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26-7519182-071

SCANNED BY
PLANNING

CONSTRUCTION PLANS FOR

ESTRADA COURT SUBDIVISION

UTILITY & PAVING IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
JULY 2005

RGE

INDEX TO DRAWINGS

1. TITLE SHEET
2. PLAT
3. GRADING AND DRAINAGE PLAN
4. MASTER PAVING PLAN
5. ESTRADA COURT/PUBLIC DRAINAGE CHANNEL PAVING IMPROVEMENTS
6. MASTER UTILITY PLAN
7. ESTRADA COURT UTILITY IMPROVEMENTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, David Soule of the firm of Rio Grande Engineering, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by ALDRICH LAND SURVEY NMPS number 7719.



SURVEYOR'S CERTIFICATION

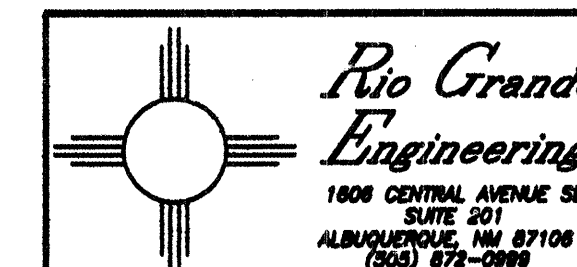
I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added to the original design under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief. Aldrich Land Surveying is not responsible for any of the design concepts, calculations, engineering, or intent of the original drawings.

Timothy Aldrich, P.L.S. No. 7719

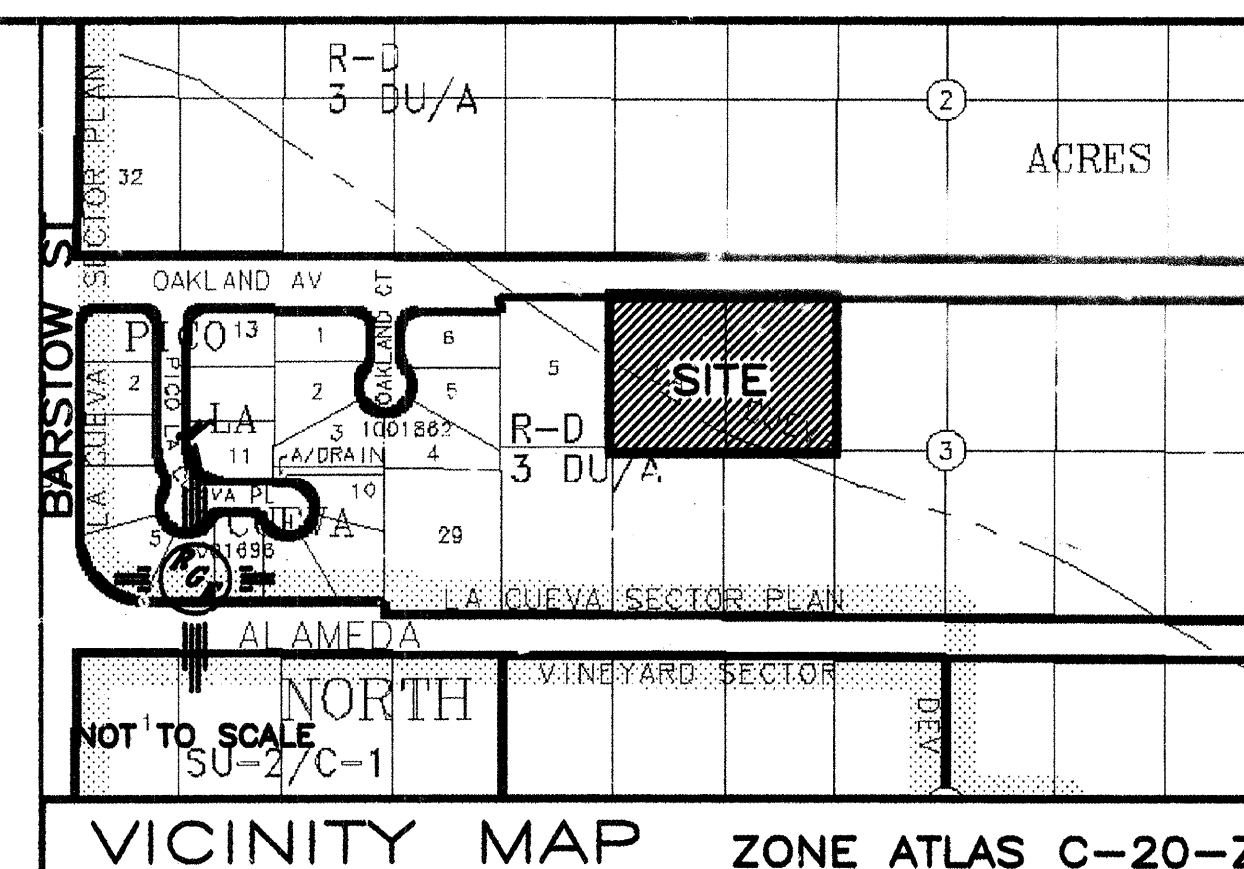


APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Bryan White P.E.
DATE: 10/4/2007

DRB# 1003672



REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chairman	<u>[Signature]</u>	10/18/05	<u>[Signature]</u> City Engineer Date		
		Trc. reportation	<u>[Signature]</u>	10/5/05			
		Water/Wastewater	<u>[Signature]</u>	10/5/05			
		Hydrology	<u>[Signature]</u>	10/11/05			
		C.I.P.					
		Constr. Mngmt.					
		Constr. Coord.	<u>[Signature]</u>	10-18-05			
		CITY PROJECT NO.	751982	SHEET		1 OF 7	

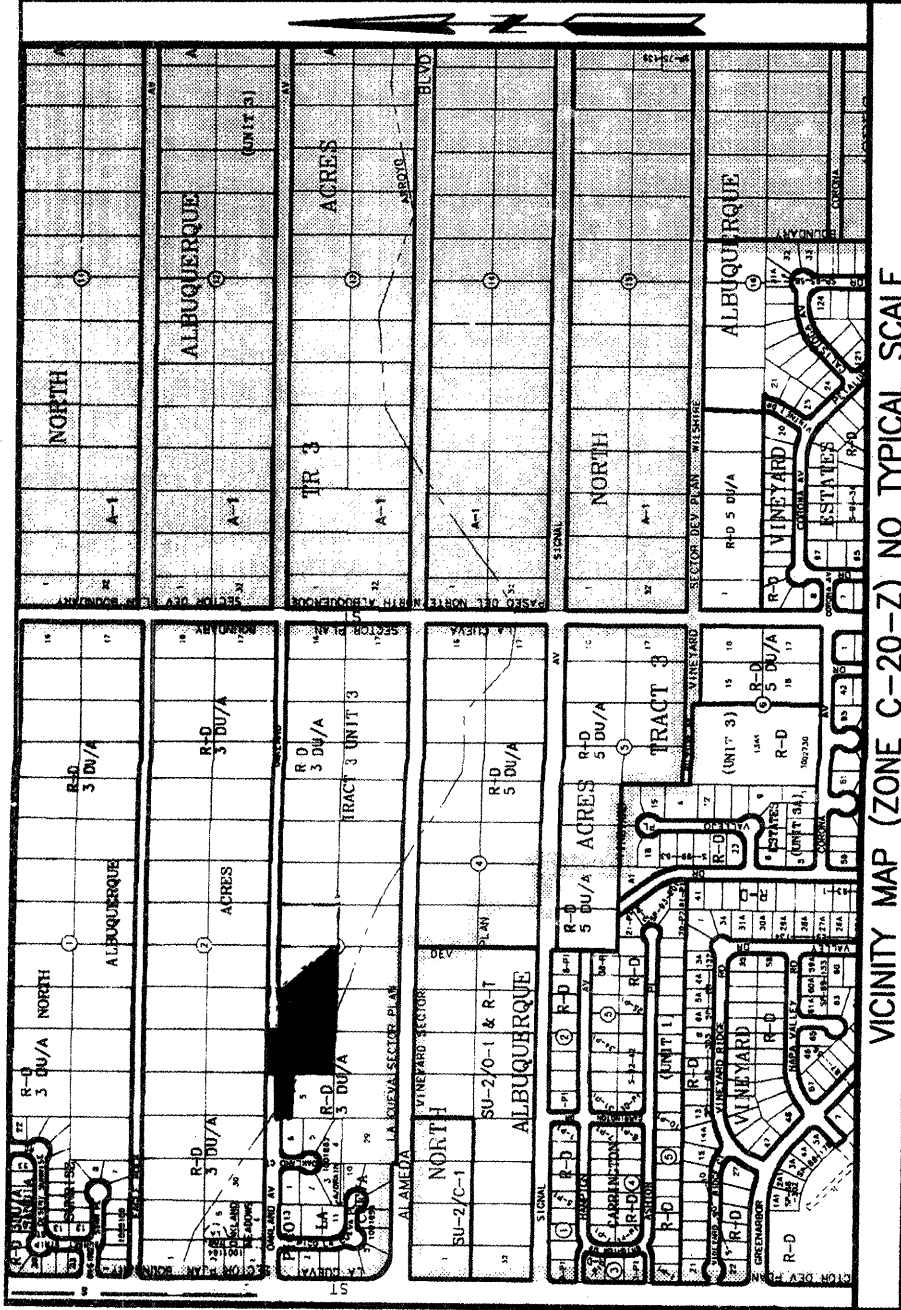


NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #7).
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1940) FOR LOCATION OF EXISTING UTILITIES.
3. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (824-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
6. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.
8. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



VICINITY MAP (ZONE C-20-Z) NO TYPICAL SCALE

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE LOT 6 OF BLOCK 3, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, LOT 3 OF KELLER LANE SUBDIVISION AND TRACT A OF OAKLAND SOUTH SUBDIVISION AND A PORTION OF VACATED OAKLAND AVENUE, NE INTO LOTS 1 THROUGH 6 OF ESTRADA COURT SUBDIVISION AND TO DEDICATE STREETS AND GRANT EASEMENTS PURSUANT THEREOF.

