

**Dekker
Perich
Sabatini**

6801 Jefferson NE
Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsobq.com

ARCHITECT

ISSUED FOR
DRB
10.26.04

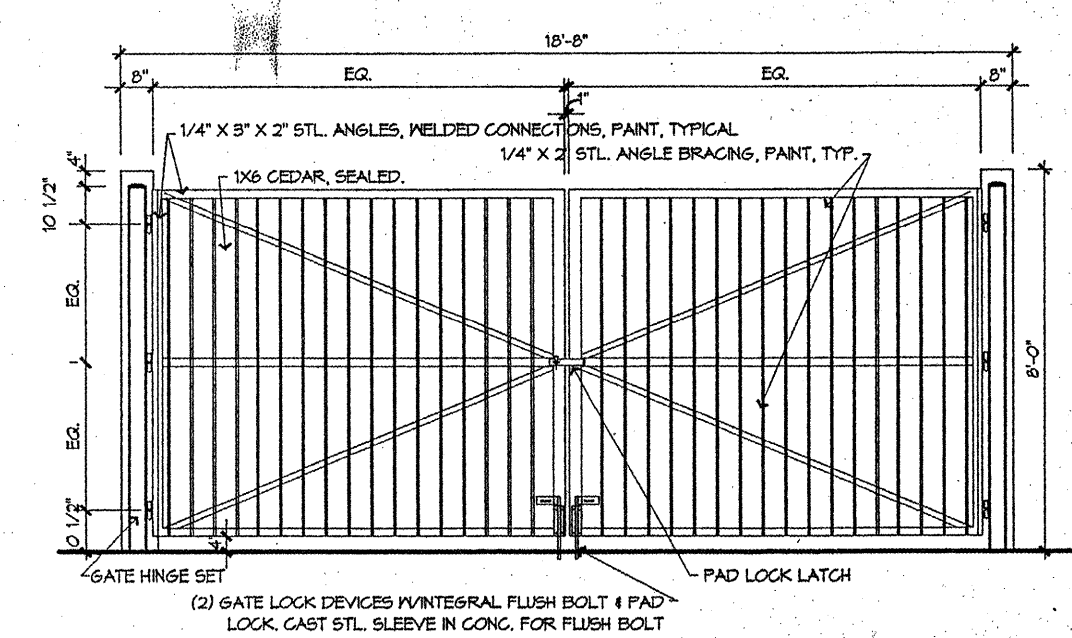
ENGINEER

PROJECT

**Housing @ The
Albuquerque Little Theater**
Central Ave. SW
Albuquerque, New Mexico

VICINITY MAP

J-13-Z



FLOOR PLAN

1/8" = 1'-0"

LEGAL DESCRIPTION

Tract lettered A plat of Tracts A & B LANDS OF ALBUQUERQUE LITTLE THEATER in Section 10, T10N, R3E NMPM as the same is shown and designated on said plat thereof filed in the office of the County Clerk of Bernalillo County on May 12, 2004 in Book 2004C, Page 150.

SITE DATA

Current Zoning: CLD Commercial/Low Density
Zoning Ordinance: Huning Castle and Reynolds Addition Sector Development Plan
Minimum Setbacks: 5' from Central Avenue, 15' from all other lot lines.
Maximum Density: Maximum floor area ratio is .61
Maximum Height: Maximum height is 46'
Usable Open Space: 400 sf for each efficiency or one-bedroom dwelling unit, 500 sf for each two-bedroom dwelling unit, and 600 sf for each dwelling unit containing three or more bedrooms.
2 BDR units * 2 = 1,000 sf
3 BDR units * 4 = 5,400 sf
= 6,400 sf Usable Open Space required

PROPOSED
Proposed Use: Retail/Office & Apartments
Lot Area: 44,632 sf or 1.02 acres
Setbacks: 5' from Central Avenue & 15' from all other lot lines
Density: 27,217 sf Habitable/44,632 sf (site) = .61 FAR
Height: 38' at highest point, refer to Building Elevations on sheet A301 (sheet 5 of 6).
Usable Open Space:
Lot Area = 44,632 sf
Paved Area = 15,501 sf
Building Footprint = 14,928 sf
Lot Area - [Paved Area and Building Footprint] = Usable Open Space
44,632 - (15,501 + 14,928) = 14,203 sf Usable Open Space provided

PROJECT DATA

Dwelling Units:
Unit A - 3BR/2BA - 4 units x 1,995 sf = 7,980 sf
Unit B - 4BR/2BA - 4 units x 2,132 sf = 8,528 sf
Unit C - 2BR/2BA - 2 units x 1,428 sf = 2,856 sf
Unit D - 3BR/2BA - 1 unit x 2,122 sf = 2,122 sf
Total 11 units = 21,486 sf

Retail Space @ First Floor:
Retail 1 - 403 sf
Retail 2 - 455 sf
Retail 3 - 846 sf
Total = 1,704 sf

Office Space @ Second Floor:
Office 1 - 1,041 sf
Office 2 - 1,115 sf
Office 3 - 1,066 sf
Total = 4,022 sf

Total Habitable Area = 27,217 sf

PARKING DATA

Required: 1 Parking Space for each bathroom within the dwellings unit but no less than 1.5 spaces. All proposed dwelling units have 2 bathrooms therefore each unit is required to have 2 parking spaces.

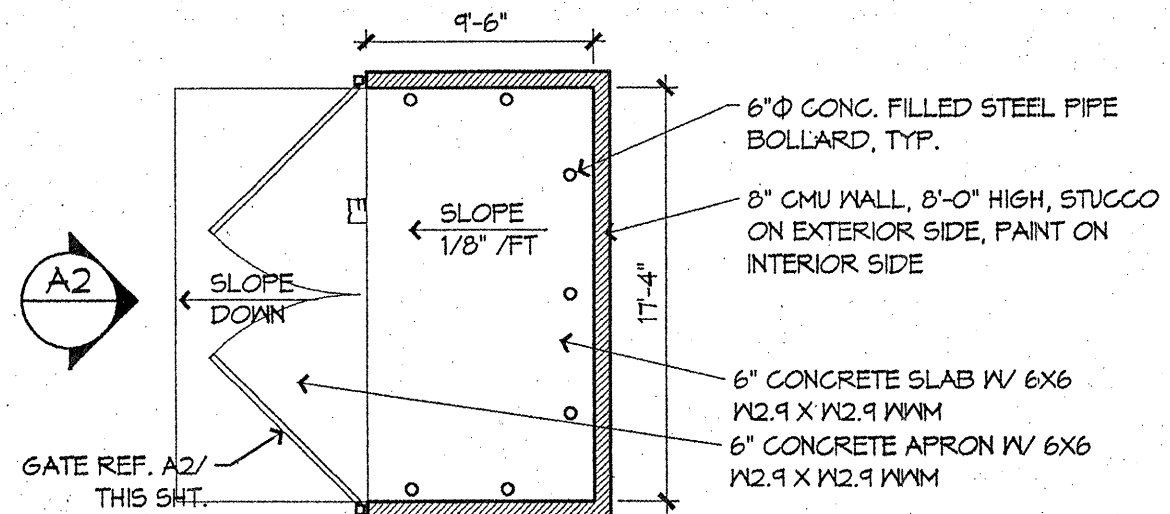
1 space for every 200 sf of Habitable Retail or Office space.
Habitable Retail & Office space = 5,731 sf
Less Storage & Egress Area - 860 sf
Net Leasable Area = 4,871 sf
4,871 / 200 = 24.36 = 25 spaces
Less 10% for transit corridor = 2
Total 23 spaces required

Proposed:
All proposed dwelling units are provided with a 2 car garage.

Retail & Office parking provided:
Covered spaces 7
Standard spaces 15
Handicapped spaces 1
Total 23 spaces provided

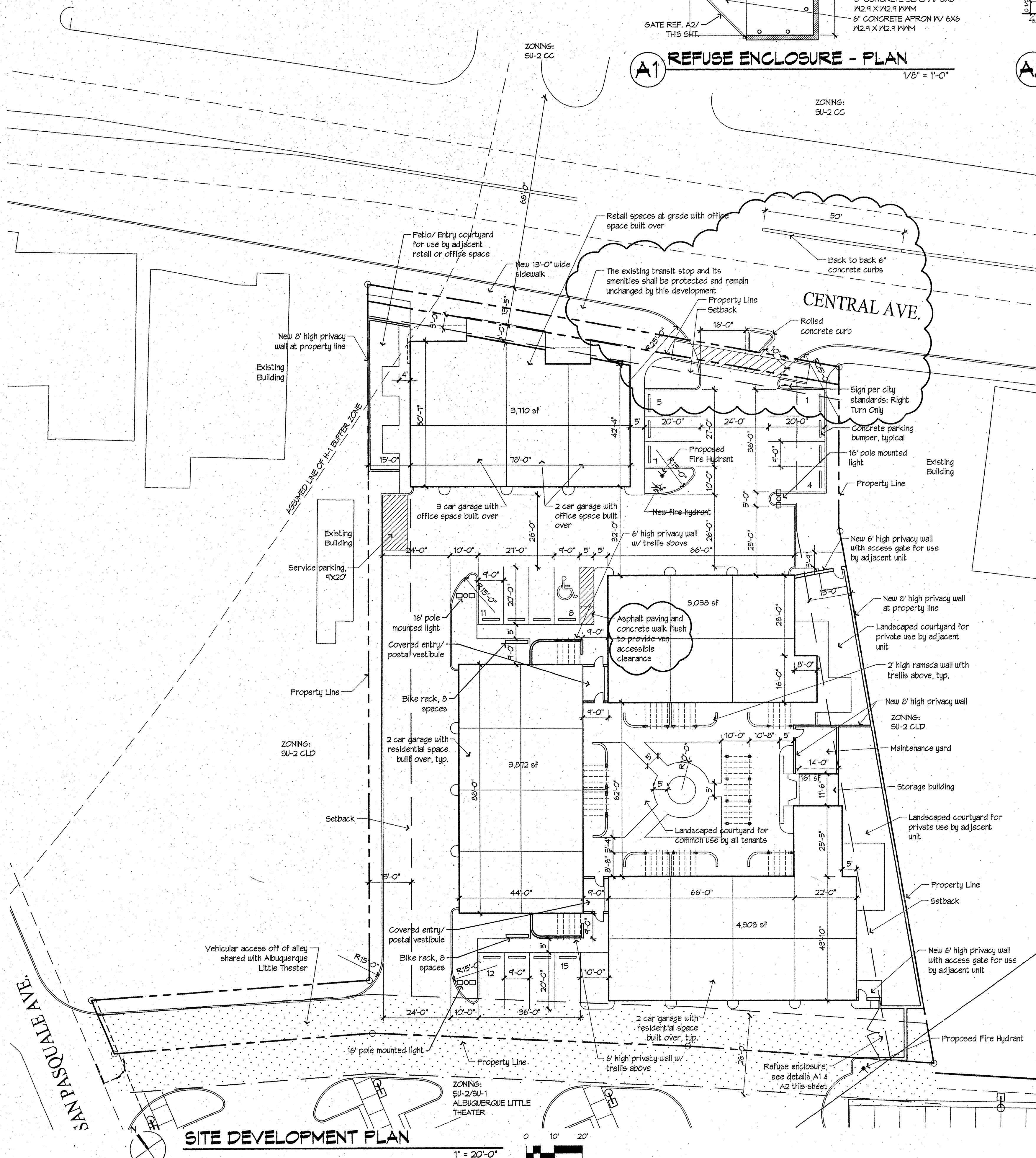
Bicycle Parking Required:
Residential: 1 Bicycle space per 2 dwelling units.
Nonresidential: 1 Bicycle space per 20 automobile parking spaces
11 dwelling units = 6 bicycle spaces.
23 nonresidential parking spaces = 2 bicycle spaces
= 8 spaces required

Bicycle Parking Provided:
16 Bicycle spaces provided



REFUSE ENCLOSURE - PLAN

1/8" = 1'-0"



SITE DEVELOPMENT PLAN

1" = 20'-0"

PROJECT NUMBER: 1003010

APPLICATION NUMBER: 04EPC-00860 EPC Site Development Plan-Building Permit
04 DRB 01687

Is an Infrastructure List Required? (x) Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

[Signature] 11-17-04
TRANSPORTATION DIVISION DATE
[Signature] 11-17-04
CITY ENGINEER
[Signature] 4/19/05
DATE
[Signature] 4/20/05
DATE
[Signature] 11/17/04
DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT

