

CONSTRUCTION PLANS FOR GARCIA'S KITCHEN

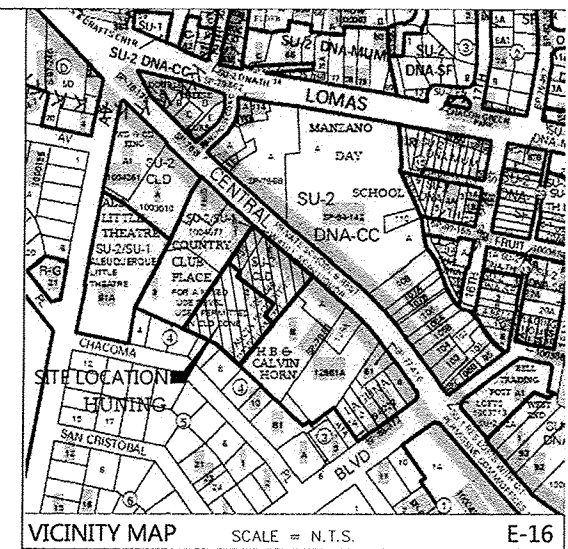
1736 CENTRAL AVE S.W.
ALBUQUERQUE, NEW MEXICO

WATER AND SEWER EXTENSION

SEPTEMBER 4, 2014

INDEX OF DRAWINGS

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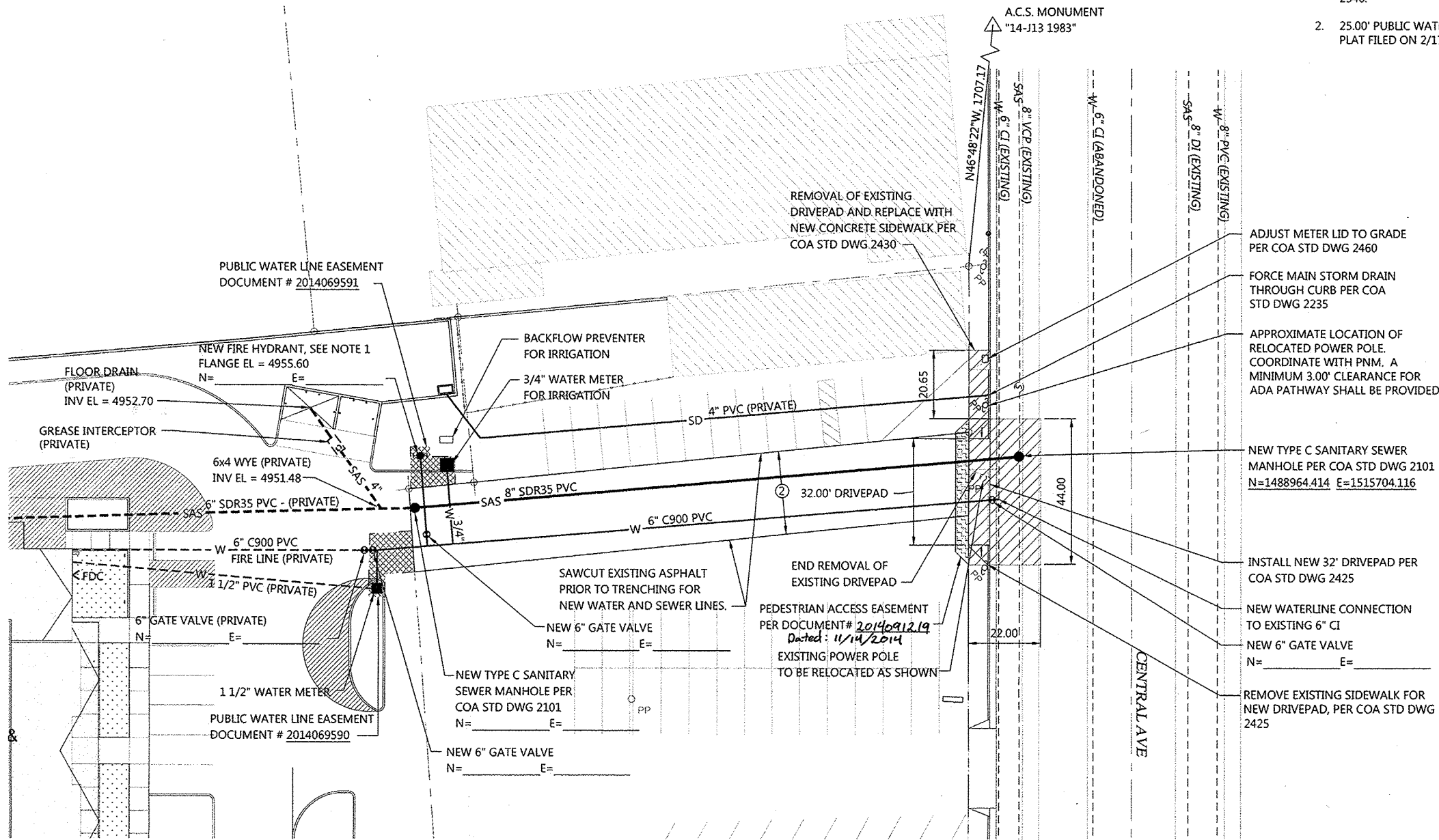
NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UPDATE #8, AMENDMENT #1.
 - ALL ROAD IMPROVEMENTS AND RELATED WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, 1994 EDITION (UPDATE #7).
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 - ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE COA CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTORS EXPENSE.
 - DEVELOPER SHALL PROVIDE STREET NAME SIGNS, STOP SIGNS, AND ANY NECESSARY STRIPING FOR PRIVATE STREETS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIAL.
 - CONTRACTOR SHALL REPLACE ALL PERMANENT PAVING STRIPING AND MARKINGS (INCLUDING IMPACTED EX. MARKINGS). THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS, INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MUTCD.
 - CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.
 - ANY EXISTING UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE.
 - WHEN ABUTTING NEW PAVEMENT TO THE EXISTING INTERSECTING STREETS THE EXISTING PAVEMENT SHALL BE SAW CUT TO A STRAIGHT LINE AT RIGHT ANGLES AND ANY BROKEN OR CRACKED PAVEMENT SHALL BE REMOVED. SAW CUTTING SHALL BE CONSIDERED INCIDENTAL TO PAVING, THEREFORE, NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
 - REMOVAL OF EXISTING CURB AND GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
 - CURB AND GUTTER, SIDEWALKS AND DRIVEPADS SHALL MATCH THE ELEVATIONS OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
 - THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
 - CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
 - CONTRACTOR TO KEEP SIDEWALKS, PEDESTRIAN PATHWAYS AND ACCESSIBLE ROUTES OPEN DURING CONSTRUCTION, OR PROVIDE ALTERNATE ROUTE SIGNAGE.
- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

