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SCANNED BY
PLANNING

PUBLIC IMPROVEMENT PLANS FOR COUNTRY CLUB PLACE ALBUQUERQUE, NEW MEXICO

JULY 2011

PREPARED FOR:
SANDIA THEATER, LLC.
117-B RICHMOND SE
ALBUQUERQUE, NM 87108

PREPARED BY:
ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

INDEX TO DRAWINGS

SHEET NO.	TITLE
1	COVER SHEET
2-3	PLAT
4	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
5	GRADING & DRAINAGE PLAN
6	SITE UTILITY PLAN (PRIVATE)
	PAVING PLAN SHEETS (PUBLIC)
7	PAVING PLAN
8	PAVING DETAILS
9	UTILITY PLAN & PROFILE SHEETS (PUBLIC)
	UTILITY MASTER PLAN
10	UTILITY PLAN & PROFILE

AS BUILT CERTIFICATION

I, LARRY MEDRANO, DO HEREBY ATTEST TO THE FACT THAT THE AS CONSTRUCTED INFORMATION SHOWN HEREON IS THE RESULT OF A FIELD SURVEY CONDUCTED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE SAME ACCURATELY REFLECTS THE FACT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Larry Medrano
DATE: 8/14/12
LARRY MEDRANO
NEW MEXICO PROFESSIONAL
LAND SURVEYOR NO. 11993

PRECISION SURVEY, INC.
PO BOX 90306
ALBUQUERQUE, NEW MEXICO 87109
(505) 850-8700

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS FOR PAVING AND STORM DRAINS ONLY

I, Genevieve L. Donat of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the paving and storm drainage infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the firm of Isaacson & Arfman, P.A., N.M.P.E. #11973.

Genevieve L. Donat
DATE: 8/14/12
Genevieve L. Donat
N.M.P.E. #11973
Isaacson & Arfman, P.A.

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS FOR WATER & SANITARY SEWER ONLY

I, Genevieve L. Donat of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the water and sanitary sewer infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the firm of Isaacson & Arfman, P.A., N.M.P.E. #11973.

Genevieve L. Donat
DATE: 8/14/12
Genevieve L. Donat
N.M.P.E. #11973
Isaacson & Arfman, P.A.



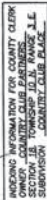
GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7, INCLUDING AMENDMENT 1.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICE, NM ONE CALL SYSTEM, INC. @ 286-1960 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL EXERCISE CARE AND MAINTAIN, AS REQUIRED BY THE CONTRACTOR AND NO PORTION OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPANCY AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PRE-FORMED THERMO REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE PER COAST STD DWG #2415A.
- SUPPLEMENTAL SPECIFICATION: ALL BACKFILL FOR WATER LINE AND SANITARY SEWER LINE TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D1557.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING ANKA C900 DR-18 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF THE ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS UPDATE #7.
- PWM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PWM WHILE THE CONTRACTOR IS EXPOSING PWM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING—EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCED. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY.
- THE CONTRACTOR SHALL NOTIFY THE ALBUQUERQUE TRAFFIC ENGINEERING DIVISION THREE (3) WORKING DAYS IN ADVANCE OF ANY WORK THAT REMOVES, RELOCATES, OR REINSTALLS ANY EXISTING REGULATORY SIGNS.
- ROP PIPE JOINTS SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. ROP JOINTS SHALL NOT BE GROUDED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
- IF A PAVEMENT DROP-OFF IS CREATED DURING CONSTRUCTION, THE CONTRACTOR SHALL INITIATE PROTECTIVE MEASURES TO PREVENT ABRUPT PAVEMENT CHANGES. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- CONTRACTOR SHALL REPLACE IN KIND ANY EXISTING STRIPING, SIGNAGE, OR PAVEMENT MARKINGS IMPACTED BY THE WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		APPROVED FOR CONSTRUCTION			
		DRG Chairman	8/14/12	8/14/12					
		Transportation	8/14/12	8/14/12					
		Water/Wastewater	8/14/12	8/14/12					
		Hydrology	8/14/12	8/14/12					
		Const. Mgmt.	8/14/12	8/14/12					
City Project No.		752083		Sheet		1		Of 10	

DRB NO. 1004677
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaarl.com
1782 CC-101-COA.dwg Jun 28,2011

APPROVED AS RECORDED DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE: 8/19/2011