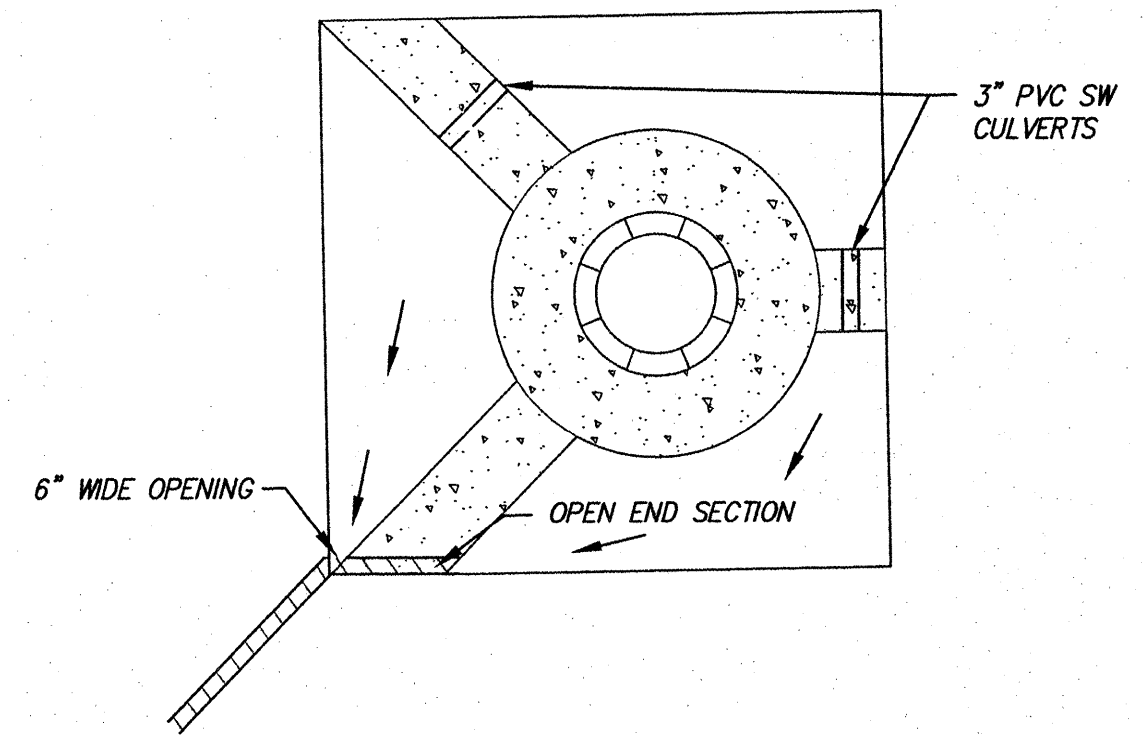
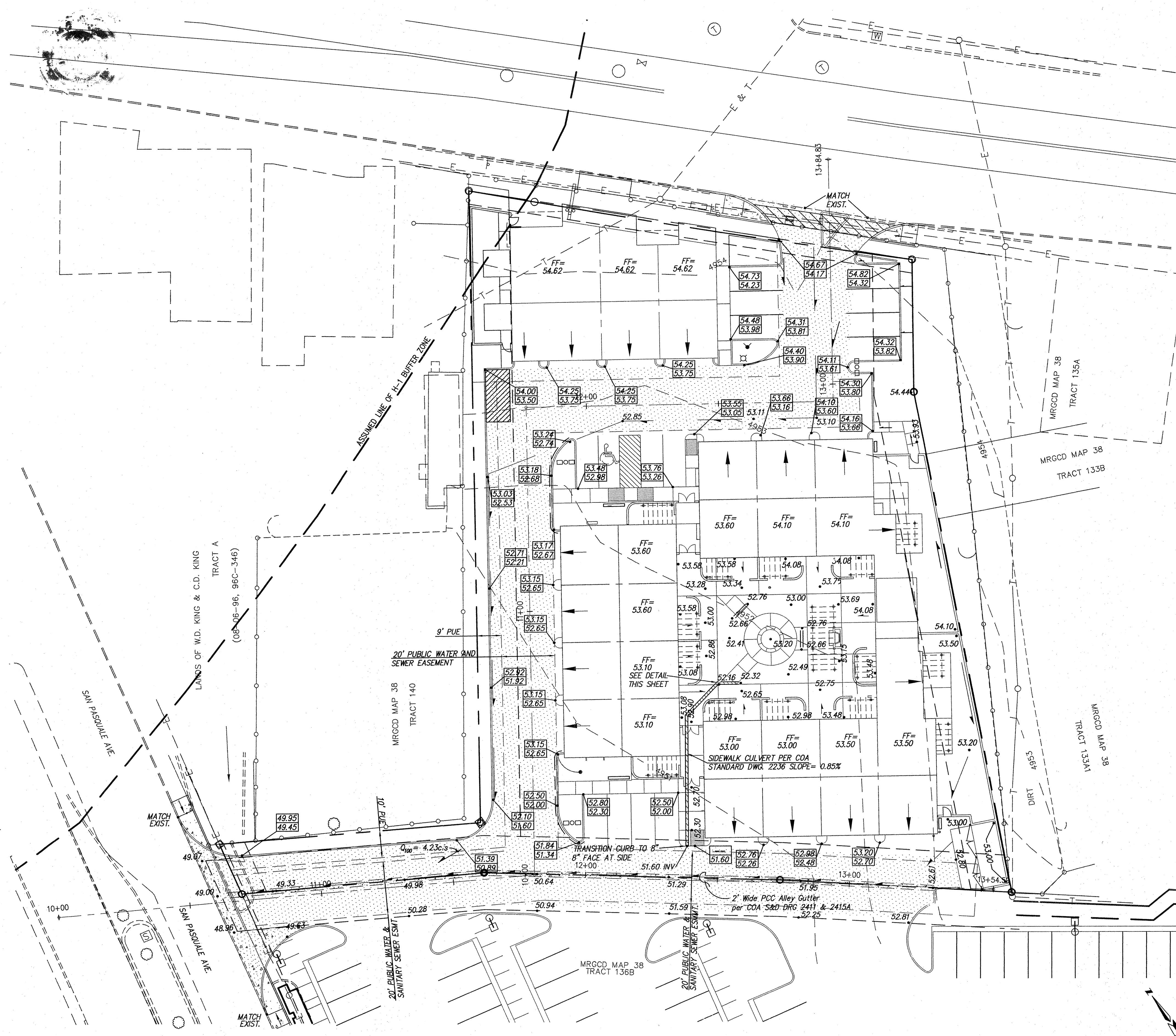
REVISIONS
1/20/04 EPC Conditions Incorporated
11/10/04 DRB Comments Incorporated

DRAWN BY dr
REVIEWED BY CG
DATE 10.26.04
PROJECT NO. 04037
DRAWING NAME

SITE DEVELOPMENT
PLAN FOR BUILDING
PERMIT

SHEET NO.

A001
2 OF 6

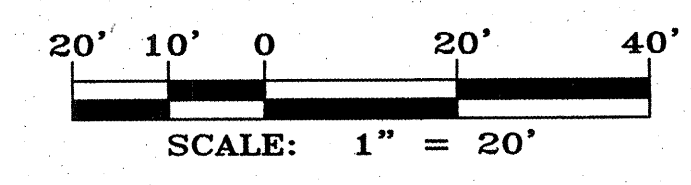


6" x 12" CONCRETE SIDEWALK CULVERT
(CONSTRUCT 6" V x 12" H SIDEWALK CULVERT PER
(COA STD. DWG. 2236)

LEGEND

- 4956 EXISTING CONTOUR MINOR
- 4955 EXISTING CONTOUR MAJOR
- EXISTING CURB
- EXISTING INLET
- EXISTING SANITARY SEWER LINE
- EXIST SAS EXISTING SANITARY SEWER MANHOLE
- EXIST WL EXISTING WATERLINE
- EXISTING GATE VALVE
- EXISTING WATER SERVICE METER
- EXISTING FENCE
- FL=36.8 EXISTING FLOWLINE ELEVATION
- 37.6 EXISTING SPOT ELEVATION
- 48 PROPOSED CONTOUR LINE
- 85.00 PROPOSED SPOT ELEVATION
- 48.80 PROPOSED TOP CURB ELEVATION
- 48.30 PROPOSED FLOWLINE ELEVATION
- ROOF DRAIN
- PROPOSED SAS MANHOLE
- PROPOSED SWALE

FOR INFORMATION ONLY



AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	AS BUILT	DATE	NO.	BY	NO.	BY
WORK	DATE	DATE	DATE				
STAMPED BY	DATE	DATE	DATE				
FIELD	DATE	DATE	DATE				
ACCEPTANCE BY	DATE	DATE	DATE				
SAFETY	DATE	DATE	DATE				
COORDINATES	DATE	DATE	DATE				
CORRECTED BY	DATE	DATE	DATE				
MICRO-FILM INFORMATION	DATE	DATE	DATE				
RECORDED BY	DATE	DATE	DATE				
NO.	DATE	DATE	DATE				

REVISIONS		DESIGN	
NO.	DATE	NO.	DATE
1	06/05	1	06/05
2	06/05	2	06/05
3	06/05	3	06/05

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
TITLE: HOUSING @ THE ALBUQUERQUE LITTLE THEATER GRADING & DRAINAGE PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO. 769481 752081	ZONE MAP NO.
SHEET 3	OF 6

PT. ELEV.
1 53.69
2 53.75
3 53.82

PT. ELEV.
1 53.78
2 53.67
3 53.57

NOTES:

1. CONSTRUCT 2" WIDE PCC ALLEY GUTTER PER COA STD DWG 2411 & 2415A.
2. CONSTRUCT 6" EXTRUDED-CONCRETE CURB PER COA STD DWG 2415B.
3. CONSTRUCT 6" PCC VALLEY GUTTERS PER COA STD DWG 2420.
4. CONSTRUCT UNI-DIRECTIONAL WHEELCHAIR RAMP PER COA STD DWG 2426.
5. CONSTRUCT MOUNTABLE MEDIAN CURB CENTRAL AVE. EXIT/ENTRANCE PER COA STD. DWG 24.15.B
6. NEW SIDEWALK SHOULD MATCH EXISTING SIDE WALK WIDTH ON CENTRAL & SAN PASQUALE. CONSTRUCT SIDEWALK PER COA STD. DWG. 2430.

PT. ELEV.
1 101.01
2 101.01
3 101.01

ALL QUARTER POINTS ARE
CLOCKWISE ROTATION AT
CURB RETURN.

CURVE DATA - DESCRIBES FACE OF CURB RETURNS

- | | | |
|---|---|--|
| ① $\Delta = 66^{\circ}21'15''$
$R = 25.00$
$L = 28.95$
$T = 16.35$ | ② $\Delta = 66^{\circ}05'29''$
$R = 25.00$
$L = 27.53$
$T = 15.35$ | ③ $\Delta = 128^{\circ}26'05''$
$R = 1.17$
$L = 2.62$
$T = 2.42$ |
| ④ $\Delta = 10^{\circ}26'48''$
$R = 35.83$
$L = 6.53$
$T = 3.28$ | ⑤ $\Delta = 99^{\circ}51'46''$
$R = 1.17$
$L = 2.03$
$T = 1.39$ | ⑥ $\Delta = 106^{\circ}36'50''$
$R = 25.00$
$L = 46.52$
$T = 33.55$ |
| ⑦ $\Delta = 70^{\circ}25'56''$
$R = 25.00$
$L = 30.73$
$T = 17.65$ | | |

A.C. SURFACE COURSE
1 1/2" MIN-TYPE C,
(SECTION 116, 336)
PLACED AFTER ALL MANHOLE,
VALVE COVERS/RINGS ARE
SET TO GRADE.

FINISH SURFACE OF SUBGRADE
SHALL BE MOISTURE CONTROLLED
AT COMPACTION MOISTURE RANGE,
AND/OR PRIME COAT APPLIED AS
REQUIRED BY THE ENGINEER.

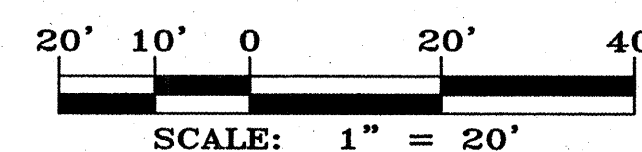
TACK COAT AS REQUIRED
BY THE ENGINEER.

A.C. PAVEMENT COURSE
1 1/2" MIN-TYPE C,
(SECTION 116, 336)

12" SUBGRADE PREP
R-VALVE > 50
95% MIN COMPACTION
PER SECTION 301.