CAUTION:

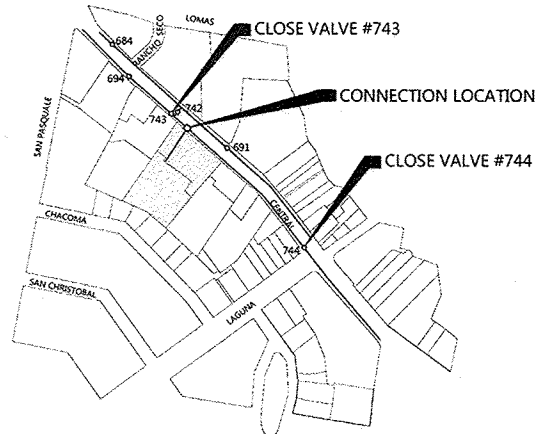
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman	<i>A. Wood</i>	10/13/14	APPROVED FOR CONSTRUCTION		<i>A.</i> 5/12/15 CITY ENGINEER DATE
		Transportation	<i>David M. Wilson</i>	9/11/14			
		Water/Wastewater	<i>Kevin C. Gage</i>	9/14/14			
		Hydrology	<i>Robert F. H.</i>	9-4-14			
		Parks					
		Constr. Coord.					
		Envir. Health					
		City Project No.	752085		Sheet		Of
				1		5	



SITE UTILITY PLAN

SCALE: 1" = 20'