TRACT 140
MRGCD MAP NO. 38

NOT A PART
LANDS OF ALBUQUERQUE LITTLE THEATRE
(04/04/2007, 00-135)

Lot 2
COUNTRY CLUB PLACE SUBDIVISION
(FORMER M.A.C.C.D. TRACTS 130-A & 130-B AND M.A.C.C.D. TRACTS 133-A & 134)
0.3087 AC. 8,715,627 SQ. FT.
PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

Lot 1
COUNTRY CLUB PLACE SUBDIVISION
(FORMER M.A.C.C.D. TRACT 133-A-1)
0.9408 AC. 4,768,844 SQ. FT.
PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

Lot 3
COUNTRY CLUB PLACE SUBDIVISION
(FORMER M.A.C.C.D. TRACT 133-A-1)
1.1338 AC. 4,768,844 SQ. FT.
PROPOSED ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

Lot 2, Plat of Lots 1 & 2 Garcia
Properties Development
1.5108 AC. 4,768,844 SQ. FT.
(SOUTHERLY PORTION APPLIES TO THIS AMENDMENT)
ZONING: SU-2/SU-1 FOR A MIXED USE DEVELOPMENT
NOT A PART

FOR CONSTRUCTION
FOR INFO ONLY

SITE DEVELOPMENT PLAN FOR SUBDIVISION
THE SITE IS APPROXIMATELY 2.33 ACRES AND IS LOCATED ALONG CENTRAL AVENUE BETWEEN LACOMA BLVD. SW AND SAN PABLO AVENUE SW.

PROPOSED LEGAL DESCRIPTION:
THE PROPOSED LOTS 1 THRU 3, COUNTRY CLUB PLACE, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
2.3302 ACRES (101,855 SQUARE FEET)

ZONE ATLAS MAP:
2-13-2

CURRENT ZONING:
THE CURRENT ZONING OF THE PROPERTY IS SU-2/SU-1 FOR A MIXED USE DEVELOPMENT.

PROPOSED ZONING:
THE PROPOSED ZONING OF THE PROPERTY IS SU-2/SU-1 FOR A MIXED USE DEVELOPMENT TO INCLUDE ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

SITE DEVELOPMENT PLAN FOR SUBDIVISION CONT
APPLICABLE PLANS:
HUNING CASTLE AND BARNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN
CENTRAL AVENUE STREETSCAPE URBAN MASTERPLAN

PROPOSED DESIGN STANDARDS:
THE DESIGN STANDARDS INCLUDED IN THIS AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION SHALL GOVERN THE FUTURE DESIGN OF BUILDING 3 AS WELL AS THE RENOVATION OF BUILDINGS 1 AND 2.

PEDESTRIAN AND VEHICULAR ACCESS AND CIRCULATION:
THE MAIN ACCESS POINT INTO THE SITE IS FROM AN EXISTING DRIVE (TO BE REBUILT) OFF OF CENTRAL AVENUE. A SECONDARY ACCESS POINT TO THE SITE IS FROM SAN PABLO AVENUE VIA AN ACCESS EASEMENT THROUGH THE ALBUQUERQUE LITTLE THEATRE PROPERTY. BOTH OF THESE ACCESS POINTS ARE FULL ACCESS.

PEDESTRIAN ACCESS AND CIRCULATION:
PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE ALONG THE TWO EXISTING BUILDINGS, SIDEWALKS AND DESIGNATED CROSSWALKS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

PEDESTRIAN ACCESS AND CIRCULATION:
PEDESTRIAN ACCESS IS PROVIDED OFF OF CENTRAL AVENUE ALONG THE TWO EXISTING BUILDINGS, SIDEWALKS AND DESIGNATED CROSSWALKS CONNECT THE FRONTS OF ALL BUILDINGS THROUGH THE SITE.

PROPOSED USES:
THE PROPOSED USES FOR LOT 1 ARE:
ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

THE PROPOSED USES FOR LOT 2 ARE:
ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

THE PROPOSED USES FOR LOT 3 ARE:
ALL USES PERMITTED IN THE CLO ZONE, AN ADULT EDUCATION PRIVATE SCHOOL, AND RESTAURANT WITH FULL SERVICE LIQUOR.