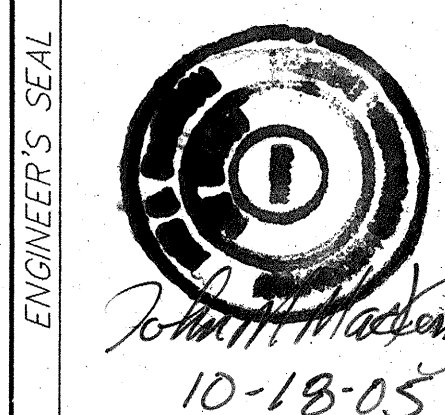
FLEXIBLE PAVEMENT SECTION

N.T.S. FOR ALLEY & ONSITE PAVING



LEGEND

IMPROVEMENT THIS PROJECT



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 628-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: HOUSING @ THE
ALBUQUERQUE LITTLE THEATER
MASTER PAVING PLAN

DESIGN REVIEW COMMITTEE
CITY ENGINEER APPROVAL
DESIGN REVIEW COMMITTEE
CITY ENGINEER

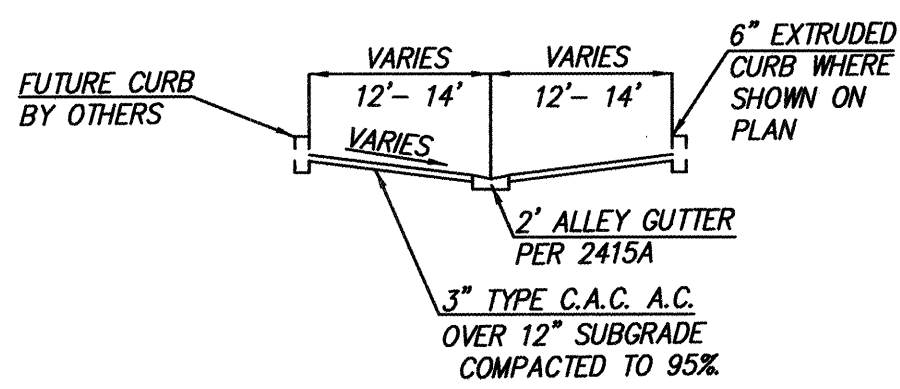
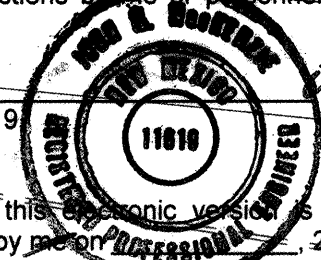
CITY PROJECT NO. 752081
ZONE MAP NO. J-13-Z
SHEET 4 OF 6

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

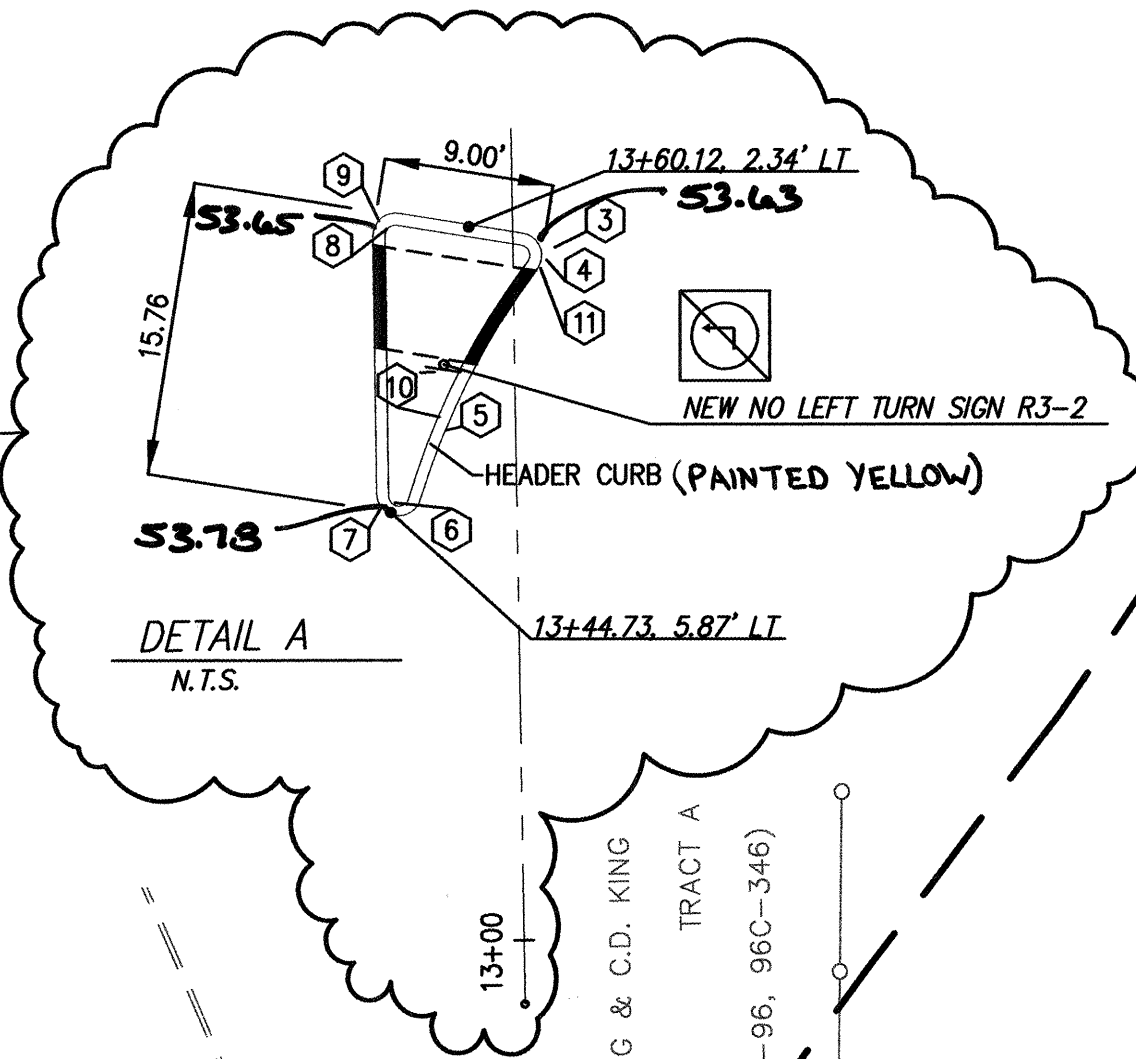
I, John MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or a qualified person under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

John M. MacKenzie
John M. MacKenzie NMPE 11619

I, John MacKenzie, certify that this electronic version is identical to the original reproducible APPROVED FOR CONSTRUCTION drawings signed by Scott Medina on 08-30-06.



ALT ALLEY SECTION
N.T.S.



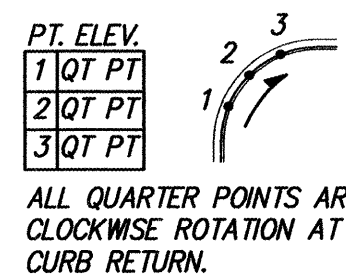
DETAIL A
N.T.S.

PT. ELEV.
1 53.69
2 53.75
3 53.82

PT. ELEV.
1 53.78
2 53.67
3 53.57

NOTES:

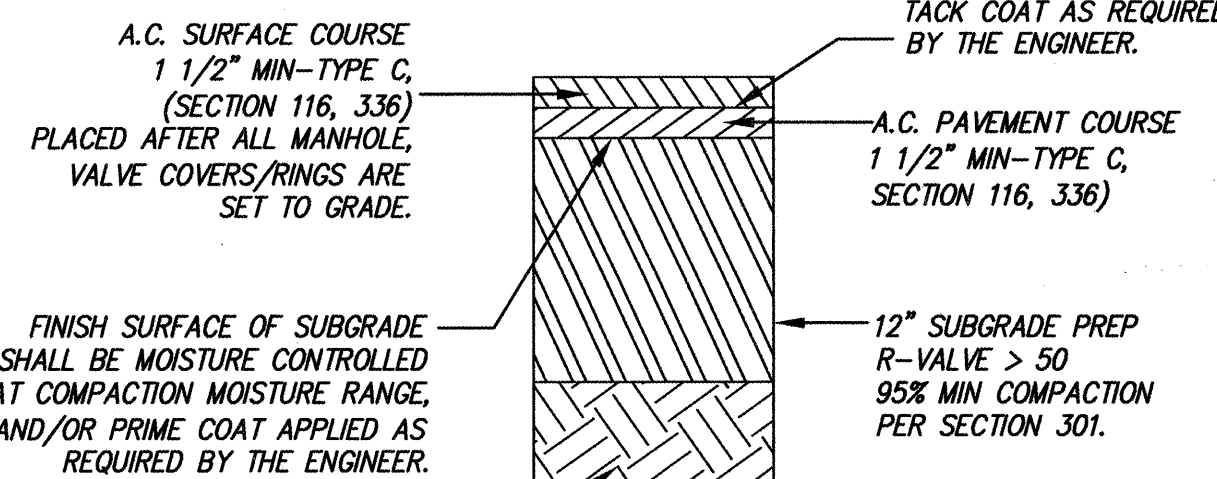
1. CONSTRUCT 2' WIDE PCC ALLEY GUTTER PER COA STD DWG 2411 & 2415A.
2. CONSTRUCT 6" EXTRUDED-CONCRETE CURB PER COA STD DWG 2415B.
3. CONSTRUCT 6" PCC VALLEY GUTTERS PER COA STD DWG 2420.
4. CONSTRUCT UNI-DIRECTIONAL WHEELCHAIR RAMP PER COA STD DWG 2426.
5. CONSTRUCT MOUNTABLE MEDIAN CURB CENTRAL AVE. EXIT/ENTRANCE PER COA STD. DWG. 24.15.B
6. NEW SIDEWALK SHOULD MATCH EXISTING SIDE WALK WIDTH ON CENTRAL & SAN PASQUALE CONSTRUCT SIDEWALK PER COA STD. DWG. 24.30.



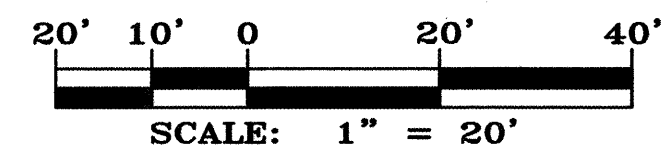
ALL QUARTER POINTS ARE
CLOCKWISE ROTATION AT
CURB RETURN.

CURVE DATA - DESCRIBES FACE OF CURB RETURNS

1 Δ = 66°21'15"	2 Δ = 66°05'29"	3 Δ = 118°14'16"
R = 25.00	R = 25.00	R = 1.17
L = 28.95	L = 27.53	L = 2.41
T = 16.35	T = 15.35	T = 1.95
4 Δ = 119°28'44"	5 Δ = 19°55'25"	6 Δ = 156°12'42"
R = 0.54	R = 39.51	R = 0.54
L = 1.12	L = 13.74	L = 1.47
T = 0.92	T = 6.94	T = 2.56
7 Δ = 142°59'27"	8 Δ = 99°51'46"	9 Δ = 99°51'46"
R = 1.17	R = 0.54	R = 1.17
L = 2.92	L = 0.94	L = 2.03
T = 3.50	T = 0.64	T = 1.39
10 Δ = 102°27'25"	11 Δ = 0°46'11"	
R = 38.66	R = 38.66	
L = 7.06	L = 0.52	
T = 3.54	T = 0.26	



FLEXIBLE PAVEMENT SECTION
N.T.S. FOR ALLEY & ONSITE PAVING



LEGEND

IMPROVEMENT THIS PROJECT

AS-BUILT INFORMATION			
CONTRACTOR	DATE	BY	NO.
WORK	DATE	BY	NO.
STAKED BY	DATE	BY	NO.
ACCEPTANCE	DATE	BY	NO.
FIELD	DATE	BY	NO.
PLAN	DATE	BY	NO.
SECTION	DATE	BY	NO.
CORRECTIONS	DATE	BY	NO.
COORDINATES	DATE	BY	NO.
RECORDED BY	DATE	BY	NO.
MICRO-FILM INFORMATION	DATE	BY	NO.

ENGINEER'S SEAL			
NO.	DATE	BY	NO.
REMARKS	DATE	BY	NO.
DESIGN	DATE	BY	NO.
REVISIONS	DATE	BY	NO.
DESIGNED BY	DATE	BY	NO.
DRAWN BY	DATE	BY	NO.
CHECKED BY	DATE	BY	NO.

