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16-175031-183-2010

SCANNED BY  
PLANNING

# CONSTRUCTION PLANS FOR DESERT VISTA SUBDIVISION SIGNAL AVENUE PAVING, SANITARY SEWER AND STORM DRAIN IMPROVEMENTS PUBLIC INFRASTRUCTURE ALBUQUERQUE, NEW MEXICO

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### NOTES

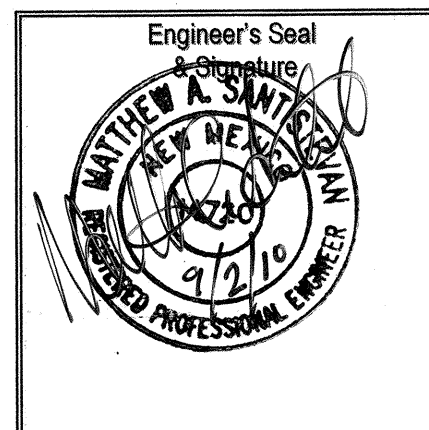
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
4. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
5. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY).
6. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

### CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR CONSTRUCTION OBSERVER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
4. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
5. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
6. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
7. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
8. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE AT HIS EXPENSE ANY AND ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
10. ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR PER PLAN.
11. THE CONTRACTOR SHALL FOLLOW THE COA STANDARD CONSTRUCTION, TRAFFIC CONTROL AND SIGNING PLAN PROVIDED IN THE COA STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE CONSTRUCTION COORDINATION DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY AS PER STANDARD SPECIFICATIONS.
14. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
15. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE COA STANDARD SPECIFICATIONS.
16. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.
17. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

### CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

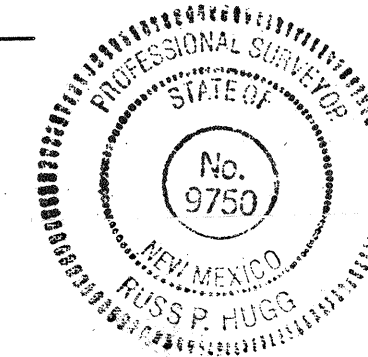
I, Matthew A. Santistevan of the firm of Bohannon Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (Desert Vista Subdivision Signal Avenue Paving, Sanitary Sewer and Storm Drain Improvements Public Infrastructure) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the contractors, Sundance Mechanical & Utility Corp. and their surveyor, Russ Hugg, NMPS No. 9750.



### SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief;

Russ P. Hugg  
NMPS No. 9750  
9.1.2010

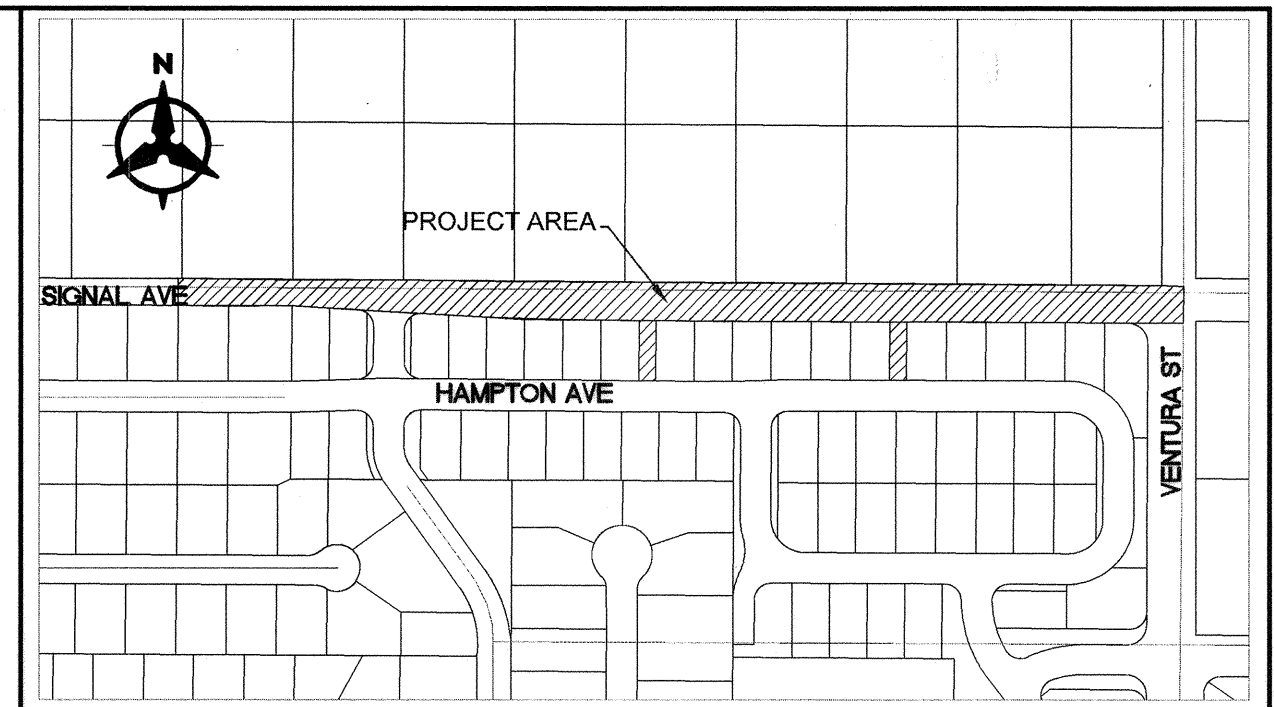


### RECORD DRAWING

APPROVED AS RECORD DRAWINGS  
DESIGN REVIEW SECTION  
CITY ENGINEER  
Anthony Lopez  
DATE: 03/21/10

**Bohannon ▲ Huston**

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335  
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



VICINITY MAP

ZONE ATLAS C-20

### NOTICE TO CONTRACTORS

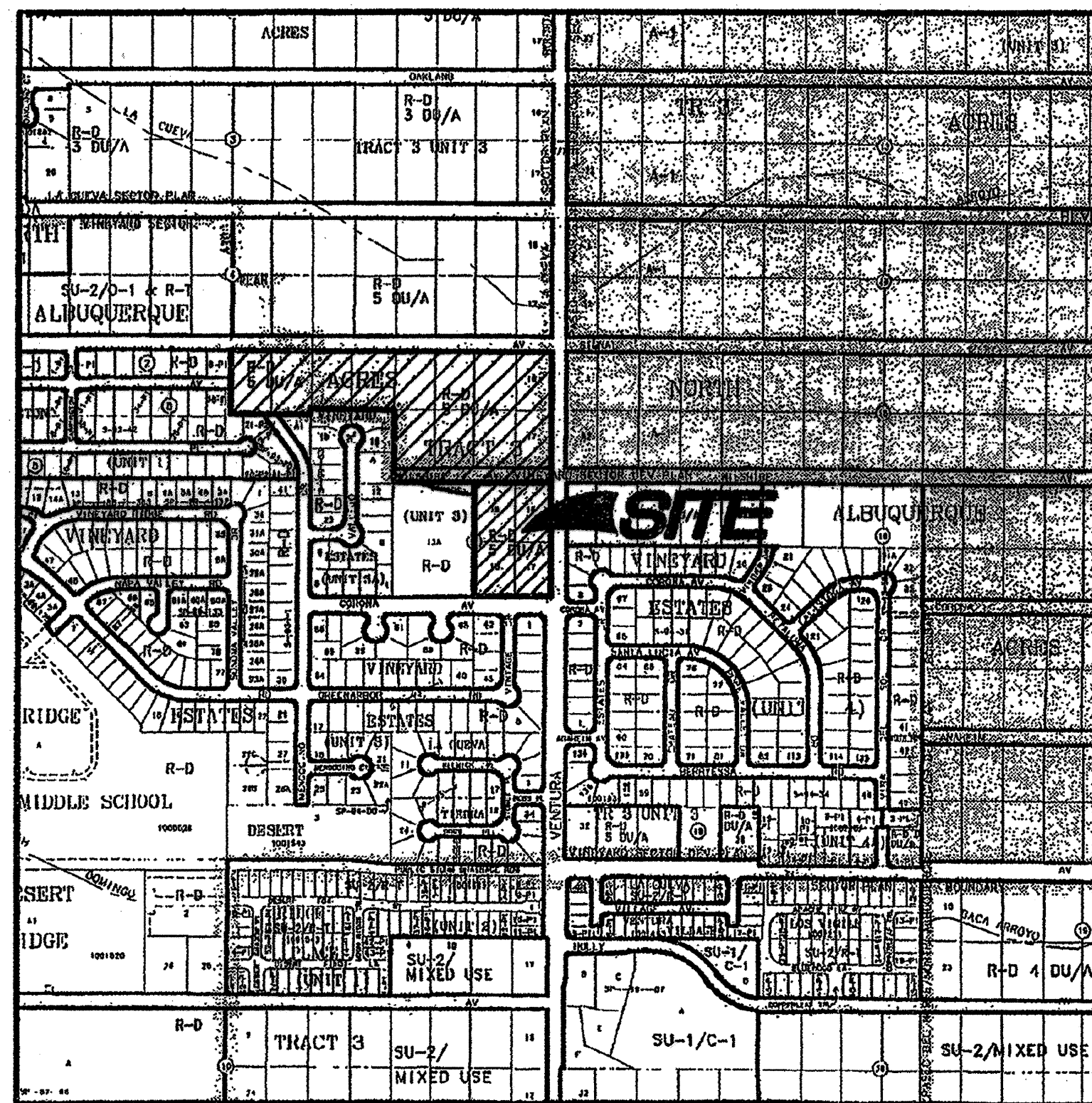
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 INCLUDING AMENDMENT NO. ONE.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION, CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
5. ALL WORK EFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
8. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
10. CONTRACTOR SHALL COORDINATE WITH THE ABCWUA (505-768-2500) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY ABCWUA PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE ABCWUA SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

### THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
Δ 4R		R. Lopez	6-18-10	Antonia Chum	6-18-10	R. Lopez	6-18-10
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman		[Signature]		3/24/10	
		Transportation		[Signature]		3/2/10	
		Water/Wastewater		[Signature]		3-12-10	
		Hydrology		[Signature]		3/12/10	
		Parks		[Signature]			
DRB CASE NUMBER		CITY PROJECT NO.		SHEET		OF	
1002473		750383		1		7	





VICINITY MAP  
NOT TO SCALE

#### GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "3-C20" (NAD 1927).
- Distances are ground.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: C-20-Z
- This property is currently zoned "R-D 5 DU/A" (Residential and Related Uses Zone, Developing Area, Five Dwelling Units per Acre) per the City of Albuquerque Zone Atlas, dated July 20, 2001.
- U.C.L.S. Log Number 2004471274.
- Field surveys were performed during the month of September, 2003.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed September 10, 1931, Volume D, Folio 121, records of Bernalillo County, New Mexico.
  - Plat entitled "SUBDIVISION PLAT OF VINEYARD ESTATES, UNIT IIIA, ALBUQUERQUE, NEW MEXICO, MARCH, 1999", filed May 13, 1999, Volume 99C, Folio 115, records of Bernalillo County, New Mexico.
  - Plat entitled "SUBDIVISION PLAT OF VINEYARD ESTATES, UNIT III, ALBUQUERQUE, NEW MEXICO, DECEMBER, 1992", filed May 20, 1993, Volume 93C, Folio 140, records of Bernalillo County, New Mexico.
  - Plat entitled "PLAT OF LOT 13-A, BLOCK 6, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO, JANUARY, 1993", filed February 10, 1993, in Volume 93C, Folio 34, records of Bernalillo County, New Mexico.