PROPOSED USES:
2-2 COMMUNITY RESIDENTIAL PROGRAMS, DRIVE-THRU SERVICE WINDOWS, AND WIRELESS TELECOMMUNICATIONS FACILITIES.

BUILDING HEIGHT AND SETBACKS:
SEE THE DESIGN STANDARDS AS PART OF THIS SUBMITTAL.

FLOOR AREA RATIO:
THE MAXIMUM F.A.R. FOR LOTS 1 THRU 3 IS .81 FOR ALL USES, AS STATED IN THE HUNING CASTLE AND BARNOLDS ADDITION NEIGHBORHOOD SECTOR DEVELOPMENT PLAN.

THE F.A.R. FOR THE EXISTING BUILDING ON LOT 2 IS .20.

LANDSCAPE PLAN:
THE LANDSCAPE FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.

VICINITY MAP:
THE VICINITY MAP FOR THIS SITE IS PART OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND IS SUBJECT TO THE DESIGN STANDARDS.



PROJECT NUMBER: 1004677 APPLICATION NUMBER: 10006-7031
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED OCT. 14, 2010. ALL FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRING (YES) () NO () IF YES, THEN A SET OF APPROVED SDC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DATE	DATE	DATE	DATE
11/10/10	11/10/10	11/10/10	11/10/10
11/10/10	11/10/10	11/10/10	11/10/10
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11/10/10	11/10/10	11/10/10	11/10/10



Amended Site Development Plan For Subdivision

CHACOMA PLACE S.W.
(60' RIGHT-OF-WAY)

Project File
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

Amended Site Dev't Plan For Subdivision



CENTRAL AVE, S.W.
(80' ROW)

PHASE 1
PHASE 2

NOT FOR CONSTRUCTION

SCALE 1"=30'

KEYED NOTES

- PHASE 1 ITEMS:**
- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
 - 2' WIDE SIDEWALK CULVERT TO BE BUILT BY SEPARATE CONTRACT. CPM #752083-1.
 - SANICUT, REMOVE AND REPLACE EXISTING ASPHALT PAVING TO ALLOW FOR SMOOTH TRANSITION TO SIDEWALK CULVERT FLOWLINE.
 - PERCOLATION PIT PER DETAIL H ON SHEET CG-501. GRATE ELEV=55.7
 - INSTALL ROOF DRAIN TO CATCH FLOWS FROM THE WESTERN HALF OF THE NEIGHBORING ROOF. DIRECT FLOWS SOUTH. COORDINATE WITH OWNER OF BUILDING.
 - ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS. INSTALL 4" PVC PIPE THROUGH THICKENED SIDEWALK PER DETAIL E ON SHEET CG-501 AND PENETRATE CURB PER COA STD DWG #2235.
 - 1.5' MAX HEIGHT HEADER CURB/RETAINING WALL AGAINST BUILDING. TOP OF CURB/WALL SHALL BE EVEN WITH THE FINISHED FLOOR. SEE STRUCTURAL PLANS FOR DETAIL.
 - FINISHED FLOOR GRADE CHANGE AT EXISTING INTERNAL RAMPS.
 - 2' WIDE FRACTURED FACE ROCK SWALE PER DETAIL F ON SHEET CG-501.
 - 2' WIDE CURB OPENING.
 - SIDEWALK PER DETAILS A & C ON SHEET CG-501.
 - SIDEWALK TRANSITION PER DETAILS A & B ON SHEET CG-501.
 - 62.5 LF ADD K1005 TRENCH DRAIN WITH ADA GRATE (OR ENGINEER APPROVED EQUIVALENT) INSTALLED PER MANUFACTURER'S SPECIFICATIONS. RUNNING THE LENGTH OF THE SIDEWALK AS AN EMERGENCY OVERFLOW FOR THE COURTYARD. GRATE ELEVATION SHOULD BE FLUSH WITH THE SIDEWALK GRADE.
 - ROOF DRAIN LOCATION PER ARCHITECTURAL PLANS.
- PHASE 2 ITEMS:**
- 2' WIDE CONCRETE ALLEY GUTTER PER DETAIL D ON SHEET CG-501.
 - CURB OPENING WITH CONCRETE ROUNDOFF PER DETAIL G ON SHEET CG-501.
 - 1.5' HIGH HEADER CURB OR RETAINING WALL PER STRUCTURAL DETAILS.
 - ROOF DRAIN LOCATIONS TO BE DETERMINED WITH PHASE 2 ARCHITECTURAL PLANS. INSTALL ADD DRAIN K1005 TRENCH DRAIN (OR ENGINEER APPROVED EQUIVALENT) WITH ADA GRATE PER DETAIL E ON SHEET CG-501.

GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRACE, COMPACT SUBGRADE, AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- UNIFORMITY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO RESPECT AND APPROPRIATELY COMPACT SUBGRADE AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED PROPERTY BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DEVELOPING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS "NATURAL" OR "AS-BUILT", TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEXT OR NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TUBES REINFORCING MATERIAL (LANDLOCK TM 450) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: M.R.G.C.D. TRACTS 133-A-1, 133-A-2, 133-A-3, 134 AND 135-A PROPERTY MAP NO. 36, TRACT B-2-A, LANDS OF ALBUQUERQUE LITTLE THEATRE, 2.338 AC

SITE AREA: 2.338 AC

FLOOD ZONE: THE SUBJECT PROPERTY (AS SHOWN HEREON) LIES WITHIN ZONE "X" (AREAS OF 500-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD) FLOOD PLAIN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NUMBER 3000100331E, EFFECTIVE DATE NOVEMBER 19, 2003.

ENGINEER: FRED ARFMAN, NMPE #7322
ISAACSON & ARFMAN, P.A.
128 MOORE ST. NE, APO. NM 87108
PHONE: (505) 268-8828

SURVEYOR: LARRY W. MEDRANO, NMPS #1993
PRECISION SURVEYS, INC.
8414-D JEFFERSON ST. NE, APO. NM 87113
PHONE: (505) 856-5700

BENCHMARK: ALBUQUERQUE CONTROL SURVEY MONUMENT "13-21" HAVING A PUBLISHED ELEVATION OF 4956.09 FEET (NOV 88)

LEGEND

- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF - 68810 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- FRACTURED FACE ROCK SWALE
- FL=72.5 FLOWLINE ELEVATION

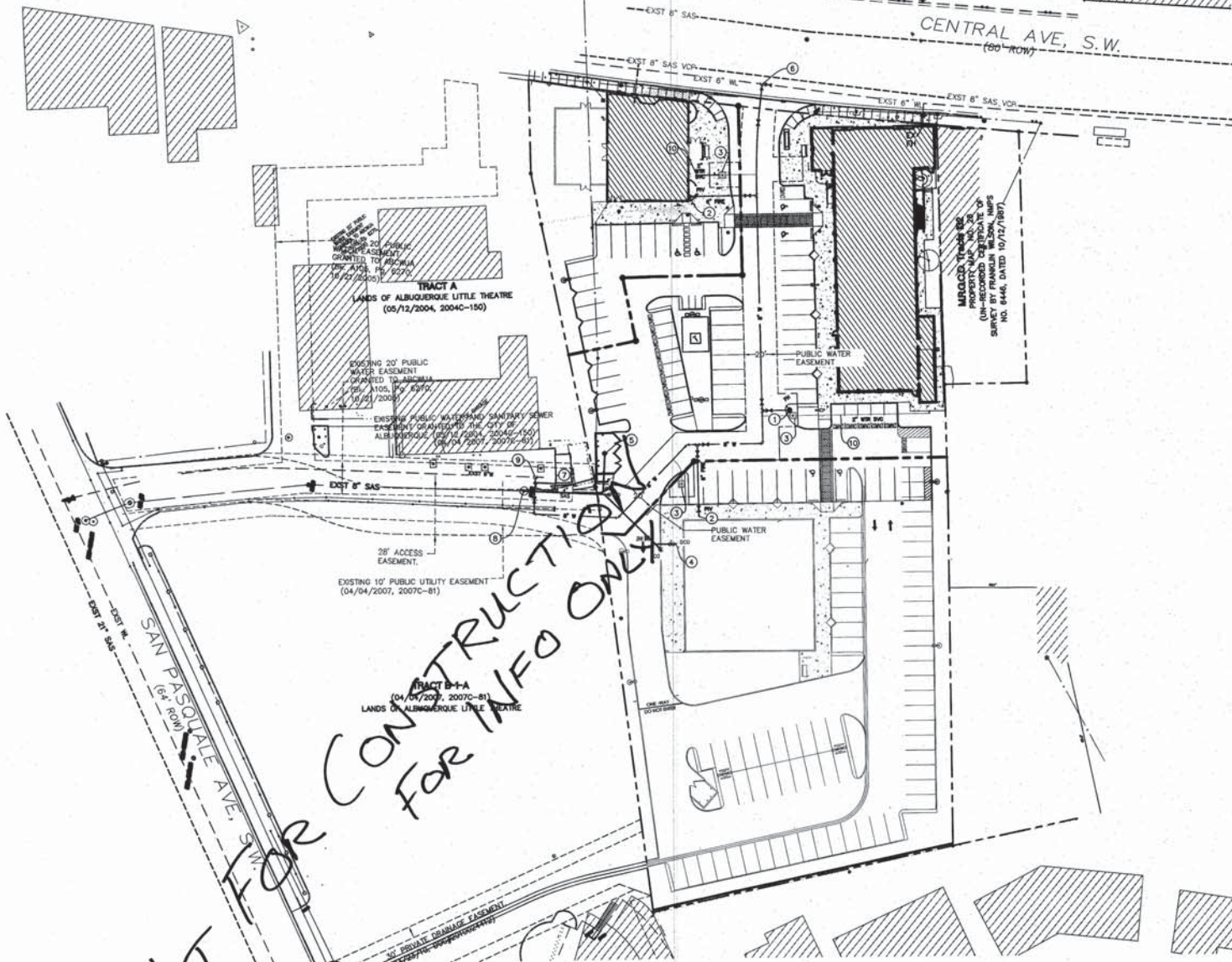
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Moore Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2832
1982 GS-188-0000

