

SCANNED
BY **PLN**

CONSTRUCTION PLANS FOR **VISTA** **STORAGE UNITS**

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-17563.81 06

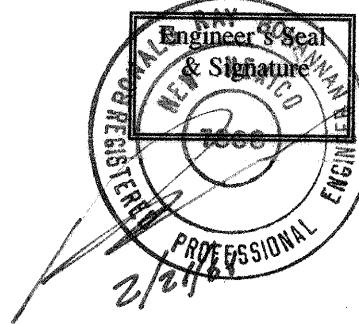
UTILITY & STORM DRAIN IMPROVEMENTS

CITY OF ALBUQUERQUE
NEW MEXICO
JUNE 2005

FW

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, **Ronald R. Bohannon**, of the firm of **Tierra West LLC**, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by **Larry Medrano of Precision Surveys, NMPS #11995**



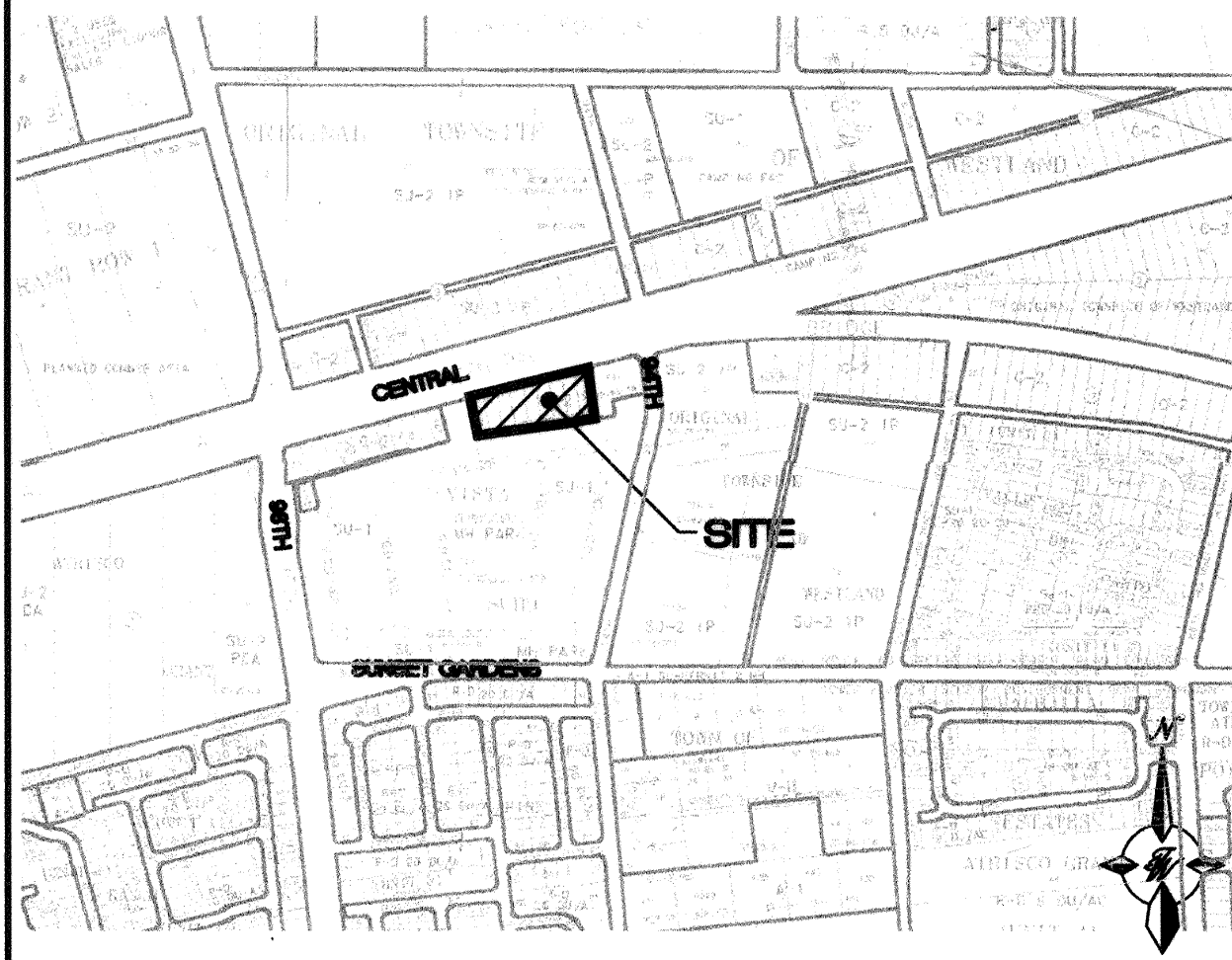
APPROVED AS RECORD DRAWINGS
DESIGN/REVIEW SECTION
CITY CONSTRUCTION ENGINEER
[Signature]
DATE: **7/25/05**

INDEX TO DRAWINGS

- TITLE SHEET
- PLAT
- APPROVED ADMINISTRATIVE AMENDMENT SITE PLAN
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- STORM DRAIN IMPROVEMENTS
OFF-SITE IMPROVEMENTS STA:10+00 TO STA:12+90.91

1/22055/2255SDPP1.DWG/JDN/03-09-05

Elevations are in NGVD 29.



VICINITY MAP ZONE ATLAS: K-9 & L-9

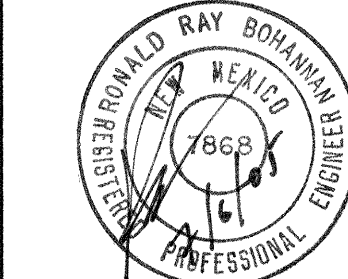
NOTICE TO CONTRACTORS

SCALE NONE

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #7)
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
- ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES 24-HOUR CONSTRUCTION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY THE CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE DESIGNERS EXPENSE.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

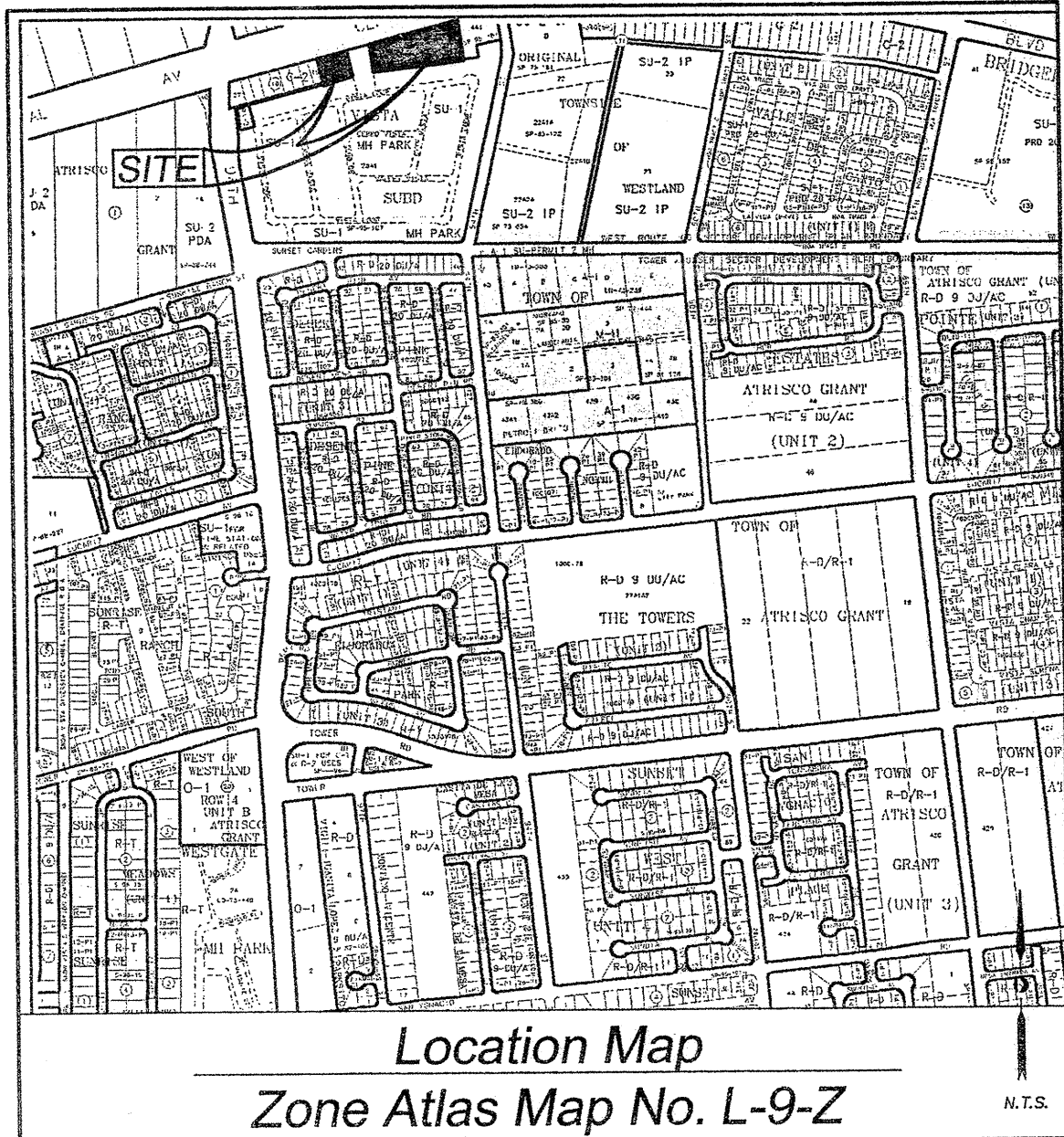
- THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
 - ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
 - ☒ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE PROJECT ENGINEER.
 - ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
 - ☒ IF CURB IS DEPRESSIONED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
 - ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