11. All open space requirements are met on the lot with the dwelling per the provisions of Section 14-16-3-B(A)(1).

#### TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

See Attached List  
DR Horton Inc  
Bernalillo County Treasurer  
Date 09/26/05  
Danny Vigil Sr

#### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

#### DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

#### DISCLOSURE STATEMENT

The purpose of this plat is to:

- Create the 67 residential lots and 16 Tracts as shown hereon.
- Dedicate the new public street right of ways as shown hereon to the City of Albuquerque in fee simple with warranty covenants.
- Show the portions of street right of way for Signal and Wilshire Avenues, vacated by 04DRB-01258.
- Grant the public utility and drainage easements as shown hereon.
- Tracts A thru P as shown hereon are hereby conveyed by this plat, to the Desert Vista Homeowners Association (to be formed) in fee simple for Common Areas. Maintenance of said tracts shall be the responsibility of said Homeowners Association.
- Tracts M and N as shown hereon are hereby conveyed by this plat, to the Desert Vista Homeowners Association (to be formed) in fee simple for Public Pedestrian Access to Signal Avenue N.E. Maintenance of said tracts shall be the responsibility of said Homeowners Association.
- Tract O as shown hereon is hereby conveyed by this plat, to the Desert Vista Homeowners Association (to be formed) in fee simple for Public Roadway Easement to Signal Avenue N.E. Maintenance of said tract shall be the responsibility of said Homeowners Association.
- Tract P as shown hereon is hereby conveyed by this plat, to the Desert Vista Homeowners Association (to be formed) in fee simple for Public Drainage and Pedestrian Access to Corona Avenue N.E. Maintenance of said tract shall be the responsibility of said Homeowners Association.

## DESERT VISTA SUBDIVISION

(BEING A REPLAT OF LOTS 9 THRU 20, BLOCK 5; LOTS 15 THRU 18, BLOCK 6 TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES AND VACATED PORTIONS OF WILSHIRE AVENUE AND SIGNAL AVENUE N.E.)

WITHIN  
THE ELENA GALLEGOS GRANT  
IN  
PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2004

PROJECT NUMBER: 1002478

Application Number: 05DRB-00092

#### PLAT APPROVAL

Utility Approvals:

PNM Electric Services	Lead R. Mark	1-10-05
		Date
PNM Gas Services	Lead R. Mark	1-10-05
		Date
QWest Corporation	Lead R. Muller	1-5-05
		Date
Comcast	Rita E. Smith	1/5/05
		Date

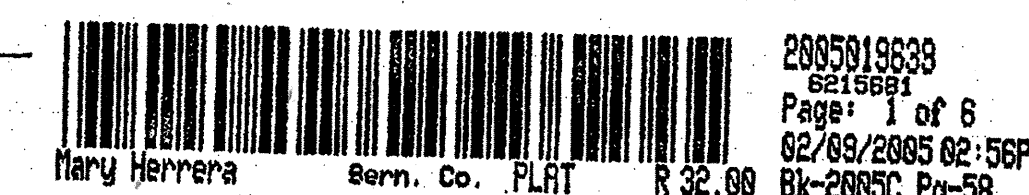
City Approvals:

City Surveyor	[Signature]	12-13-04
		Date
Real Property Division	[Signature]	02/02/05
		Date
Environmental Health Department	N.A. Ram	02/09/05
		Date
Traffic Engineering, Transportation Division	[Signature]	1-26-05
		Date
Utilities Development	[Signature]	1-26-05
		Date
Parks and Recreation Department	Christina Sandoval	1/26/05
		Date
AMAFCA	Bradley L. Bingham	1/26/05
		Date
City Engineer	Bradley L. Bingham	1/26/05
		Date
URB Chairperson, Planning Department	Russ P. Hugg	02/09/05
		Date

#### SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
November 16, 2004



SHEET 1 OF 6

**SURV TEK, INC.**

Consulting Surveyors  
5894 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3386  
Fax: 505-897-8977



041138\_FINALPLAT-SHTS 1&2. DWG

sheet 2A  
750383



# LEGAL DESCRIPTION

That certain parcel of land situate within the Elena Gallegos Grant in projected Section 17, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Lots numbered Nine(9) thru Twenty (20) in Block numbered Five (5); All of Lots numbered Fifteen (15) thru Eighteen (18) in Block numbered Six (6), Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES, a subdivision of a tract of land in School Districts Three (3) and Four (4), Bernalillo County, New Mexico as the same are shown and designated on the map of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 132; portions of Signal Avenue N.E., Ventura Street N.E. and Corona Avenue N.E. and portions of Signal Avenue N.E. and Wilshire Avenue N.E. right of way vacated by 04DRB-01258, more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Coordinate System, Central Zone (NAD 27) grid bearings and ground distances as follows:

BEGINNING at the Southeast corner of the parcel herein described a point of intersection of the centerline of Corona Avenue N.E. with the centerline of Ventura Street N.E., whence the Albuquerque Central Survey Monument "2-B20" bears N 39° 27' 30" E, 4115.77 feet distant; Thence Northwesterly along said centerline of Corona Avenue N.E. for the following two (2) courses:

N 89° 39' 53" W, 188.59 feet to a point (a 3-1/2" aluminum monument stamped "L.S. 11184" found in place); Thence,

N 89° 39' 53" W, 139.88 feet to a point; Thence,

N 00° 06' 33" E, 25.00 feet to the Southwest corner of said Lot 18, Block 6, Tract 3, Unit 3, North Albuquerque Acres and the Southeast corner of Lot 13-A-1, Block 6, Tract 3, Unit 3, North Albuquerque Acres as the same is shown and designated on the plat entitled "PLAT OF LOT 13-A, BLOCK 6, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NEW MEXICO, JANUARY, 1993", filed February 10, 1993, in Volume 93C, Folio 34, records of Bernalillo County, New Mexico (a 5/8" rebar and cap stamped "L.S. 11184" found in place); Thence,

N 00° 06' 33" E, 233.82 feet to the Northwest corner of said Lot 18, Block 6, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES (a 1/2" rebar found in place); Thence,

N 00° 23' 28" E, 264.06 feet to the Northeast corner of said Lot 13-A-1 (a 5/8" rebar and cap stamped "L.S. 11184" found in place); Thence,

N 89° 39' 41" W, 330.37 feet to the Northwest corner of said Lot 13-A-1 (a 5/8" rebar and cap stamped "L.S. 11184" found in place), said point also being a point on the Easterly line of Vineyard Estates Unit IIIA as the same is shown and designated on the map of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 1999 in Volume 99C, Folio 115; Thence Northeasterly and Northwesterly along the line common to said Vineyard Estates Unit IIIA and Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES for the following four (4) courses:

N 00° 20' 12" E, 30.06 feet to the Southwest corner of said Lot 20, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES; Thence,

N 00° 17' 59" E, 234.94 feet to the corner common to said Lots 12, 13 and 20, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES and the Northeast corner of Lot 16 of said Vineyard Estates Unit IIIA (a 5/8" rebar and cap stamped "L.S. 11184" found in place); Thence,

N 89° 38' 26" W, 164.99 feet to the Southwest corner of said Lot 12, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES and the Northwest corner of said Lot 16, Vineyard Estates Unit IIIA (a 5/8" rebar and cap stamped "L.S. 11184" found in place); Thence,

N 89° 55' 13" W, 165.31 feet to the Southwest corner of said Lot 11, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES and the Northwest corner of Lot 15, Vineyard Estates Unit IIIA (a 5/8" rebar and cap stamped "L.S. 11184" found in place); Thence,

N 89° 50' 07" W, 165.21 feet to the Southwest corner of said Lot 10, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES; Thence,

N 89° 39' 58" W, 164.92 feet to the Southwest corner of said Lot 9, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES (a 5/8" rebar and cap stamped "L.S. 9750" found in place) said point also being the Southeast corner of Lot 36-P1, Carrington Subdivision Unit One as the same is shown and designated on the plat of said subdivision filed in the office of the County Clerk of Bernalillo County, New Mexico on August 6, 1993 in Volume 93C, Folio 225; Thence,

## LEGAL DESCRIPTION - Continued

N 00° 24' 53" E, 232.77 feet along a the Easterly line of said Carrington Subdivision Unit One to the Northwest corner of said Lot 9, Block 5, Tract 3, Unit 3, NORTH ALBUQUERQUE ACRES (a 5/8" rebar and cap stamped "L.S. 9750" found in place); Thence,

N 00° 24' 52" E, 24.59 feet to the Northeast corner of Lot 8-P1, Carrington Subdivision Unit One and a point on the Southerly right of way line of Signal Avenue N.E.; Thence,

N 00° 24' 53" E, 5.41 feet to the Northwest corner of the parcel herein described; Thence,

S 89° 45' 41" E, 659.87 feet to a point; Thence,

S 89° 45' 41" E, 659.62 feet to the Northeast corner of the parcel herein described; Thence,

S 00° 14' 23" W, 498.85 feet to a point; Thence,

S 00° 25' 33" W, 60.04 feet to a point; Thence,

S 00° 22' 59" W, 492.87 feet to the Southeast corner and point of beginning of the parcel herein described.

Said parcel contains 15.9392 acres, more or less.

## FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "DESERT VISTA SUBDIVISION (BEING A REPLAT OF LOTS 9 THRU 20, BLOCK 5; LOTS 15 THRU 18, BLOCK 6, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES AND VACATED PORTIONS OF WILSHIRE AVENUE AND SIGNAL AVENUE N.E.) WITHIN THE ELENA GALLEGOS GRANT IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate any interest they may have in those certain portions of Signal Avenue, Ventura Street and Corona Avenue as shown hereon to the City of Albuquerque in fee simple without warranty covenants. Said owner(s) and proprietor(s) do hereby dedicate all new public street right of ways within the Desert Vista Subdivision and the Additional right of way for Ventura Street as shown hereon to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant for the use of the specific public utility companies as acknowledged hereon, the public utility easements as shown and granted hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER

DR Horton, Inc.

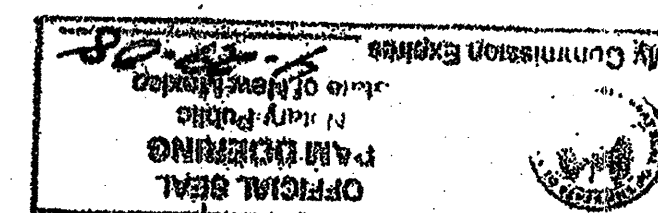
By J. Mark Ferguson  
J. Mark Ferguson, Division President

## ACKNOWLEDGEMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 8th day of December, 2004, by, J. Mark Ferguson.

Notary Public



My commission expires 4-29-08

# DESERT VISTA SUBDIVISION

(BEING A REPLAT OF LOTS 9 THRU 20, BLOCK 5; LOTS 15 THRU 18, BLOCK 6

TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES AND  
VACATED PORTIONS OF WILSHIRE AVENUE AND SIGNAL AVENUE N.E.)