Mullen Heller Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505.268.4144 [p]
505.268.4244 [f]

Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

CG-101
SHEET 5 OF 10

SCANNED BY
PLANNING



GENERAL NOTES

1. ALL PUBLIC UTILITIES (WITHIN PUBLIC EASEMENT) SHALL BE BUILT SEPARATELY PER PUBLIC WORK ORDER DRAWINGS.

KEYED NOTES

1. PUBLIC FIRE HYDRANT.
2. 6" PRIVATE BUILDING FIRELINE WITH POST INDICATOR VALVE (PIV).
3. 1/2" PUBLIC WATER METER.
4. 6" PRIVATE SEWER SERVICE WITH DOUBLE CLEANOUT.
5. AREA DRAIN WITH P-TRAP AT LOW POINT IN GARBAGE ENCLOSURE. TIE TO 4" SEWER SERVICE.
6. TIE TO EXISTING WATERLINE WITH 6"x8"x6" TEE.
7. EXISTING FIRE HYDRANT.
8. TIE TO EXISTING SEWER MANHOLE.
9. TIE TO EXISTING LINE WITH A 6"x6"x6" TEE.
10. 2" PRIVATE WATER SERVICE TO WITHIN 5' OF BUILDING.

LEGEND

- WATER METER & BOX
- GATE VALVE W/ VALVE BOX
- FIRE HYDRANT
- WATER LINE W/ FITTING
- SAS SERVICE LINE



revision

by

date

no.



Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite 8
Albuquerque, NM 87102
505 268 4144 (p)
505 268 4244 (f)



10/07	mm	MAMA	5/2/10
job number	drawn by	project manager	date

project file
Country Club Place Development
Lots 1 thru 3, Country Club Place
Albuquerque, NM

sheet file
SITE UTILITY PLAN

sheet
CU-101

SHEET 6 of 10



1. CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET B.
2. STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. 6' WIDE SIDEWALK PER COA STD DWG #2430.
4. CONSTRUCT PCC VALLEY GUTTER 6' WIDE 1-1/2" INVERT PER COA STD DWG #2420.
5. ENTRY DRIVE PAVING PER SECTION ON SHEET B.
6. SAWCUT, REMOVE & REPLACE PAVING PER COA STD DWG #2465. (ARTERIAL)
7. REMOVE EXIST SIDEWALK