TIERRA WEST, LLC
6506 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100



REV	SHEETS	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
1	5066						
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman		<i>[Signature]</i>		8-25-05	
		Transportation		<i>[Signature]</i>		7/7/05	
		Water/Wastewater		<i>[Signature]</i>		7/13/05	
		Hydrology		<i>[Signature]</i>		7/12/05	
		C.I.P.		<i>[Signature]</i>		8-25-05	
CONSTR. COORD.		<i>[Signature]</i>		<i>[Signature]</i>		8-25-05	
CITY PROJECT NO.		756881		SHEET		1 OF 6	

[Signature]
City Engineer
Date: **11-30-05**



Legal Description

LOT 18-A-1

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 28, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED 16A, 17A, AND 18A, VISTA, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1986, IN VOLUME C30, FOLIO 119, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "10-L9", HAVING NEW MEXICO STATE PLANE CENTRAL ZONE COORDINATE VALUES OF X=352,794.84, Y=1,482,084.51, AND A GROUND TO GRID SCALE FACTOR OF 0.99967602 (NAD 1927), BEARS N 89°45'50" W, A DISTANCE OF 493.50 FEET;

THENCE FROM SAID BEGINNING POINT, ALONG SAID SOUTH RIGHT OF WAY LINE, N 75°01'25" E, A DISTANCE OF 150.16 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 14°58'35" E, A DISTANCE OF 130.06 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 81°55'49" W, A DISTANCE OF 0.61 FEET TO AN ANGLE POINT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 75°01'25" W, A DISTANCE OF 149.55 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 14°58'35" W, A DISTANCE OF 129.99 FEET TO THE POINT OF BEGINNING, CONTAINING 0.4481 ACRES (19,518 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOT 18-A-1, VISTA.

LOT 13-A-1

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 28, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOTS NUMBERED 5A, 6A, 7A, 8A, 9A, 10A, 11A, 12A AND 13A, VISTA, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 29, 1986, IN VOLUME C30, FOLIO 119, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE GRID BEARINGS (CENTRAL ZONE-NORTH AMERICAN DATUM OF 1927) AND GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF CENTRAL AVENUE, NW, MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993", FROM WHENCE A TIE TO ALBUQUERQUE CONTROL SURVEY MONUMENT "10-L9", HAVING NEW MEXICO STATE PLANE CENTRAL ZONE COORDINATE VALUES OF X=352,794.84, Y=1,482,084.51, AND A GROUND TO GRID SCALE FACTOR OF 0.99967602 (NAD 1927), BEARS S 84°52'47" W, A DISTANCE OF 756.53 FEET;

THENCE FROM SAID BEGINNING POINT, ALONG SAID SOUTH RIGHT OF WAY LINE, N 75°01'25" E, A DISTANCE OF 453.29 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT MARKED BY A FOUND ONE-INCH IRON PIPE;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 08°04'11" E, A DISTANCE OF 197.94 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 81°55'49" W, A DISTANCE OF 450.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 08°04'11" W, A DISTANCE OF 143.43 FEET TO THE POINT OF BEGINNING, CONTAINING 1.7633 ACRES (76,808 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOT 13-A-1, VISTA.

SAID LOTS CONTAIN A GROSS AREA OF 2.2114 ACRES MORE OR LESS.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR, EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED, SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

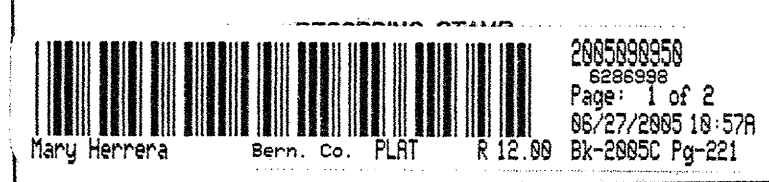
Ronald Cuning 4-7-05
A. RONALD CUNNING
MANAGER
ROUTE 66 SELF STORAGE, LLC
A NEVADA LIMITED LIABILITY COMPANY

Acknowledgment

STATE OF CALIFORNIA
COUNTY OF SAN BERNARDINO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF APRIL, 2005 BY
A. RONALD CUNNING, MANAGER, ROUTE 66 SELF STORAGE, LLC, A NEVADA LIMITED LIABILITY COMPANY.

BY *Notary Public* MY COMMISSION EXPIRES: DEC. 29, 2008
NOTARY PUBLIC COMMISSION # 1538653



Plat of
Lots 13-A-1 and 18-A-1

Vista

Albuquerque, Bernalillo County, New Mexico
April 2005

Project No. 1003273

Application No. 05DRB-00671

Utility Approvals

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE

City Approvals

CITY SURVEYOR	DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

Treasurer's Certificate

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # SEE ATTACHED
PROPERTY OWNER OF RECORD:
VISTA LIMITED LIABILITY COMPANY
BERNALILLO COUNTY TREASURER'S OFFICE
Notary Public

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano 4-6-05
LARRY W. MEDRANO
N.M.P.S. No. 11993

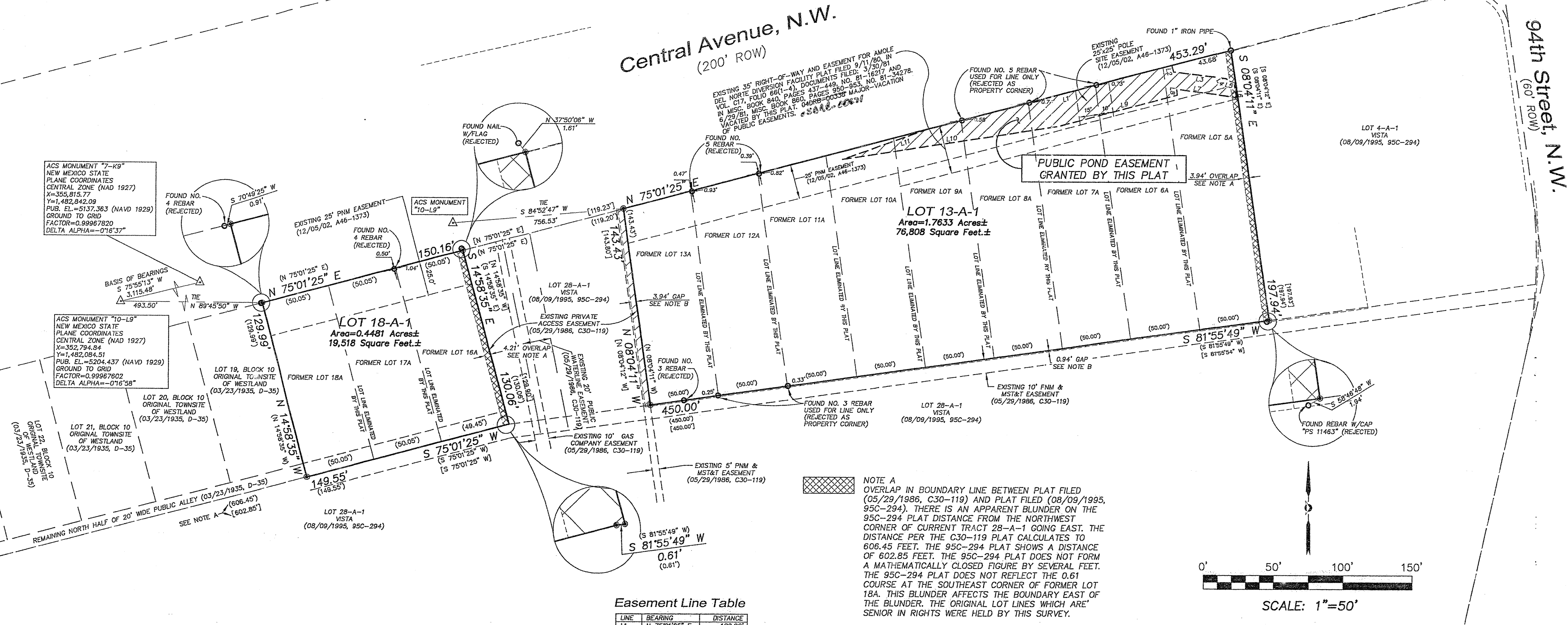
PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 6700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Sheet 1 of 2

Legend

(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES 05/29/1986, C30-119
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES 08/09/1995, 95C-294
N 90°00'00" E	MEASURED BEARING AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
●	NUMBER 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY.