WITHIN

THE ELENA GALLEGOS GRANT

IN

PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST

NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

NOVEMBER, 2004

RECORD DRAWING



SHEET 2 OF 6

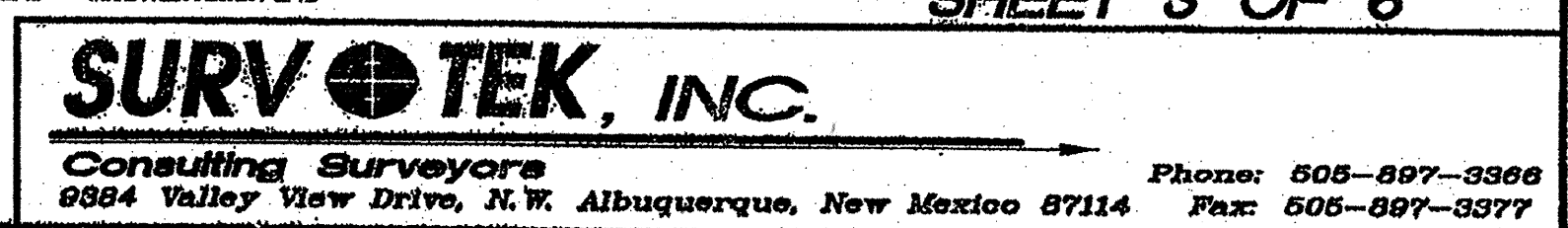
**SURV TEK, INC.**

Consulting Surveyors  
8884 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-9386  
Fax: 505-897-9377

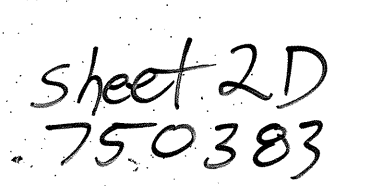
041138\_FINALPLAT-SHTS 1&2. DWG

Sheet 2B  
750383

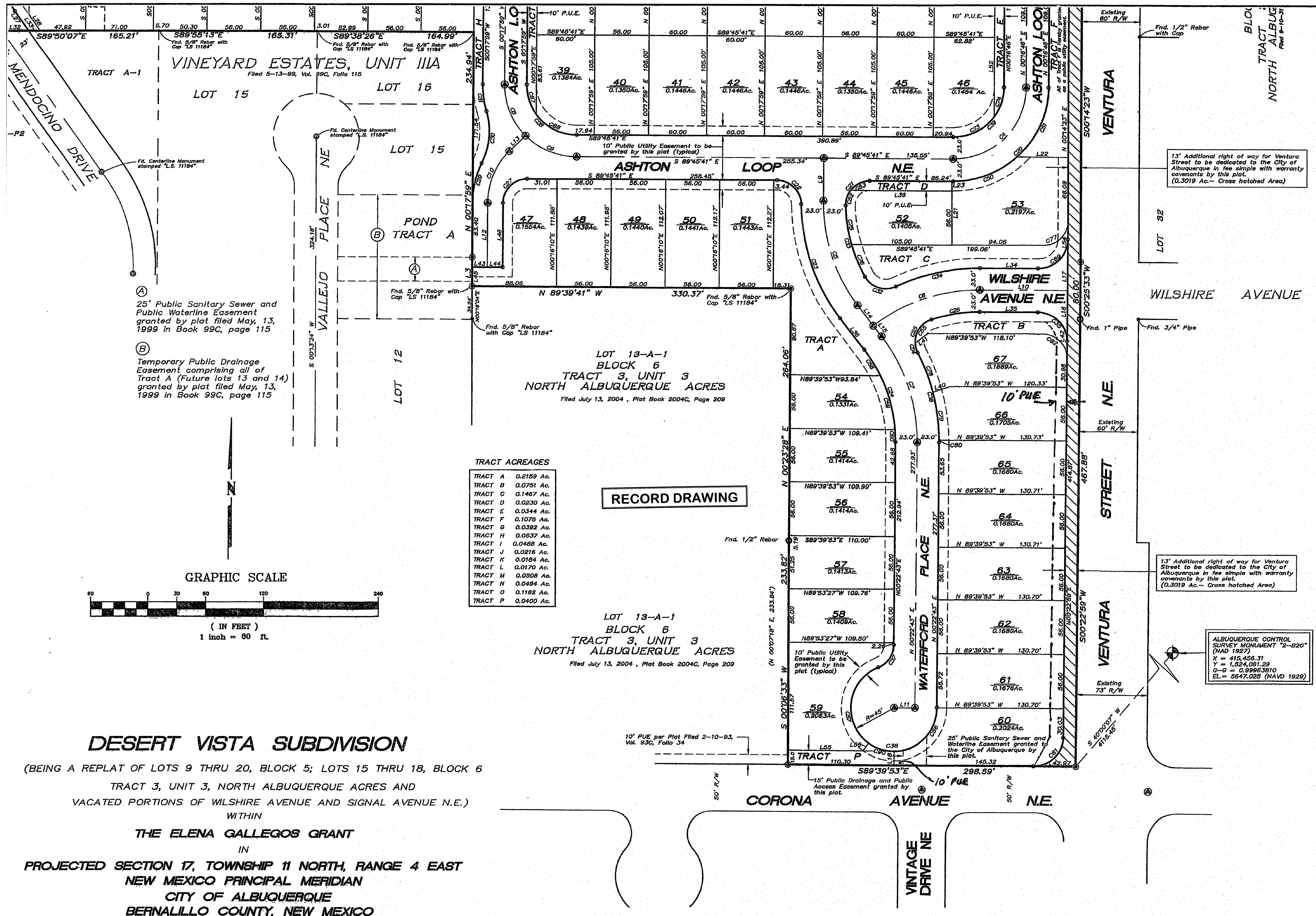












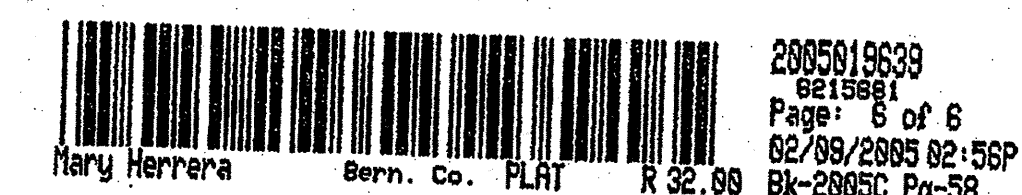


CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
C1	17.57'	30.00'	9.05'	17.32'	S72°58'58"E
C2	46.38'	75.00'	23.86'	45.65'	S17°43'00"E
C3	117.86'	75.00'	75.05'	106.10'	N44°44'30"W
C4	117.66'	75.00'	74.85'	105.96'	N45°13'23"E
C5	116.24'	180.00'	60.23'	114.23'	S18°11'31"E
C6	119.27'	180.00'	61.92'	117.10'	S71°20'23"W
C7	119.45'	180.00'	62.02'	117.27'	N18°37'55"W
C8	58.94'	75.00'	31.09'	57.44'	S22°12'56"E
C9	58.94'	75.00'	31.09'	57.44'	S67°14'46"E
C10	58.63'	75.00'	31.49'	58.07'	S22°57'28"W
C11	40.05'	25.00'	25.79'	35.90'	N45°53'33"W
C12	16.93'	25.00'	8.80'	16.61'	S72°23'09"E
C13	23.12'	25.00'	12.46'	22.30'	S26°29'36"E
C14	39.95'	25.02'	25.68'	35.84'	S45°46'03"W
C15	52.71'	98.00'	27.01'	52.08'	S15°02'12"E
C16	32.16'	52.00'	16.61'	31.65'	S17°43'00"E
C17	39.20'	25.00'	24.93'	35.30'	N44°37'05"W
C18	39.24'	25.00'	24.97'	35.34'	S45°18'09"W
C19	81.67'	52.00'	51.99'	73.53'	N44°45'58"W
C20	153.87'	98.00'	97.93'	138.54'	N45°15'33"E
C21	40.02'	25.00'	25.76'	35.88'	S44°22'37"W
C22	38.83'	25.00'	24.57'	35.05'	N45°15'37"W
C23	127.69'	202.97'	66.04'	125.60'	S18°46'50"E
C24	104.18'	157.00'	54.09'	102.28'	N18°37'55"W
C25	43.24'	25.00'	29.32'	38.05'	S22°22'33"W
C26	50.42'	157.00'	25.43'	50.20'	S81°07'20"W
C27	39.26'	25.00'	24.99'	35.35'	S45°15'15"W
C28	81.74'	52.00'	52.06'	73.58'	S44°43'51"E
C29	35.37'	91.10'	17.91'	35.15'	S15°36'00"W
C30	56.17'	75.00'	29.47'	54.86'	N05°16'09"E
C31	28.20'	98.00'	14.20'	28.10'	S07°56'34"E
C32	37.34'	25.00'	23.14'	33.96'	S72°22'33"E
C33	77.01'	157.00'	39.30'	76.24'	S15°32'17"E
C34	90.29'	203.00'	45.90'	89.54'	S77°34'50"W
C35	47.16'	30.00'	30.03'	42.45'	N44°38'52"W
C36	97.61'	203.00'	49.77'	96.67'	N13°23'45"W
C37	29.75'	25.00'	16.92'	28.03'	N34°28'30"E
C38	195.49'	45.00'	65.59'	74.21'	S55°52'54"E
C39	81.55'	52.00'	51.87'	73.45'	N45°12'26"E
C40	154.01'	98.00'	98.07'	138.64'	N44°44'27"W
C41	29.55'	30.00'	16.10'	28.37'	N27°58'58"W
C42	39.18'	25.00'	24.91'	35.29'	S44°54'05"W
C43	0.76'	25.01'	0.38'	0.76'	S89°59'46"E
C44	16.02'	25.00'	8.29'	15.74'	N71°11'00"W
C45	23.18'	25.00'	12.50'	22.36'	N26°15'56"W
C46	23.18'	25.00'	12.50'	22.36'	S26°15'53"W
C47	16.06'	25.00'	8.32'	15.79'	S71°50'03"W
C48	48.88'	52.00'	26.42'	47.10'	N62°49'50"W
C49	32.79'	52.00'	16.96'	32.25'	N17°50'08"W
C50	71.70'	98.00'	37.54'	70.11'	N69°16'46"E
C51	82.17'	98.00'	43.67'	79.78'	N24°17'59"E
C52	16.84'	25.00'	8.75'	16.52'	S17°48'43"W
C53	23.18'	25.00'	12.50'	22.36'	S63°40'25"W
C54	10.44'	25.00'	5.30'	10.37'	S15°12'04"E
C55	32.79'	25.00'	19.24'	30.49'	S34°20'42"W
C56	70.95'	45.00'	45.26'	63.83'	N44°49'57"E
C57	96.36'	45.00'	82.35'	78.98'	S07°13'37"W
C58	32.40'	157.00'	16.26'	32.34'	N31°43'48"W
C59	58.45'	157.00'	29.57'	58.11'	N15°09'11"W
C60	13.33'	157.00'	6.67'	13.33'	N02°03'17"W
C61	52.25'	107.95'	26.65'	51.74'	S13°31'56"E
C62	38.30'	25.00'	24.05'	34.66'	N44°18'17"E
C63	39.25'	25.00'	24.98'	35.34'	S44°33'39"E
C64	40.49'	25.00'	26.25'	36.21'	S46°48'50"W
C65	38.05'	25.00'	23.81'	34.48'	N43°11'10"W
C66	23.18'	25.00'	12.50'	22.36'	S26°58'47"W
C67	17.31'	25.00'	9.02'	16.96'	N73°22'45"E
C68	14.87'	25.00'	7.66'	14.65'	N69°45'05"W
C69	23.18'	25.00'	12.50'	22.36'	N26°09'01"W
C70	56.22'	98.00'	28.91'	55.45'	N73°19'40"W
C71	83.26'	98.00'	44.33'	80.78'	N32°33'18"W
C72	14.53'	98.00'	7.28'	14.53'	N03°58'04"W
C73	48.97'	52.00'	26.47'	47.18'	N63°09'31"E
C74	32.58'	52.00'	16.85'	32.03'	N18°13'51"E
C75	40.89'	157.00'	20.56'	40.77'	S08°36'45"E
C76	36.13'	157.00'	18.14'	36.05'	S22°59'55"E
C77	39.27'	25.00'	25.00'	35.35'	N45°14'22"E
C78	44.83'	203.00'	22.50'	44.73'	N20°50'39"W
C79	50.43'	203.00'	25.34'	50.30'	N07°24'08"W
C80	2.35'	203.00'	1.18'	2.35'	N00°02'47"E
C81	47.10'	30.00'	29.97'	42.41'	N45°21'33"E
C82	39.29'	25.00'	25.02'	35.37'	S44°38'27"E
C83	15.12'	25.00'	7.80'	14.89'	N70°52'12"E
C84	23.18'	25.00'	12.50'	22.36'	N26°58'47"E
C85	23.18'	25.00'	12.50'	22.36'	S26°09'01"E
C86	16.07'	25.00'	8.32'	15.79'	S71°07'33"E
C87	32.79'	52.00'	16.96'	32.25'	S17°45'53"E
C88	48.95'	52.00'	26.46'	47.16'	S62°47'43"E
C89	47.17'	30.00'	30.04'	42.46'	N45°16'51"E
C90	28.18'	45.00'	14.57'	27.72'	S72°03'32"E