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

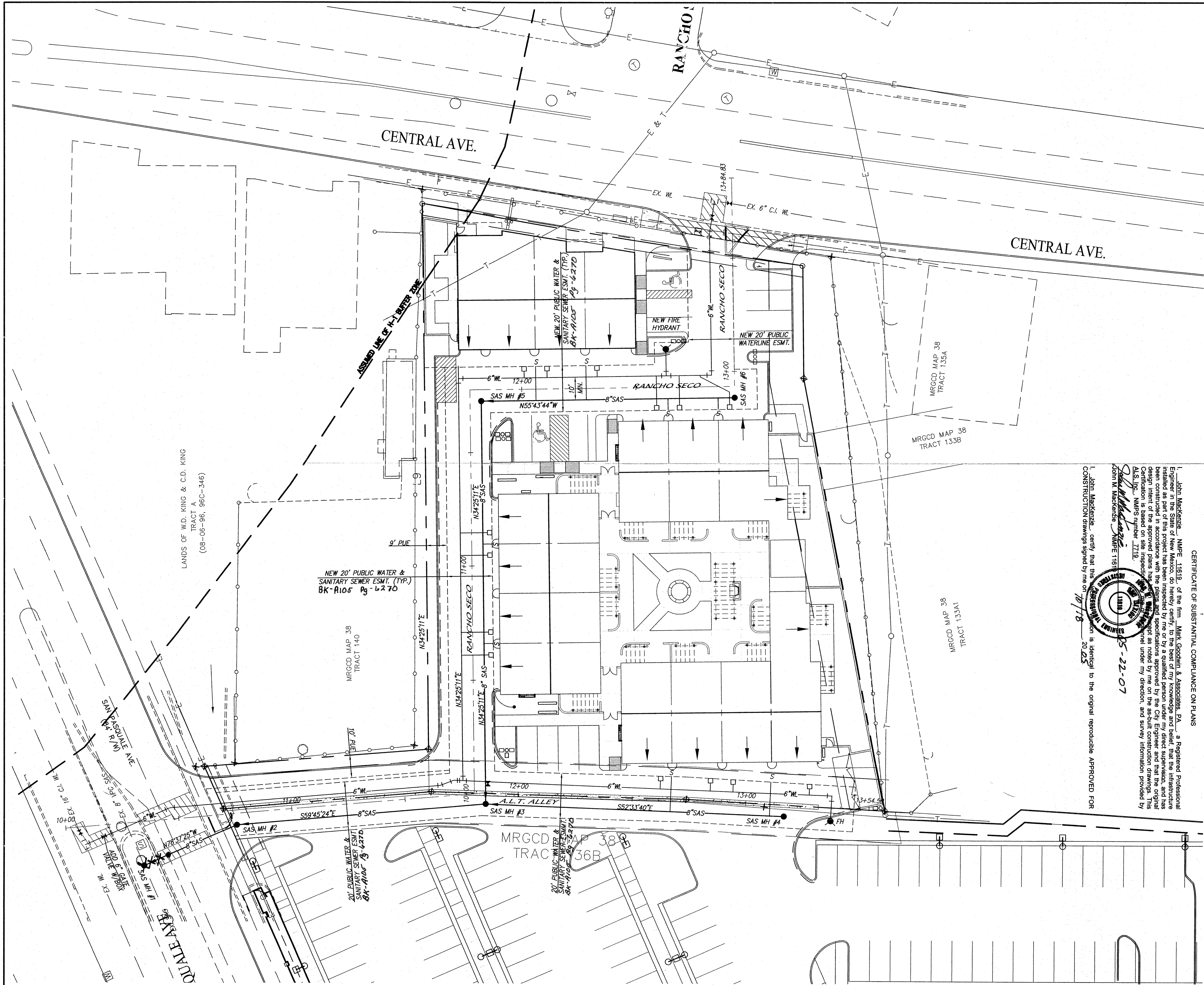


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **HOUSING @ THE
ALBUQUERQUE LITTLE THEATER
MASTER PAVING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. **752081** ZONE MAP NO. **J-13-Z** SHEET **4R** OF **6**



GENERAL NOTES

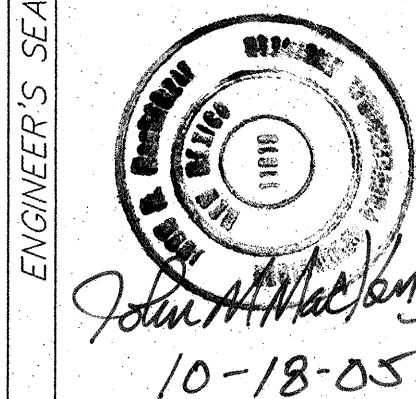
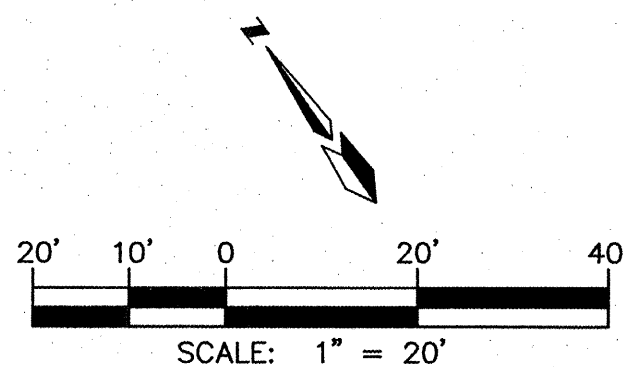
1. ALL NEW WATERLINE CONNECTIONS TO EXISTING WATERLINES SHALL BE NON-PRESSURIZED CONNECTIONS.
2. ALL STATIONING IS CENTER LINE STATIONING.
3. ALL WATER SERVICE LINES SHALL BE 3/4" INSTALL 3/4" WATTS, D090 (OR EQUAL) BACKFLOW PREVENTOR W/SLAB & HOT BOX AT ALL RESIDENTIAL SERVICE AND LANDSCAPE METER LOCATIONS.
4. ALL EXISTING PAVEMENT REMOVAL & REPLACEMENT SHALL BE CONSTRUCTED PER COA STD DWG 2465.
5. ALL WATER METER BOXES SHALL BE PER COA STD. DWG. 2369 HEAVYWEIGHT METER BOX COVER AND LID.
6. REMOVE & REPLACE MEDIAN C & G IN SAN PASQUALE PER COA STD. DWG. 2415B.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John Mackenzie, NMPE 11619, of the firm, Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer, and that the original design intent of the approved plans has been followed. This certificate is given in full compliance with the provisions of the City Engineer and that the original design intent of the approved plans has been followed. This certificate is given in full compliance with the provisions of the City Engineer and that the original design intent of the approved plans has been followed.

John M. Mackenzie
NMPE 11619
10-18-05

I, John Mackenzie, certify that this infrastructure is identical to the original reproducible APPROVED FOR CONSTRUCTION drawings signed by me on 10-18-05.



MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

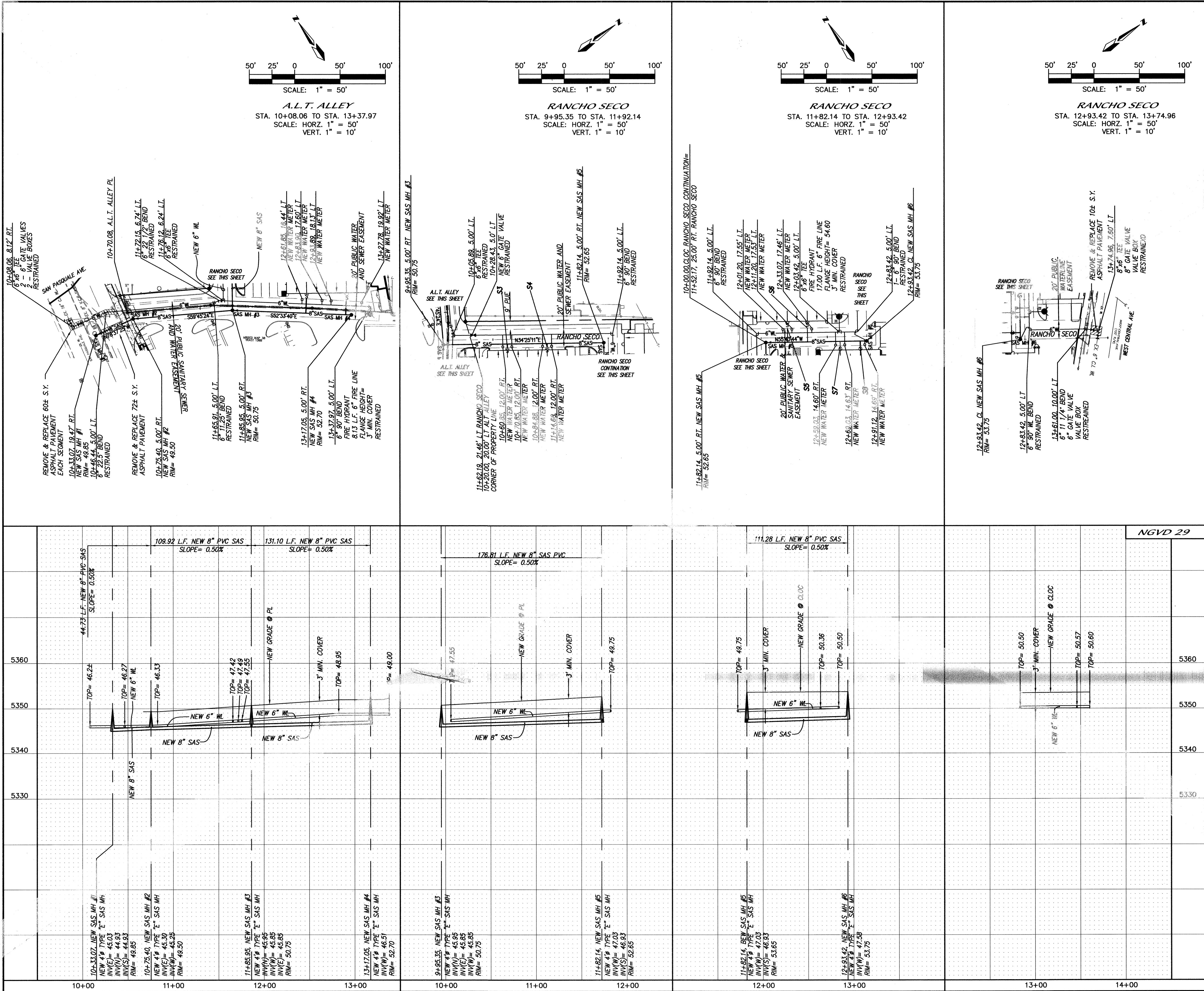
TITLE:
ALT HOUSING
RANCHO SECO AND ALT ALLEY
MASTER UTILITY PLAN

DESIGN REVIEW COMMITTEE
REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVE
CITY ENGINEER

MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. 752081 ZONE MAP NO. J-13-Z SHEET 5 OF 6



GENERAL NOTES

- ALL NEW WATERLINE CONNECTIONS TO EXISTING WATERLINES SHALL BE NON-PRESSURIZED CONNECTIONS.
- ALL STATIONING IS CENTER LINE STATIONING.
- ALL WATER SERVICE LINES SHALL BE 3/4" INSTALL 3/4" WATTS, D090 (OR EQUAL) BACKFLOW PREVENTOR W/SLAB & HOT BOX AT ALL RESIDENTIAL SERVICE AND LANDSCAPE METER LOCATIONS.

PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	-	3'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

PIPE SIZE	RUN	BRANCH
6"x6"x6"	60'	2'

SEWER SERVICE #	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
S1	12+66.84	46.4	15.72'
S2	13+10.78	46.6	15.12'
S3	10+65.85	46.3	4.11'
S4	11+09.68	46.6	4.09'
S5	12+06.20	47.2	15.00'
S6	12+28.20	47.3	15.00'
S7	12+64.03	47.5	5.00'
S8	12+86.12	47.6	5.00'

ENGINEER'S SEAL

NO. DATE
DESIGNED BY: SD
DRAWN BY: KJS
CHECKED BY: DMG

REVISIONS
DATE: 04/05
DATE: 04/05
DATE: 04/05

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE:
ALT HOUSING
RANCHO SECO AND ALT ALLEY
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE

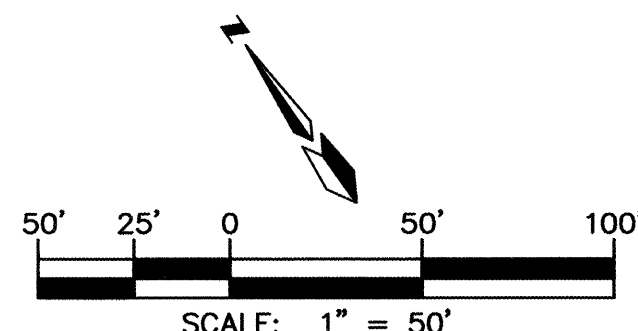
CITY ENGINEER

MO./DAY/YR.
MO./DAY/YR.