Easement Line Table

LINE	BEARING	DISTANCE
L1	N 75°01'25" E	182.22'
L2	S 14°58'35" E	5.05'
L3	S 81°55'49" W	1.00'
L4	S 75°01'25" W	2.49'
L5	S 08°04'11" E	3.94'
L6	S 08°04'11" E	10.75'
L7	N 82°31'15" W	42.78'
L8	S 02°52'47" E	4.35'
L9	S 75°01'25" W	86.30'
L10	S 81°55'49" W	168.15'
L11	N 70°01'48" E	65.61'

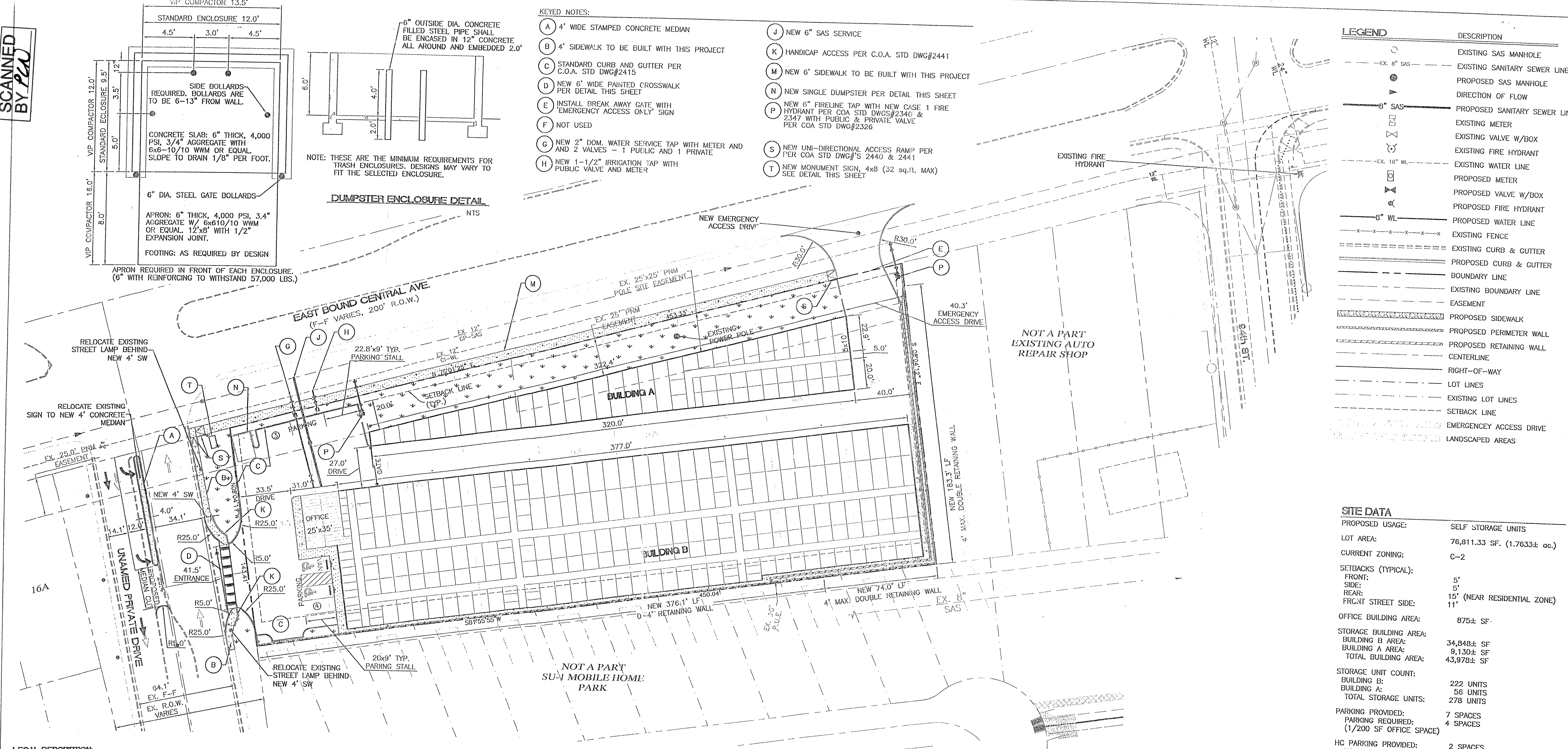
FOR REFERENCE ONLY

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 6700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

