



PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE FIVE (5) LOTS FROM FIVE (5) EXISTING TRACTS. GRANT ADDITIONAL PRIVATE ACCESS, DRAINAGE, PUBLIC WATER, PUBLIC SANITARY AND PUBLIC UTILITY EASEMENTS.

SOLAR COLLECTION NOTE:

PER SECTION 14-1-4-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTIONS FROM BEING INSTALLED ON BUILDING OR BEING ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SUBDIVISION DATA:

DRAWN BY: J. L. J. Z.
DATE OF FIELD SURVEY: JANUARY 2013
TOTAL ACRES OF LOTS EXISTING: 3.2427
TOTAL ACRES OF LOTS CREATED: 3.2427
PUBLIC STREETS CREATED: NONE
GROSS SUBDIVISION ACREAGE: 3.2427 ACRES

NOTES:

- FIELD SURVEY PERFORMED IN JANUARY 2013
- BEARINGS ARE GRID BASED--NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 891 1", AND DEFLECTED AS NOTED UNLESS OTHERWISE INDICATED.
- BEARINGS AND DISTANCES IN 0 ARE RECORD
- ZONE X SHADED, COMMUNITY PANEL NO 35001 C0333H PANEL 333 OF 425
Areas of moderate flood hazard, usually the area between the limits of the 100-year and 500-year floods. Are also used to designate base floodplains of lesser hazards, such as areas protected by levees from 100-year flood, or shallow flooding areas with average depths of less than one foot or drainage areas less than 1 square mile.

DOCUMENTS USED:

- TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN VOL C13, FOLIO 20
- REMAINING PORTION TRACT B, HUNING CASTLE VOL C12, FOLIO 116
- TRACT A-1-A, LAGUNA SUBDIVISION VOL C36, FOLIO 34
- HUNING CASTLE VOL C2, FOLIO 134
- HUNING CASTLE VOL C2, FOLIO 167
- LAGUNA SUBDIVISION VOL C20, FOLIO 92
- HUNING CASTLE VOL C2 FOLIO 167
- UNRECORDED SURVEY TITLE "BOUNDARY SURVEY FOR INFIL SOLUTIONS" DATED OCT 2007

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

UNIFORM PROPERTY CODE #:
TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
REMAINING PORTION TRACT B, HUNING CASTLE
MRCGD TRACT 129-B-1-A MAP NO 38
MRCGD TRACT 129-B-1-A MAP NO 38
TRACT A-1-A, LAGUNA SUBDIVISION

BERNALILLO COUNTY, TREASURER OFFICE:

3/18/14

LEGAL DESCRIPTION:

A TRACT OF LAND BEING IDENTIFIED AS LOTS 1-6 OF THE COUNTRY CLUB PLAZA, BEING A RE-PLAT OF REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION, TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN, M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38, SITUATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., TOWN OF COUNTRY CLUB, BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED ALSO BEING KNOWN AS THE TRUE POINT OF BEGINNING AND BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVENUE S.W., WHERE FOR TIE TO THE ACS MONUMENT "17-J1-4" BEARS N84°04'24"E A DISTANCE OF 3,056.25 FEET DISTANCE; THENCE;

S52°59'00"W A DISTANCE OF 146.34 FEET LEAVING SAID RIGHT OF WAY TO A POINT; THENCE, N85°37'00"W A DISTANCE OF 39.25 FEET TO A POINT; THENCE, S61°16'00"E A DISTANCE OF 6.5 FEET TO A POINT; THENCE, S54°21'36"W A DISTANCE OF 49.9 FEET TO A POINT; THENCE, N80°37'00"W A DISTANCE OF 25.75 FEET DISTANCE TO A POINT; THENCE, N80°37'00"W A DISTANCE OF 13.76 FEET DISTANCE TO A POINT; THENCE, S54°23'09"W A DISTANCE OF 50.16 FEET TO A POINT; THENCE, N35°57'33"W A DISTANCE OF 153.99 FEET TO A POINT; THENCE, S34°51'30"W A DISTANCE OF 46.40 FEET TO A POINT; THENCE, N48°09'59"W A DISTANCE OF 192.68 FEET TO THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; THENCE, S41°00'00"E OF 401.33 FEET TO THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED; ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CENTRAL AVE SW, THENCE, S50°04'09"E A DISTANCE 132.95 FEET DISTANCE TO A POINT OF CURVATURE; THENCE, 192.35 FEET DISTANCE ALONG THE ARC OF CURVE BEARING TO THE RIGHT (SAID ARC HAVING A RADIUS OF 841.50 FEET AND A LONG CHORD OF 943°47'54"E A DISTANCE OF 191.94 FEET) TO A POINT OF TANGENCY; THENCE,

S37°02'00"E A DISTANCE OF 87.76 FEET TO A POINT AND TRUE PLACE OF BEGINNING. SAID TRACT CONTAINING 3.2427 ACRES (141253.5 SQUARE FEET) MORE OR LESS.

FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNERS (AND PROPRIETORS) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEET SIMPLE TO THE PARCELS HEREIN DESCRIBED AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON AND HEREBY VACATE ALL EASEMENTS SHOWN HEREON. SAID OWNERS AND/OR PROPRIETORS DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Jose Mendez (Owner of Country Club Plaza LLC)
OWNERS

ACKNOWLEDGMENT:

STATE OF New Mexico) ss.
COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 5 DAY OF November, 2013, BY Jose Mendez

NOTARY PUBLIC: Josue Jarama
MY COMMISSION EXPIRES: 8-27-2015

PUBLIC UTILITY EASEMENTS:

Public Utility Easements shown on this plat are granted for the common and joint use of:

Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

Century Link for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable services.

Included, as the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with easements, franchises, permits, licenses, and other rights and privileges of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and across adjoining lands of Grantor for the purposes of Grants, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subterranean), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owner shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of poles, loading, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgear, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer:

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGCO) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGCO, or other document release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PLAT OF LOTS 1-5 COUNTRY CLUB PLAZA BEING A REPLAT OF

REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
SITUATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 N, R 3E, N.M.P.M.

TOWN OF ALBUQUERQUE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2013

DOCH 2014024805

09/29/2013 08:50:50 PM 2012/09/29 08:50:50 PM 2012/09/29 08:50:50 PM

PROJECT NUMBER: 1004677

CITY APPROVAL: David P. Acosta 11-5-13

CITY SURVEYOR: Allen E. Acosta 12-18-13

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
Allen E. Acosta 12/18/13

UTILITIES DEVELOPMENT
Carl S. Demott 12-18-13

PARKS AND RECREATION DEPARTMENT
Carl S. Demott 12-18-13

A.M.A.F.C.A.
Carl S. Demott 12-18-13

ABOQUIA
Carl S. Demott 12-18-13

CITY ENGINEER
Carl S. Demott 12-18-13

DPS CHIEF PERSON, PLANNING DEPARTMENT
Carl S. Demott 12-18-13

REAL PROPERTY DIVISION
Carl S. Demott 12-18-13

UTILITY APPROVALS:
David R. Vigil 3-14-14

PNM ELECTRIC SERVICES
David R. Vigil 3-14-14

NEW MEXICO GAS
David R. Vigil 3-14-14

CENTURY LINK
David R. Vigil 3-14-14

CONQUEST
David R. Vigil 3-14-14

SURVEYORS CERTIFICATE:
David R. Vigil 3-14-14

I, DAVID R. VIGIL, A NEW MEXICO PROFESSIONAL SURVEYOR NO. 8911, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL SURVEYORS; AND THAT THE BEST OF MY KNOWLEDGE AND BELIEF, THE PLAT IS TRUE AND CORRECT.