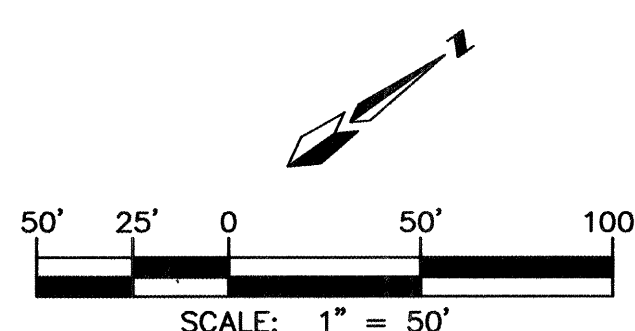
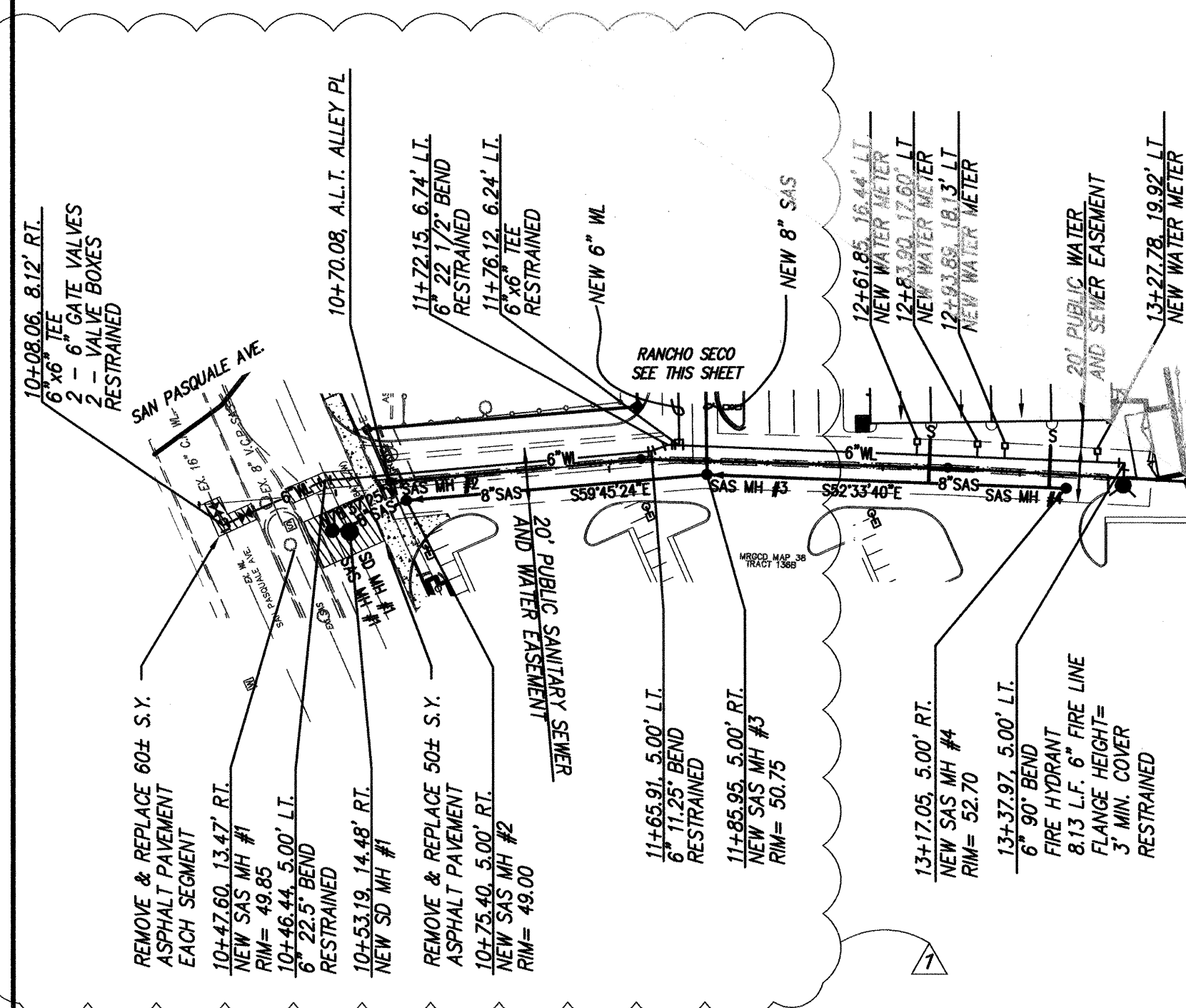
QTY PROJECT NO.
752081

ZONE MAP NO.
J-13-Z

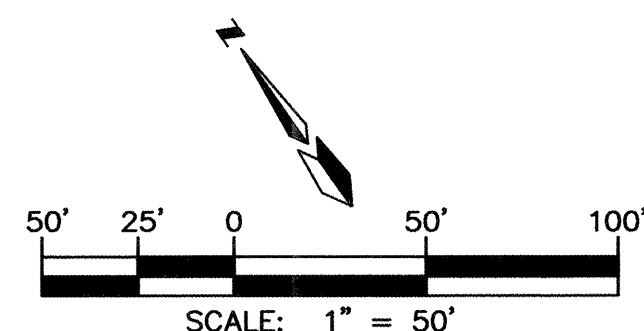
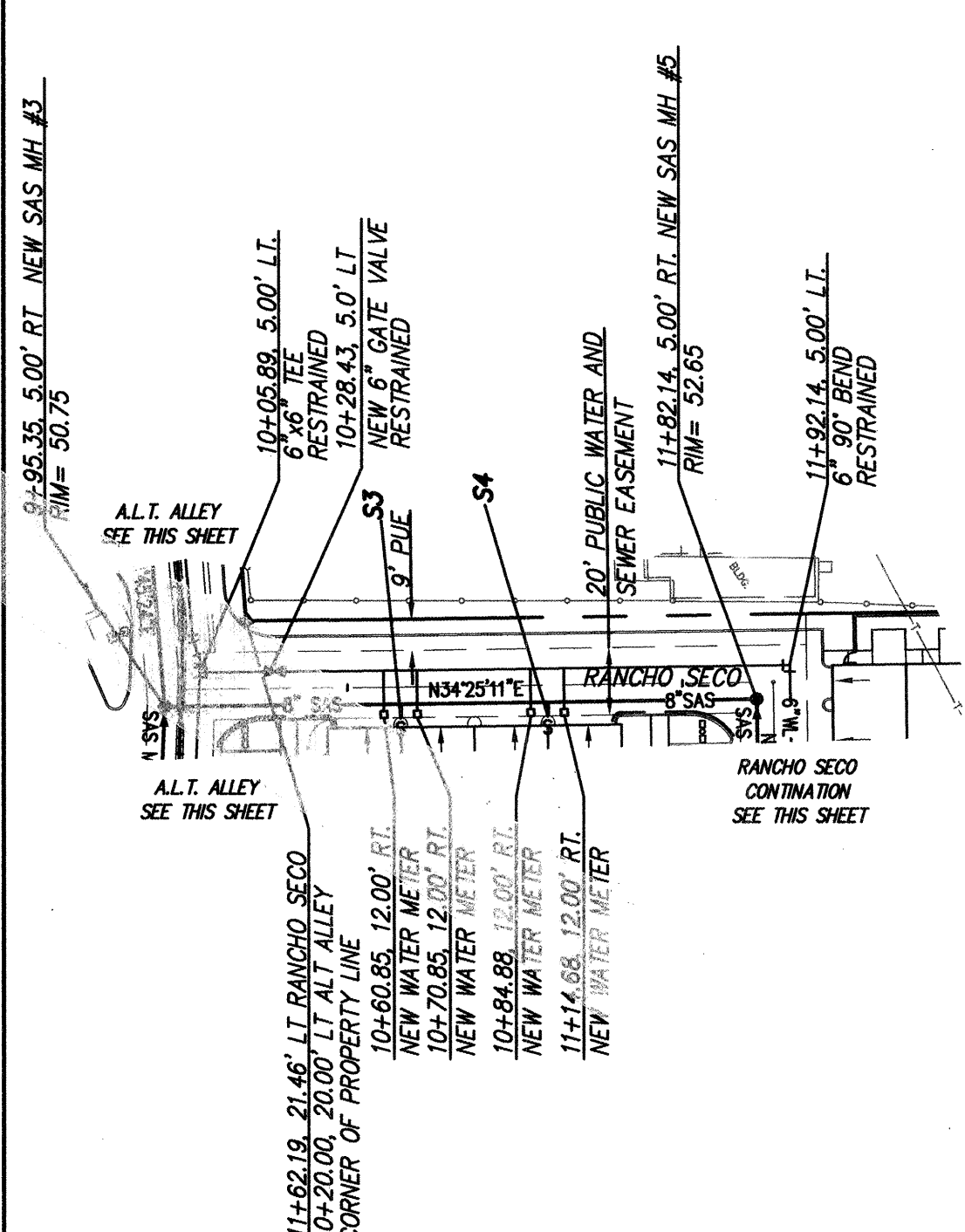
SHEET
6 OF 6



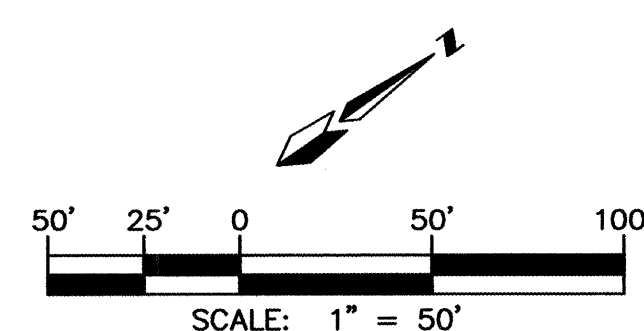
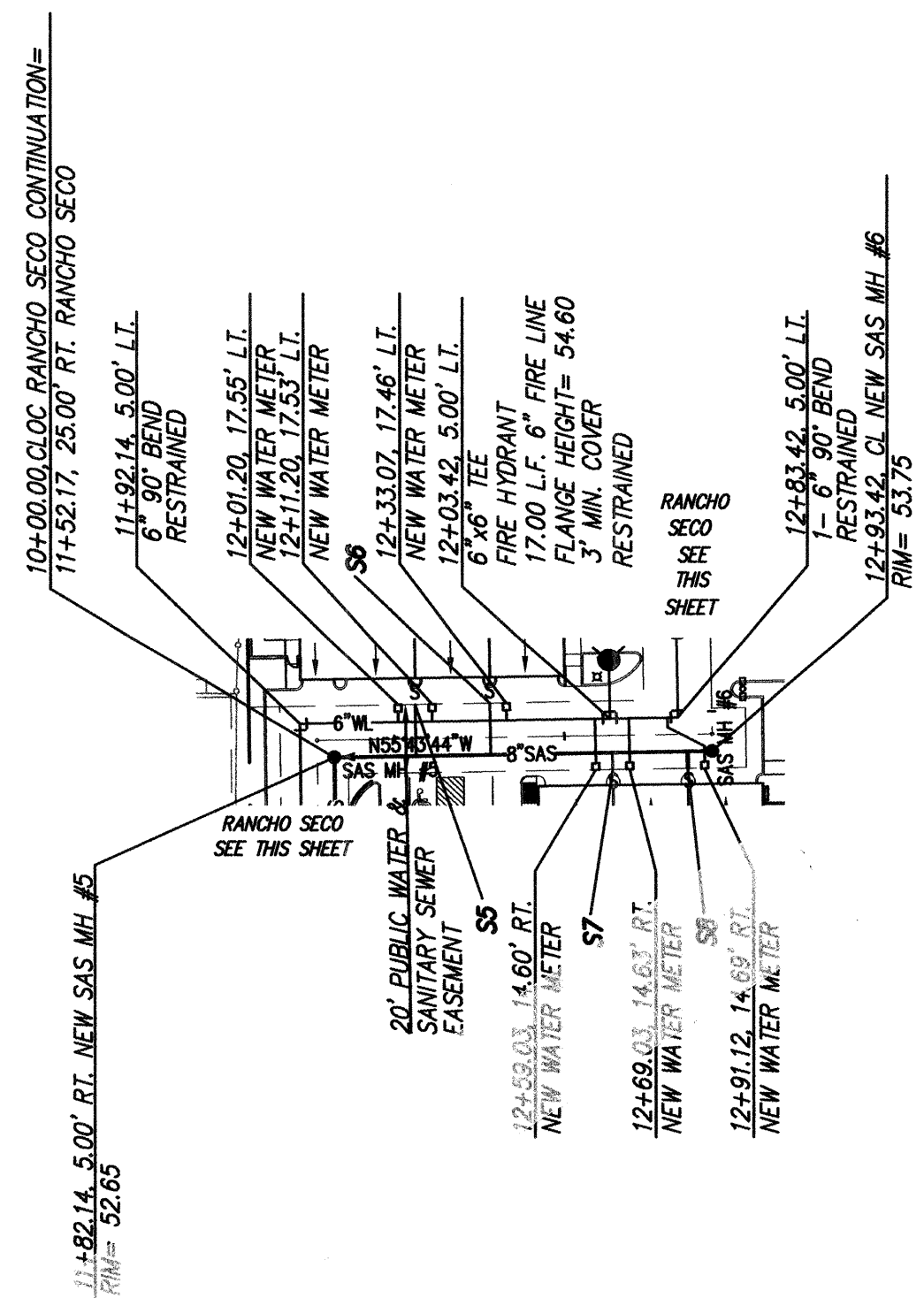
A.L.T. ALLEY
STA. 10+08.06 TO STA. 13+37.97
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