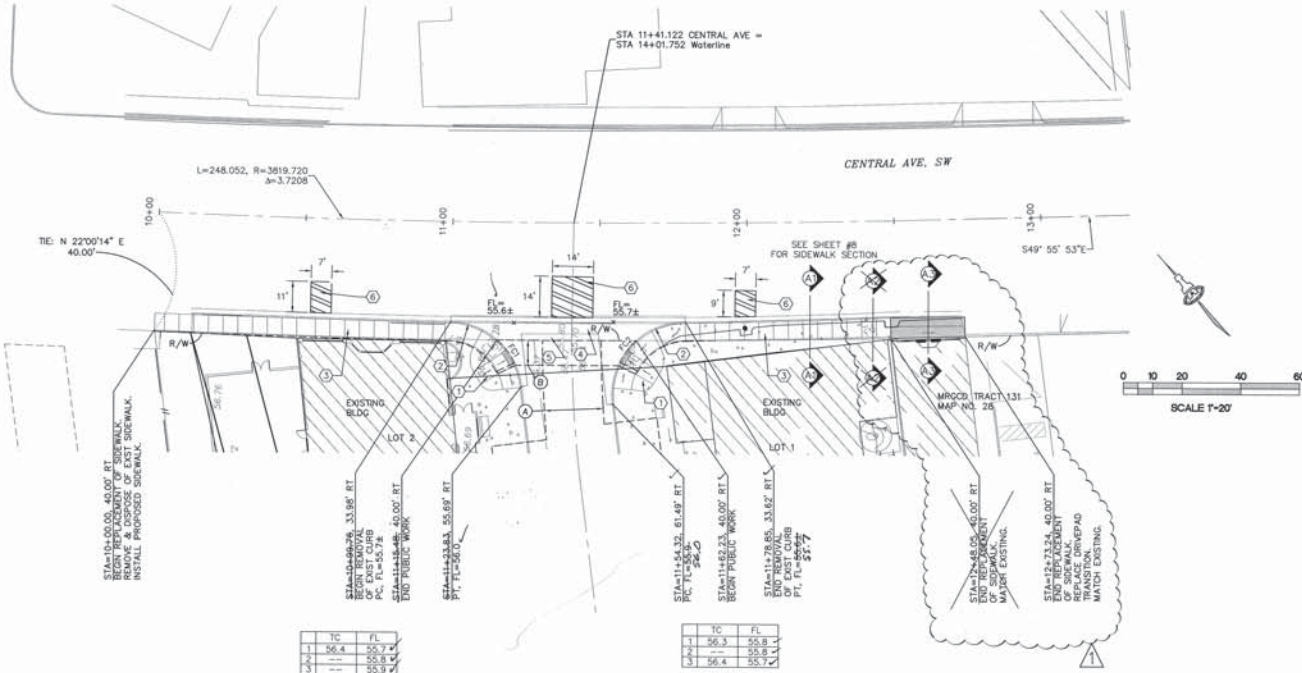
FACE OF CURB CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
FC1	38.55	25.00	77°27'57"
FC2	42.21	25.00	96°43'59"

A. 20' PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA (DOC #2011033724, BK. 2011C, PG. 33, 04/07/2011).

B. PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE (DOC# _____ BK. _____ PG. _____
_____/_____/11)

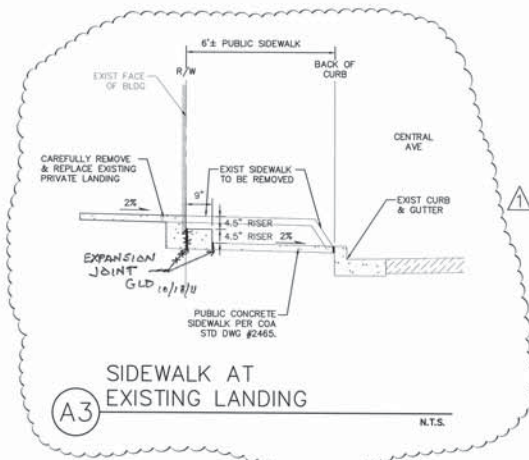
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Design Review Committee 	City Engineer Approval 	Last Design Update 	Sheet 7 Of 10
City Project No. 752083		Zone Map No. J-13	



TC	FL
1	56.4
2	56.4
3	56.4

TC	FL
1	56.4
2	56.4
3	56.4



KEYED CONSTRUCTION NOTES

1. CONSTRUCT HANDICAP RAMP PER DETAIL ON SHEET 8.
2. STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. 6\"/>

CURVE	LENGTH	RADIUS	DELTA
FC1	116.38'	14.40'	51°27'57\"/>

EASEMENT NOTES

- A. 20' PUBLIC WATERLINE EASEMENT GRANTED TO ABQWA (DOC #2011033724, BK. 2011C, PG. 33, 04/07/2011).
- B. PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE (DOC#201107526, 08/22/2011)