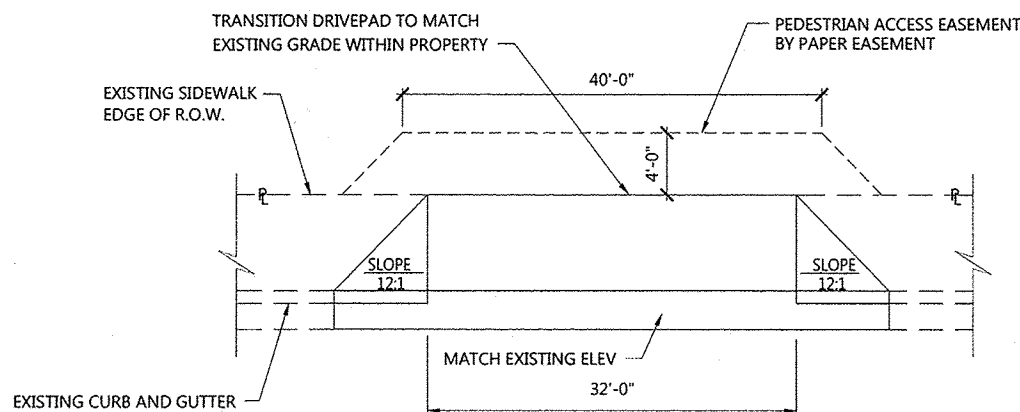


- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUT-OFF REQUESTS MUST BE MADE ONLINE AT http://www.abcwua.org/Water_Shut_off_and_turn_on_Procedures.aspx
- FOR CONNECTION ON CENTRAL AVENUE, CLOSE VALVES 743 LOCATED APPROX 50 FEET WEST ALONG CENTRAL AVENUE FROM CONNECTION LOCATION, AND CLOSE VALVE 744 APPROX 500 FEET EAST ALONG CENTRAL AVENUE FROM CONNECTION LOCATION.

WATER SHUT-OFF PLAN

Reference Drawings

ITEM	STD DWG
SAS MANHOLE	2101, 2107
SAS SERVICE	2118, 2125
WATER SVC	2361, 2362, 2363
VALVE BOX	2326, 2328
FIRE HYDRANT	2340
PAVING	2465-ARTERIAL
STANDARD CURB	2415A
DRIVEPAD	2425
SIDEWALK	2430



DRIVEPAD DETAIL

SCALE: NTS

NOTE: DETAIL SHOWN FOR WIDTH OF DRIVEPAD ONLY
SEE COA STD DWG 2425 FOR INSTALLATION

Keyed Notes

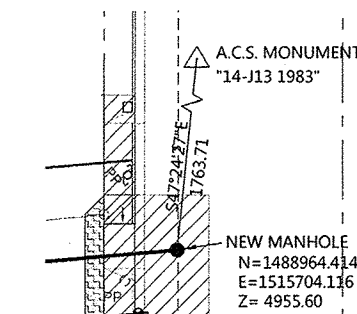
- NEW FIRE HYDRANT AND VALVE PER COA STD DWG 2340.
- 25.00' PUBLIC WATER AND SEWER EASEMENT PER PLAT FILED ON 2/17/2009 IN BK 2009C PG 28.

General Notes

- COORDINATE WITH ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY PRIOR TO TRENCHING FOR NEW WATER SERVICE AND SANITARY SERVICE TAPS.
- COORDINATE WITH LOCAL UTILITIES FOR LOCATION OF ANY UNDERGROUND DRY UTILITIES PRIOR TO TRENCHING.
- CONTRACTOR TO PROVIDE ACCESS TO EXISTING BUSINESSES AFFECTED BY CONSTRUCTION.
- ALL UTILITIES INSTALLED WITHIN THE UTILITY EASEMENT ARE DESIGNATED AS PUBLIC. UTILITIES TO SERVICE THE NEW FACILITY TO BE DESIGNATED AS PRIVATE.
- TRAFFIC RATED WATER METER BOX LIDS PER COA STD DWG 2369.
- SEE WATER SHUT-OFF PLAN, THIS SHEET, FOR CONNECTION TO CENTRAL AVE. WATERLINE
- DAMAGE TO EXISTING FUNCTIONAL UTILITIES TO BE REPAIRED AT CONTRACTORS EXPENSE.
- ASPHALT PAVING ALONG CENTRAL AVE TO BE PER COA STD DWG 2465-ARTERIAL.