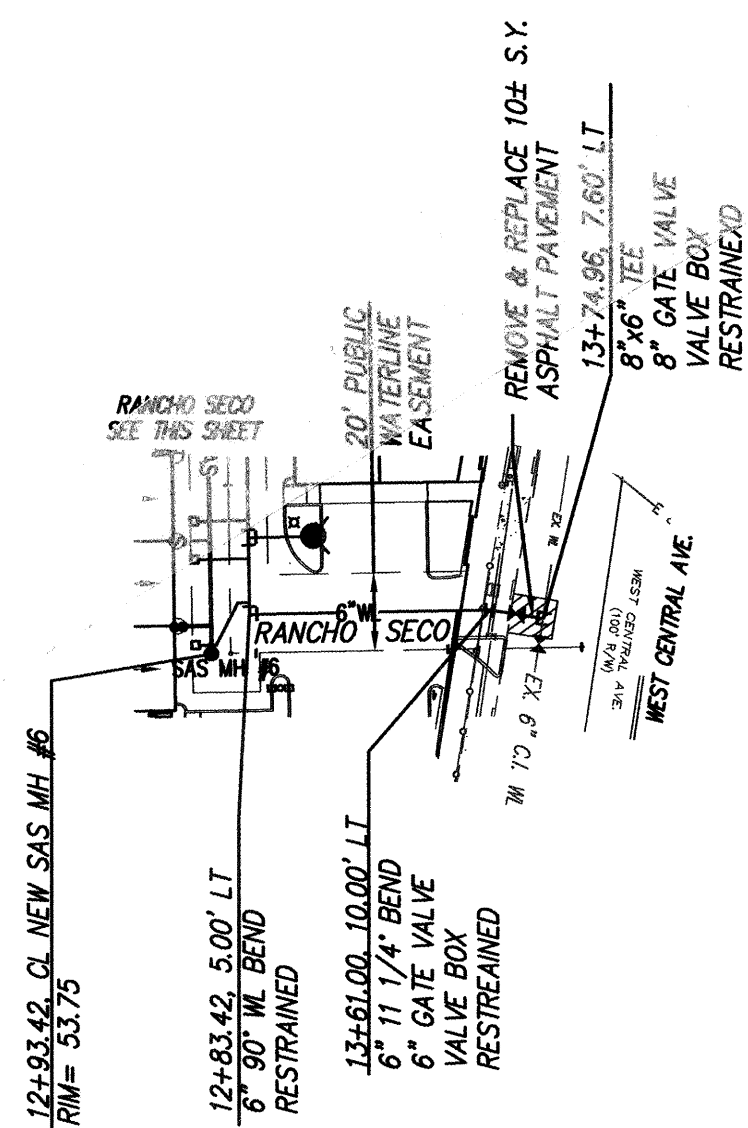
RANCHO SECO
STA. 9+95.35 TO STA. 11+92.14
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



RANCHO SECO
STA. 11+82.14 TO STA. 12+93.42
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



RANCHO SECO
STA. 12+93.42 TO STA. 13+74.96
SCALE: HORZ. 1" = 50'
VERT. 1" = 10'



GENERAL NOTES

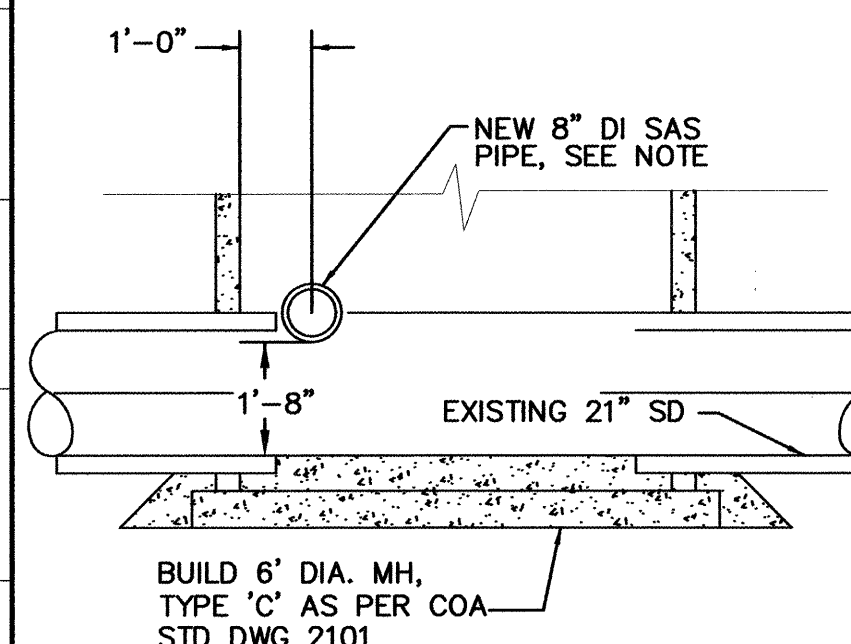
1. ALL NEW WATERLINE CONNECTIONS TO EXISTING WATERLINES SHALL BE NON-PRESSURIZED CONNECTIONS.
2. ALL STATIONING IS CENTER LINE STATIONING.
3. ALL WATER SERVICE LINES SHALL BE 3/4". INSTALL 3/4" WATTS, D090 (OR EQUAL) BACKFLOW PREVENTOR W/SLAB & HOT BOX AT ALL RESIDENTIAL SERVICE AND LANDSCAPE METER LOCATIONS.

RESTRAINED JOINT LENGTH FOR BENDS, VALVES, DEAD ENDS (FT.)					
PIPE SIZE	90°	45°	22.5°	11.25°	VALVE
6"	17'	—	3'	2'	46'

LENGTH OF RESTRAINED PIPE ON EACH SIDE OF THE BEND. RESTRAIN BRANCH AT FITTING ONLY MINIMUM ATTACHED PIPE LENGTH, RUN SIDE OF TEE: 10.00 FEET.

RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
6" x 6" x 6"	60'	2'

SANITARY SEWER SERVICES			
SEWER SERVICE #	STATION AT PUE	INV. ELEV. AT PUE	LENGTH AT PUE
S1	12+66.84	46.4	15.72'
S2	13+10.78	46.6	15.12'
S3	10+65.85	46.3	4.11'
S4	11+08.68	46.6	4.09'
S5	12+06.20	47.2	15.00'
S6	12+28.20	47.3	15.00'
S7	12+64.03	47.5	5.00'
S8	12+86.12	47.6	5.00'