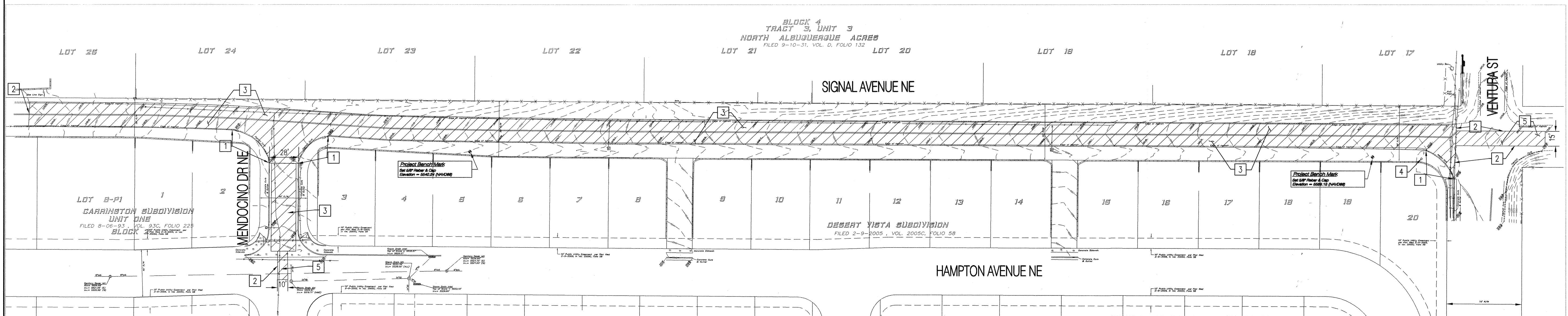
LINE TABLE		
LINE	LENGTH	BEARING
L1	24.59'	N00°24'53"E
L2	26.42'	S89°45'41"E
L3	30.06'	N00°20'12"E
L4	10.75'	S89°32'08"E
L5	78.18'	N00°00'00"E
L6	8.57'	S35°26'00"E
L7	29.18'	N88°21'57"E
L8	47.98'	N88°21'57"E
L9	43.81'	N00°18'29"E
L10	89.97'	S89°40'41"E
L11	22.00'	S89°37'18"E
L12	66.62'	N00°10'49"E
L13	23.53'	N45°44'07"E
L14	27.11'	S37°38'32"E
L15	14.18'	S37°38'32"E
L16	53.04'	N00°22'59"E
L17	53.04'	N00°22'59"E
L18	14.75'	S00°00'00"E
L19	36.01'	N88°12'17"E
L20	59.03'	S89°32'10"E
L21	66.00'	N00°00'00"W
L22	52.66'	S89°46'15"E
L23	1.21'	S89°45'46"E
L24	29.08'	N00°00'00"E
L25	49.04'	N00°00'00"W
L26	29.79'	N00°00'00"W
L27	25.03'	S35°26'00"E
L28	20.68'	S35°25'28"E
L29	88.52'	N00°17'59"E
L30	11.06'	S89°39'58"E
L31	28.35'	S89°39'58"E
L32	28.29'	S89°50'07"E
L33	12.30'	S89°50'07"E
L34	60.01'	S89°40'41"E
L35	59.91'	S89°40'41"E
L36	41.29'	S37°38'32"E
L37	70.03'	N88°10'30"E
L38	21.12'	N89°46'16"W
L39	106.29'	S89°45'41"E
L40	18.29'	N00°58'47"E
L41	17.01'	N52°23'55"E
L42	17.86'	N00°22'59"E
L43	16.01'	S89°39'29"E
L44	16.03'	S89°39'29"E
L45	20.06'	N00°20'12"E
L46	66.73'	N00°16'10"E
L47	98.26'	S00°17'59"W
L48	92.25'	N00°24'53"E
L49	86.20'	N00°24'53"E
L50	52.25'	N00°24'53"E
L51	46.20'	N00°24'53"E
L52	83.52'	N00°13'45"E
L53	86.67'	N00°13'45"E
L54	18.74'	N00°14'24"E
L55	78.03'	S89°39'53"E
L56	10.00'	N35°52'55"E

**DESERT VISTA SUBDIVISION**  
(BEING A REPLAT OF LOTS 9 THRU 20, BLOCK 5; LOTS 15 THRU 18, BLOCK 6  
TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES AND  
VACATED PORTIONS OF WILSHIRE AVENUE AND SIGNAL AVENUE N.E.)  
WITHIN  
**THE ELENA GALLEGOS GRANT**  
IN  
**PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
NOVEMBER, 2004

RECORD DRAWING

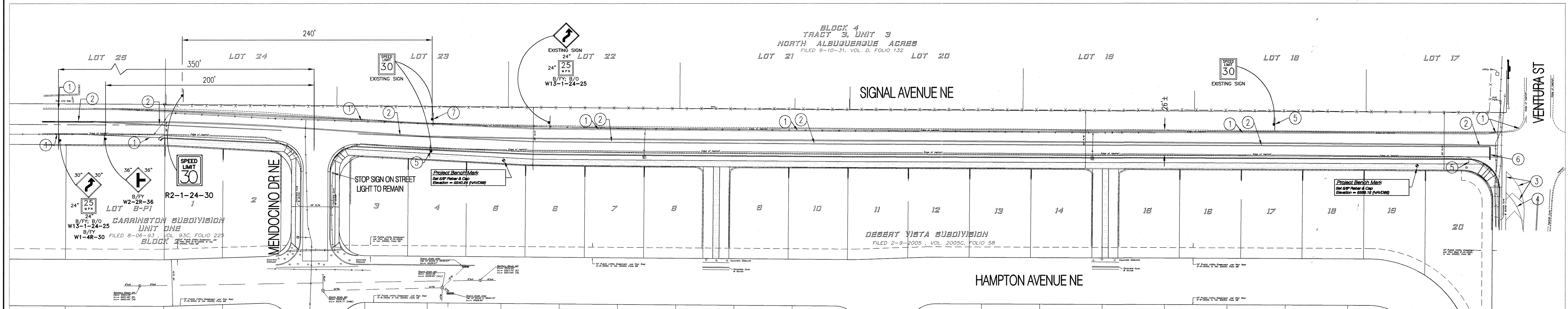






- DEMOLITION KEYED NOTES**
1. REMOVE AND DISPOSE OF EXISTING ASPHALT CURB .
  2. SAWCUT ASPHALT
  3. ASPHALT REMOVE AND DISPOSE
  4. EXISTING STREET LIGHT REMOVE AND RELOCATE BY PNM
  5. ASPHALT REMOVE AND REPLACE FOR SAS INSTALLATION PER COA STD DWG 2465

**DEMOLITION PLAN**

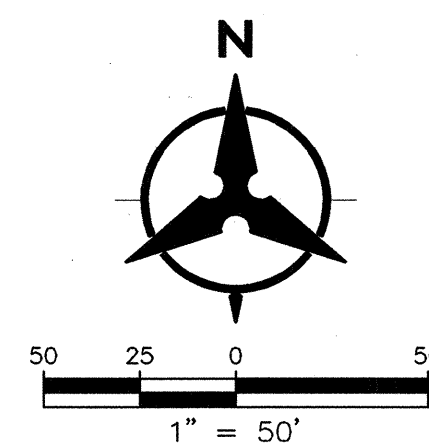


- SIGNING AND STRIPING KEYED NOTES**
1. SOLID 4" WHITE STRIPE
  2. SOLID 4" DOUBLE YELLOW STRIPE
  3. SOLID 6" WHITE STRIPE TIE TO EXISTING STRIPE
  4. ERADICATE EXISTING STRIPE - SEE NOTE
  5. EXISTING SIGN REMOVE AND REPLACE
  6. 12" SOLID WHITE STOP BAR
  7. EXISTING SIGN REMOVE AND RELOCATE

**NOTES**

1. ALL SIGNING & STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH MUTCD LATEST EDITION
2. CONTRACTOR SHALL REMOVE ALL CONFLICTING EXISTING PAVEMENT MARKINGS. STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING OF THE ROADWAY, TO A MAX. DEPTH OF 1/4" AND A WIDTH EQUAL TO TWICE THE WIDTH OF THE STRIPE OR MARKING TO BE REMOVED
3. CONTRACTOR SHALL REMOVE AND RELOCATE ALL CONFLICTING EXISTING SIGNS.

**RECORD DRAWING**



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY	REMARKS	DATE
Albuquerque Control Station Monument	7-19-10						
New Mexico State Plane Grid bearings	9-2-10						
Central Zone - NAD 83	9-2-10						
N = 1,522,068.520							
E = 1,550,417.138							
Elevation = 5,485.736 (NAVD 1988)							
Delta Alpha = 001024.78"							
Ground To Grid Factor = 0.999650745							

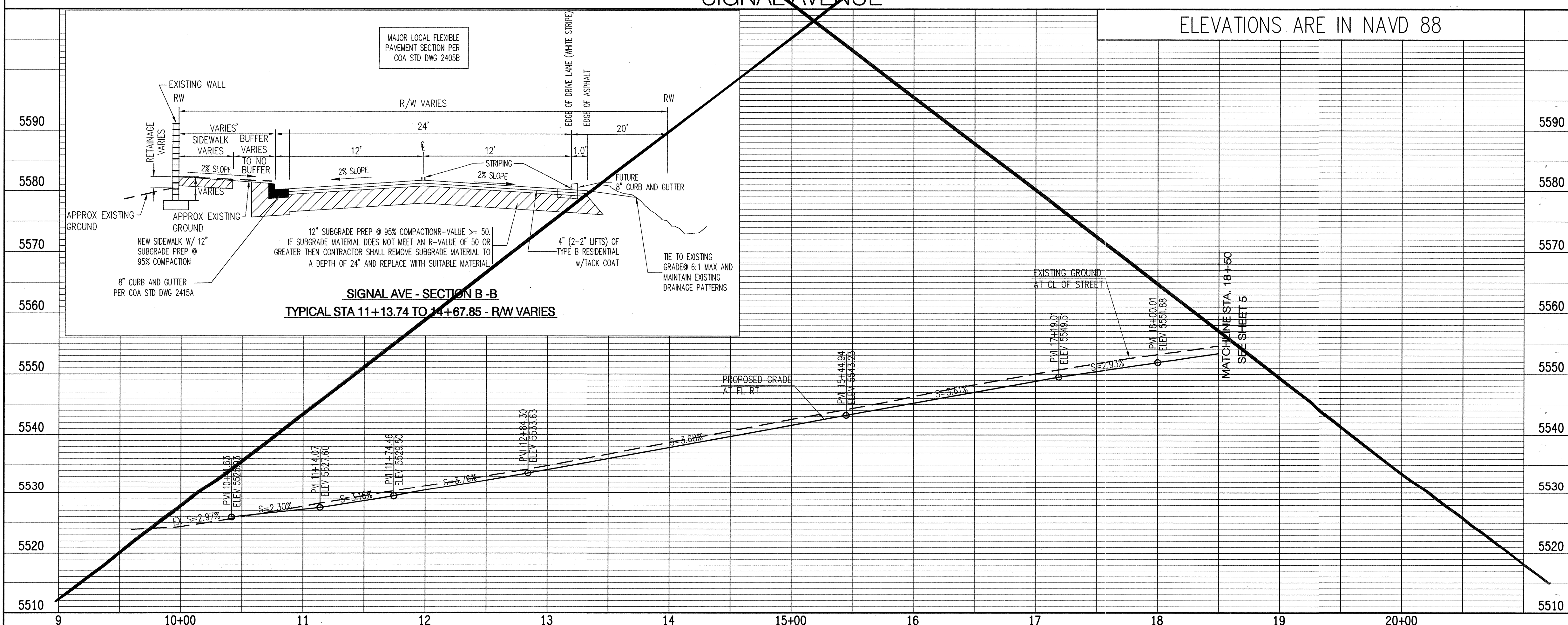
  

REVISIONS		DESIGN	
No.	Date	By	Date
1	03/2010	KJM	03/2010
2	03/2010	BIG/KJM	03/2010
3	03/2010	KJM	03/2010