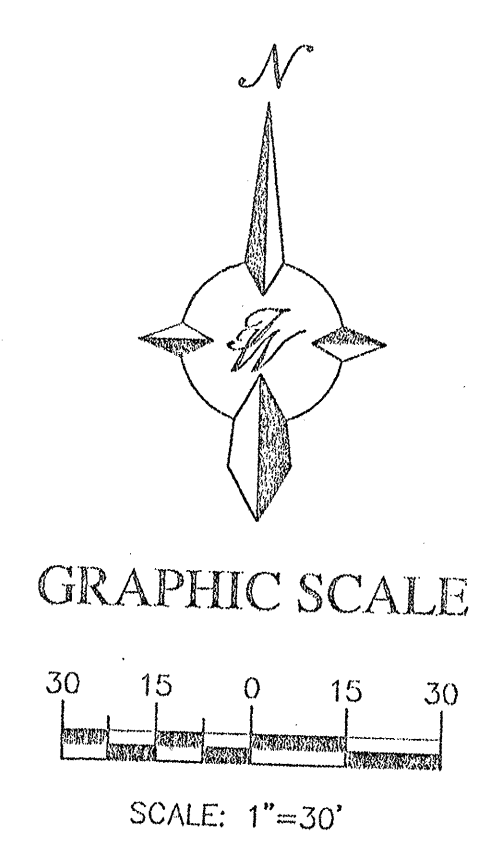
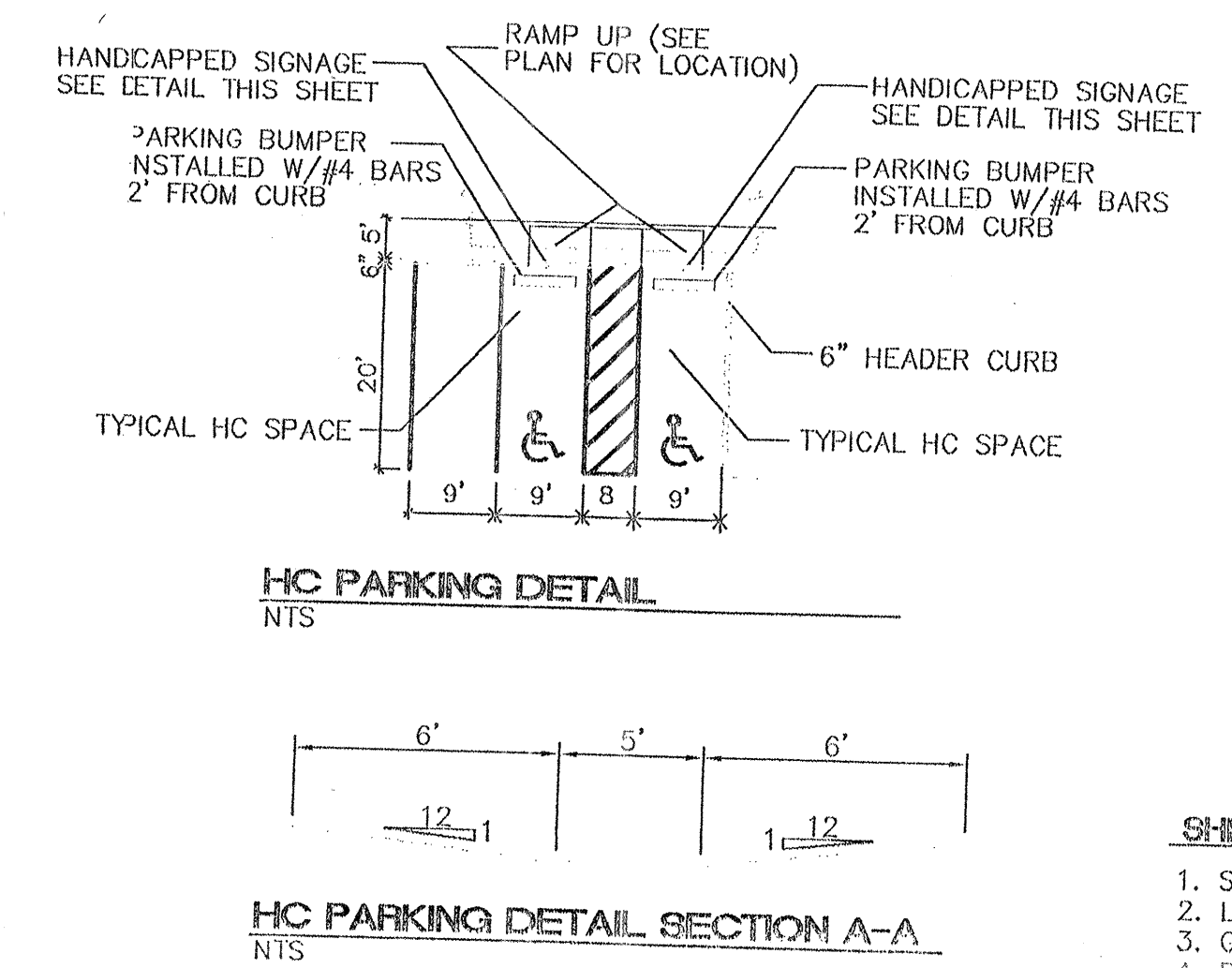
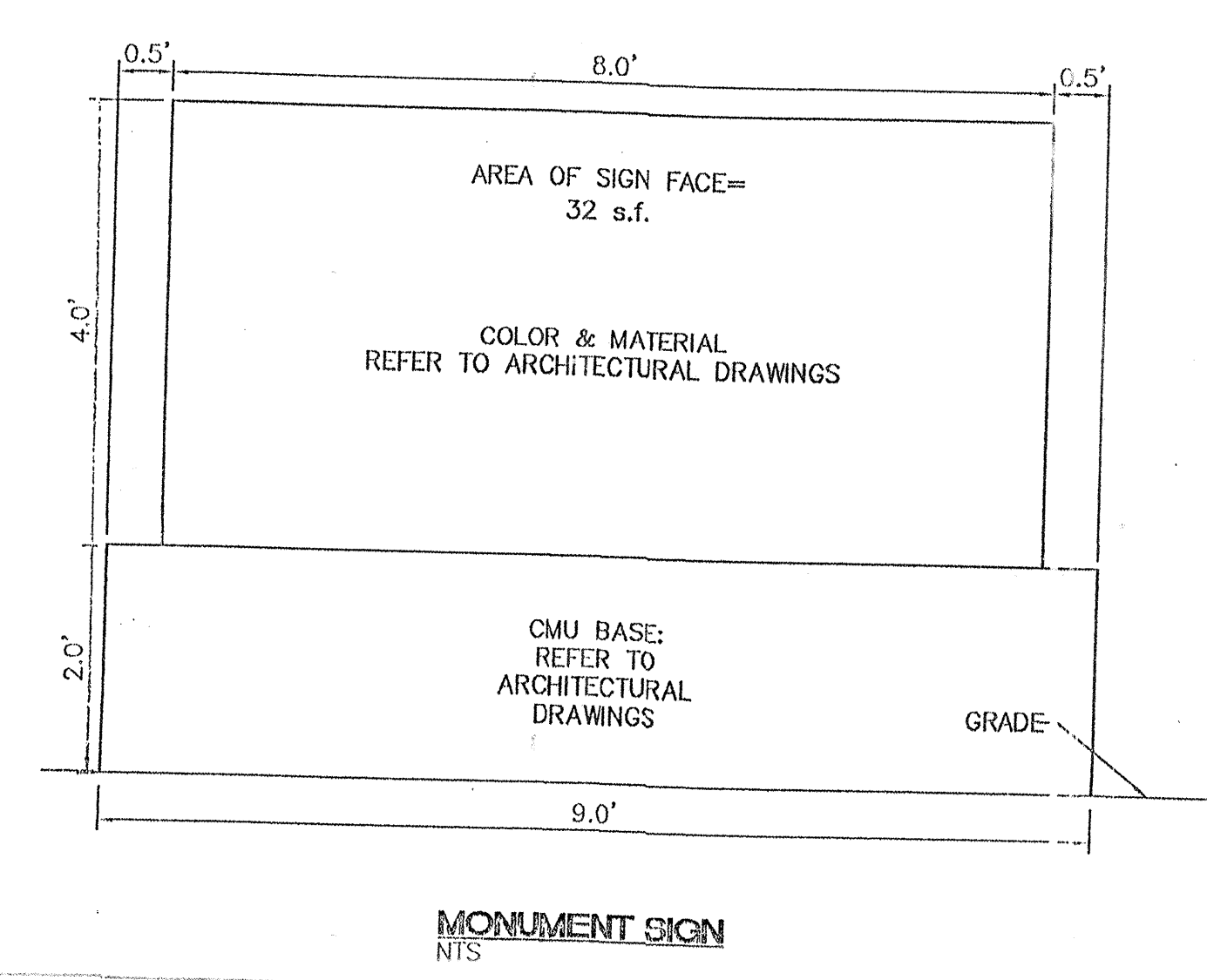
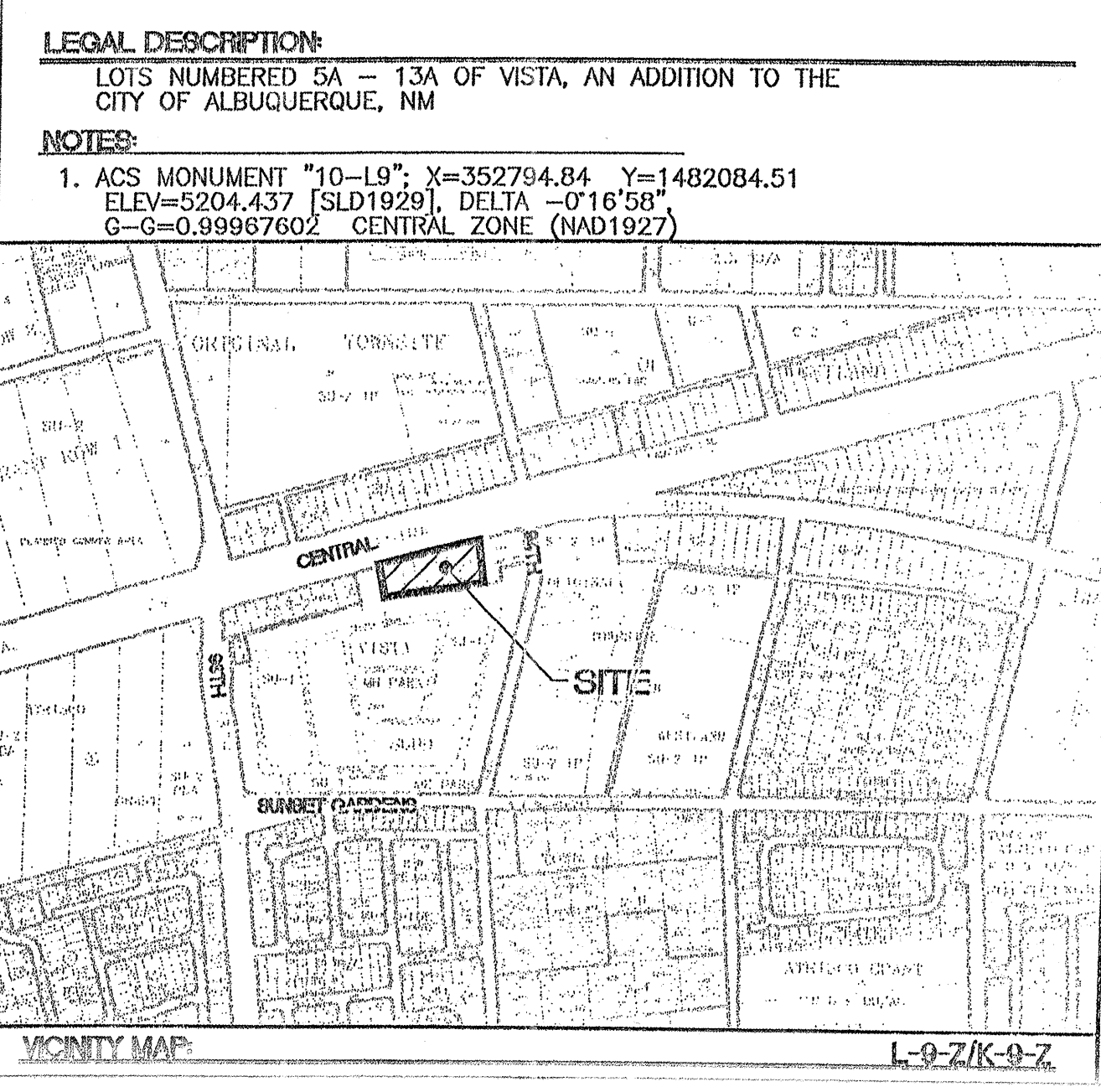
Sheet 2 of 2

SCANNED BY P20



LEGEND	DESCRIPTION
○	EXISTING SAS MANHOLE
— EX. 8" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
→	DIRECTION OF FLOW
— 8" SAS —	PROPOSED SANITARY SEWER LINE
○	EXISTING METER
○	EXISTING VALVE W/BOX
○	EXISTING FIRE HYDRANT
— EX. 16" WL —	EXISTING WATER LINE
○	PROPOSED METER
○	PROPOSED VALVE W/BOX
○	PROPOSED FIRE HYDRANT
— 8" WL —	PROPOSED WATER LINE
— X — X — X — X — X —	EXISTING FENCE
=====	EXISTING CURB & GUTTER
=====	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	EASEMENT
=====	PROPOSED SIDEWALK
=====	PROPOSED PERIMETER WALL
=====	PROPOSED RETAINING WALL
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	LOT LINES
-----	EXISTING LOT LINES
-----	SETBACK LINE
-----	EMERGENCY ACCESS DRIVE
=====	LANDSCAPED AREAS