Legend

---	W	---	EXISTING WATER LINE
---	SAS	---	EXISTING SANITARY SEWER LINE
⊙			EXISTING MANHOLE
⊙			EXISTING POWER POLE
---	W	---	NEW PUBLIC WATER LINE
---	SAS	---	NEW PUBLIC SANITARY SEWER LINE
---	W	---	NEW PRIVATE WATER LINE
---	SAS	---	NEW PRIVATE SANITARY SEWER LINE
■			NEW WATER METER WITH TRAFFIC RATED LID
⊙			NEW FIRE HYDRANT
---	SD	---	NEW PRIVATE FORCE MAIN STORM DRAIN
[Pattern]			PUBLIC WATER AND SEWER EASEMENT BY PAPER EASEMENT
[Pattern]			PEDESTRIAN ACCESS EASEMENT BY PAPER EASEMENT
[Pattern]			AREA OF WORKORDER



PROJECT TIE

SCALE: NTS

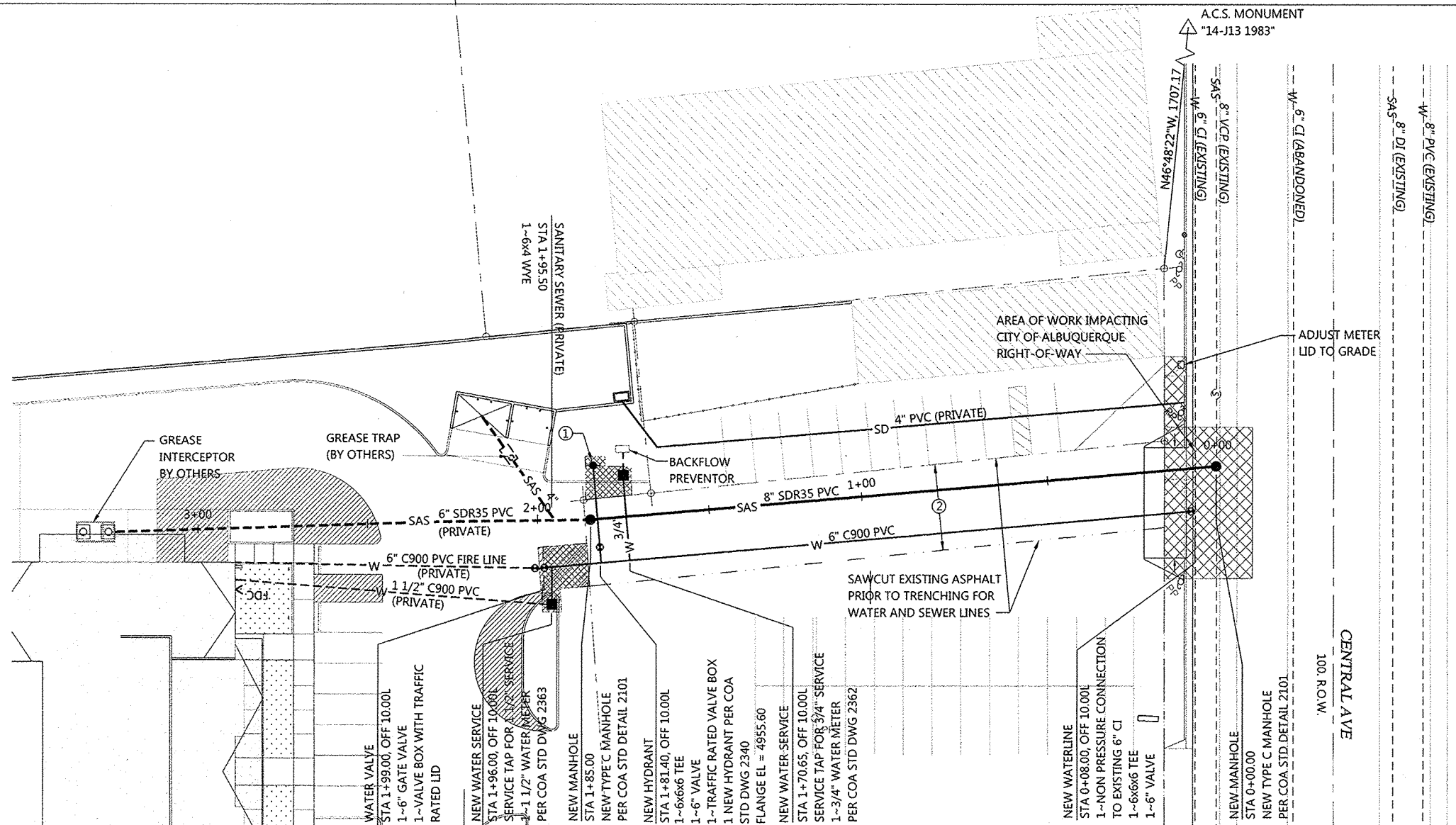


CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

GARCIA'S KITCHEN MASTER UTILITY AND DRIVEPAD PLAN

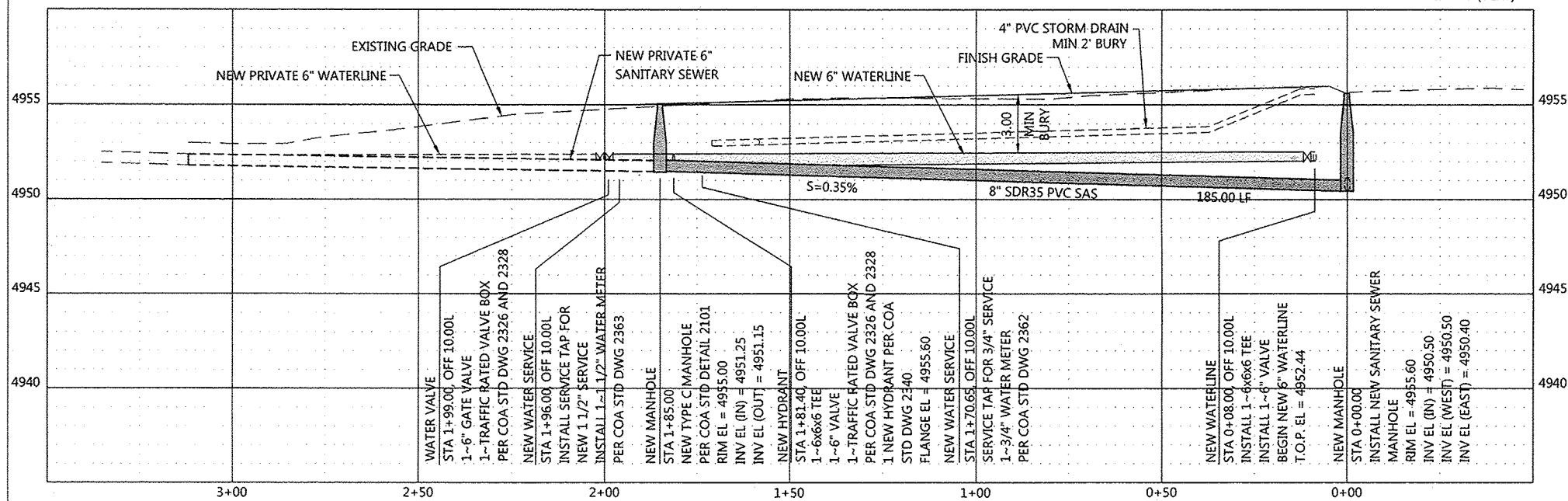
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED OCT 23 2014 DESIGN REVIEW COMMITTEE	APPROVED MAY 12 2015 CITY ENGINEER		