PUBLIC UTILITY EASEMENTS SHOWN ARE TEN FEET (10') WIDE ALONG OAKLAND AVENUE, NORTHEAST AND ESTRADA COURT, NORTHEAST AND ARE GRANTED FOR THE JOINT AND COMMON USE OF:
A) PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRIC SERVICE.
B) GAS SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, GAS METER STATIONS, GAS VALVES, GAS PIPES, GAS FITTINGS, GAS EQUIPMENT AND ANY OTHER FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICE.
C) CABLE TELEVISION SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING, BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
D) COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH UNDERGROUND LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

CONSENT AND DEDICATION STATEMENT
THE UNDERSIGNED DOES HEREBY STATE AND CONFIRM THAT I AM THE OWNER AND PROPRIETOR OF THE LANDS SHOWN HEREON, AND I DO FURTHER STATE THAT I HOLD COMPLETE AND IRREVOCABLE TITLE THERETO IN FEE SIMPLE ABSOLUTE AND THAT THE UNDERSIGNED SHOWS HEREON IS OF MY FREE WILL AND CONSENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO CONSTITUTION AND THE NEW MEXICO STATUTES. I DO FURTHER GRANT ALL PUBLIC UTILITY EASEMENTS SHOWN INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT AND MAINTAIN FACILITIES THEREIN, AND ALL PUBLIC UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, ELECTRIC, CABLE TELEVISION, AND ANY OTHER FACILITIES REASONABLY NECESSARY TO PROVIDE SUCH SERVICES, INCLUDING THE RIGHT TO INSTALL, MAINTAIN AND SERVICE SUCH FACILITIES, AND THE RIGHT TO INTERFERE TREES AND SHRUBS IN WITNESS WHEREOF I HEREBY AFFIX MY HAND.

ROBERT KEERAN, PRESIDENT OF LLANE CONSTRUCTION, INCORPORATED

ACKNOWLEDGMENT
COUNTY OF BERNALILLO

STATE OF NEW MEXICO

THE PRECEDING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 21 DAY OF AUGUST, 2005, BY ROBERT KEERAN, PRESIDENT OF LLANE CONSTRUCTION, INCORPORATED, A NEW MEXICO CORPORATION.

NOTARY PUBLIC
MY COMMISSION EXPIRES 8/31/2005

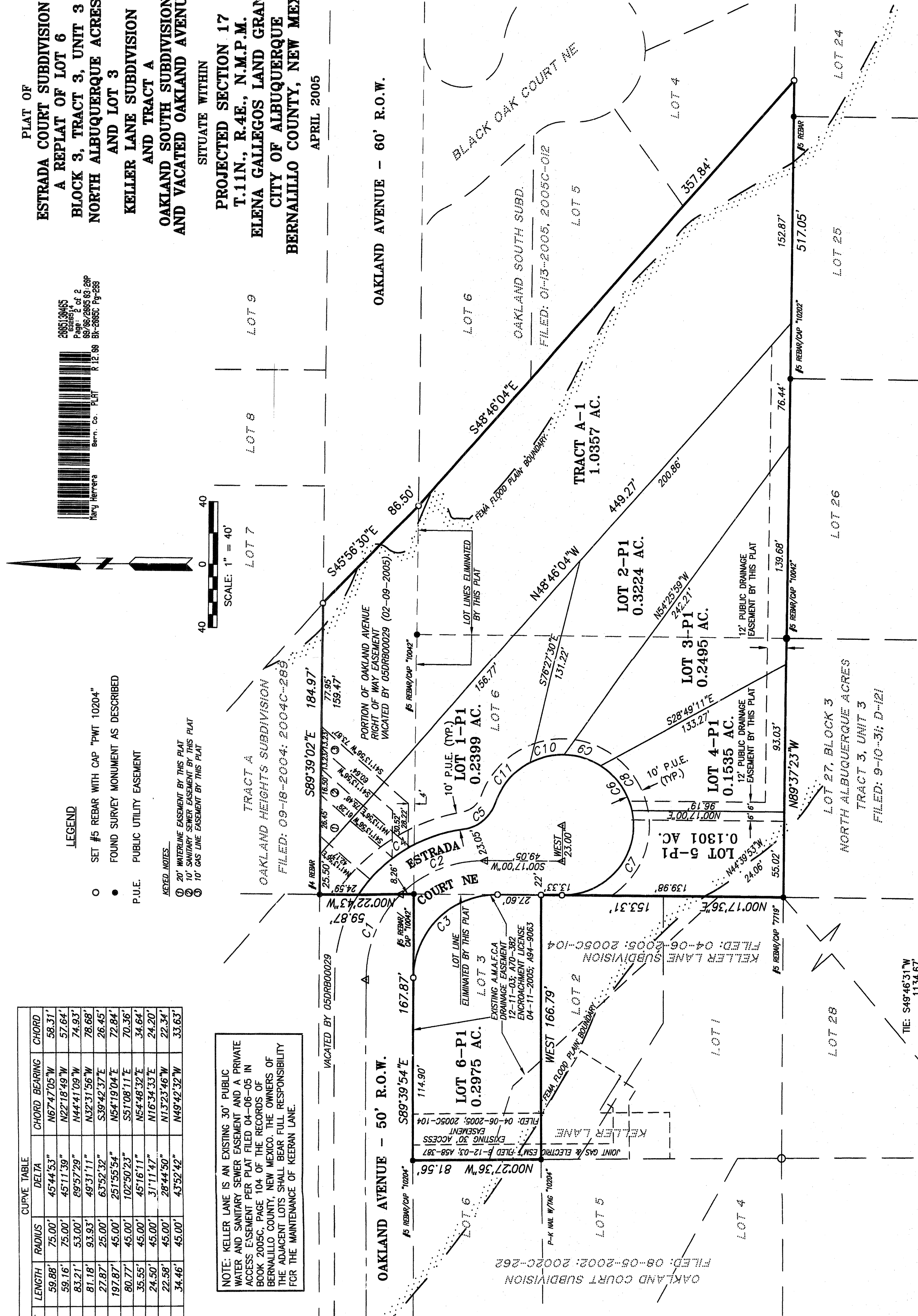
- SUBMISSION DATA
- 1) CASE No. 2005-12591
 - 2) ZONE ATLAS INDEX No. C-20
 - 3) GROSS SUBDIVISION AREA: 2.6983 ACRES
 - 4) TOTAL NUMBER OF LOTS CREATED: 6 LOTS
 - 5) DRB PROJECT No. 1003672
 - 6) TOTAL MILEAGE OF FULL WIDTH STREETS CREATED: 0.0205
 - 7) TALS LOG No. 2005/12591

PROPERTY DESCRIPTION
ALL THOSE CERTAIN TRACTS OF LAND SITUATE IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M. WITHIN THE ELENA GALLEGOS LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING LOT NUMBER 6 OF BLOCK 3, TRACT 3, UNIT 3 OF NORTH ALBUQUERQUE ACRES AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT FILED SEPTEMBER 9, 1931, IN VOLUME D, FOLIO 121 OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO AND LOT NUMBER 3 OF KELLER LANE SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO, AS SHOWN AND DESIGNATED ON THE PLAT FILED APRIL 9, 2005, IN BOOK 2005C, PAGE 104 OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AND TRACT A OF OAKLAND SOUTH SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED JANUARY 13, 2005, IN BOOK 2005C, PAGE 12 OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AND A PORTION OF THE VACATED RIGHT OF WAY OF OAKLAND AVENUE, NORTHEAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED, BEING ALSO THE SOUTHWEST CORNER OF THE AFORESAID LOT 6 OF BLOCK 3, WHENCE THE ALBUQUERQUE CONTROL SURVEY STATION "7-C19" BEARS S49°46'31"W AND 1134.67 FEET DISTANT;
THENCE N00°17'36"E ALONG THE WESTERLY LINE OF SAID LOT 6 A DISTANCE OF 153.31 FEET TO A POINT, BEING ALSO THE SOUTHEAST CORNER OF SAID LOT 3 OF KELLER LANE SUBDIVISION;
THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 3 A DISTANCE OF 166.79 FEET TO A POINT, BEING ALSO THE SOUTHWEST CORNER OF SAID LOT 3, AS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED AUGUST 22, 2002, IN BOOK 2002C, PAGE 262 OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO;
THENCE N00°27'36"W ALONG SAID EASTERLY LINE A DISTANCE OF 81.56 FEET TO A POINT ON THE SOUTH LINE OF OAKLAND AVENUE;
THENCE S89°39'54"E ALONG THE SOUTH LINE OF SAID OAKLAND AVENUE A DISTANCE OF 167.87 FEET TO AN ANGLE POINT;
THENCE N00°22'43"W A DISTANCE OF 39.87 FEET TO AN ANGLE POINT, BEING ALSO THE SOUTHWEST CORNER OF SAID LOT 3, AS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED SEPTEMBER 9, 2005, IN BOOK 2004C, PAGE 289 OF THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO;
THENCE S89°39'02"E ALONG THE SOUTH LINE OF SAID OAKLAND HEIGHTS SUBDIVISION A DISTANCE OF 184.97 FEET TO THE NORTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED;
THENCE S45°56'30"E TO AN ANGLE POINT;
THENCE S48°46'04"E A DISTANCE OF 86.50 FEET TO THE SOUTHEAST CORNER OF THE PARCEL HEREIN DESCRIBED;
THENCE N89°37'23"W A DISTANCE OF 517.05 FEET TO THE SOUTHWEST CORNER AND POINT OF BEGINNING AND CONTAINING 2.6983 ACRES, MORE OR LESS.

- NOTES:
- 1) BEARINGS SHOWN ARE NEW MEXICO COORDINATE SYSTEM, CENTRAL ZONE (NAD83). GRID BEARINGS AND ARE REFERENCED TO THE LINE FROM ALBUQUERQUE CONTROL SURVEY STATION 7-C19 TO STATION 3-C20. DISTANCES SHOWN ARE GROUND.
 - 2) EXCEPT AS SHOWN, NO OTHER EASEMENTS OR RIGHTS OF WAY ARE CREATED BY THIS PLAT. ALL EASEMENTS OF RECORD ARE SHOWN.
 - 3) RECORD DATA ARE SHOWN IN PARENTHESES.
 - 4) CITY OF ALBUQUERQUE WATER AND SEWER SERVICE IS CURRENTLY AVAILABLE TO THIS PROPERTY.
 - 5) THIS PROPERTY IS CURRENTLY ZONED R-D-3 DU.
 - 6) TRACT LETTERED A-1 IS RESERVED FOR FUTURE DEDICATION AS AN A.M.A.F.C.A. DRAINAGE RIGHT OF WAY.
 - 7) LOTS DESIGNATED "P-1" SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA.