DATE: 10/24/2013
REGISTERED: David R. Vigil NO. 8911

CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-9921

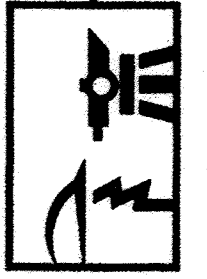
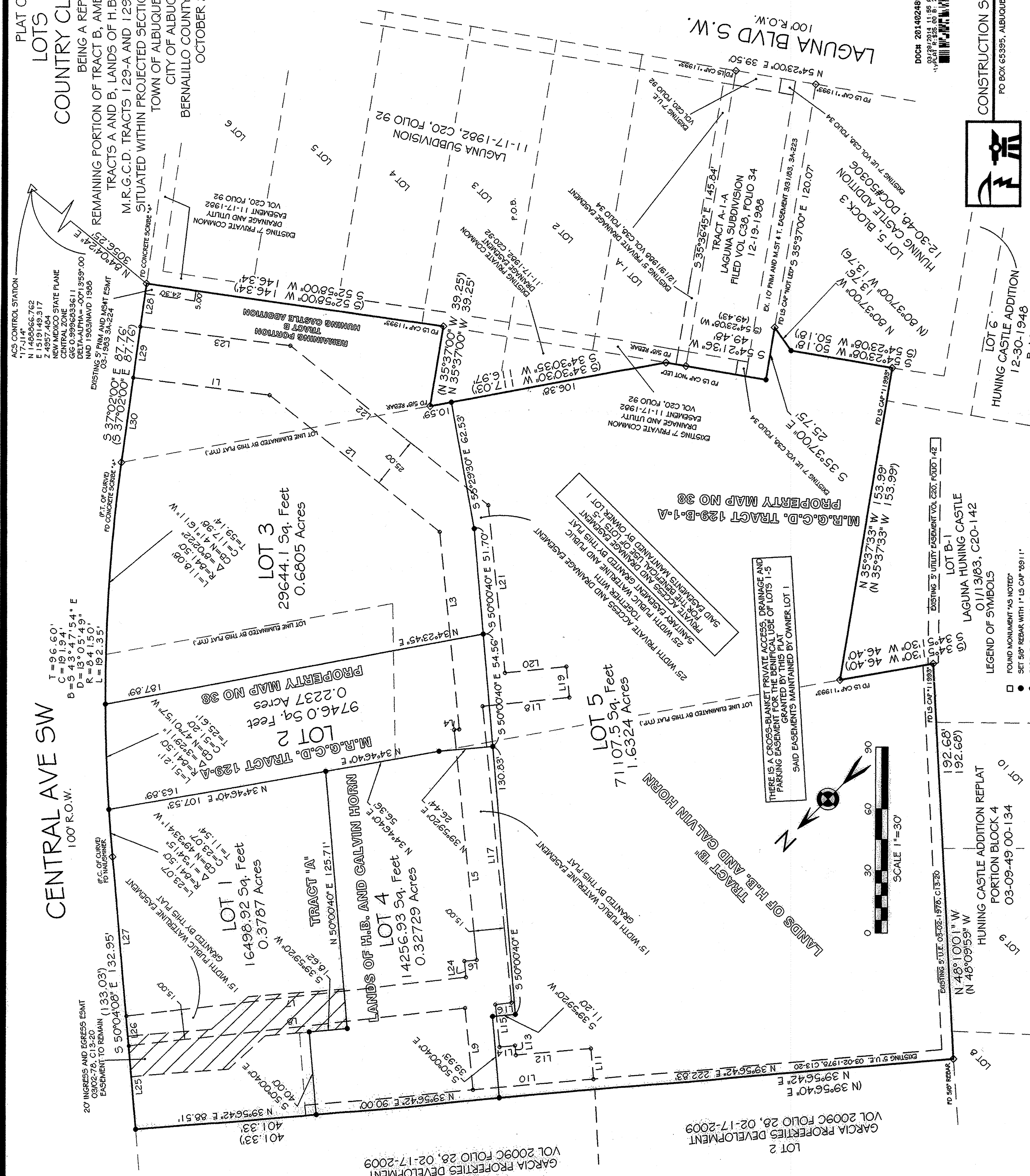
PAGE 1 OF 2

PLAT OF LOTS 1-5 COUNTRY CLUB PLAZA BEING A REPLAT OF

REMAINING PORTION OF TRACT B, AMENDED HUNING CASTLE ADDITION
TRACTS A AND B, LANDS OF H.B. HORN AND CALVIN HORN
M.R.G.C.D. TRACTS 129-A AND 129-B-1-A, PROPERTY MAP NO 38
SITUATED WITHIN PROJECTED SECTION 18, TOWNSHIP 10 N, R 3E, N.M.P.M.

TOWN OF ALBUQUERQUE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2013

EASEMENT LINE TABLE	Line #	Length	Direction
	L1	67.18	N52°00'19"E
	L2	106.30	N83°30'01"E
	L3	96.56	S50°47'29"E
	L4	2.50	N39°12'37"E
	L5	112.16	S50°47'29"E
	L6	6.02	N39°12'37"E
	L7	167.10	N39°12'37"E
	L8	165.36	N39°12'37"E
	L9	40.22	N50°47'23"W
	L10	59.13	S39°56'47"W
	L11	15.00	N50°08'13"W
	L12	36.73	N39°56'47"E
	L13	4.61	S50°47'29"E
	L14	7.58	N39°12'37"E
	L15	21.13	N50°47'23"W
	L16	7.98	N39°12'37"E
	L17	144.69	N50°46'56"W
	L18	42.50	N39°12'37"E
	L19	15.00	S50°47'29"E
	L20	30.00	N39°12'37"E
	L21	82.09	S50°47'29"E
	L22	123.89	N39°12'37"E
	L23	73.81	N52°00'19"E
	L24	7.85	S50°47'29"E
	L25	40.57	S49°50'40"E
	L26	15.01	S49°50'44"E
	L27	77.38	S50°13'47"E
	L28	21.22	N37°02'00"W
	L29	25.00	N37°02'00"W
	L30	41.54	N37°02'00"W