City Project No.	Zone Map No.	SHEET	OF
752085	J-13	3	5



SITE UTILITY PLAN

SCALE: 1" = 20'

SCALE: 1" = 20' (HORIZ)
1" = 4' (VERT)



Legend

- W --- EXISTING WATER LINE
- SAS --- EXISTING SANITARY SEWER LINE
- ⊙ EXISTING MANHOLE
- ⊙ EXISTING POWER POLE
- W — NEW WATER LINE
- SAS — NEW SANITARY SEWER LINE
- W --- NEW PRIVATE WATER LINE
- SAS --- NEW PRIVATE SANITARY SEWER LINE
- NEW WATER METER (TRAFFIC RATED)
- NEW FIRE HYDRANT
- SD — NEW STORM DRAIN LINE
- PUBLIC WATER AND SEWER EASEMENT
- PUBLIC WATER AND SEWER EASEMENT BY PAPER EASEMENT
- AREA OF WORK ORDER

Notes

A. FOR WATER SHUT-OFF PLAN, SEE SHEET 3.

Keyed Notes

1. NEW FIRE HYDRANT AND VALVE PER COA STD DWG 2340.
2. 25.00' PUBLIC WATER AND SEWER EASEMENT PER PLAT FILED 2/17/2009 IN BOOK 2009C, PAGE 0028.