SITE DATA	
PROPOSED USAGE:	SELF STORAGE UNITS
LOT AREA:	76,811.33 SF. (1.7633± ac.)
CURRENT ZONING:	C-2
SETBACKS (TYPICAL):	
FRONT:	5'
SIDE:	5'
REAR:	15' (NEAR RESIDENTIAL ZONE)
FRONT STREET SIDE:	11'
OFFICE BUILDING AREA:	875± SF
STORAGE BUILDING AREA:	
BUILDING B AREA:	34,848± SF
BUILDING A AREA:	9,130± SF
TOTAL BUILDING AREA:	43,978± SF
STORAGE UNIT COUNT:	
BUILDING B:	222 UNITS
BUILDING A:	56 UNITS
TOTAL STORAGE UNITS:	278 UNITS
PARKING PROVIDED:	7 SPACES
PARKING REQUIRED:	4 SPACES
(1/200 SF OFFICE SPACE)	
HC PARKING PROVIDED:	2 SPACES
HC PARKING REQUIRED:	1 SPACES
	1 SPACES VAN ACCESSIBLE
LANDSCAPING PROVIDED:	10,576 SF
LANDSCAPING REQUIRED:	4,925 SF
(15% NET LOT AREA)	5,651 SF EXCESS

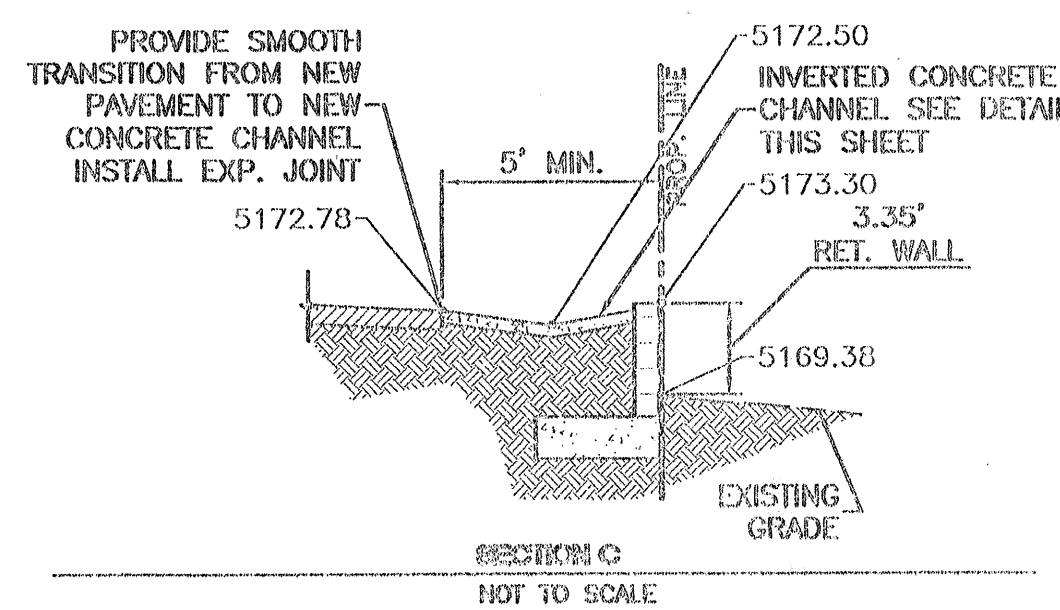
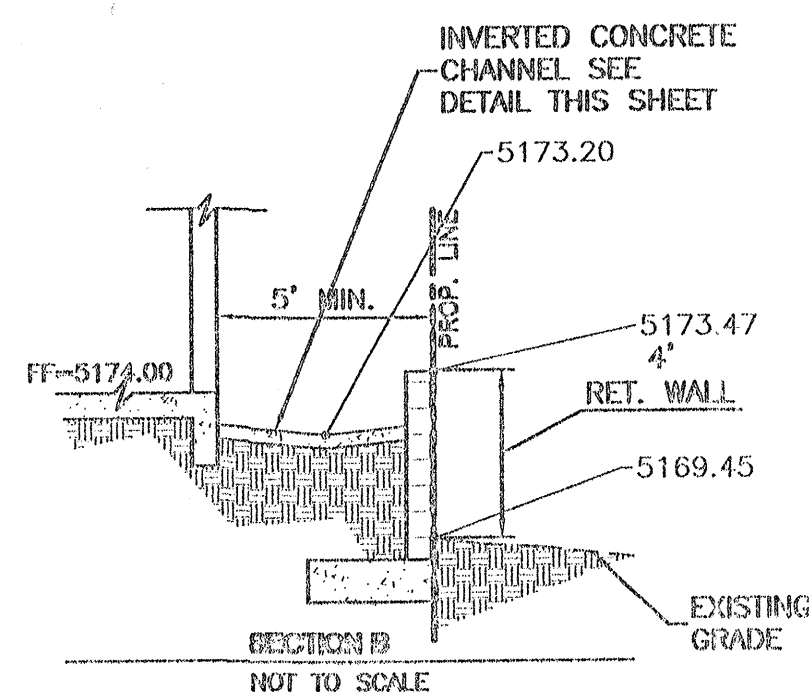
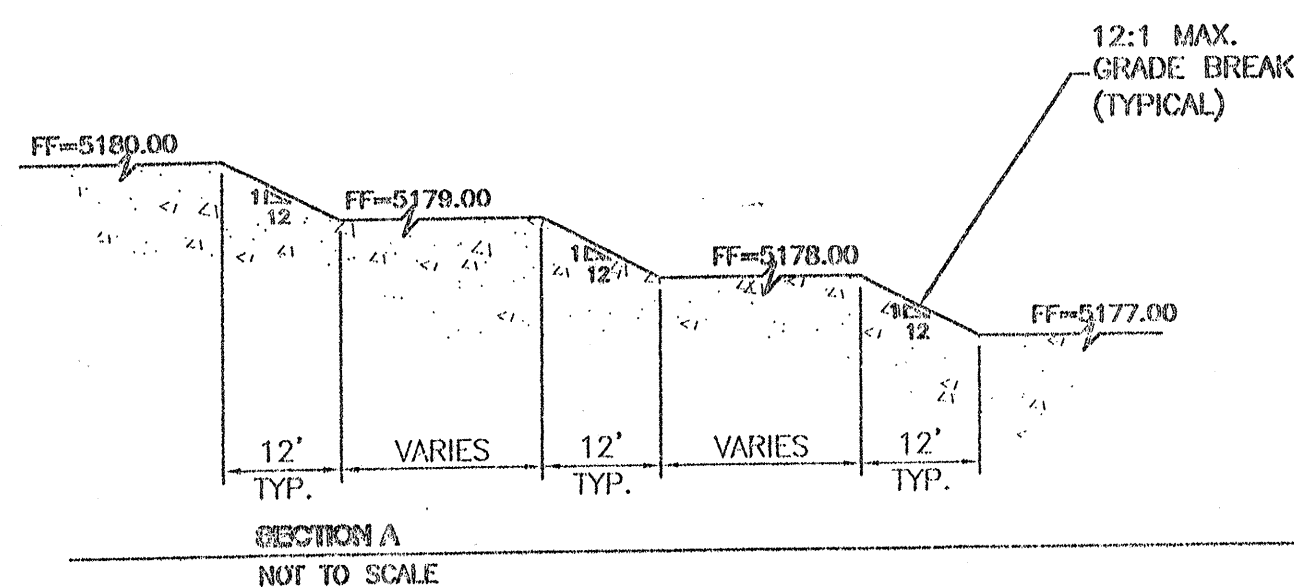


ADMINISTRATIVE AMENDMENT
File # 04-01228 Project # 1003273
Approved for design. zoning
requirements to be reviewed at
Building Permit.
Paul Paul 9/15/04
APPROVED BY DATE

FOR REFERENCE ONLY	
ENGINEER'S SEAL	DRAWN BY MP
VISTA STORAGE UNITS	DATE
	09-02-2004
SITE PLAN	2255SPe-060304x.DWG
	SHEET #
3 OF 6	