CONSTRUCTION SURVEY TECHNOLOGIES, INC.
PO BOX 65395, ALBUQUERQUE, NM 87193, 505-917-9921

DRAINAGE CALCULATION

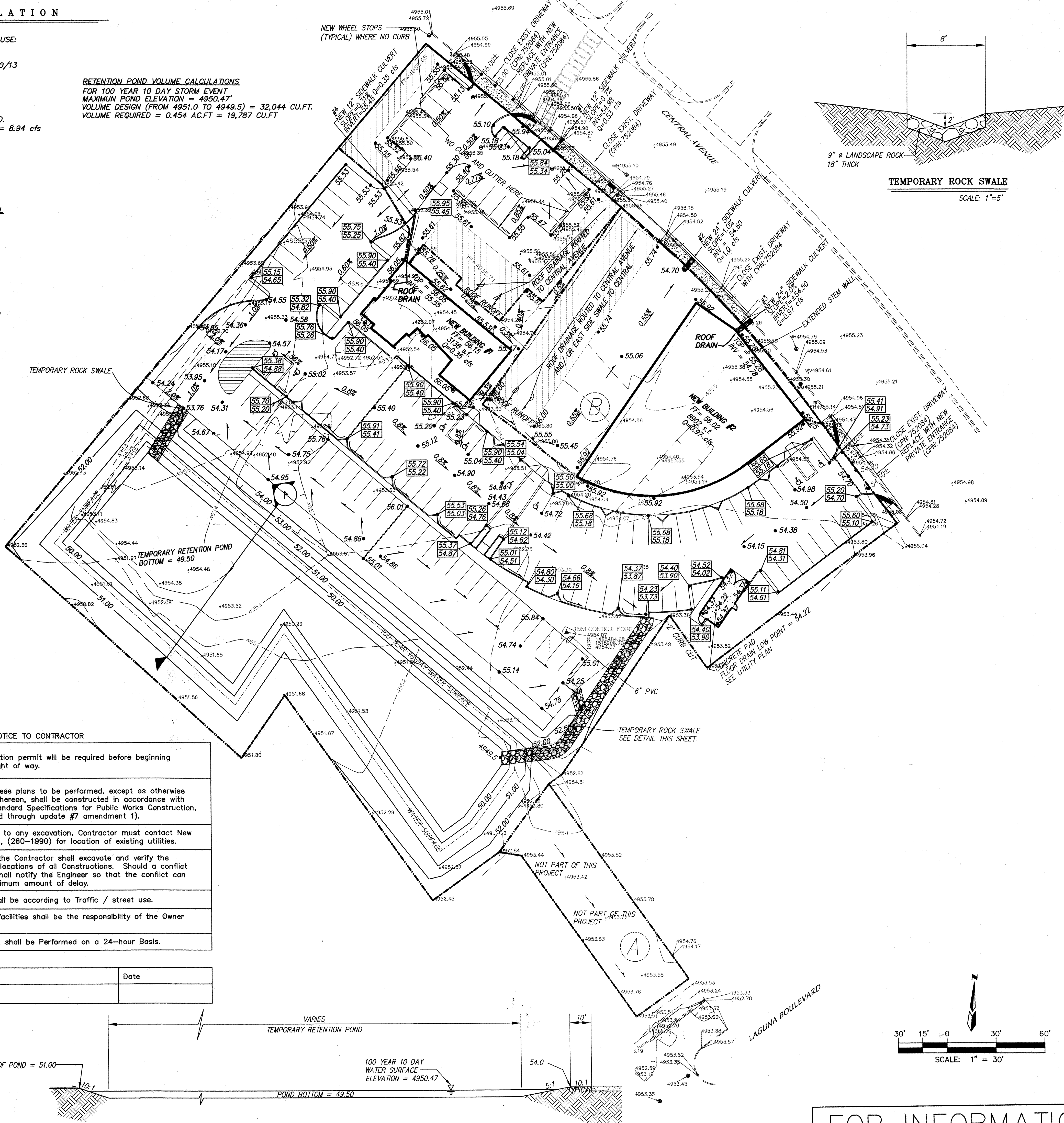
TOTAL PROJECT SITE AREA= 3.25 ACRES
FOR AHMO 100 YR 24 HR STORM EVENT USE:
P1 = 2.01" P6 = 2.35" P24 = 2.75"
EXISTING CONDITION
LAND TREATMENT A/B/C/D = 43.5/43.5/0/13
Q100 = 7.29 cfs V100 = 0.2379 AC-FT
DEVELOPED CONDITIONS

PHASE 1
THE INTENT OF THIS PLAN IS TO RETAIN
THE 10 DAY STORM IN A TEMPORARY POND.
CALCULABLE = 2.75 cfs/AC. x (3.25 ACRES) = 8.94 cfs