NOTE:
NO JOINTS PERMITTED WITHIN MANHOLE

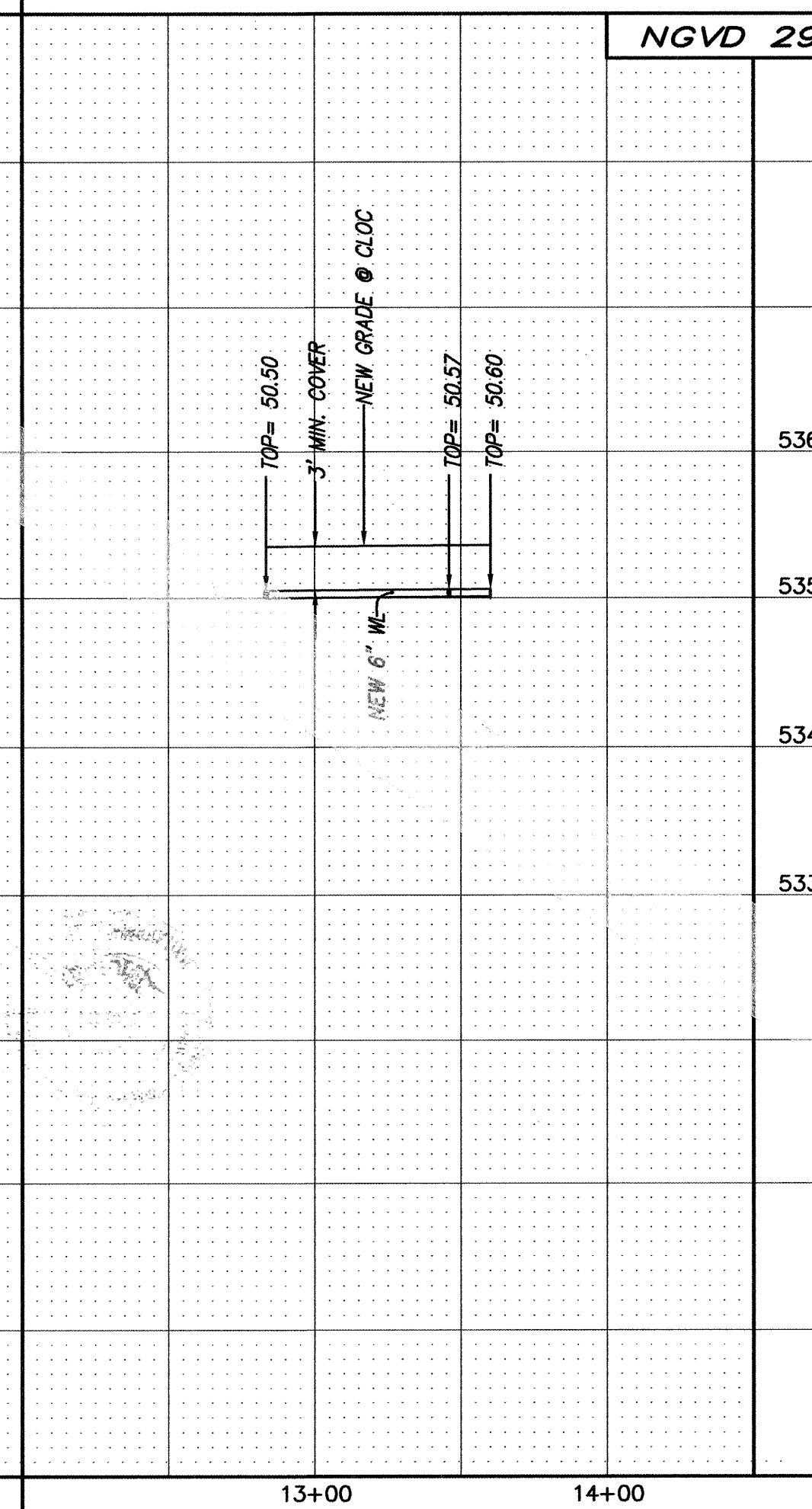
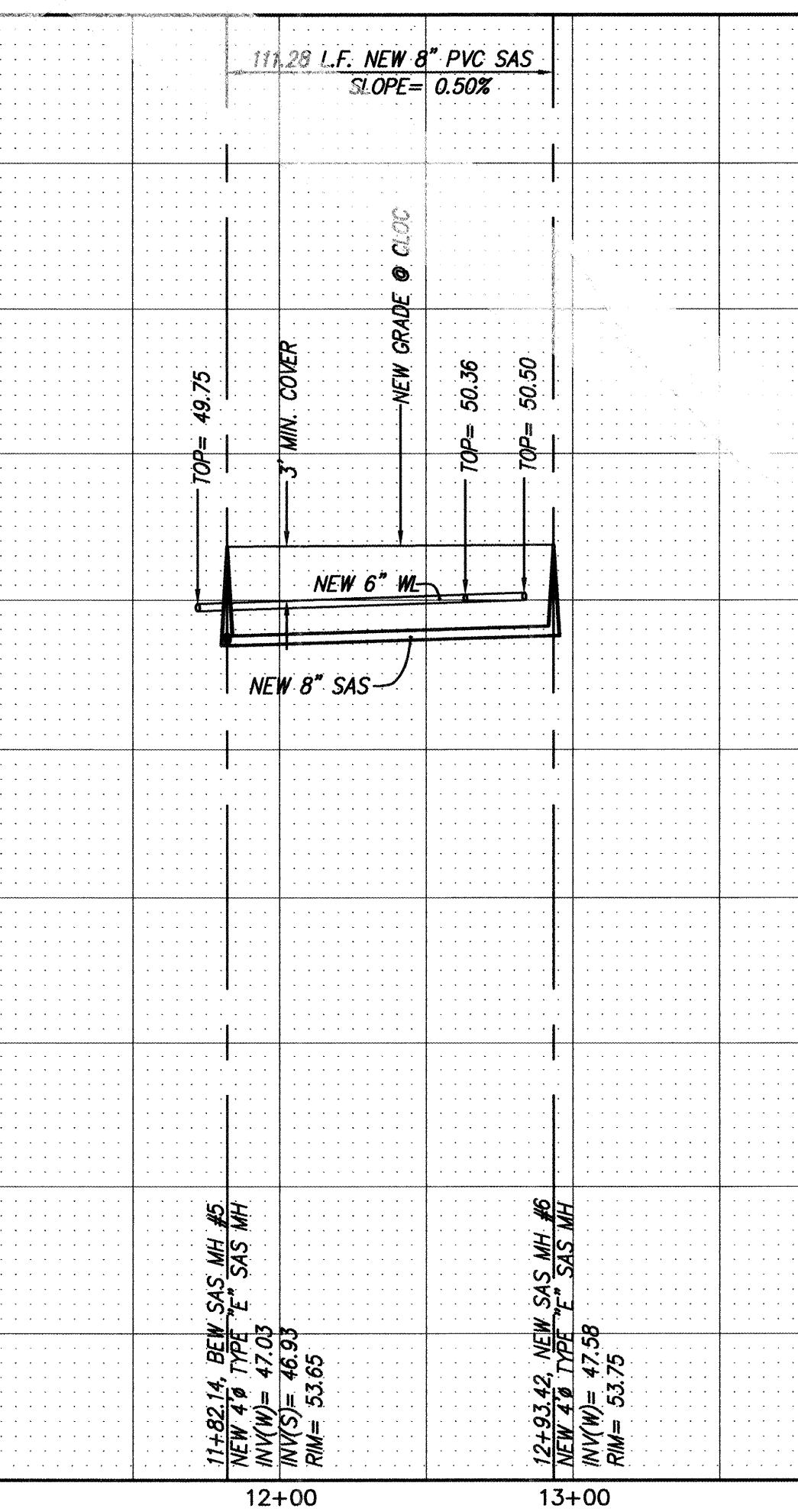
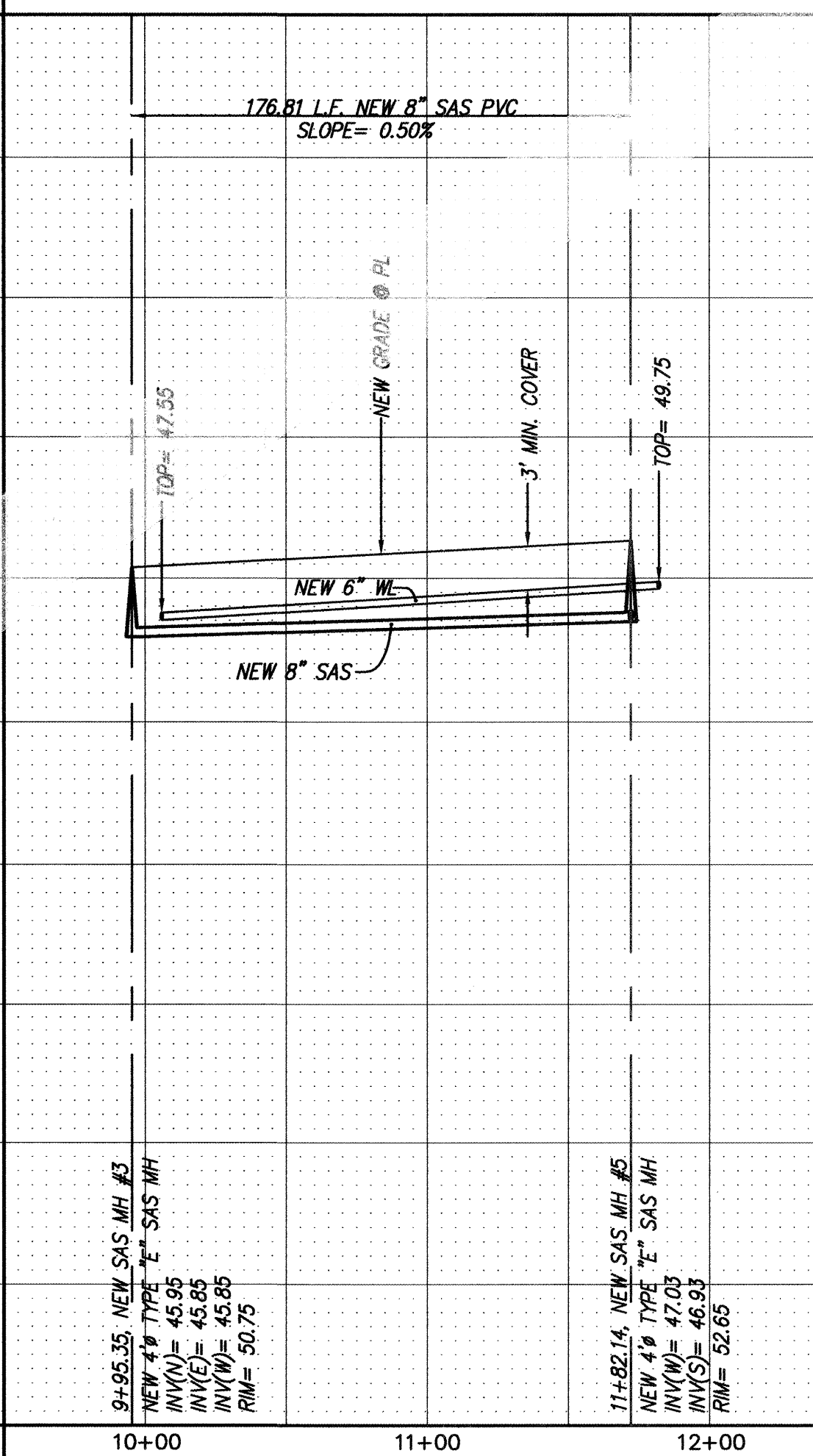
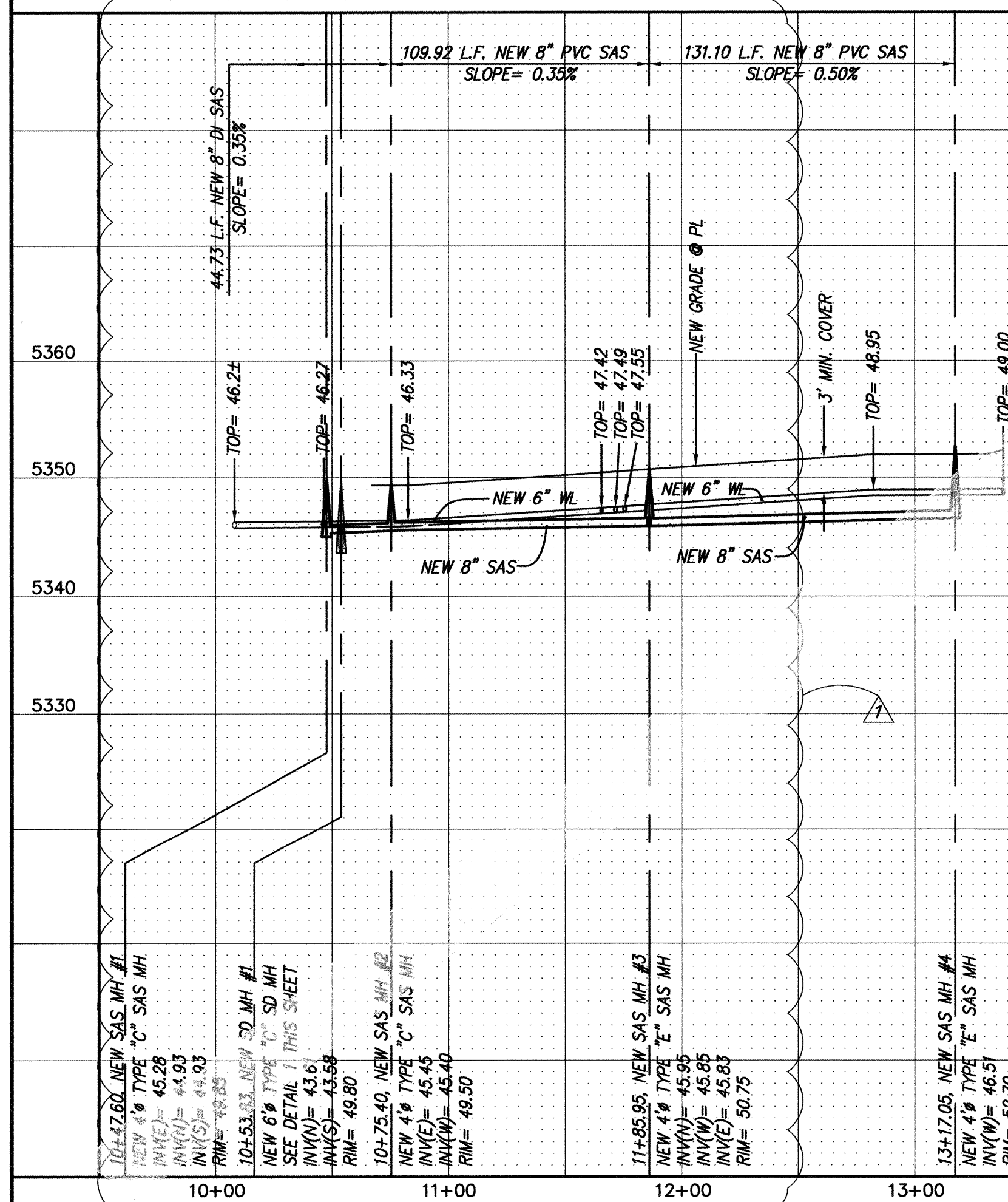
1 STORM DRAIN CROSSING DETAIL
6
N.T.S.