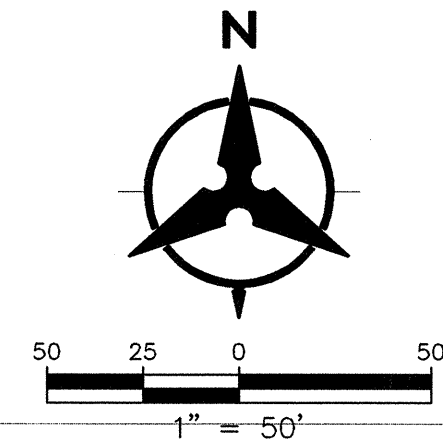
  

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
DESERT VISTA SUBDIVISION DEMOLITION PLAN / SIGNING AND STRIPING PLAN	
Design Review Committee	City Engineer Approval
APPROVED MAR 24 2010 DESIGN REVIEW COMMITTEE	APPROVED JUN 10 2010 CITY ENGINEER
City Project No.	Zone Map No.
750383	C-20
Sheet	Of
3	7





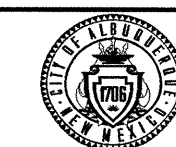
Pedestrian Connection Point Table			
•	NORTHING	EASTING	ELEVATION
1	1521977.35	1552303.89	5547.59
2	1521955.23	1552301.81	5546.30
3	1521933.10	1552301.64	5545.02
4	1521910.98	1552301.48	5543.74
5	1521888.85	1552301.28	EX 5542.45
6	1521888.81	1552307.28	EX 5542.68
7	1521918.93	1552307.46	5543.96
8	1521932.34	1552307.64	5545.20
9	1521955.18	1552307.81	5546.52
10	1521977.30	1552307.99	5547.80
11	1521973.32	1552292.45	EX 5546.84
12	1521955.30	1552292.29	EX 5545.78
13	1521933.35	1552292.19	EX 5544.75
14	1521911.06	1552291.97	EX 5543.80
15	1521888.93	1552291.81	EX 5542.10
16	1521888.66	1552317.13	EX 5543.05
17	1521910.86	1552316.52	EX 5544.93
18	1521932.98	1552316.58	EX 5546.06
19	1521955.11	1552316.89	EX 5546.92
20	1521973.23	1552317.29	EX 5547.54



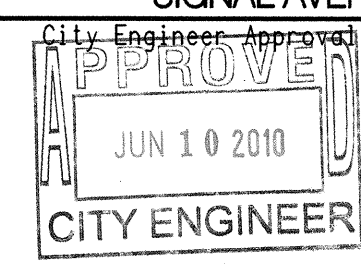
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
5. CONTRACTOR IS TO INSTALL A 4" x 4" x 5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
11. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE PER COA STD. DWG. 2415 (SAWOUT ONLY).
12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

- 1 BUILD MAJOR LOCAL PAVEMENT PER FLEXIBLE PAVEMENT SECTION, COA STD DWG #2405B.
- 2 RELOCATE EXISTING FIRE HYDRANT HORIZONTALLY AND/OR VERTICALLY AS NEEDED PER COA STD. DWG. 2340.
- 3 BUILD STD. CURB & GUTTER PER COA STD. DWG 2415A
- 4 BUILD 4' SIDEWALK PER COA STD. DWG. 2430.
- 5 INSTALL HANDICAP RAMP PER CASE II COA STD DWG. 2441 w/ADA APPROVED TACTILE WARNING DEVICE. SEE DETAIL SHEET 5
- 6 BUILD 6' SIDEWALK PER COA STD. DWG. 2430.
- 7 CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING LANDSCAPING AND WHERE POSSIBLE RELOCATE EXISTING PLANTS WITHIN LANDSCAPE BUFFER OR TRACTS K, L, M OR N. CONTRACTOR SHALL RESURFACE DISTURBED AREAS w/MATERIAL TO MATCH EXISTING.
- 8 EDGE OF NEW ASPHALT.
- 9 FLEXIBLE RESIDENTIAL PAVEMENT SECTION IN MENDOCINO PER COA STD DWG #2405A. 3" (2-1-1/2" LIFTS) TYPE C ASPHALT. NO CROWN UP TO LIP

**Bohannon ▲ Huston INC.**  
 urtyard | 7500 Jefferson St. NE Albuquerque, NM 87106  
 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGY



DESERT VISTA SUBDIVISION  
PAVING PLAN AND PROFILE  
SIGNAL AVENUE



<p> <a href="#">Last Design Update</a> </p>	<p> <a href="#">Last Design Update</a> </p>
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Mo. /Day/Yr.	Mo. /Day/Yr.

City Project No

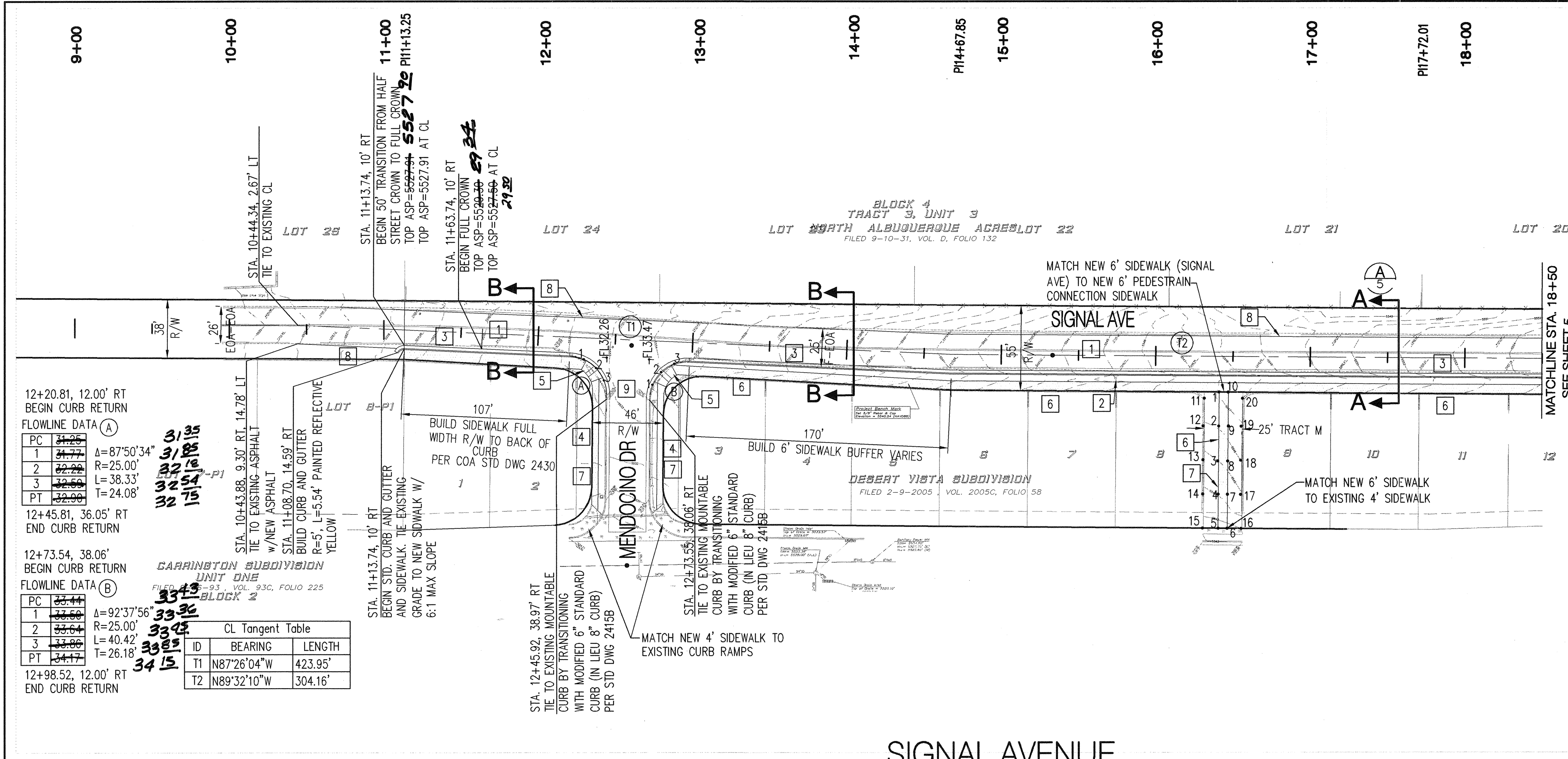
750383

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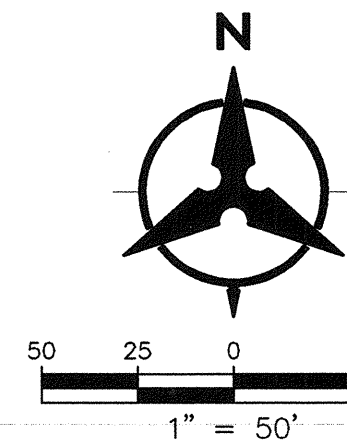
Sheet	Of
4	7

SCALE: 1" = 50' (HORIZ.)  
1" = 10' (VERT.)