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	59.88'	75.00'	45°14'53"	N87°47'05"W	56.31'
C2	59.16'	75.00'	45°11'39"	N02°18'40"W	57.64'
C3	83.21'	55.00'	69°37'28"	N44°17'09"W	74.93'
C4	81.18'	93.93'	49°37'17"	N02°31'55"W	78.68'
C5	27.87'	25.00'	63°52'39"	S89°46'37"E	28.40'
C6	197.87'	45.00'	29°55'34"	N64°19'04"E	72.84'
C7	80.77'	45.00'	102°50'23"	S51°08'11"E	70.36'
C8	36.55'	45.00'	45°16'11"	N64°48'32"E	34.64'
C9	24.50'	45.00'	31°11'47"	N76°34'53"E	24.20'
C10	22.58'	45.00'	28°44'50"	N15°23'46"W	22.34'
C11	34.46'	45.00'	43°52'42"	N49°42'32"W	33.63'

NOTE: KELLER LANE IS AN EXISTING 30' PUBLIC WATER AND SANITARY SEWER EASEMENT AND A PRIVATE ACCESS EASEMENT PER THE RECORDS OF BERNALILLO COUNTY, NEW MEXICO. THE OWNERS OF THE ADJACENT LOTS SHALL BEAR FULL RESPONSIBILITY FOR THE MAINTENANCE OF KELLER LANE.



NOTE: ESTRADA COURT, NORTHEAST IS DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

AS CONTROL STATION 7-C19
X=41071.36
Y=4683.076 (NAD83)
CONVERSION: -071024
ELEVATION: 5285.63
(NEW MEXICO COORDINATE SYSTEM CENTRAL ZONE-NAD83)

THIS IS TO CERTIFY THAT TAXES ARE CURRENT
AND PAID ON UPC # 1020064104000 20326
AND ON UPC # 1020064104000 20326
PROPERTY OWNER OF RECORD: *LLane Construction Inc* *Keeran Suran*
BERNALILLO COUNTY TREASURER'S OFFICE

PLAT OF
ESTRADA COURT SUBDIVISION
A REPLAT OF LOT 6
BLOCK 3, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
AND LOT 3
KELLER LANE SUBDIVISION
AND TRACT A
OAKLAND SOUTH SUBDIVISION
AND VACATED OAKLAND AVENUE
SITUATE WITHIN
PROJECTED SECTION 17
T.11N., R.4E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2005



APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:
PROJECT NO. 1003672 APPLICATION NO. 05DRB-00704

DRB CHAIRPERSON, PLANNING DEPARTMENT
Cal A. Chana DATE 8-2-05
REAL PROPERTY DIVISION

ENGINEERING, TRANSPORTATION DIVISION
Robert A. Keeran DATE 8-23-05
UTILITY ENGINEER

CITY SURVEYOR
Christina Sandora DATE 8/17/05
PARKS AND RECREATION DEPARTMENT

A.M.A.F.C.A.
Donna M. Meyer DATE 8-15-05

PNM ELECTRIC SERVICES
Donna J. Muck DATE 7-12-05

PNM GAS SERVICES
John G. Myle DATE 7-12-05

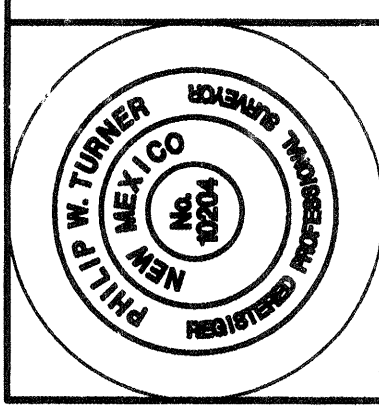
QUEST TELECOMMUNICATIONS
John G. Myle DATE 8-2-05

CONSULT
John G. Myle DATE 8-2-05

CONTRACTOR
John G. Myle DATE 8-2-05

SURVEYOR'S CERTIFICATION
I, PHILIP W. TURNER, A PROFESSIONAL SURVEYOR REGISTERED IN ACCORDANCE WITH THE NEW MEXICO CONSTITUTION AND STATUTES, HAVE PREPARED THIS PLAT AND HAVE BEEN UNDER THE DIRECT SUPERVISION OF THE RETURNS AN ACTUAL SURVEY PERFORMED ON THE GROUND IN NOVEMBER, 2003, THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT IT SATISFIES THE MINIMUM STANDARDS FOR LAND SURVEYING AS DETERMINED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS AND THAT IT MEETS THE REQUIREMENTS FOR PLATTING AND SUBDIVISION OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE.

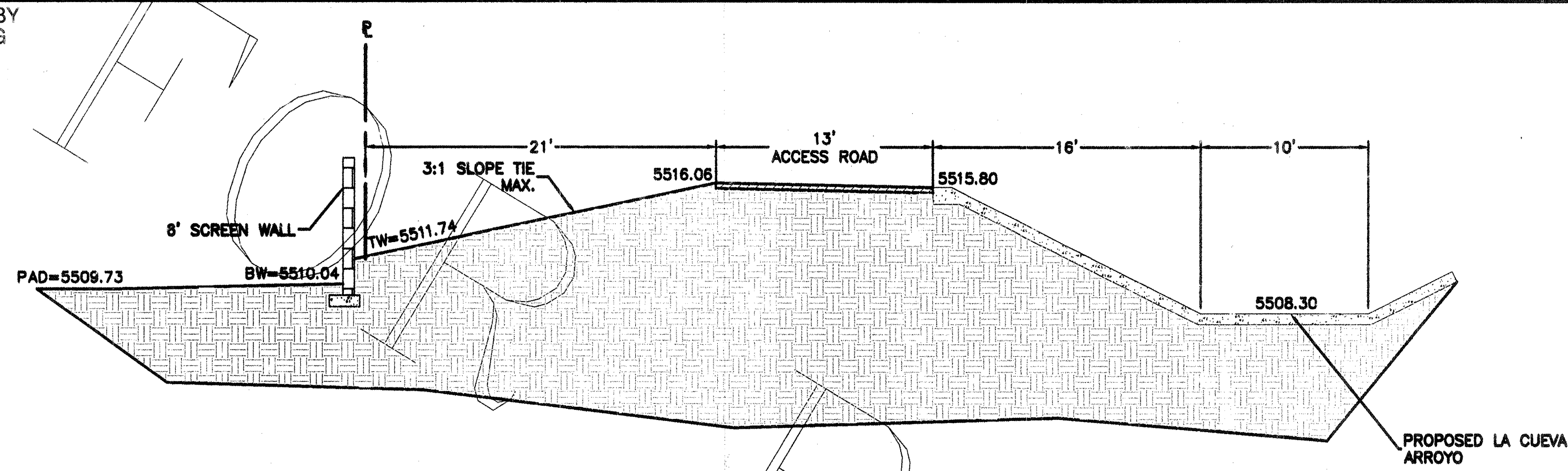
Philip W. Turner DATE 4-21-2005
N.M.P.S. 10204
PHILIP W. TURNER



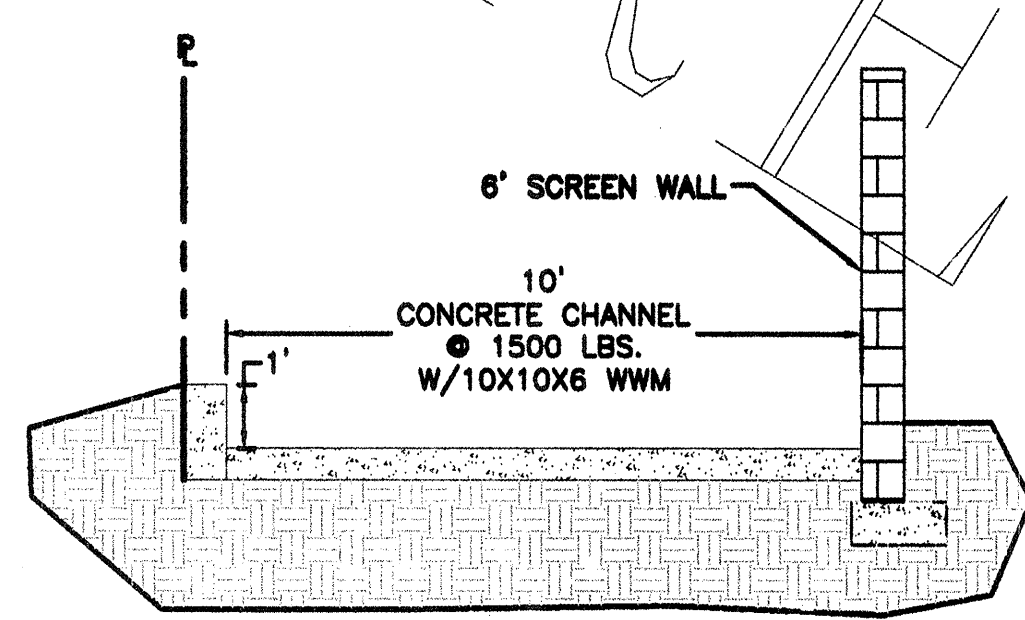
PLAT AND SURVEY BY:
TERRAMETRICS
OF NEW MEXICO
P.O. BOX 30192
ALBUQUERQUE, NEW MEXICO 87190-0192
PHONE: (505) 884-9087

PLAT OF
ESTRADA COURT SUBDIVISION
A REPLAT OF LOT 6
BLOCK 3, TRACT 3, UNIT 3
NORTH ALBUQUERQUE ACRES
AND LOT 3
KELLER LANE SUBDIVISION
AND TRACT A
OAKLAND SOUTH SUBDIVISION
AND VACATED OAKLAND AVENUE
SITUATE WITHIN
PROJECTED SECTION 17
T.11N., R.4E., N.M.P.M.
ELENA GALLEGOS LAND GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2005