Water Meter and Fire Line Summary			
Water Meters			
#	Size	Location (Station/Offset)	Use (Domestic/Irrigation)
1	3/4"	Sta 1+70.65 Off 10.00'L	Irrigation
2	1-1/2"	Sta 1+96.00 Off 10.00'L	Domestic
Fire Lines			
#	Size	Location (Station/Offset)	
1	6"	Sta 1+99.00 Off 10.00'L	



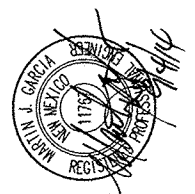
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

TITLE: GARCIA'S KITCHEN
UTILITY PLAN AND PROFILE
AND SITE DETAILS

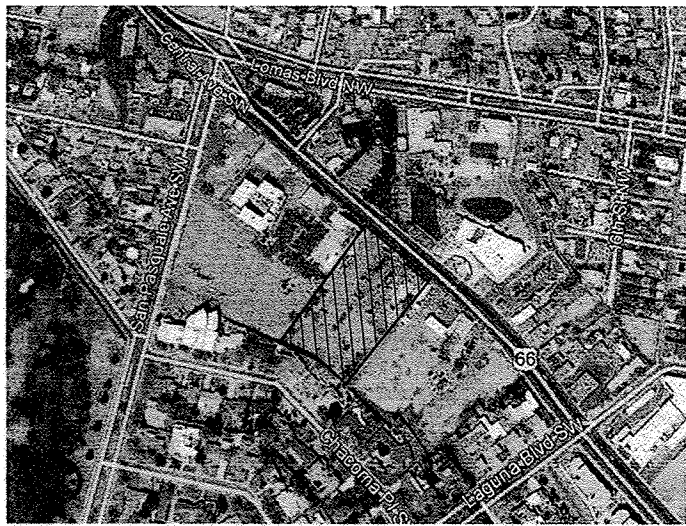
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
APPROVED OCT 13 2014 DESIGN REVIEW COMMITTEE	APPROVED MAY 12 2015 CITY ENGINEER		

City Project No. 752085 Zone Map No. J-13 SHEET 4 OF 5

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	DATE	CONTRACTOR	DATE	NO.
			CONTROL 3-1/2" INCH ALUMINUM DISC STAMPED		
			"14-J13 1983" SET FLUSH WITH TOP OF CURB		
			LOCATED AT THE INTERSECTION OF CENTRAL AVE AND		
			RIO GRANDE BLVD.		
			X = 1514405.693 Y = 1490158.066 Z = 4957.34		



NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	
		DESIGNED BY M. GARCIA	
		DRAWN BY F. PHILLIPS	
		CHECKED BY M. GARCIA	
		DATE 9/4/2014	
		DATE 9/4/2014	
		DATE 9/4/2014	



Vicinity Map

Drainage Calculations

Hydrology Calculations

Garcia's Restaurant

DPM - Section 22.2

Volume 2, January 1993

Precipitation Zone

100 Year Storm Depth, P (360)

Treatment Area	A	B	C	D
Excess Precipitation Factors	0.44	0.67	0.89	1.97
Peak Discharge Factors	1.29	2.03	2.87	4.37

Land Treatment Area	Acres	Existing	Proposed
Type "D" (Roof)		0.76	1.76
Type "C" (Unpaved Roadway)		0	0.00
Type "B" (Irrigated Lawns)		0.26	0.44
Type "A" (Undeveloped)		1.18	0.00

Total (Acres) 2.2 2.20

Excess Precipitation(in) 1.00 1.71

Volume (100) 24 hr, cf	7951.88	13656.06
Volume (10),cf	5327.76	9149.56
Q (100), cfs	5.37	8.58
Q (10), cfs	3.60	5.75

Pond Volumes

POND VOLUME REQUIRED 13656 CF

POND VOLUME PROVIDED:

SUMP : 2.33 FT X 400 SF = 932 CF

POND 1: 2.00 FT X 2731 SF = 5,462 CF

POND 2: 1.50 FT X 4908.6 SF = 7,363 CF

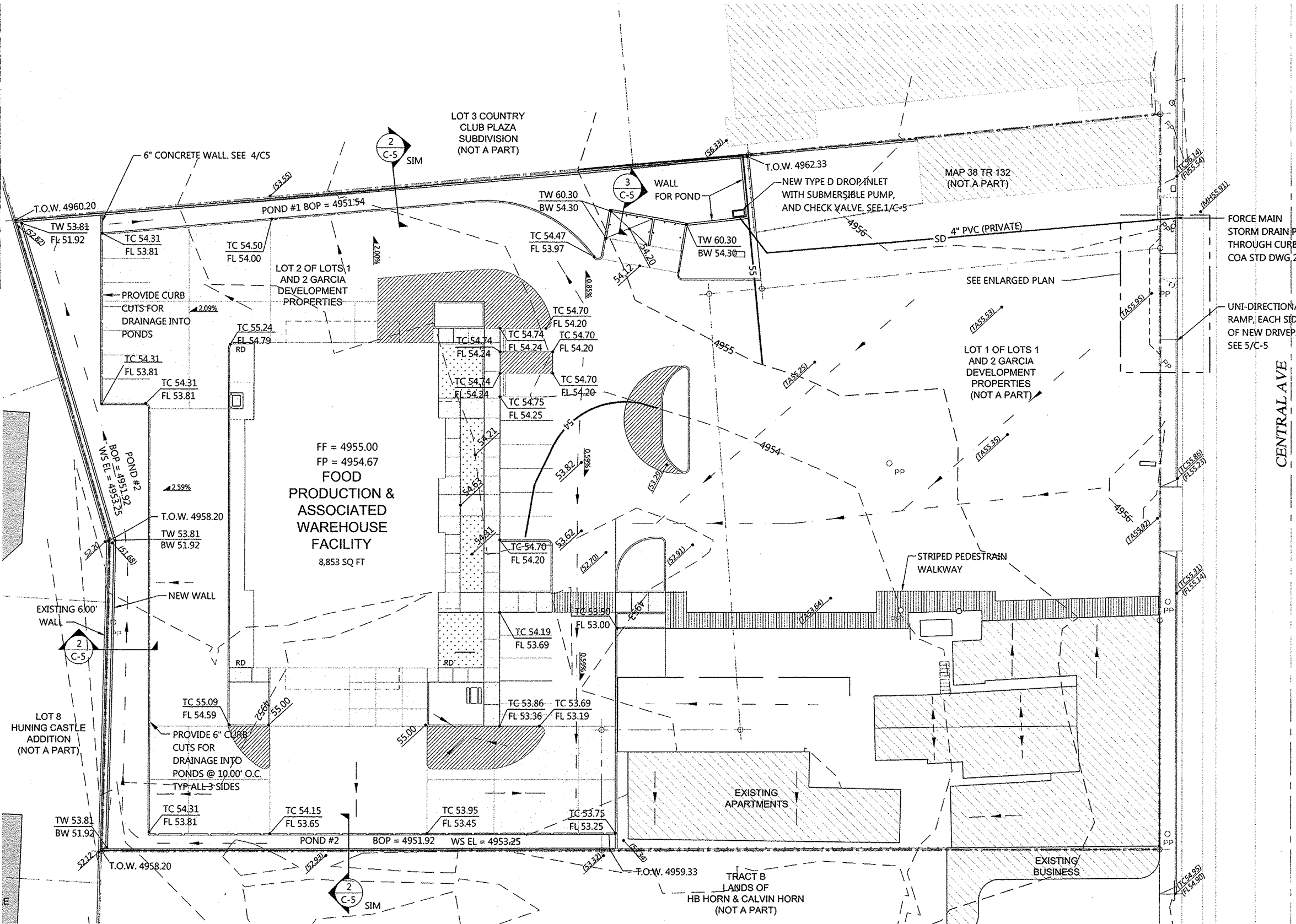
TOTAL POND VOLUME PROVIDED 13,757 CF

Drainage Narrative

THE PURPOSE OF THIS GRADING PLAN IS FOR THE CONSTRUCTION OF A NEW FOOD PREPARATION FACILITY AND CATERING FACILITY LOCATED BEHIND THE EXISTING GARCIA'S RESTAURANT AT 1736 CENTRAL AVENUE S.W. THIS GRADING AND DRAINAGE PLAN TAKES INTO CONSIDERATION LOT 1 AND LOT 2 GARCIA DEVELOPMENT PROPERTIES. THE SITE IS BOUND ON THE NORTH BY CENTRAL BOULEVARD, THE WEST BY EXISTING DEVELOPMENT, AND THE SOUTH BY EXISTING RESIDENTIAL DEVELOPMENT AND THE EAST BY EXISTING DEVELOPMENT. THE EXISTING SITE CURRENTLY DRAINS FROM THE NORTHEAST TO THE SOUTHWEST CORNER OF THE SITE (LOTS 1 AND 2). THERE IS NOT ANY OFF-SITE RUNOFF THAT ENTERS THE PROPERTY, AND DUE TO THE PROPERTY LOWEST POINT BEING THE SOUTHWEST CORNER, WATER CANNOT BE RELEASED INTO CENTRAL BOULEVARD WITHOUT PUMPING. THE PROPOSED DESIGN COLLECTS ALL RUNOFF FROM LOTS 1 AND 2 INTO TWO DETENTION PONDS AS SHOWN. THE WATER WILL THEN BE PUMPED TO A DISCHARGE POINT IN THE CURB AT CENTRAL AVENUE AT THE RATE OF 75 GPM. THE PONDS HAVE BEEN DESIGNED TO ACCOMMODATE A 100 YEAR-24 HOUR STORM AND THE PUMP SPECIFIED WILL DRAIN THAT VOLUME OVER A 24HR PERIOD. IN THE EVENT OF PUMP MALFUNCTION, WATER WILL BACKUP INTO THE PARKING LOT. THE PAD FOR THE NEW BUILDING HAS BEEN ELEVATED SO THAT IN THE EVENT OF WATER PONDING INTO THE PARKING AREAS, THERE IS MINIMAL TO NO CHANCE FOR DAMAGE TO THE BUILDING. THE SITE IS NOT WITHIN THE 100-YEAR FLOOD PLAIN.