AREA THAT DRAINS TO POND
BASIN AREA = 2.39 AC
LAND TREATMENT A/B/C/D = 0/40/10/50
Q100 = 8.55 cfs V100 = 0.327 AC-FT
MWSL = 50.88
(100YR-10DAY) VOL REQ'D = 16553 cf
VOL DESIGN = 23087 cf
BASIN B - DIRECT DISCHARGE TO CENTRAL
BASIN AREA = 0.85 AC
LAND TREATMENT A/B/C/D = 0/10/0/90
Q100 = 3.64 cfs V100 = 0.1629 AC-FT

CULVERT #1 DEVELOPED RUNOFF
BASIN AREA = 4820 SF
LAND TREATMENT A/B/C/D = 0/0/0/100
Q100 = 0.53 cfs V100 = 0.0226 AC-FT
USE 12" SIDEWALK CULVERT
CULVERT #2 DEVELOPED RUNOFF
BASIN AREA = 10256 SF
LAND TREATMENT A/B/C/D = 0/20/0/80
Q100 = 1.0 cfs V100 = 0.014 AC-FT
USE 24" SIDEWALK CULVERT
CULVERT #3 DEVELOPED RUNOFF
BASIN AREA = 8902 SF
LAND TREATMENT A/B/C/D = 0/0/0/100
Q100 = 0.97 cfs V100 = 0.0417 AC-FT
USE 24" SIDEWALK CULVERT
CULVERT #4 DEVELOPED RUNOFF
BASIN AREA = 3138 SF
LAND TREATMENT A/B/C/D = 0/0/0/100
Q100 = 0.35 cfs V100 = 0.0147 AC-FT
USE 12" SIDEWALK CULVERT

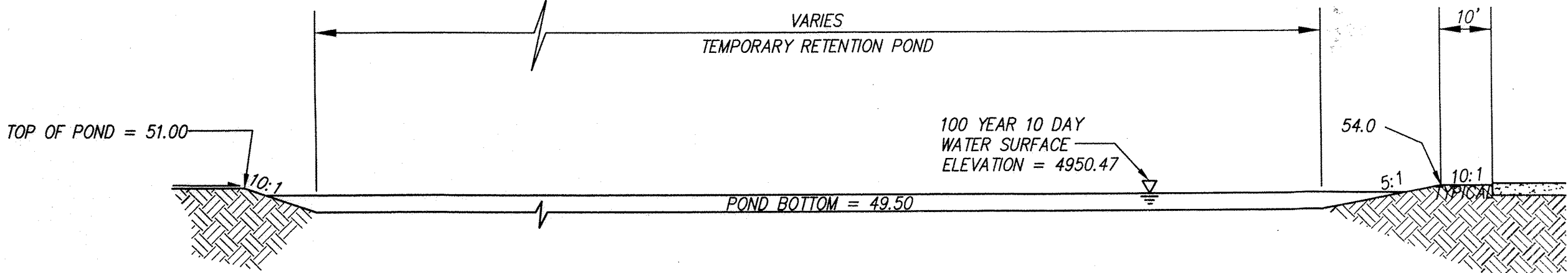
RETENTION POND VOLUME CALCULATIONS
FOR 100 YEAR 10 DAY STORM EVENT
MAXIMUM POND ELEVATION = 4950.47'
VOLUME DESIGN (FROM 4951.0 TO 4949.5) = 32,044 CU.FT.
VOLUME REQUIRED = 0.454 AC.FT = 19,787 CU.FT



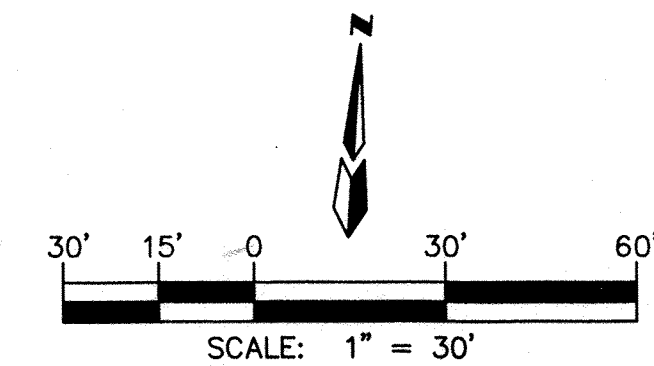
NOTICE TO CONTRACTOR

1.	An excavation/construction permit will be required before beginning any work within City right of way.
2.	All work detailed on these plans to be performed, except as otherwise stated or provided for hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, (1986 Edition as revised through update #7 amendment 1).
3.	Two working days prior to any excavation, Contractor must contact New Mexico One Call system, (260-1990) for location of existing utilities.
4.	Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
5.	Backfill compaction shall be according to Traffic / street use.
6.	Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7.	Work on Arterial Street shall be Performed on a 24-hour Basis.