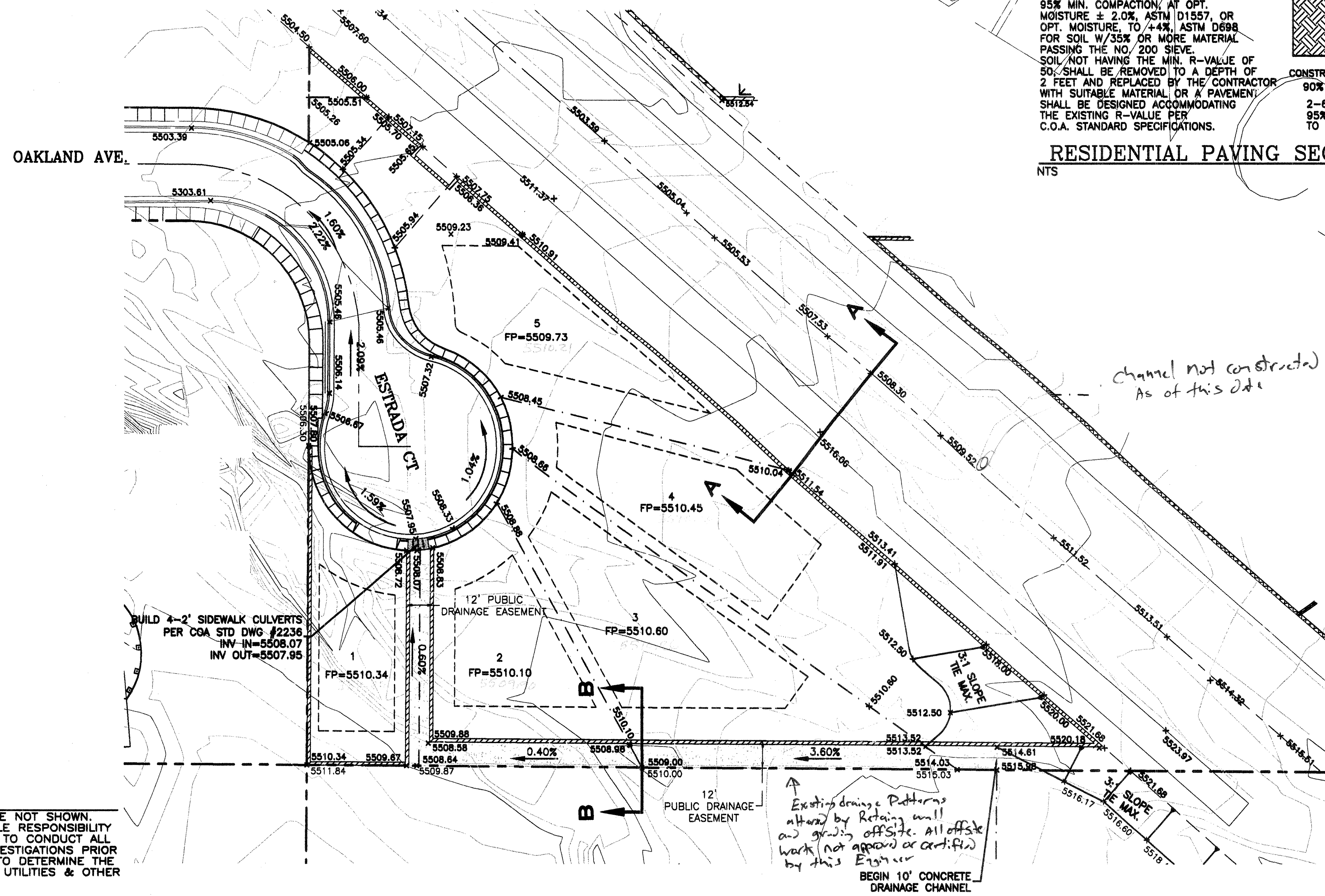
PLAT AND SURVEY BY:
TERRAMETRICS
OF NEW MEXICO
P.O. BOX 30192
ALBUQUERQUE, NEW MEXICO 87190-0192
PHONE: (505) 884-9087



SECTION A-A
NTS



SECTION B-B
NTS



LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- SETBACK LINE

TACK COAT AS REQUIRED BY THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS.

1~1.5" ASPHALT CONCRETE, 1500 LBS. STABILITY, TYPE C GRADATION.

1~1.5" ASPHALT CONCRETE TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLES, VALVES, COVERS/RINGS ARE SET TO GRADE. 1500 LBS. STABILITY TYPE C GRADATION.

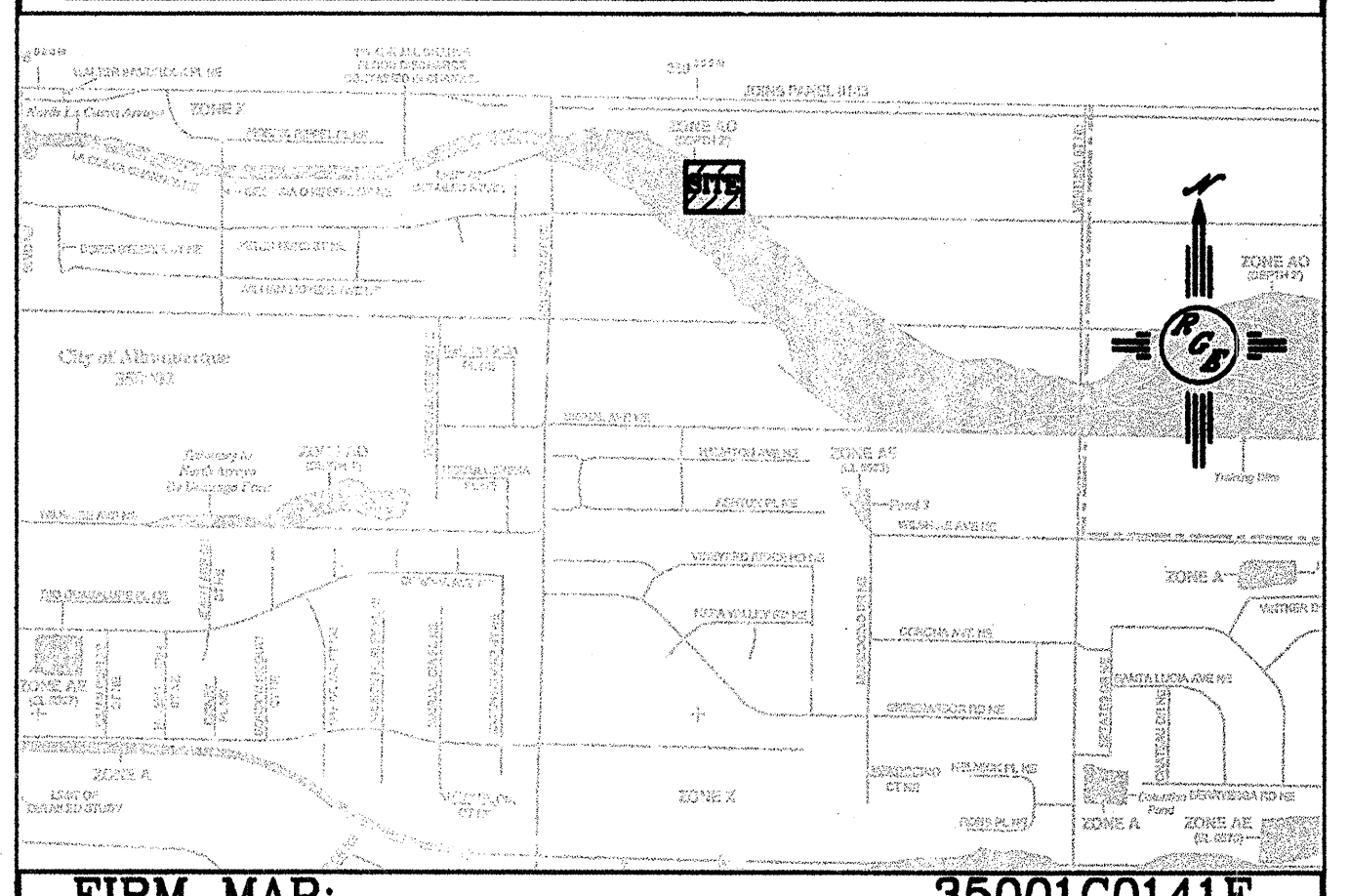
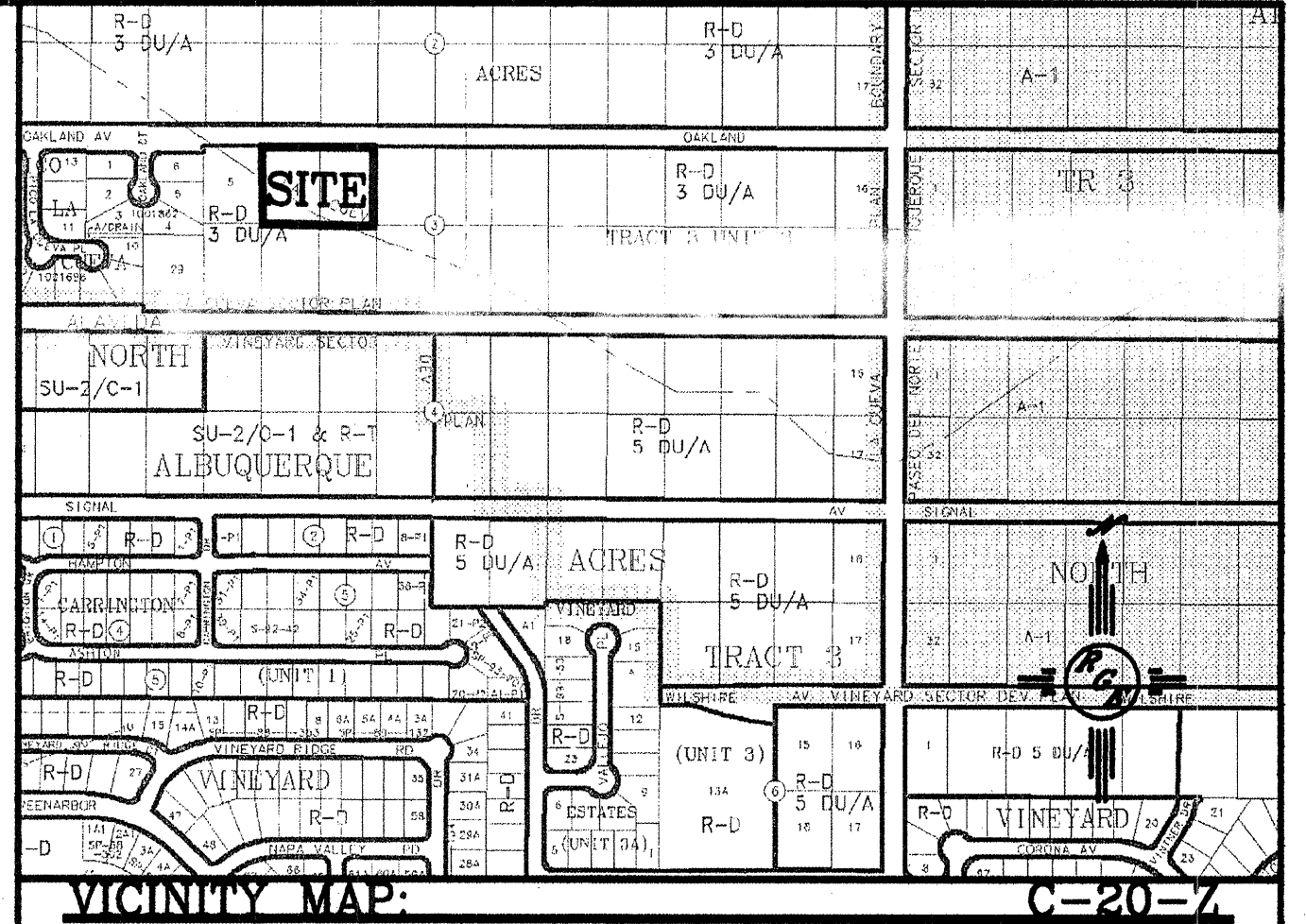
FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACE IS COMPLETED. SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION IS COMPLETED.