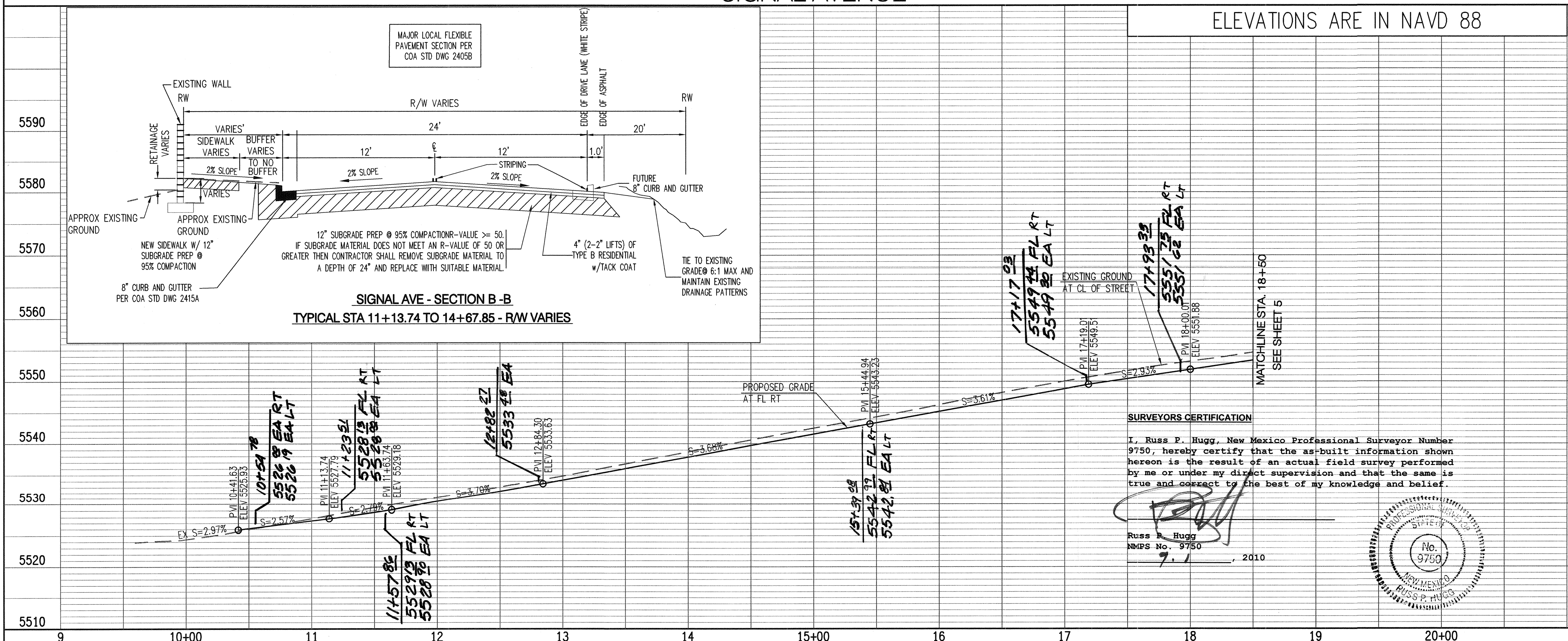




	NORTHING	EASTING	ELEVATION
1	1521977.35	1552303.89	5547.69
2	1521955.23	1552301.81	5546.30
3	1521933.10	1552301.64	5545.02
4	1521910.98	1552301.46	5543.74
5	1521888.85	1552301.28	EX 5542.45
6	1521888.81	1552307.28	EX 5542.68
7	1521910.93	1552307.46	5543.90
8	1521932.34	1552307.64	5545.26
9	1521955.18	1552307.81	EX 5546.52
10	1521977.30	1552307.99	5547.66
11	1521973.32	1552292.45	EX 5546.84
12	1521955.30	1552292.29	EX 5545.78
13	1521933.35	1552292.19	EX 5544.75
14	1521911.06	1552291.97	EX 5543.80
15	1521888.93	1552291.81	EX 5542.10
16	1521888.66	1552317.13	EX 5543.05
17	1521910.86	1552316.52	EX 5544.93
18	1521932.98	1552316.58	EX 5546.06
19	1521955.11	1552316.89	EX 5546.92
20	1521973.23	1552317.29	EX 5547.54



## SIGNAL AVENUE



- NOTES**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  2. ALL CURB RETURN RADII SHALL BE 25' UNLESS OTHERWISE SPECIFIED.
  3. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
  4. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
  5. CONTRACTOR IS TO INSTALL A 4"x 4"x 5' POST AND EMD AT THE END OF EACH SANITARY SEWER SERVICE.
  6. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
  7. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
  8. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
  9. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
  10. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
  11. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE PER COA STD. DWG. 2415 (SAWCUT ONLY).
  12. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB & GUTTER.

### KEYED NOTES

1. BUILD MAJOR LOCAL PAVEMENT PER FLEXIBLE PAVEMENT SECTION, COA STD DWG #2405B.
2. RELOCATE EXISTING FIRE HYDRANT HORIZONTALLY AND/OR VERTICALLY AS NEEDED PER COA STD. DWG. 2340.
3. BUILD STD. CURB & GUTTER PER COA STD. DWG 2415A.
4. BUILD 4' SIDEWALK PER COA STD. DWG. 2430.
5. INSTALL HANDICAP RAMP PER CASE II COA STD DWG 2441 w/ADA APPROVED TACTILE WARNING DEVICE. SEE DETAIL SHEET 5.
6. BUILD 6' SIDEWALK PER COA STD. DWG. 2430.
7. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING LANDSCAPING AND WHERE POSSIBLE RELOCATE EXISTING PLANTS WITHIN LANDSCAPE BUFFER OR TRACTS K, L, M OR N. CONTRACTOR SHALL RESURFACE DISTURBED AREAS w/MATERIAL TO MATCH EXISTING.
8. EDGE OF NEW ASPHALT.
9. FLEXIBLE RESIDENTIAL PAVEMENT SECTION IN MENDOCINO PER COA STD DWG #2405A. 3" (2-1-1/2" LIFTS) TYPE ASPHALT. NO CROWN LIP TO LIP.

### RECORD DRAWING

**Bohannan & Huston**  
 Courtyard 1 7800 Jefferson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

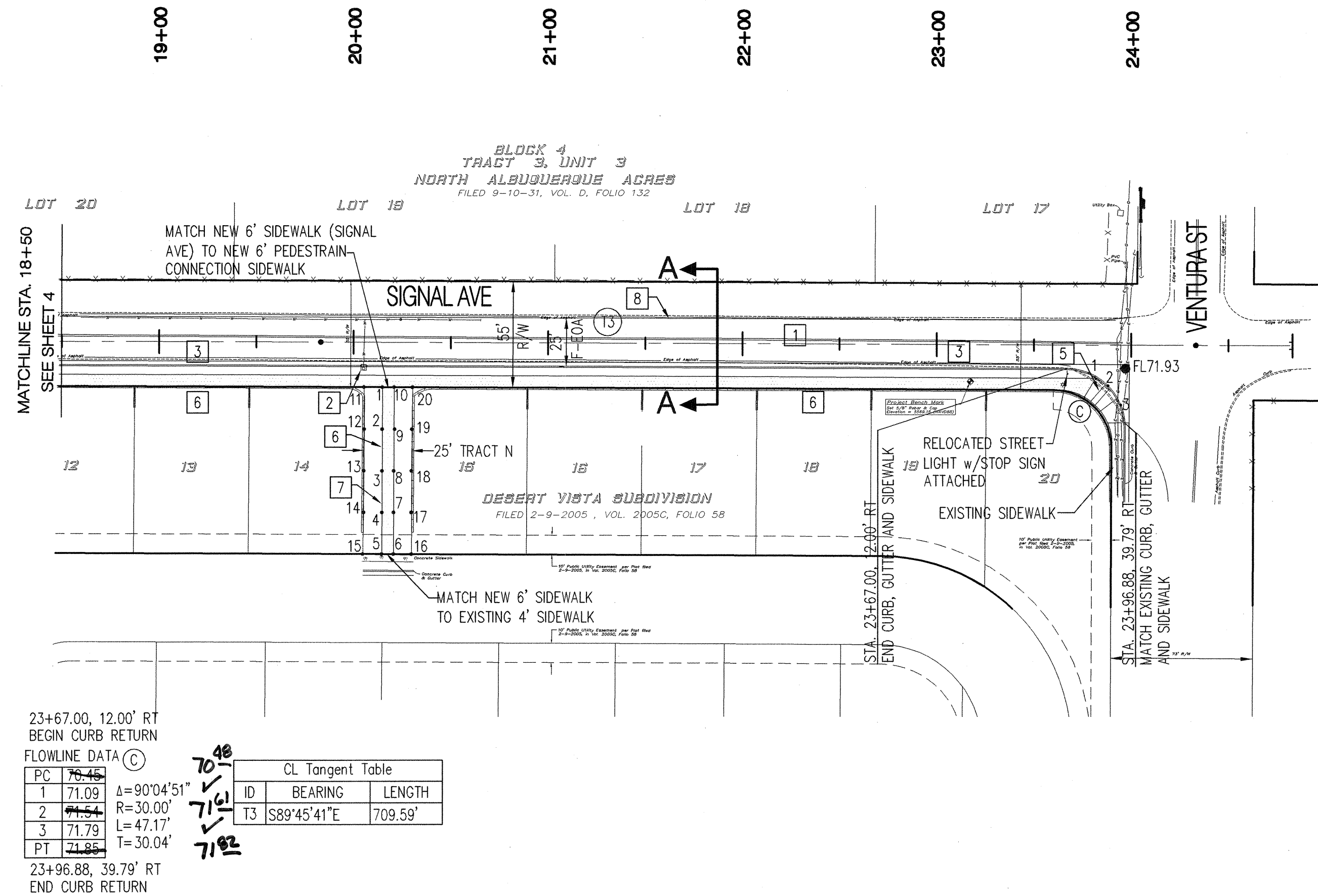
**CITY OF ALBUQUERQUE**  
 PUBLIC WORKS DEPARTMENT

DESERT VISTA SUBDIVISION  
 PAVING PLAN AND PROFILE  
 SIGNAL AVENUE

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED JUN 18 2010 DESIGN REVIEW COMMITTEE	APPROVED JUN 18 2010 CITY ENGINEER			

City Project No. 750383 Zone Map No. C-20 Sheet 4R Of 7



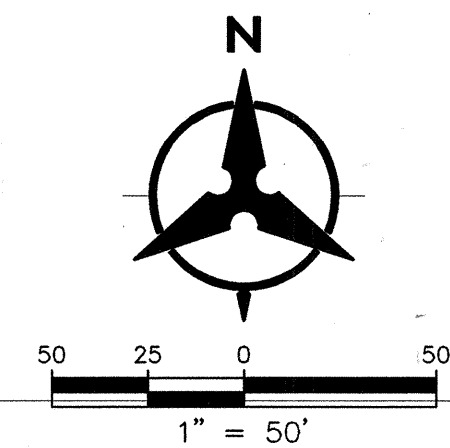


Pedestrian Connection Point Table		
	NORTHING	EASTING
1	1521975.28	1552675.94
2	1521953.78	1552675.86
3	1521932.27	1552675.77
4	1521910.77	1552675.68
5	1521889.27	1552675.59
6	1521867.77	1552675.50
7	1521846.27	1552675.41
8	1521824.77	1552675.32
9	1521803.27	1552675.23
10	1521781.77	1552675.14
11	1521760.27	1552675.05
12	1521738.77	1552674.96
13	1521717.27	1552674.87
14	1521695.77	1552674.78
15	1521674.27	1552674.69
16	1521652.77	1552674.60
17	1521631.27	1552674.51
18	1521609.77	1552674.42
19	1521588.27	1552674.33
20	1521566.77	1552674.24

- DETECTABLE WARNING SURFACE NOTES:**
- THE DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 23mm (0.9"). A NOMINAL HEIGHT OF 5mm (0.2"), AND A NOMINAL CENTER TO CENTER SPACING OF 60mm (2.35"). THE SURFACE SHALL BE FIBERGLASS PANELS OR PAVERS WITH TRUNCATED DOMES. EXACT MATERIAL & INSTALLATION PROCEDURES SHALL BE COORDINATED WITH AND APPROVED BY OWNER.
  - THE DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. PROVIDE 70/30 CONTRAST PER ADA.
  - CONTRACTOR SHALL PROVIDE SPECIFICATIONS TO THE CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