RECORD DRAWING

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
1782 CP-301-CDA, Inc. Oct. 13, 2011

AS-BUILT CERTIFICATION

I, LARRY MEDRANO, DO HEREBY ATTEST TO THE FACT THAT THE AS CONSTRUCTED INFORMATION SHOWN HEREON IS THE RESULT OF A FIELD SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LARRY MEDRANO
NEW MEXICO PROFESSIONAL
LAND SURVEYOR NO. 11989

PRECISION SURVEYS, INC.
PO BOX 9920
ALBUQUERQUE, NEW MEXICO 87109
(505) 696-9700



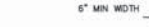
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: COUNTRY CLUB PLACE PAVING PLAN	
Design Review Committee	City Engineer Approval
NO. DATE	REMARKS
DESIGNED BY: GLD	REASON: DESIGN
DRAWN BY: THP	DATE: 04/05/11
CHECKED BY: GLD	DATE: 04/05/11
City Project No. 752083	Zone Map No. J-13
Sheet 7R	Of 10



N.T.S.



N.T.S.



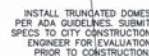
NTS



N.T.S.



N.T.S.



SCALE: 1"=5'

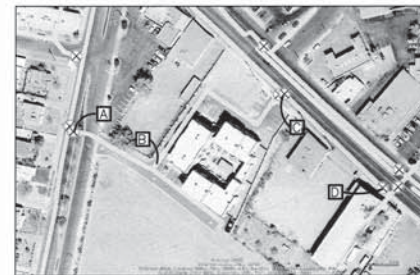
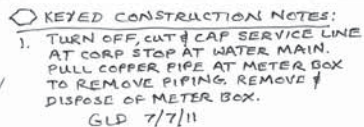


ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph. 505-268-8828 www.isaacson.com
 1782 DP-501-CDA.dwg AL 08/2011

Design Review Committee	City Engineer Approval	Wet Sign/In	Wet Sign/Out
			
DESIGN REVIEW COMMITTEE	CITY ENGINEER		

City Project No.	752083	Zone Map No.	J-13	Sheet	8	Of	10
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		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	REMARKS	BY			ALBUQUERQUE CONTROL SURVEY		T3* 4/24/97	DATE 10/11/97
	DATE								
DESIGN				4096.09 FEET (NAVD 83)	MICRO-FILM INFORMATION		RECORDED BY		DATE
DESIGNED BY	GLD	DATE 04/05/11							
DRAWN BY	THP	DATE 04/05/11							



SHUT-OFF VALVES (A), (B) TO PROVIDE NON-PRESSURE CONNECTION TO THE WEST. SHUT-OFF VALVES (C) & (D) TO PROVIDE NON-PRESSURE CONNECTION IN CENTRAL AVE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463729/](http://abcwua.org/content/view/full/463729/)

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY:	3.0 FT. MINIMUM
FACTOR OF SAFETY:	1.25
MATERIAL:	PVC PIPE
SOIL TYPE:	CM/SM SILTY CLAY SILTY SANDS, GRAVEL-SAND MIXTURES.
TEST PRESSURE:	150 PSI
TRENCH TYPE &:	PIPE REDDIED IN SAND

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY ABCWA.

RESTRAINED JOINT LENGTHS, L_{RJ} FOR REDUCERS, (FT.) MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE					
SIZE	LARGE SIDE	SMALL SIDE	SIZE	LARGE SIDE	SMALL SIDE
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
10x8	74	213	8x4	43	83
10x6	74	51	6x4	54	83

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacell.com
1982 CQ-101-COA.aug Jun 29,2011

A. 20' PUBLIC WATERLINE EASEMENT GRANTED TO ABCWUA (DOC #2011033724, BK. 2011C, PG. 33, 04/07/2011).

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
COUNTRY CLUB PLACE UTILITY MASTER PLAN	
TITLE:	
Design Review Committee AUG 13 2011 DESIGN REVIEW COMMITTEE	City Engineer Approval AUG 19 2011 CITY ENGINEER
City Project No. 750083	Zone Map No. 13
Sheet 9	Of 10



City Project No.	752083	Zone Map No.	J-13	Sheet	10	Of	10
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Sheet 10 of 10