1' SUBGRADE/ SOIL, R-VALUE > 50. PLACED IN 2-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE $\pm 2.0\%$, ASTM D1557, OR OPT. MOISTURE, TO $\pm 4\%$, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE. SOIL NOT HAVING THE MIN. R-VALUE OF 50, SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL OR A PAVEMENT SHALL BE DESIGNED ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS.

CONSTRUCTION JOINT 90% MIN. COMPACTION. 2-6" LIFTS, SUBGRADE SOIL 95% MIN. COMPACTION TO ASTM D1557

COMPACTED SUBGRADE TO 95% ASTM D1557

RESIDENTIAL PAVING SECTION (STANDARD CURB)



LEGAL DESCRIPTION:

LOT 6,7, NORTH ALBUQUERQUE ACRES BLK 3

NOTES:

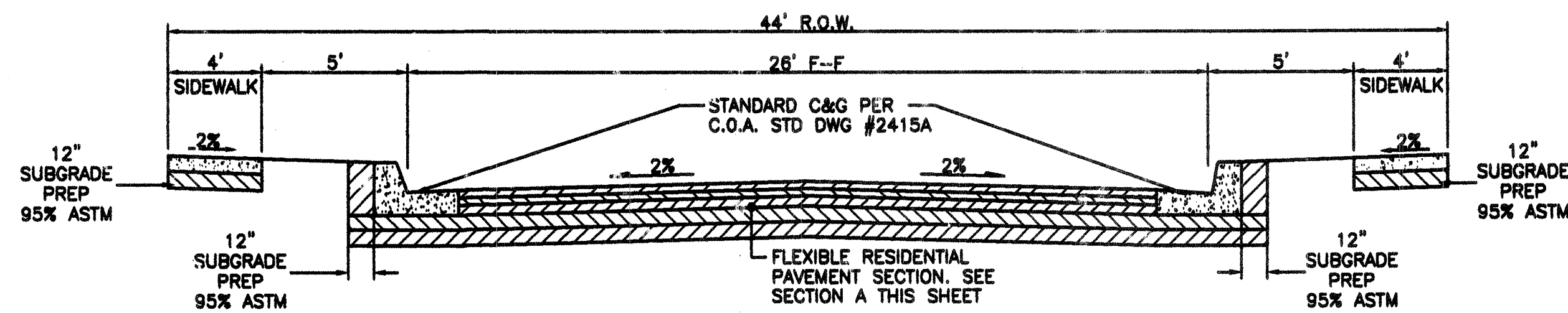
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURB AND GUTTER TO BE STANDARD PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
3. ALL DRIVEPADS SHALL BE BUILT WHERE SHOWN.
4. ALL CURB AND GUTTER TO BE STANDARD UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

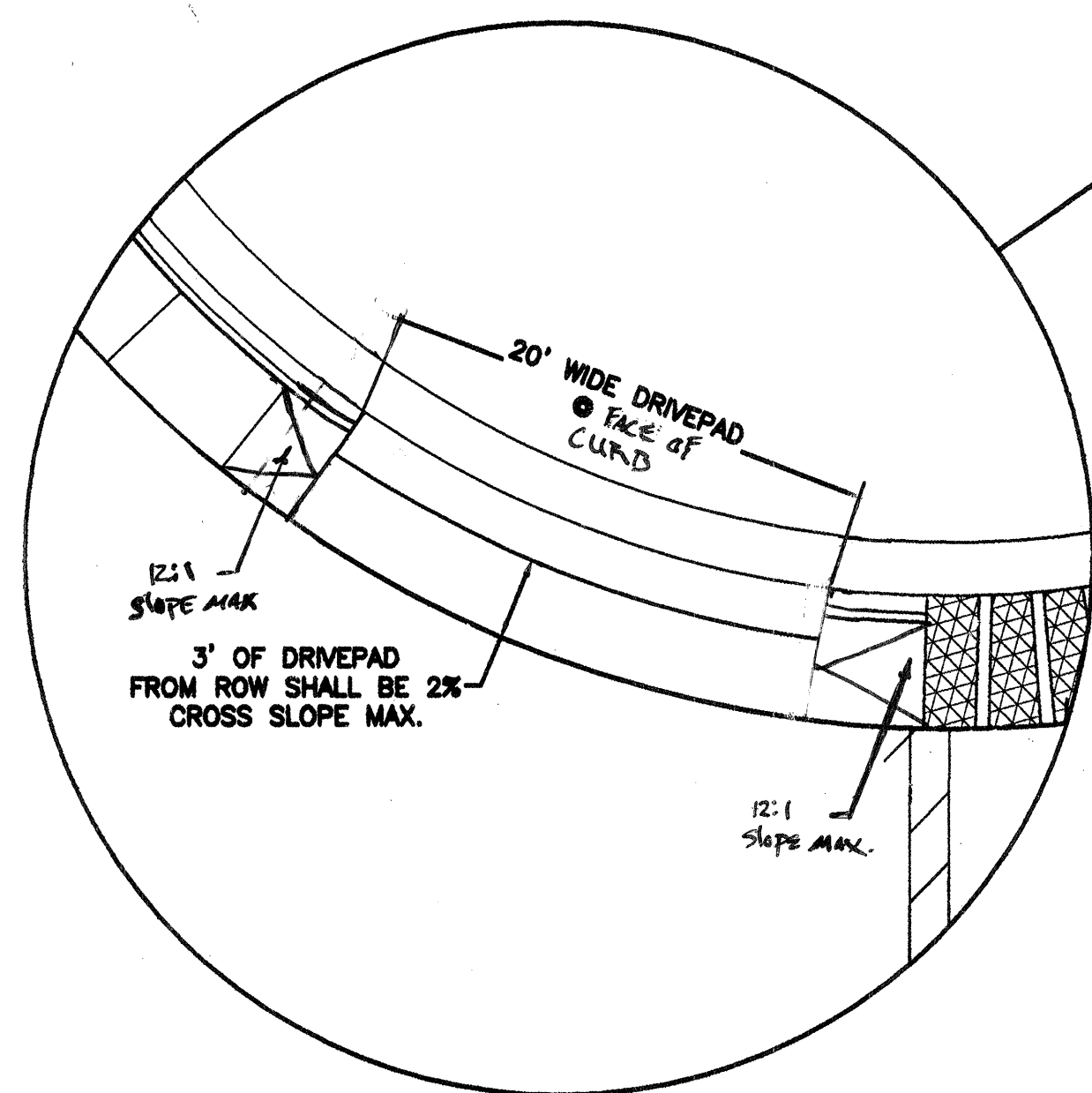
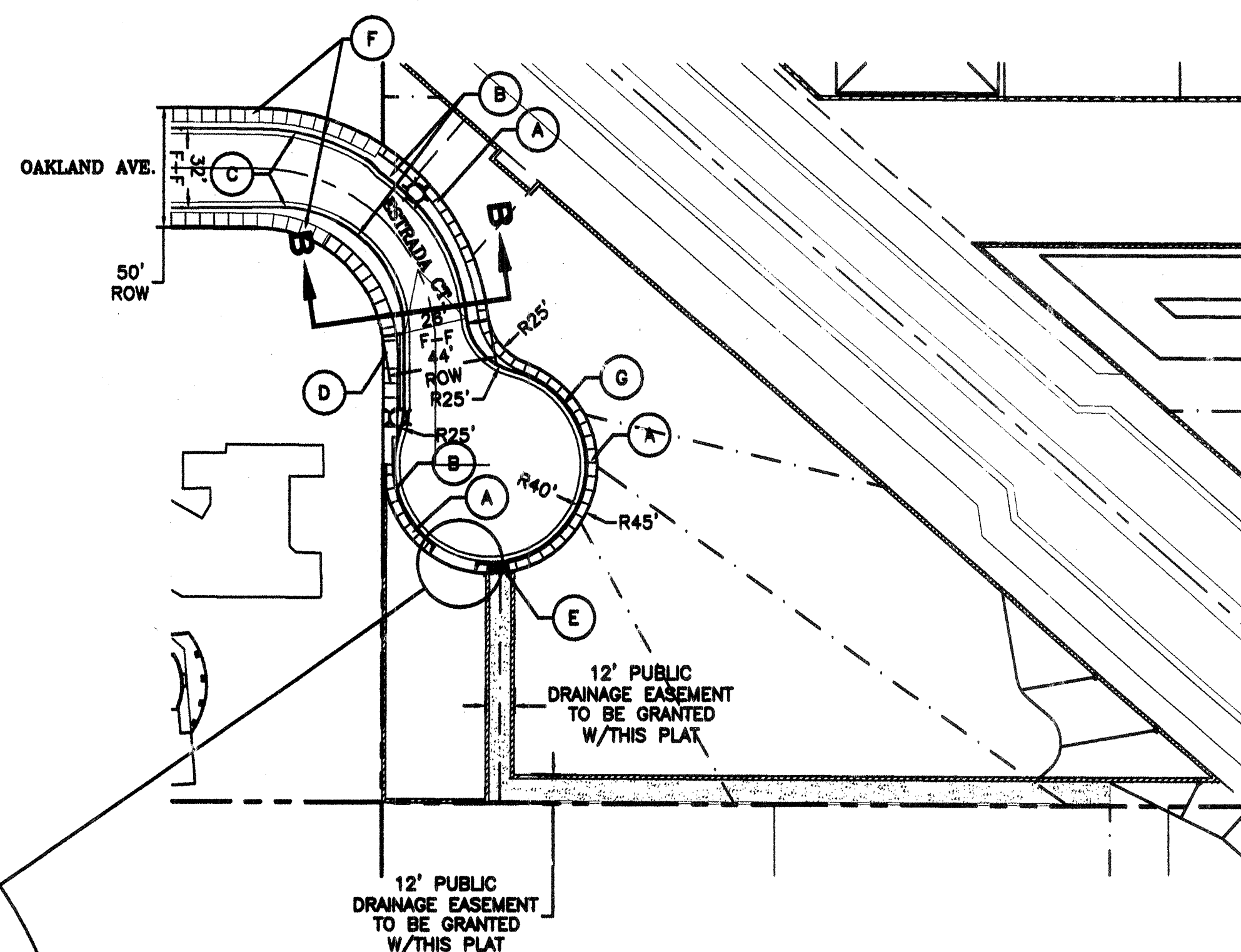
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	ESTRADA COURT	DRAWN BY WCVJ
DAVID SOULE 145221 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 6-29-05
DAVID SOULE P.E. #14522	Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0888	SHEET # 3 OF 7
		JOB # 2455