- SHEET INDEX**
1. SITE PLAN
 2. LANDSCAPING PLAN
 3. GRADING PLAN
 4. BUILDING AND STRUCTURE ELEVATIONS

SCANNED
BY *PLJ*

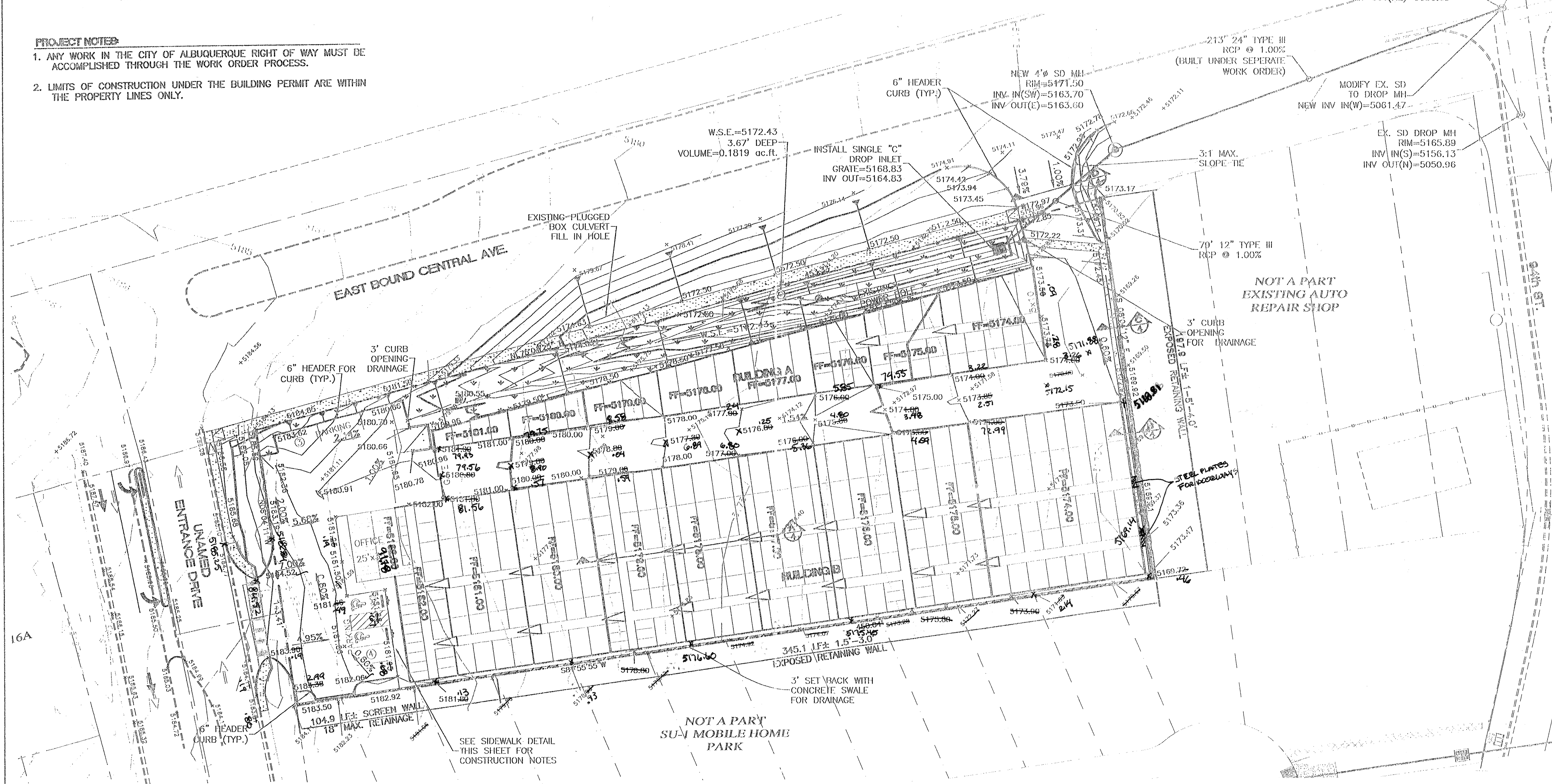


ERROR CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

PROJECT NOTES

1. ANY WORK IN THE CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE ACCOMPLISHED THROUGH THE WORK ORDER PROCESS.
2. LIMITS OF CONSTRUCTION UNDER THE BUILDING PERMIT ARE WITHIN THE PROPERTY LINES ONLY.



LEGAL DESCRIPTION

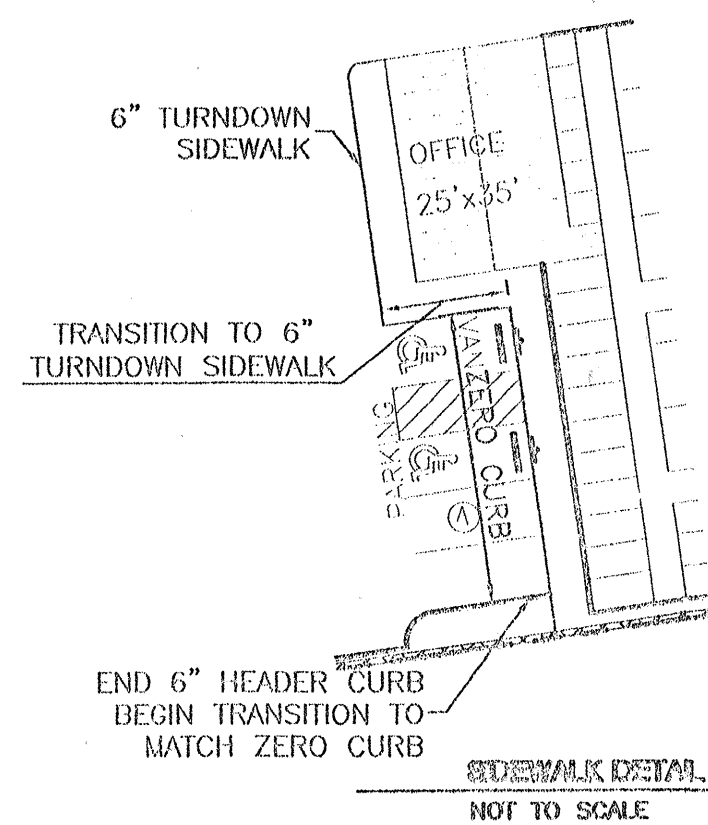
LOTS NUMBERED 5A - 13A OF VISTA, AN ADDITION TO THE CITY OF ALBUQUERQUE, NM

NOTES

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL CURBWORK TO BE 6" HEADER CURB PER COA STD DWG#2415B, UNLESS OTHERWISE NOTED.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE

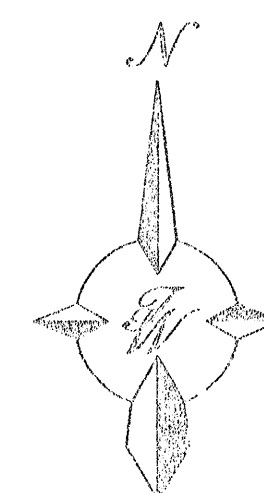


8 INCH REINFORCED CONCRETE MASONRY WALL													
H		X		A		B		T		Y-BARS		X-BARS	
ft.-in.	ft.-in.	in.	ft.-in.	in.	ft.-in.	in.	ft.-in.	in.	ft.-in.	in.		ft.-in.	in.
2'-0"	1'-1"	8"	2'-4"	9"	#3	032"	O.C.					#3	027"
2'-8"	1'-9"	8"	2'-9"	9"	#4	032"	O.C.					#3	027"
3'-4"	2'-3"	8"	2'-4"	9"	#3	032"	O.C.					#3	027"
4'-0"	2'-10"	10"	2'-9"	9"	#3	032"	O.C.					#3	027"
4'-8"	3'-10"	12"	3'-4"	9"	#5	032"	O.C.					#3	027"
5'-4"	4'-6"	14"	3'-8"	10"	#4	016"	O.C.					#4	030"
6'-0"	5'-3"	16"	4'-2"	12"	#6	024"	O.C.					#4	025"

RETAINING WALL NOTES

GENERAL NOTES:

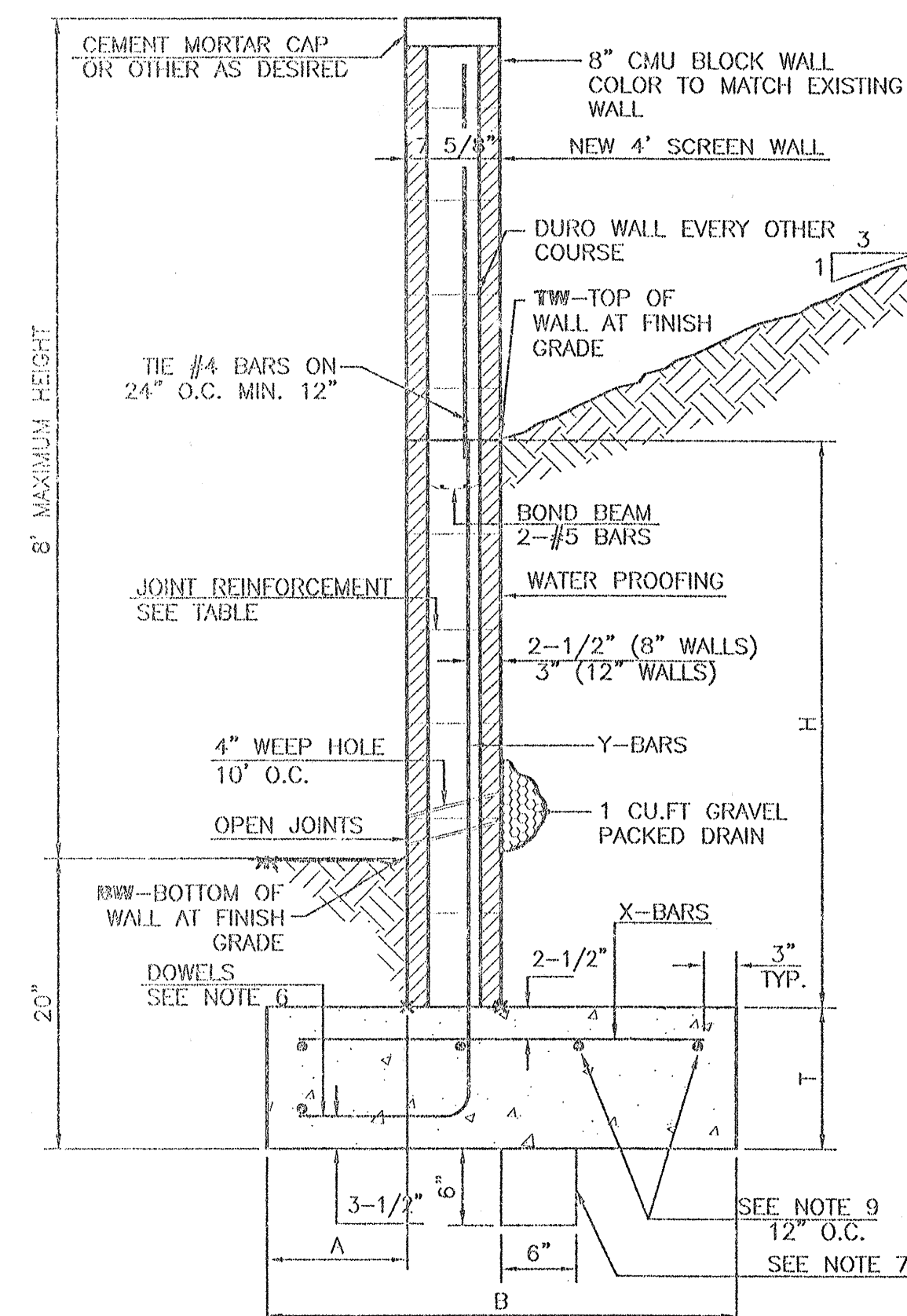
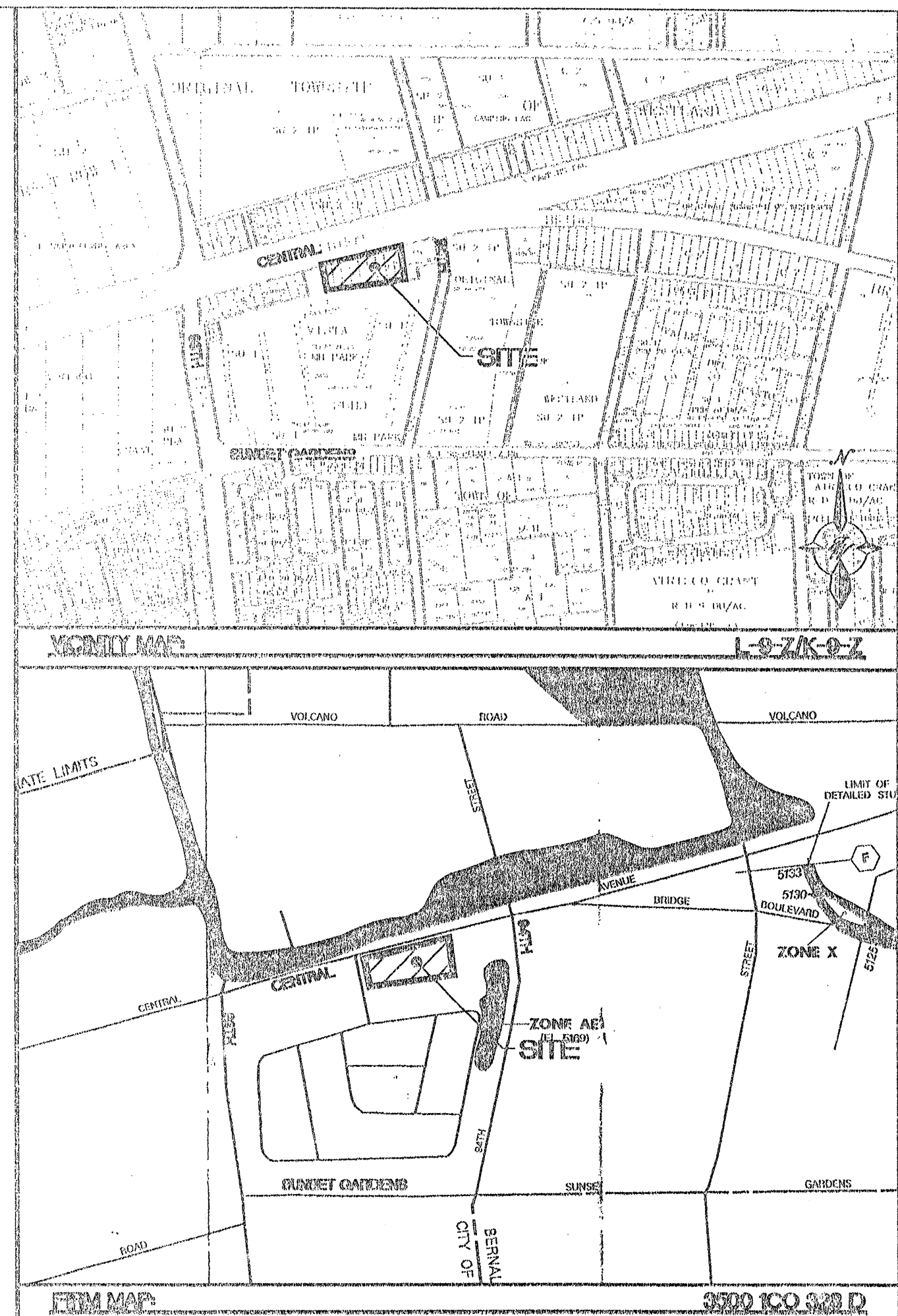
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE \pm 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL SIZE AND SPACING TO V-BARS. SHALL PROJECT MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE IT EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.
9. #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
#4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8"
10. #5 TO BE USED ON WALLS EXCEEDING 2'-8"
11. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 5'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



GRAPHIC SCALE



SCALE: 1"=30'