**DETECTABLE WARNING SURFACE**  
NOT TO SCALE

**RECORD DRAWING**



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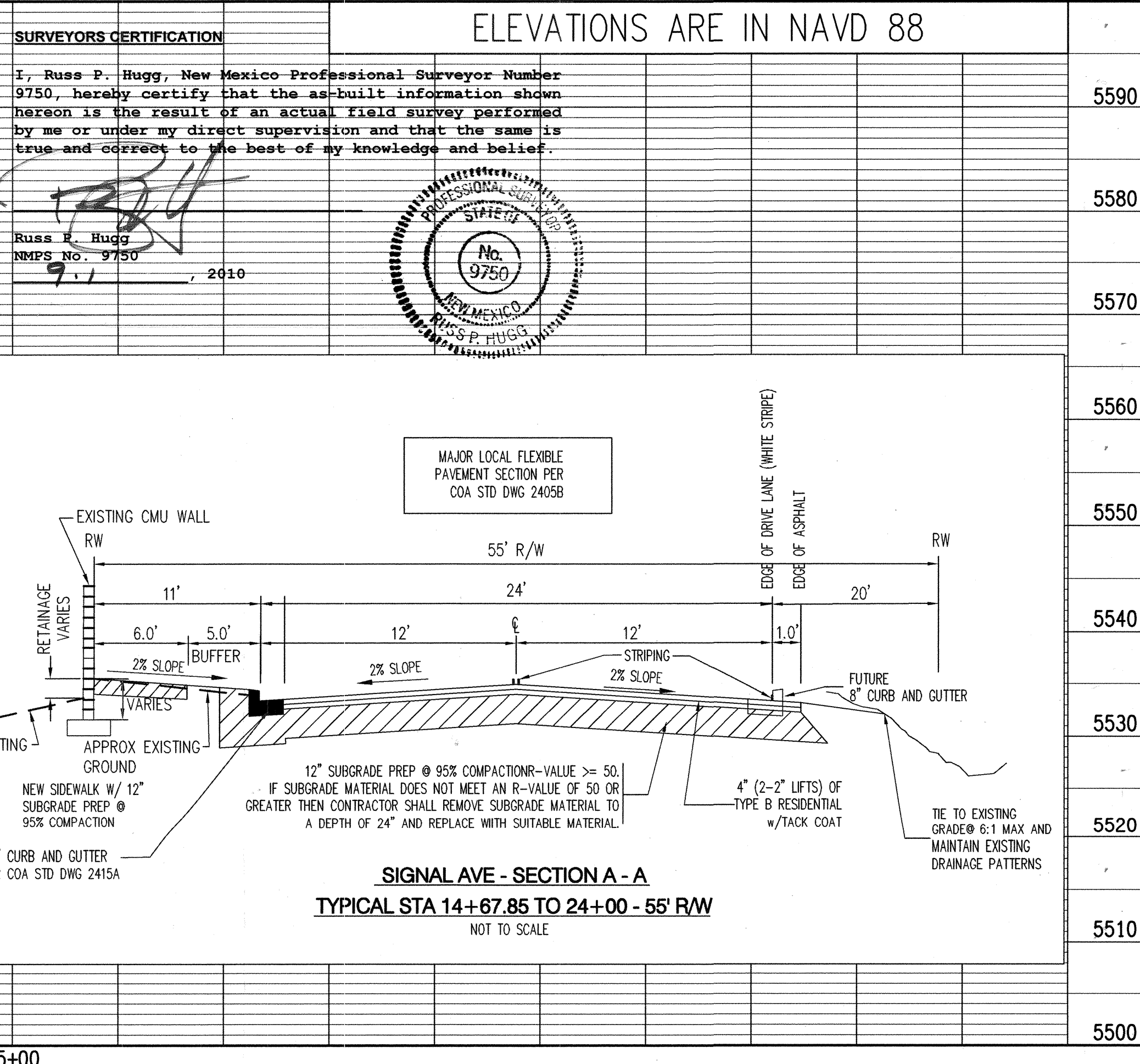
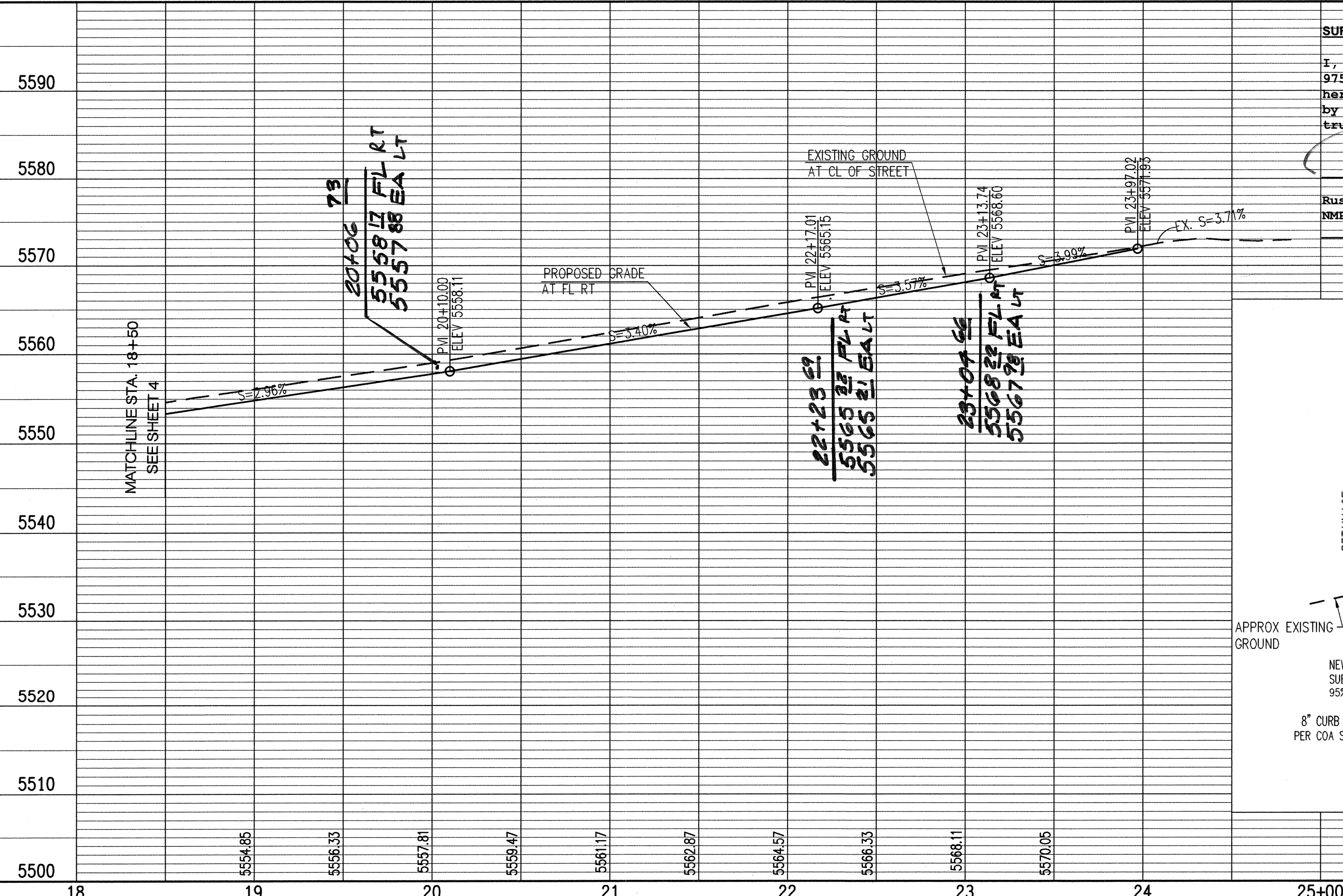
**Bohannon & Huston**  
Engineering & Spatial Data & Advanced Technologies  
17500 Jefferson St. NE Albuquerque, NM 87100-4395

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

**DESERT VISTA SUBDIVISION**  
PAVING PLAN AND PROFILE  
SIGNAL AVENUE

Design Review Committee: APPROVED MAR 24 2010  
City Engineer: APPROVED JUN 10 2010