SECTION B-B
TYPICAL 26' STREET SECTION W/ STANDARD C AND G
NTS



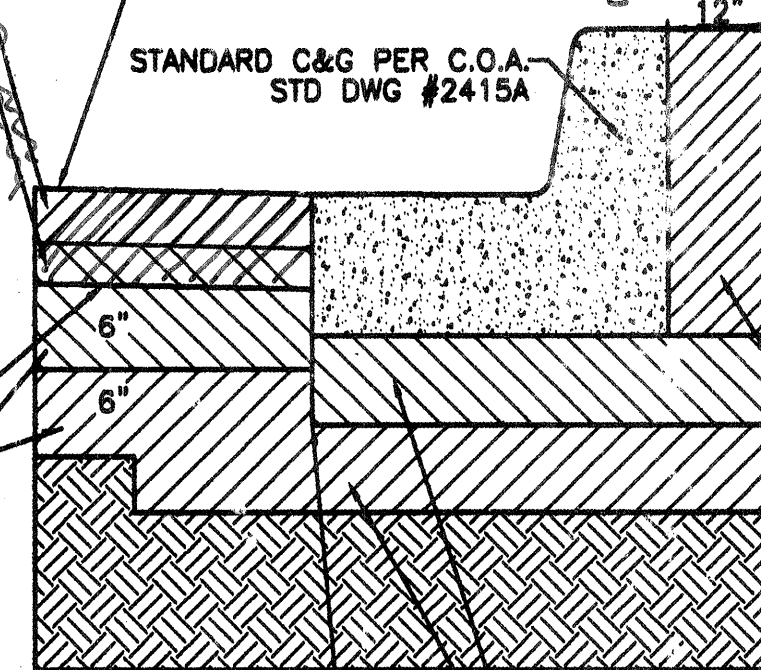
DRIVEPAD DETAIL (DRIVEPAD TO BE BUILT W/HOUSE)
NTS
(TYP. DETAIL FOR DRIVEPAD W/ SIDEWALK
LOCATED BEHIND CURB & GUTTER)

TACK COAT-AS REQUIRED BY THE
ENGINEER-BETWEEN ALL
ASPHALT/AGGREGATE-MATERIAL LIFTS.
1-1.5" ASPHALT CONCRETE, 1500 LBS.
STABILITY, TYPE C GRADATION.

FINISH SURFACE OF SUBGRADE SHALL BE
MOISTURE CONTROLLED AT COMPACTION
MOISTURE RANGE, OR PRIME COAT APPLIED
AS REQUIRED BY THE ENGINEER UNTIL
NEXT/FINAL SURFACE IS COMPLETED.
SUBGRADE PREPARATION SHALL BE
PERFORMED AFTER ALL SUBSURFACE R/W
UTILITIES CONSTRUCTION IS COMPLETED.

1' SUBGRADE SOIL, R-VALUE > 50.
PLACED IN 2-6" COMPACTED LIFTS.
95% MIN. COMPACTION, AT OPT.
MOISTURE $\pm$ 2.0%, ASTM D1557, OR
OPT. MOISTURE, TO $\pm$ 4%, ASTM D698
FOR SOIL W/35% OR MORE MATERIAL
PASSING THE NO. 200 SIEVE.
SOIL NOT HAVING THE MIN. R-VALUE OF
50, SHALL BE REMOVED TO A DEPTH OF
2 FEET AND REPLACED BY THE CONTRACTOR
WITH SUITABLE MATERIAL OR A PAVEMENT
SHALL BE DESIGNED ACCOMMODATING
THE EXISTING R-VALUE PER
C.O.A. STANDARD SPECIFICATIONS.

1-3" ASPHALT CONCRETE TYPICAL FINISH
COURSE PLACED AFTER ALL MANHOLES, VALVES,
COVERS/RINGS ARE SET TO GRADE.
1500 LBS. STABILITY TYPE C GRADATION.



