOVE & REPLACE PAVEMENT FOR UTILITY INSTALLATION

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	7'	3'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)

PIPE SIZE	RUN	BRANCH
6"x6"x6"	10'	2'

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MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.

ZONE MAP NO.

SHEET OF