Legend

---	4954	EXISTING CONTOUR
---	55	NEW CONTOUR
---		DRAINAGE BASIN BOUNDARY
---		SWALE - DIRECTION OF FLOW
TC		TOP OF CURB
FL		FLOW LINE
FF		FINISH FLOOR
RD		ROOF DRAIN
55.00		NEW SPOT ELEVATION
55.00		EXISTING SPOT ELEVATION



GRADING AND DRAINAGE PLAN

SCALE: 1" = 20'

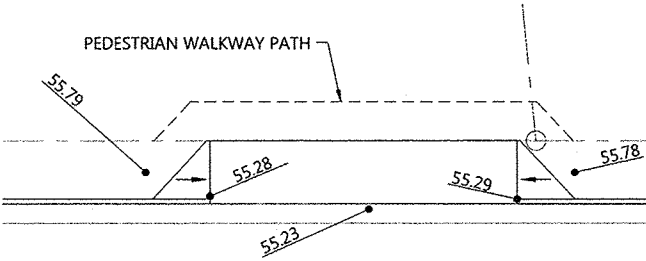
Site Notes

- OIL/WATER SEPARATOR TO BE INSTALLED IN TRASH ENCLOSURE PRIOR TO CONNECTION TO SANITARY SEWER.
- IN THE EVENT OF PUMP FAILURE, WATER WILL BACK UP INTO PARKING LOT.

Sump Pump Information

FLYGT - MODEL CP-3068 WITH IMPELLER PORTABLE CONFIGURATION PUMP ON A STAND WITH 4" DISCHARGE 75gpm

QTY: 1



ENLARGED PLAN

SCALE: 1" = 20'

Project Benchmark

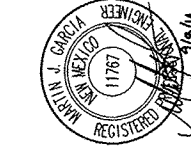
PROJECT BENCHMARK

THE PROJECT BENCHMARK IS AN ACS ALUMINUM DISC STAMPED 14-J13 SET FLUSH WITH TOP OF CURB LOCATED AT THE INTERSECTION OF CENTRAL AVE AND RIO GRANDE BLVD.

N=1514405.693
E=1490158.066
Z=4957.34

FOR INFORMATION ONLY

STAMP:



J.S. ROGERS ARCHITECTS P.C.

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ENGINEER:



JOB No:

FILE NAME:

DWG NAME: C1 GarciaGrading

DRAWN BY: FKP

ISSUE DATE: August 29, 2012

RE: DATE DESCRIPTION

-
-
-
-

TITLE:

GRADING AND DRAINAGE PLAN

GARCIA'S KITCHEN
FOOD PRODUCTION & WAREHOUSE

1736 Central Avenue, SW
Albuquerque, NM

SHEET:

C-1

5 OF 5