RESIDENTIAL PAVING SECTION (STANDARD CURB)
NTS

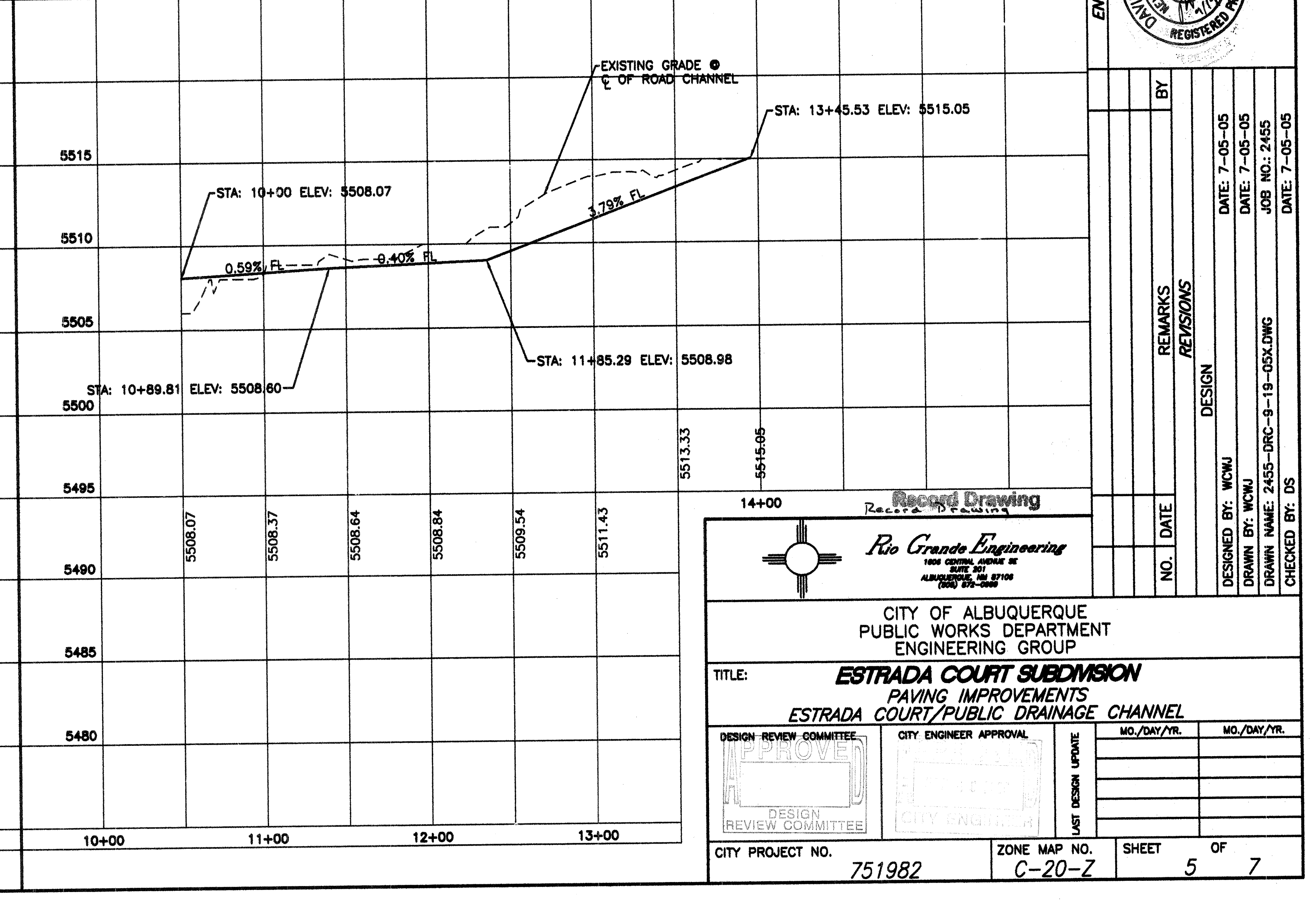
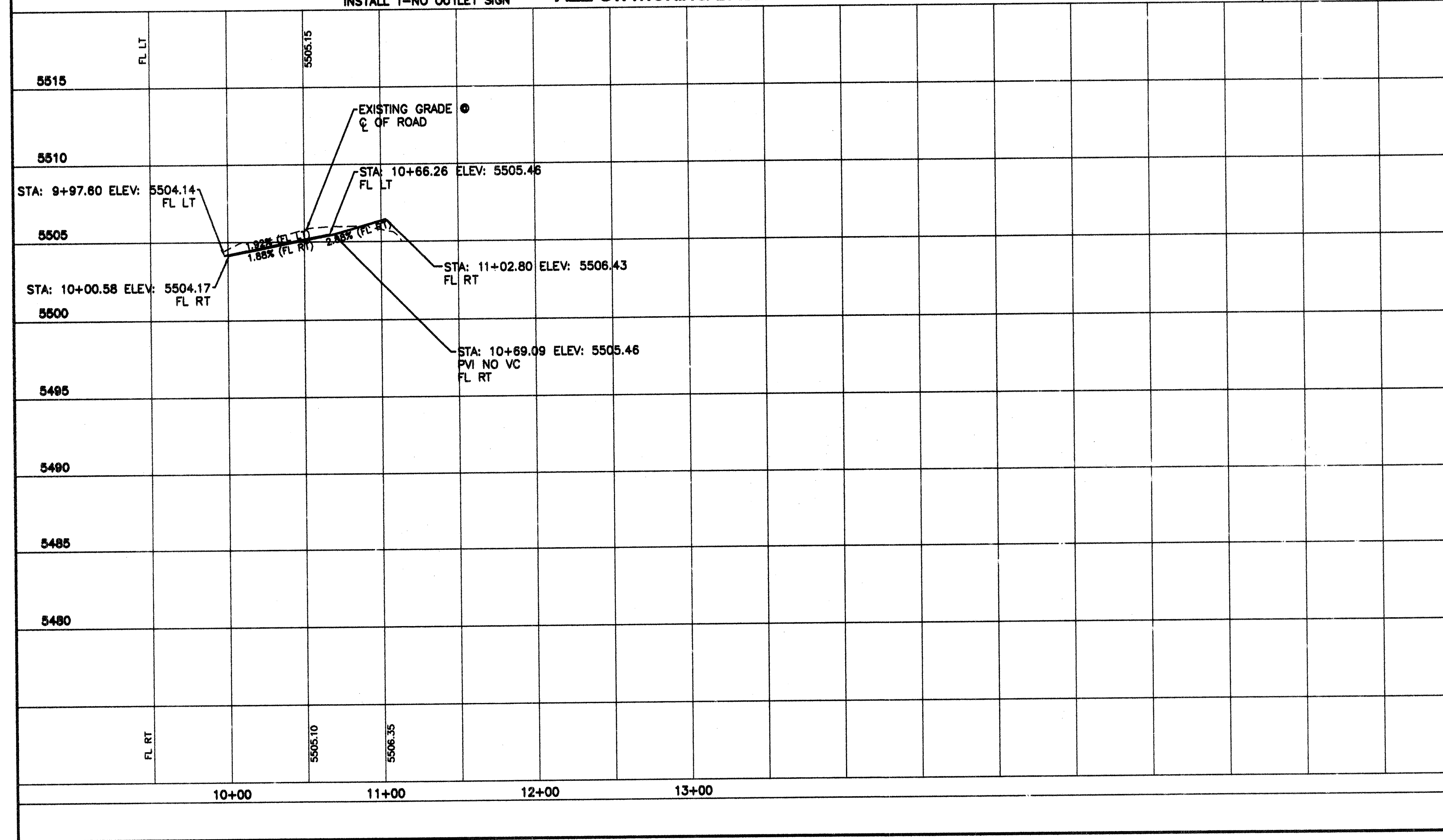
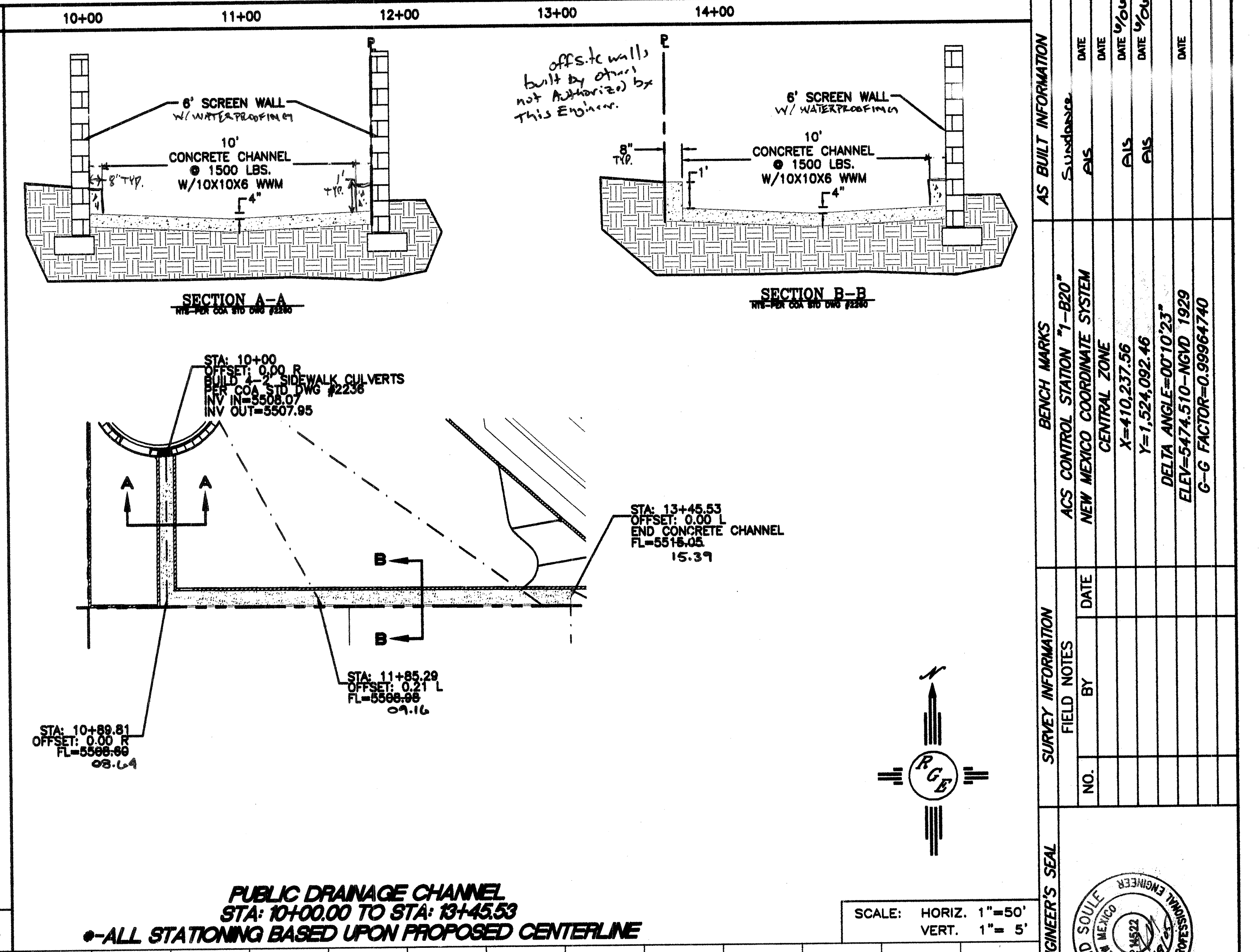
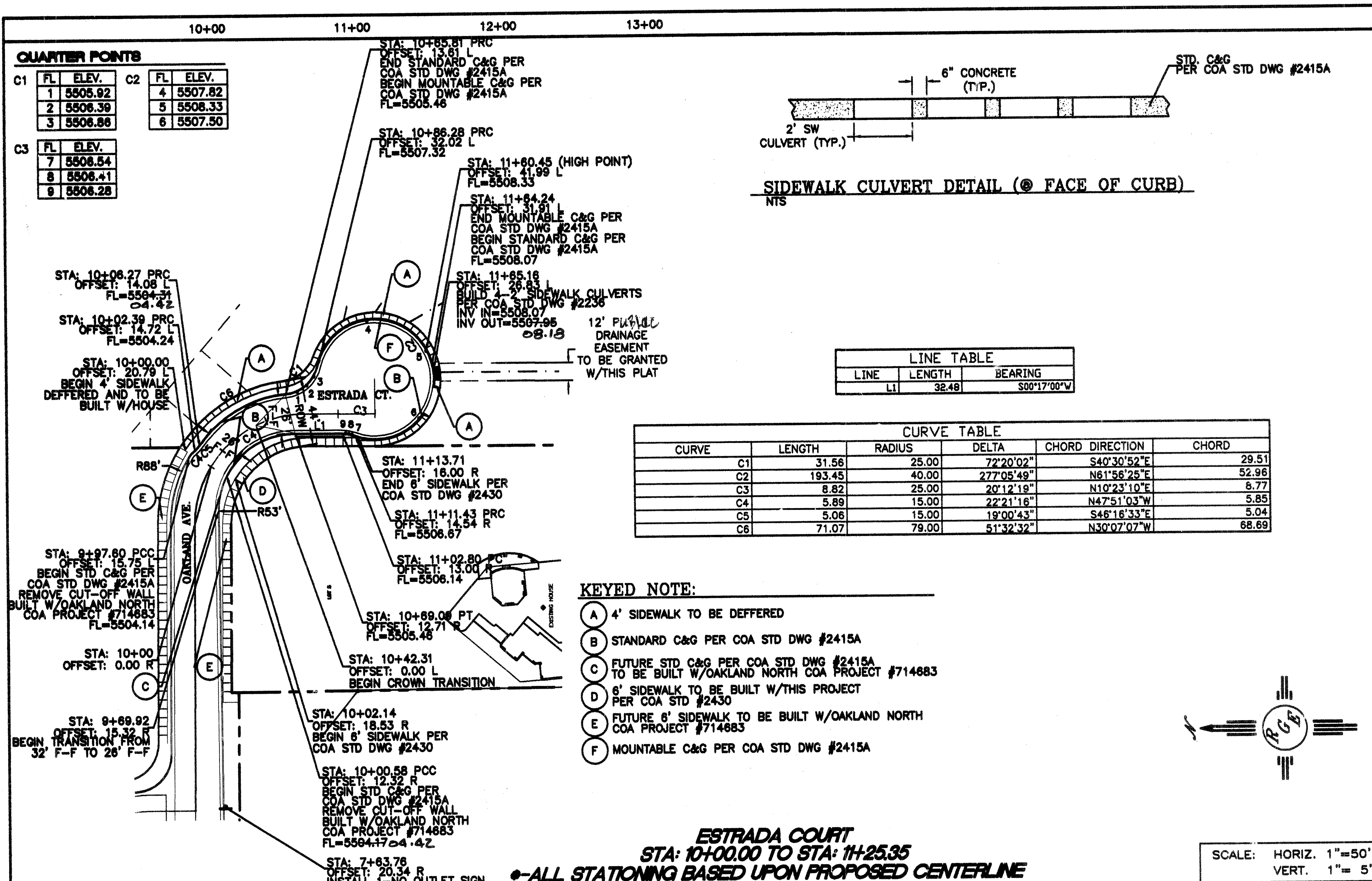
KEYED NOTE:

- (A) 4' SIDEWALK TO BE DEFERRED
- (B) STANDARD C&G PER COA STD DWG #2415A
- (C) FUTURE STD C&G PER COA STD DWG #2415A
TO BE BUILT W/OAKLAND NORTH COA PROJECT #714683
- (D) 8' SIDEWALK TO BE BUILT W/THIS PROJECT
PER COA STD #2430
- (E) BUILD 4'-2" SIDEWALK CULVERT-PER COA STD DWG #2236
TO BE BUILT W/THIS PROJECT
- (F) FUTURE 6' SIDEWALK TO BE BUILT W/OAKLAND NORTH
COA PROJECT #714683
- (G) FUTURE C&G PER COA STD DWG #2415A

LEGEND

- FUTURE CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY
- LOT LINES
- STREET LIGHTS

Record Drawing <i>Rio Grande Engineering</i> 1000 CENTRAL AVENUE SE SUITE 200 ALBUQUERQUE, NM 87105 (505) 875-2000	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: ESTRADA COURT SUBDIVISION MASTER PAVING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
DESIGNED BY: WCMJ	DRAWN BY: WCMJ
DRAWN NAME: 2455-DRC-9-19-044.DWG	CHECKED BY: DS
DATE: 7-05-05	DATE: 7-05-05
JOB NO.: 2455	DATE: 7-05-05
CITY PROJECT NO. 751982	ZONE MAP NO. C-20-Z
SHEET 4	OF 7



10+00 11+00 12+00 13+00

• • CONNECTION TO MAIN

SAS TABLE

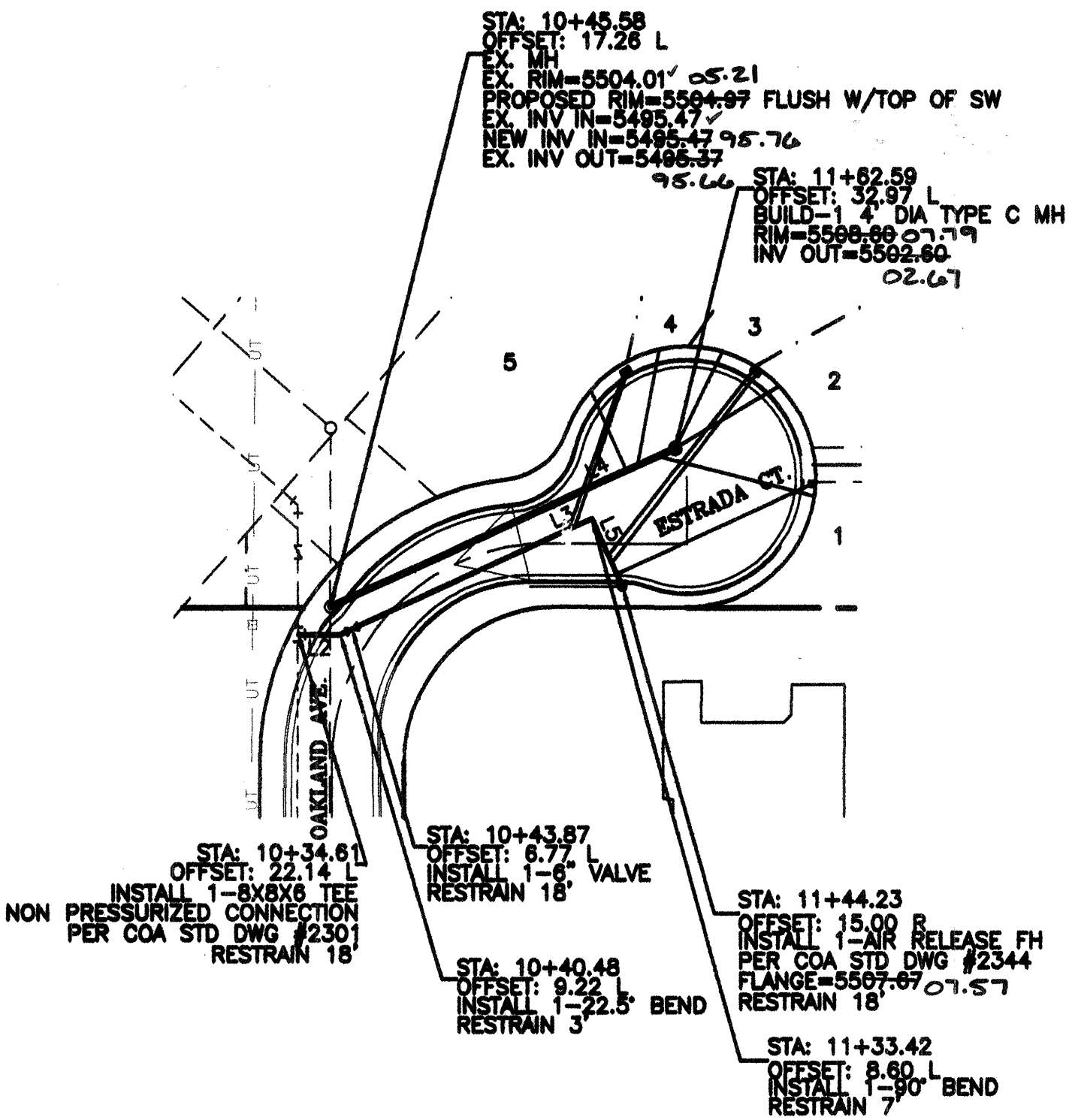
LOT #	STATION*	LF	INV.*	ELEV. • PL
1	11+56.65	57	5502.24	5504.72
+2	11+62.59	42	5502.93	5504.88
+3	11+62.59	37	5502.93	5504.88
4	11+49.46	41	5501.80	5504.45
5	11+45.52	31	5501.56	5504.45

+--LOTS 2 AND 3 SHALL BE INSTALLED IN MH
PER COA STD DWG #2118

WL TABLE

LOT #	STATION	SERVICE
1	11+42.15	SINGLE
2&3	11+39.81	DOUBLE
4&5	11+26.35	DOUBLE

LINE TABLE		
LINE	LENGTH	BEARING
L2	14.73	S30°12'30"W
L3	96.66	S24°19'37"E
L4	132.59	S24°19'37"E



NOTE:

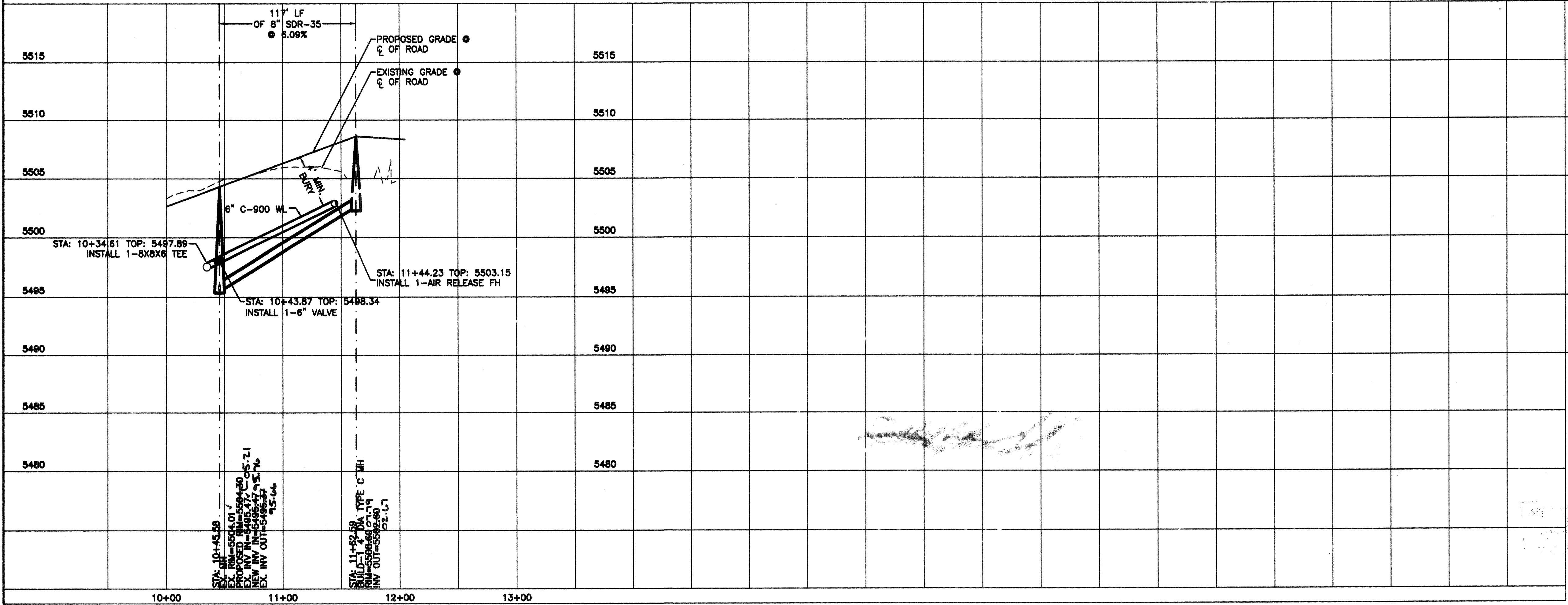
1. SEE MASTER UTILITY PLAN FOR SANITARY SEWER SERVICE CONNECTION DETAILS.
2. ALL FIRE HYDRANTS ARE TO BE BUILT PER C.O.A. STD DWG #2340 FULLY RESTRAINED
3. ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO AND CONSTRUCTION OF UTILITIES.
4. WATER VALVES SHALL BE PER COA STD DWG #2328, 2328, 2461.
5. ALL WATER SERVICES (3/4") SHALL BE PER COA STD DWG #2361, 2362, 2366, 2368
6. ALL WATER METER BOXES MAY NOT BE LOCATED IN DRIVEPAD

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

SCALE: HORIZ. 1"=50'
VERT. 1"= 5'

ESTRADA COURT
STA: 10+00.00 TO STA: 12+05.36
•-ALL STATIONING BASED UPON PROPOSED CENTERLINE



		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
ESTRADA COURT SUBDIVISION UTILITY IMPROVEMENTS ESTRADA COURT			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
DESIGN REVIEW COMMITTEE	CITY ENGINEER		
ZONE MAP NO. 751982		SHEET 7 OF 7	