Approval	Name	Date
Inspector		



TYPICAL RETENTION POND CROSS SECTION A-A



NOTES:

1. ROOFS FOR BUILDINGS NUMBER 1 AND 2 MUST DRAIN NORTH TOWARDS CENTRAL AVENUE.
2. COUNTRY CLUB PLAZA IS IN FLOOD ZONE X AS PER FIRM MAP NO. 35001C0333H. AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THEN 1 FOOT OR WITH DRAINAGE AREAS LESS THEN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

BENCHMARK

ACS CONTROL STATION "17-J14"
N= 1488866.762
E= 1519149.317
Z= 4957.484
NEW MEXICO STATE PLANE, CENTRAL ZONE
G-G= 0.9996833611
DELTA-ALPHA= -0013'59".00
NAD 1983/NAVD 1988

LEGEND

- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING WATER WELL
- EXISTING BOLLARD
- EXISTING GUY WIRE
- EXISTING SAS MH
- EXISTING TELEPHONE PEDESTAL
- NEW SPOT ELEVATION
- SWALE
- NEW CONTOUR ELEVATION
- EXISTING SEWER MANHOLE
- EXISTING GAS METER
- EXISTING WATER VALVE
- EXISTING CLEANOUT
- EXISTING UTILITY POLE
- EXISTING MONITORING WELL
- EXISTING WATER METER
- EXISTING CURB
- NEW WATER METER
- NEW RETAINING WALL
- BASIN A
- BASIN B
- BASIN BOUNDARY
- TOP OF CURB
- BOTTOM OF CURB
- NEW FLOW LINE, SPOT ELEVATION
- NEW SWALE
- EXISTING ELEVATION
- EXISTING DRIVEWAY CUT

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

FOR INFORMATION ONLY

revision

by

date

rev

12-11

SJ, MWS

drawn by

project manager

11/13/12

Country Club Plaza

SWC of Central Avenue and Laguna Boulevard

Albuquerque, New Mexico 87102

grading & drainage plan

sheet title

CITY PROJECT NO.