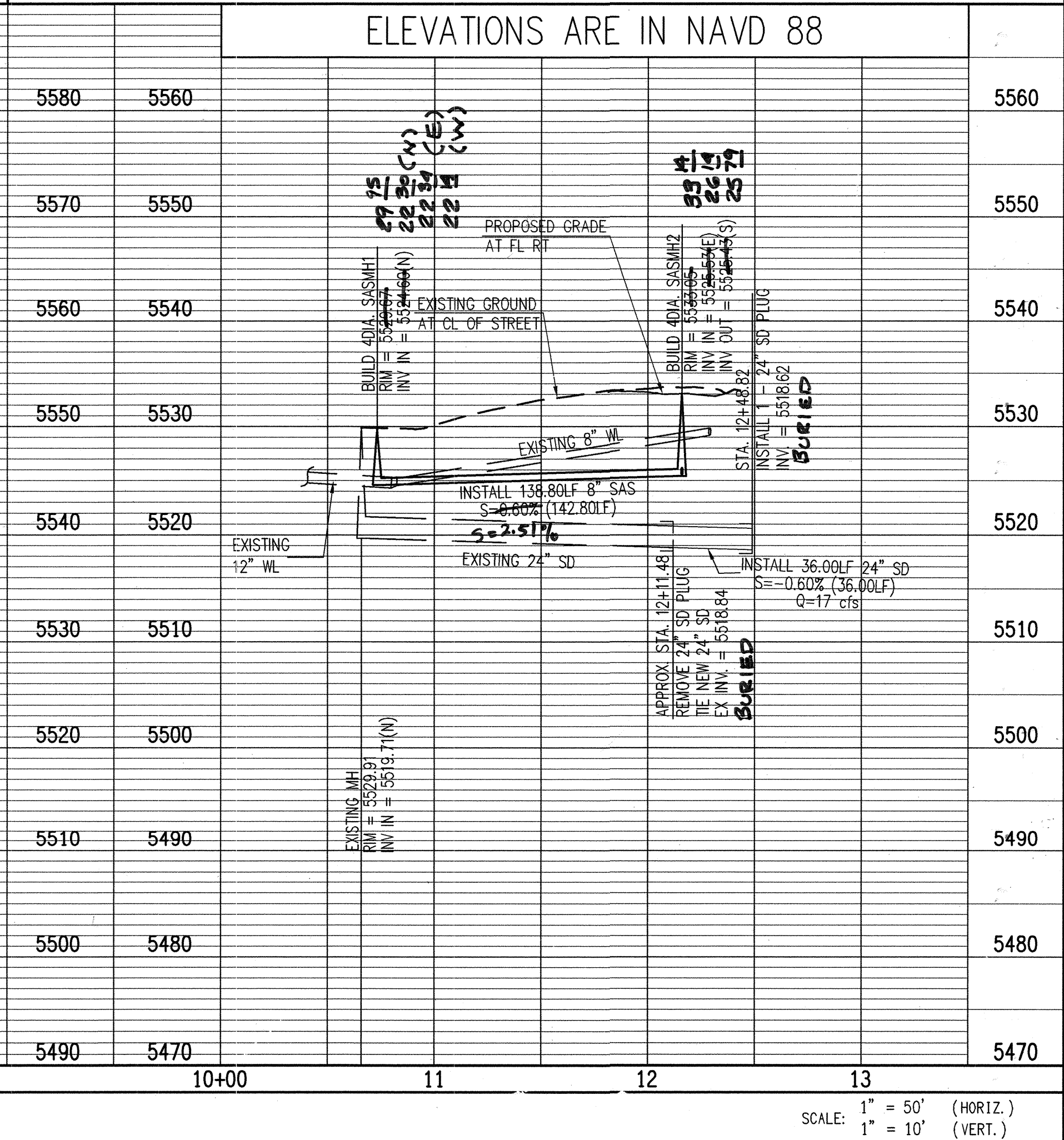
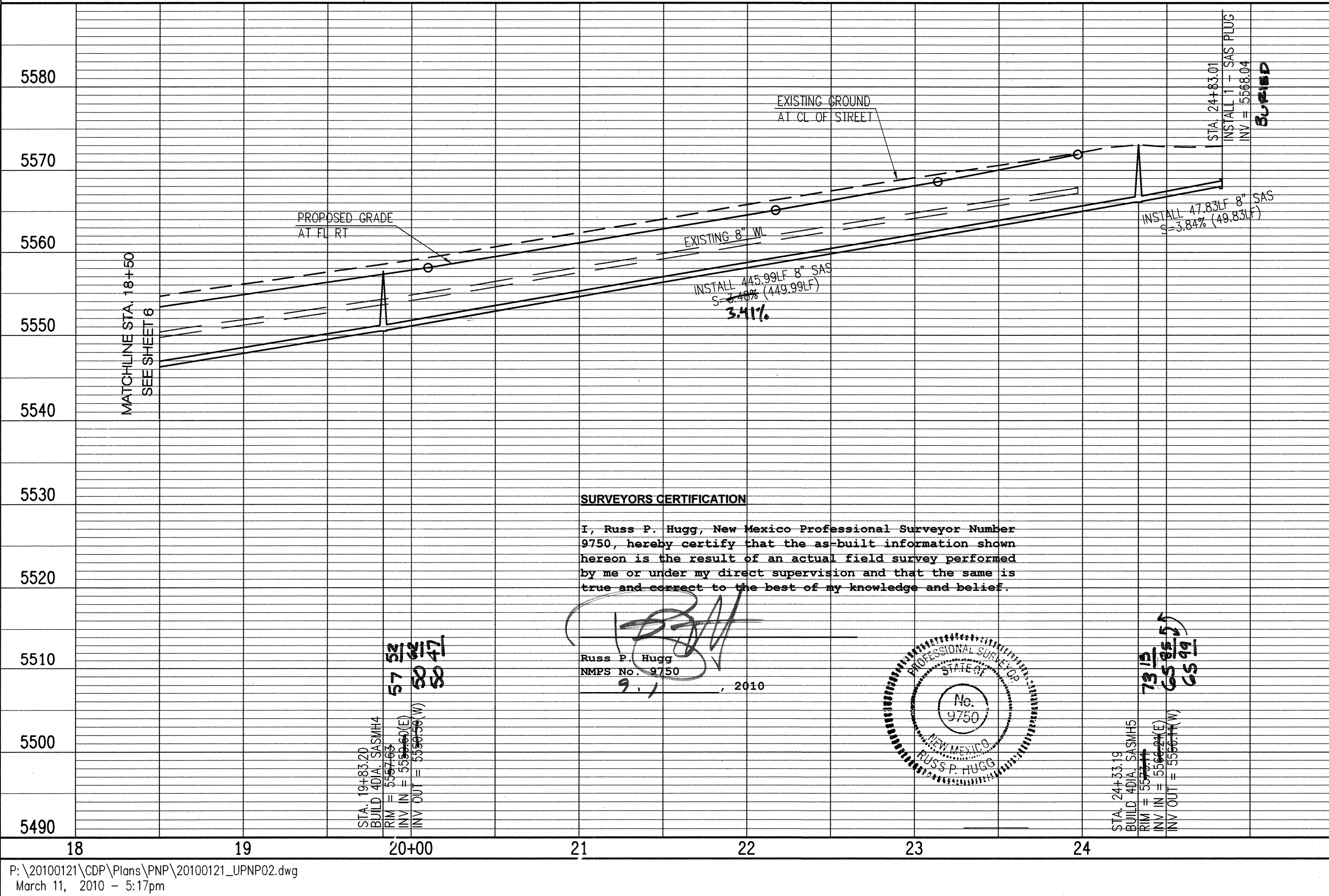
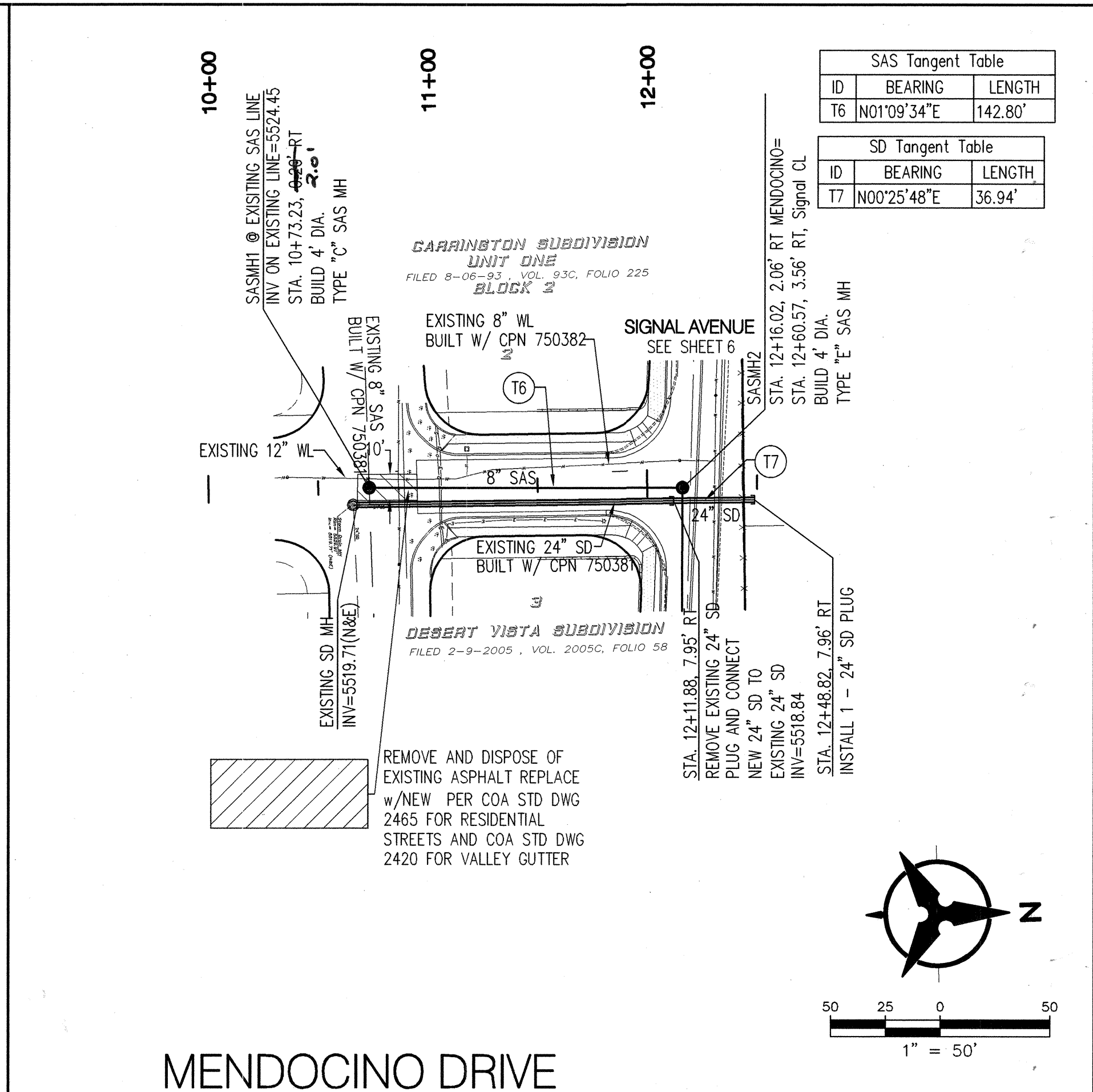
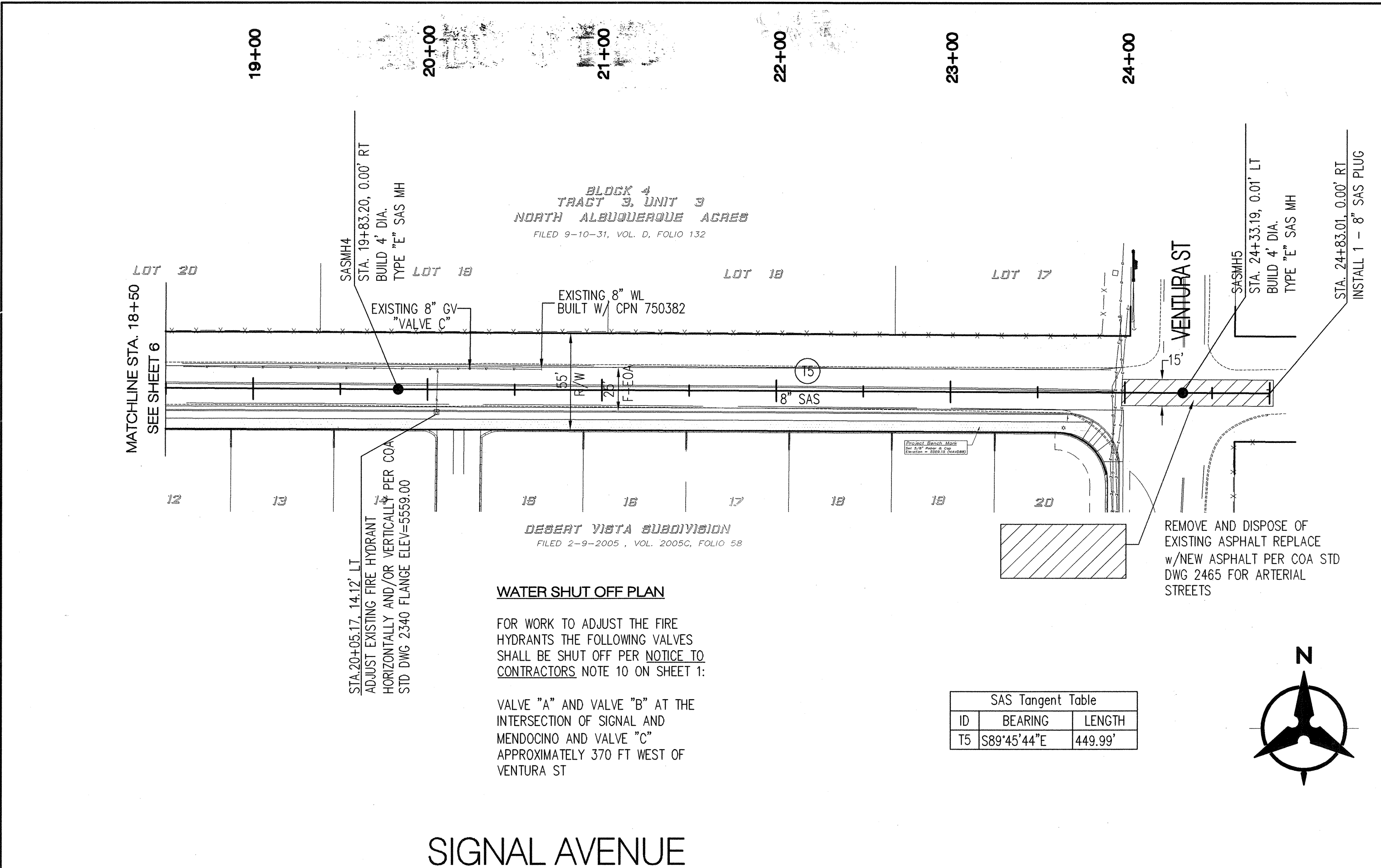
City Project No. 750383  
Zone Map No. C-20  
Sheet 5 of 7





7





**GENERAL NOTES**

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
- GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF STANDARD CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
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- MH RIMS & CATCH BASIN INLET ELEVATIONS, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
- SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
- STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
- FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWLINE OF STANDARD CURB TO MIDDLE OF DOWNHILL GRATE.

**MATERIALS**

SAS LINE: SDR35 - IN SIGNAL AVE  
C-800 GREEN POLYETHYLENE - IN MENDOCINO  
SD LINE: RCP CLASS III

**LEGEND**

- DOUBLE WATER METER
- SINGLE WATER METER
- WATER LINE SHUTOFF VALVE
- WATER LINE TEE
- SAS LATERAL
- SAS MANHOLE
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED STREET LIGHT

**RECORD DRAWING**

**Bohannon & Huston**  
Courtney | 7500 Jefferson St. NE Albuquerque, NM 87109-4395  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

**DESERT VISTA SUBDIVISION**  
UTILITY PLAN AND PROFILE  
SIGNAL AVENUE / MENDOCINO DRIVE

**DESIGN REVIEW COMMITTEE**  
APPROVED  
MAR 24 2010  
DESIGN REVIEW COMMITTEE

**CITY ENGINEER**  
APPROVED  
JUN 10 2010  
CITY ENGINEER

**REVISIONS**

No.	Date	By	Remarks
1	02/2010	KJM	DESIGN
2	02/2010	BIG	
3	02/2010	KJM	

**City Project No. 750383**

**Zone Map No. C-20**

**Sheet 7 of 7**