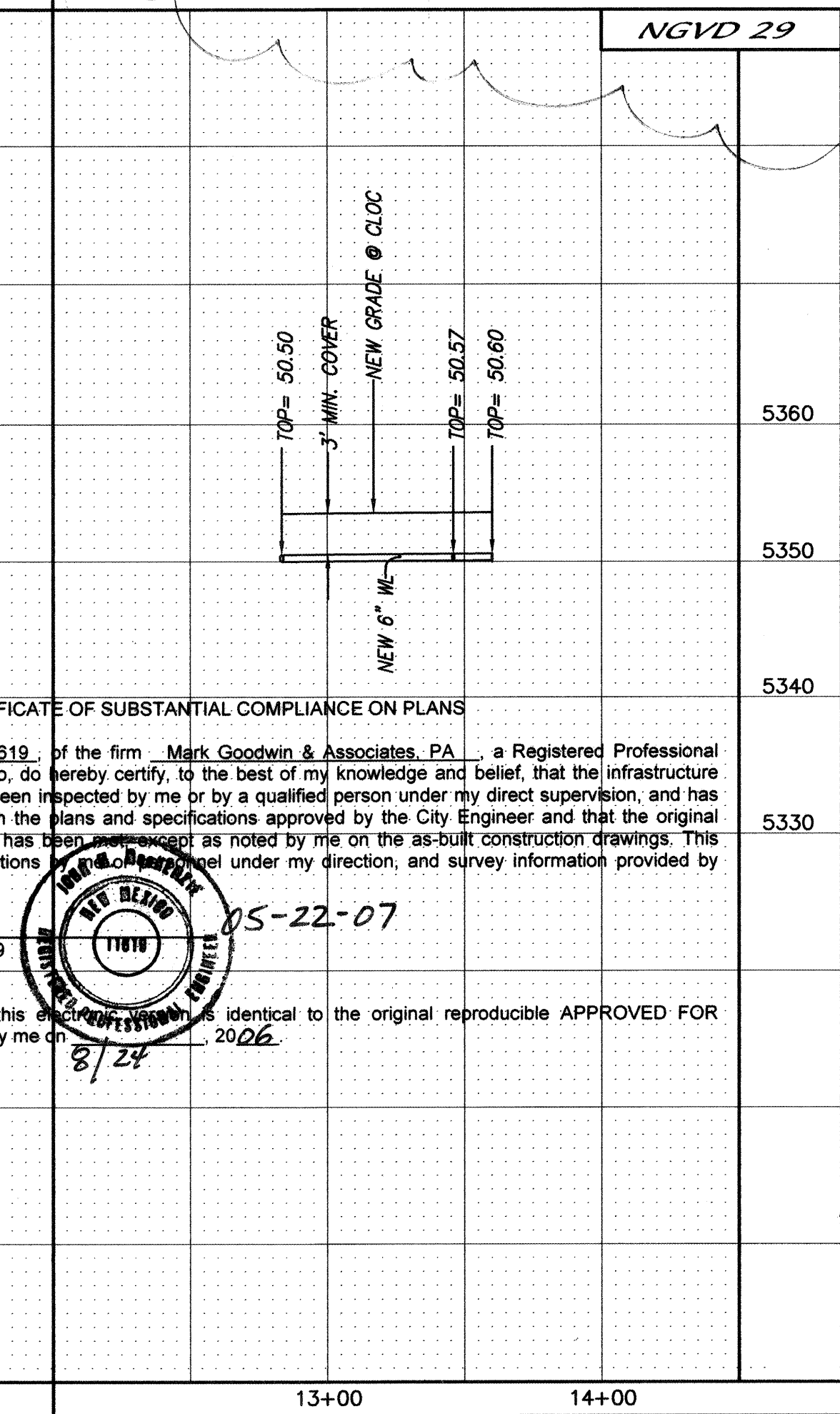
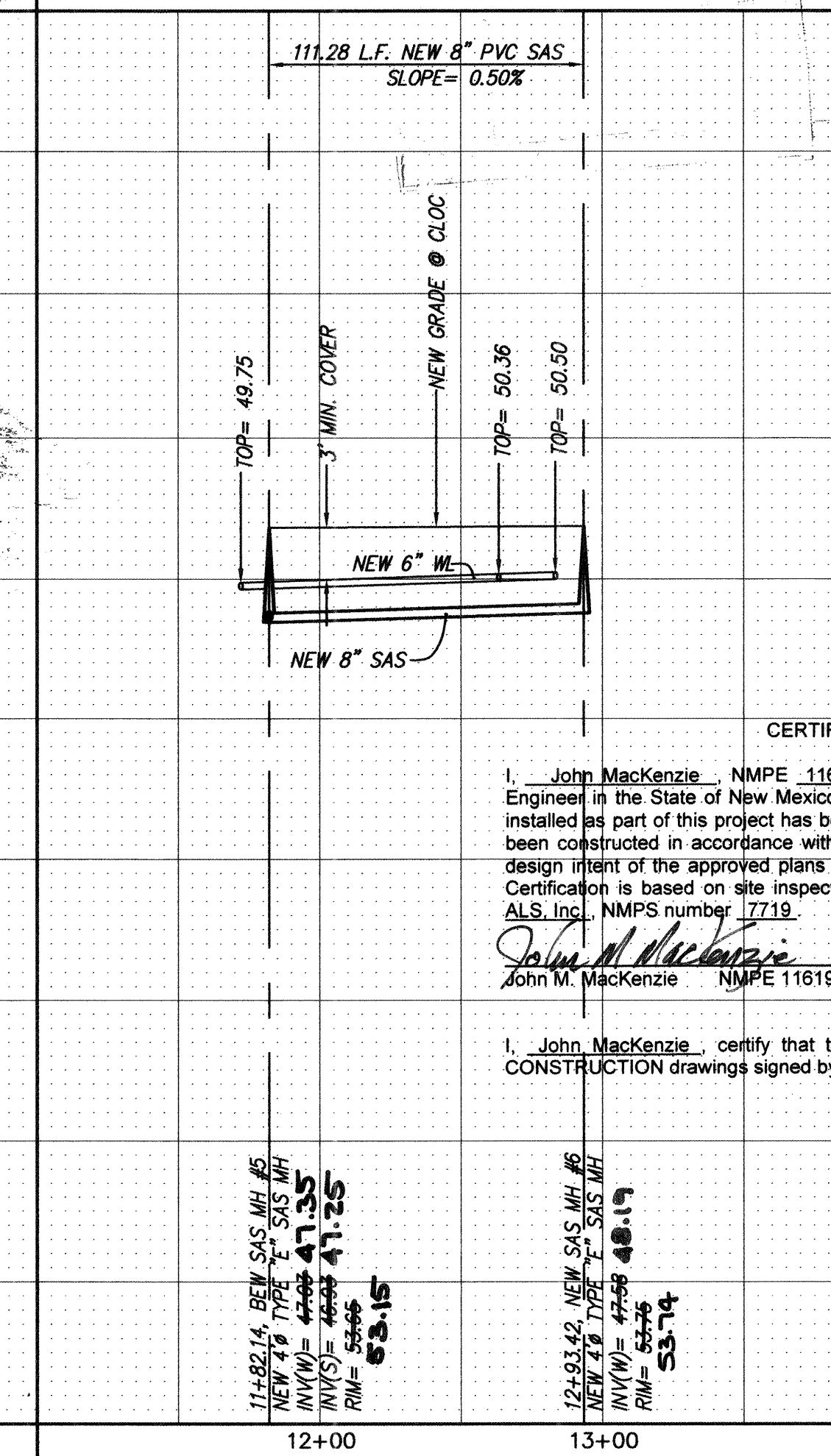
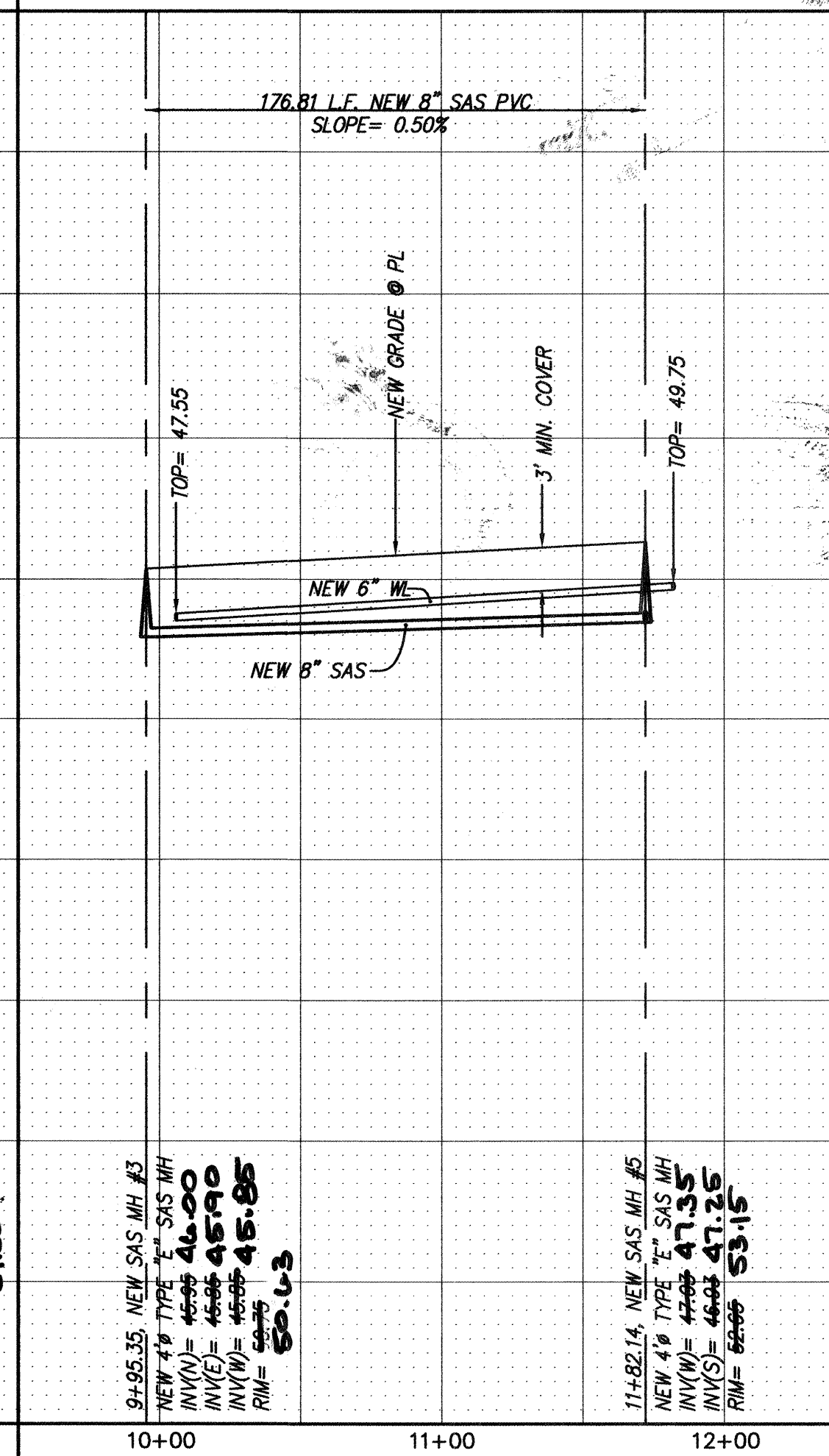
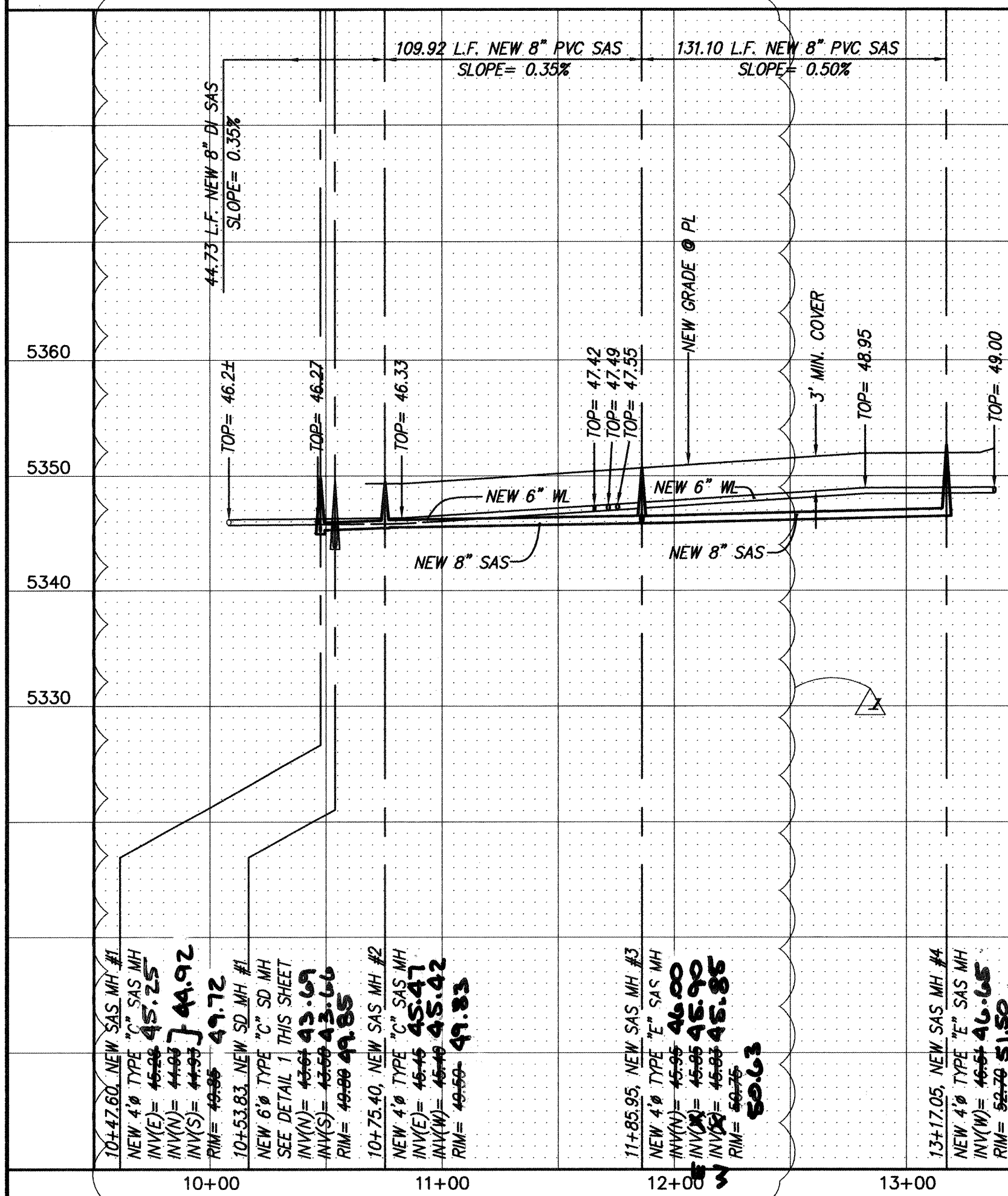
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: ALT HOUSING
RANCHO SECO AND ALT ALLEY
UTILITY IMPROVEMENTS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
769481	J-13-Z	6R	6





COAT BOTTOM 3' OF MANHOLE WITH XYPEX COATING

1'-0"

DI SAs SEE NOTE

2"

EXISTING 21" SD

BUILD 6' DIA. MH, TYPE 'C' AS PER COA STD DWG 2101

NOTE:
NO JOINTS PERMITTED WITHIN MANHOLE

dmg MARK GOODWIN & ASSOCIATES, P.A.
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ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9

CITY PROJECT NO. 769481	ZONE MAP NO. J-13-Z	SHEET OF 6R 6
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ENGINEER'S SEAL		 <i>John MacFarlane</i> 8-24-06	
19 ☒ A 60206 9-21-06	SAS CROSSING REVISION		ASM
	SD CROSSING DETAIL REVISION		JMM
NO. DATE		REMARKS	BY
		REVISIONS	
		DESIGN	
DESIGNED BY ASM		DATE	04/05
DRAWN BY KJS		DATE	04/05
CHECKED BY DMG		DATE	04/05