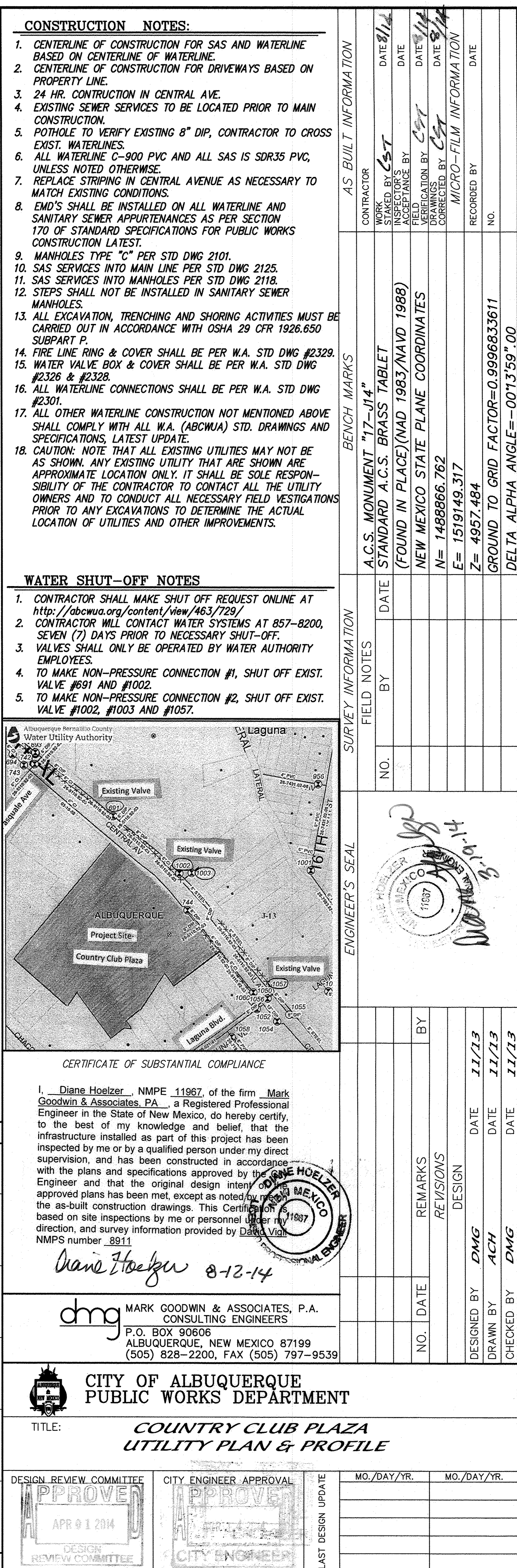
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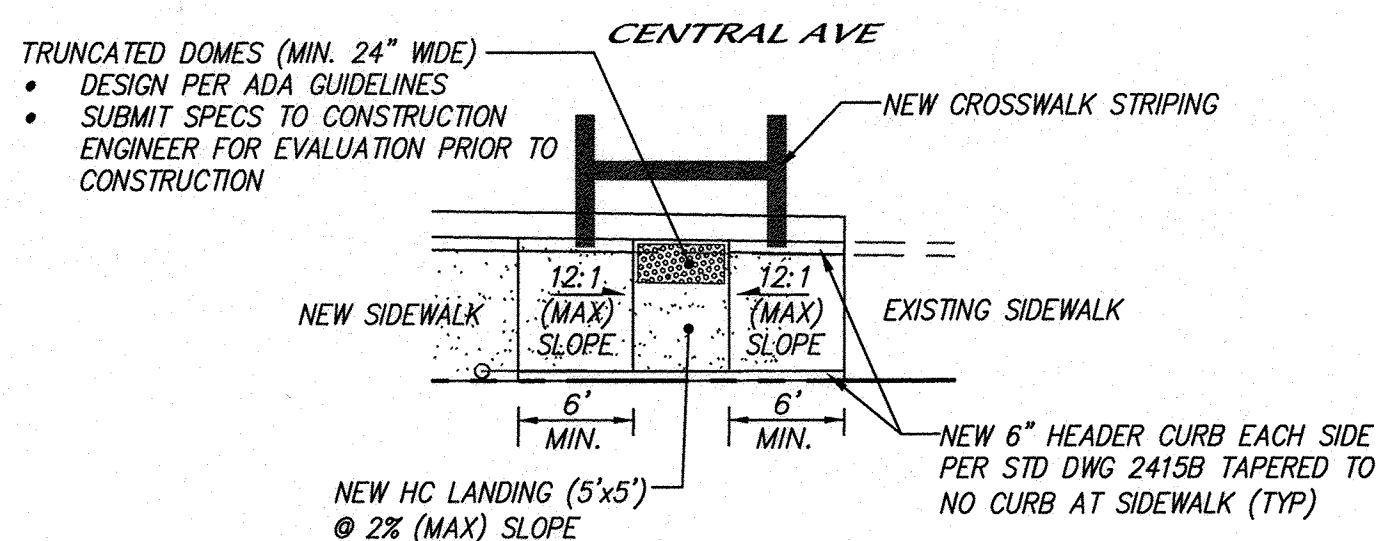
SHEET

3

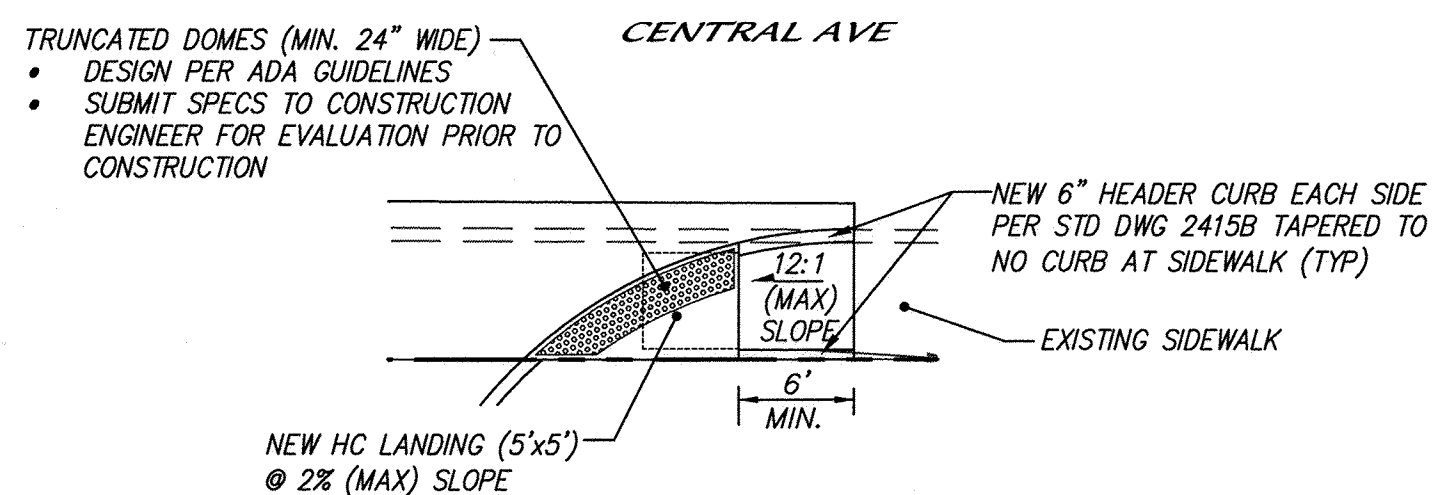
OF

5





SCALE: 1"=10'



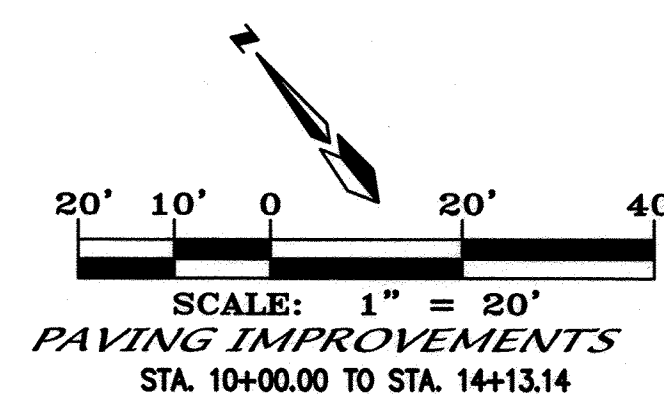
SCALE: 1"=10'

1. CENTERLINE OF CONSTRUCTION FOR DRIVEWAYS BASED ON PROPERTY LINE.
2. 24 HR. CONSTRUCTION IN CENTRAL AVE.
3. REPLACE STRIPING AS NECESSARY.
4. ALL WHEELCHAIR RAMP LANDINGS 5'x5' WITH MAX. 2% CROSS SLOPE IN ANY DIRECTION.
5. SAWCUT EDGE 1' FROM EDGE OF EXISTING CURB & GUTTER.
6. ALL SIDEWALKS PER C.O.A. STANDARD DWG #2430.
6. ALL CURB & GUTTER PER C.O.A. STANDARD DWG #2415A.

$$\begin{array}{ll} \textcircled{1} \Delta = 6^{\circ}03'16'' & \textcircled{2} \Delta = 6^{\circ}24'10'' \\ L = 75.28 & L = 94.04 \\ R = 712.41 & R = 841.50 \\ \text{Tan} = 37.68 & \text{Tan} = 47.07 \end{array}$$

- ① $\Delta = 1^{\circ}02'52''$
 $L = 68.66$
 $R = 3755.20$
 $Tan = 34.34$
- ② $\Delta = 3^{\circ}40'53''$
 $L = 49.11$
 $R = 764.30$
 $Tan = 24.56$
- ③ $\Delta = 1^{\circ}40'28''$
 $L = 22.53$
 $R = 770.89$
 $Tan = 11.26$
- ④ $\Delta = 46^{\circ}47'35''$
 $L = 20.42$
 $R = 25.00$
 $Tan = 10.82$
- ⑤ $\Delta = 133^{\circ}31'32''$
 $L = 6.98$
 $R = 3.00$
 $Tan = 6.94$
- ⑥ $\Delta = 85^{\circ}27'08''$
 $L = 8.95$
 $R = 6.00$
 $Tan = 5.54$
- ⑦ $\Delta = 84^{\circ}44'43''$
 $L = 29.58$
 $R = 20.00$
 $Tan = 16.25$
- ⑧ $\Delta = 62^{\circ}54'24''$
 $L = 27.45$
 $R = 25.00$
 $Tan = 15.29$
- ⑨ $\Delta = 11^{\circ}56'24''$
 $L = 6.15$
 $R = 3.00$
 $Tan = 4.94$
- ⑩ $\Delta = 117^{\circ}38'12''$
 $L = 6.16$
 $R = 3.00$
 $Tan = 4.96$
- ⑪ $\Delta = 62^{\circ}36'29''$
 $L = 27.32$
 $R = 25.00$
 $Tan = 15.20$

	SAWCUT & REMOVE & DISPOSE
	SAWCUT & REMOVE & DISPOSE REPLACE W/NEW DRIVE PAD
	NEW STANDARD CURB & GUTTER
	NEW SIDEWALK CULVERT



I, Diane Hoelzer, NMPE #11967, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer and the State of Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by David Vigil NMPS number 8911.

NMPS number 8911
Name Hacka 8-12-14

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: *COUNTRY CLUB PLAZA
DRIVEWAY AND PAVING IMPROVEMENTS*

DESIGN REVIEW COMMITTEE

APPROVED

APR 01 2014

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

APR 14 2014

CITY ENGINEER

CITY PROJECT NO.

ZONE MAP NO.	
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SHEET		OF
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