RETAINING WALL DETAIL
NTS
FOR REFERENCE ONLY

VISTA STORAGE UNITS
ON CENTRAL, SE

GRADING AND DRAINAGE PLAN

TIERRA WEST, LLC
8509 JEFFERSON NE 87113
ALBUQUERQUE, NEW MEXICO
(505)858-3100

DRAWN
BY MP

DATE
10-21-2004

255Gr-102104X.DW

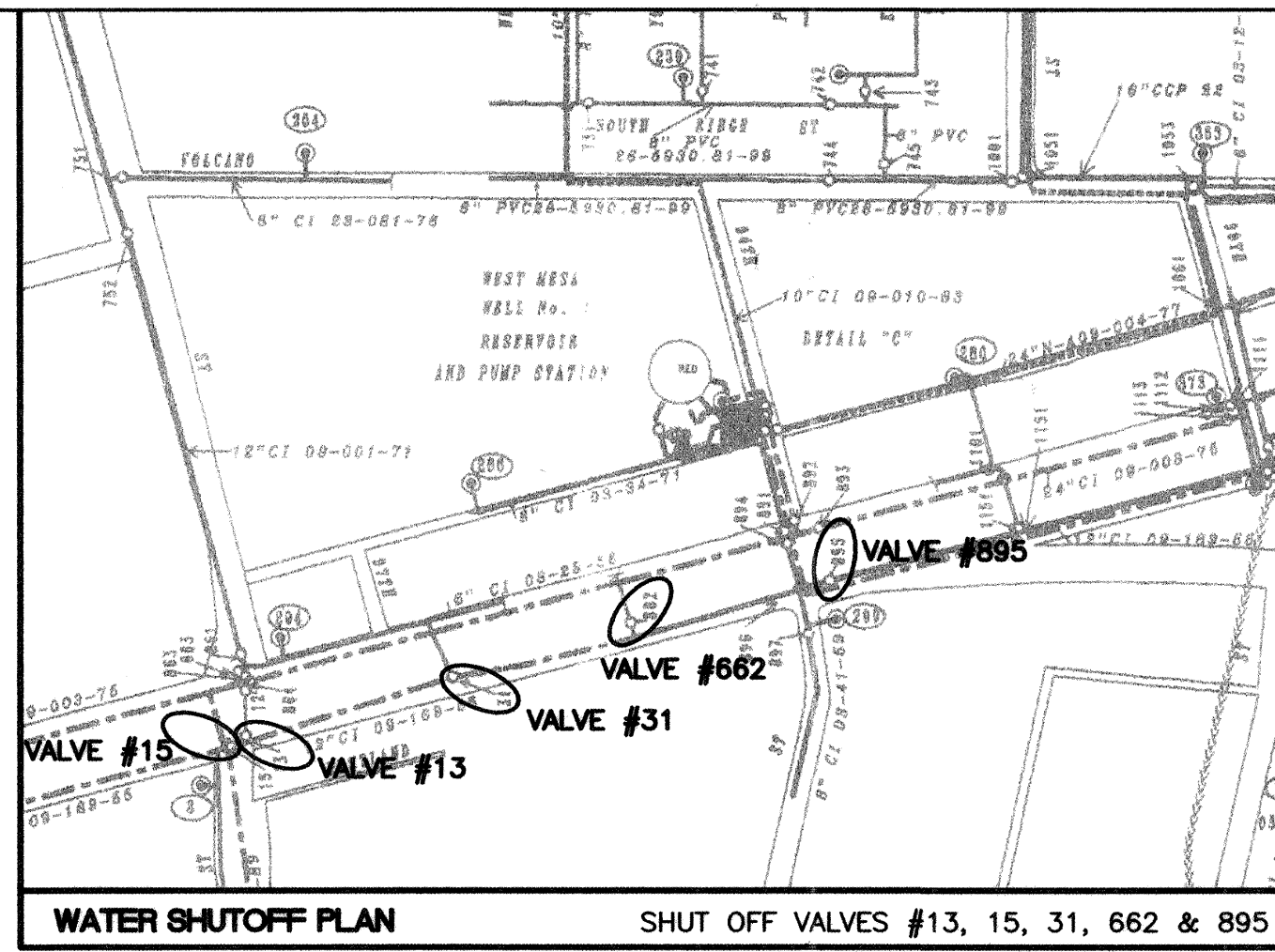
SHEET #

4 OF 6

JOB #

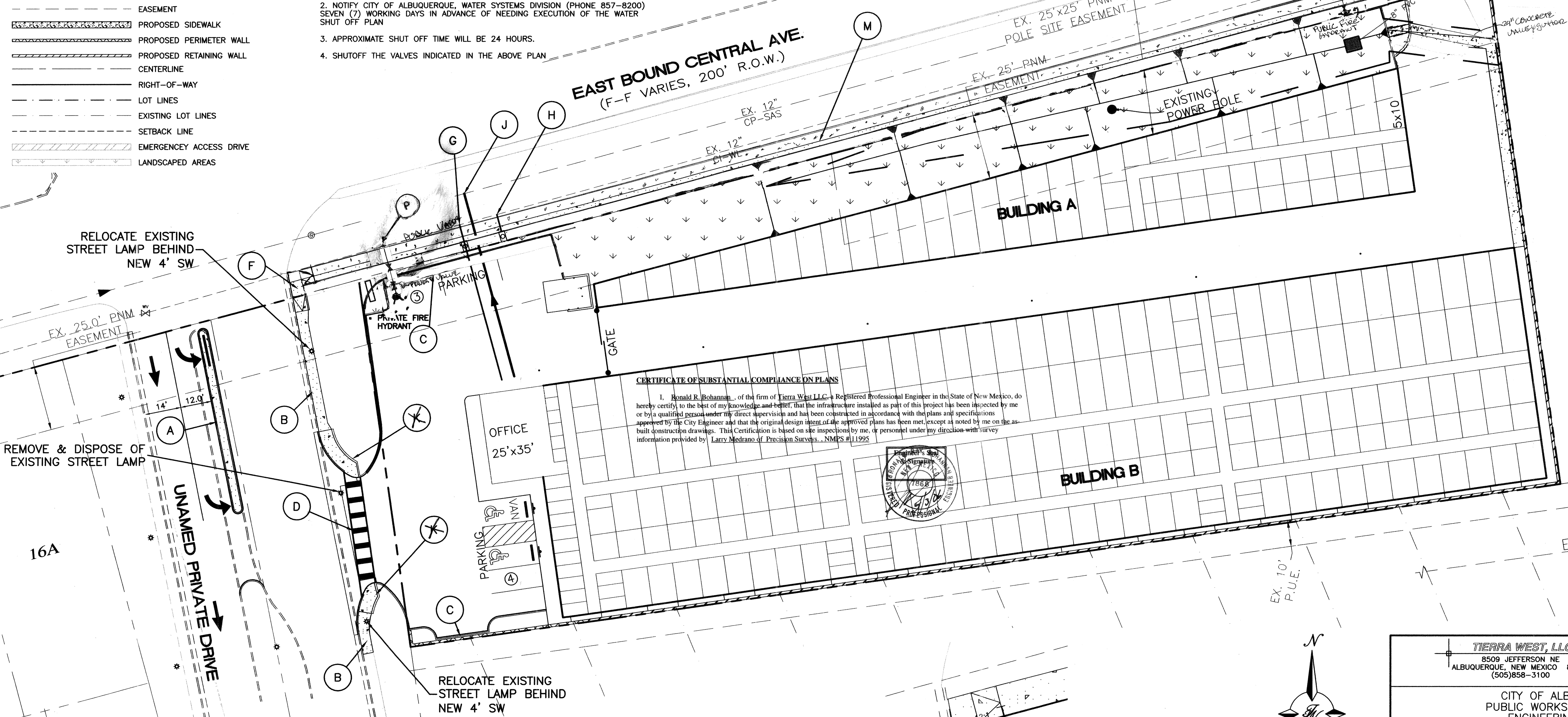
SCANNED BY: *W7*

LEGEND	DESCRIPTION
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	PROPOSED 8" SAS
	PROPOSED SANITARY SEWER LINE
	DIRECTION OF FLOW
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING 16" WL
	EXISTING WATER LINE
	PROPOSED METER
	PROPOSED VALVE W/BOX
	PROPOSED FIRE HYDRANT
	PROPOSED 8" WL
	PROPOSED WATER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED PERIMETER WALL
	PROPOSED RETAINING WALL
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	SETBACK LINE
	EMERGENCY ACCESS DRIVE
	LANDSCAPED AREAS

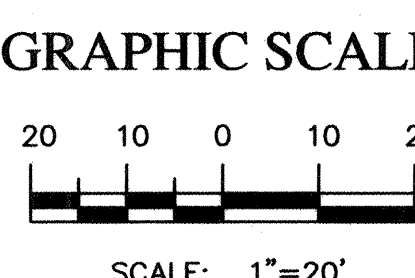
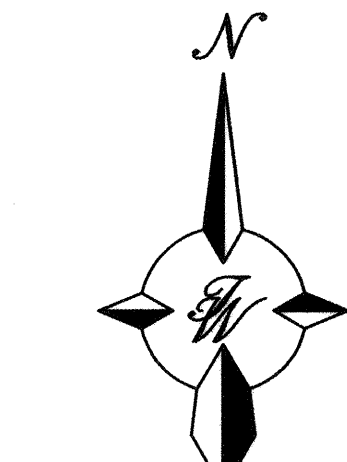
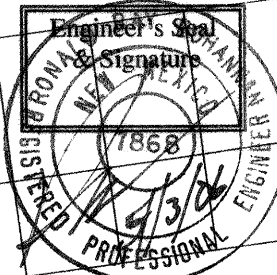


NOTES:
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN

- KEYED NOTES:
- (A) 4' WIDE STAMPED CONCRETE MEDIAN WITH NOSES PAINTED YELLOW PER COA STD DWG #2408
 - (B) 4' SIDEWALK TO BE BUILT WITH THIS PROJECT PER COA STD DWG #2430
 - (C) 6" HEADER CURB
 - (D) NEW 6' WIDE PAINTED CROSSWALK PER DETAIL THIS SHEET
 - (E) NOT USED
 - (F) HANDICAP RAMP. SEE DETAIL THIS SHEET
 - (G) NEW 2" DOM. WATER SERVICE TAP WITH METERBOX PER COA STD DWG #2361, 2362 & 2367 (CITY CREWS TO INSTALL METER)
 - (H) NEW 1-1/2" IRRIGATION TAP WITH METERBOX PER COA STD DWG #2361, 2363 & 2367 (CITY CREWS TO INSTALL METER)
 - (J) NEW 4" SAS SERVICE INSTALL 12" DIRECTIONAL WYE
 - (K) HANDICAP ACCESS PER C.O.A. STD DWG#2426
 - (M) NEW 6' SIDEWALK TO BE BUILT WITH THIS PROJECT PER COA STD DWG #2430
 - (N) NEW SINGLE DUMPSTER PER DETAIL THIS SHEET
 - (P) PRESSURIZED CONNECTION TO EX. 12" WL NEW 6" FIRELINE TAP WITH NEW CASE 1 FIRE HYDRANT PER COA STD DWGS#2340 & 2347 W/ PUBLIC & PRIVATE VALVES PER COA STD DWG #2326 LIMITS OF THIS WORK ORDER IS WITHIN PUBLIC R.O.W
 - (O) PRESSURIZED CONNECTION TO EX. 12" WL NEW 6" FIRELINE TAP WITH NEW CASE II FIRE HYDRANT PER COA STD DWGS#2340 & 2347 WITH PUBLIC VALVE PER COA STD DWG#2326



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS
I, Ronald R. Bohannon, of the firm of Tierra West, LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me, or personnel under my direction with survey information provided by Larry Medrano of Precision Surveys, NMPS #11995

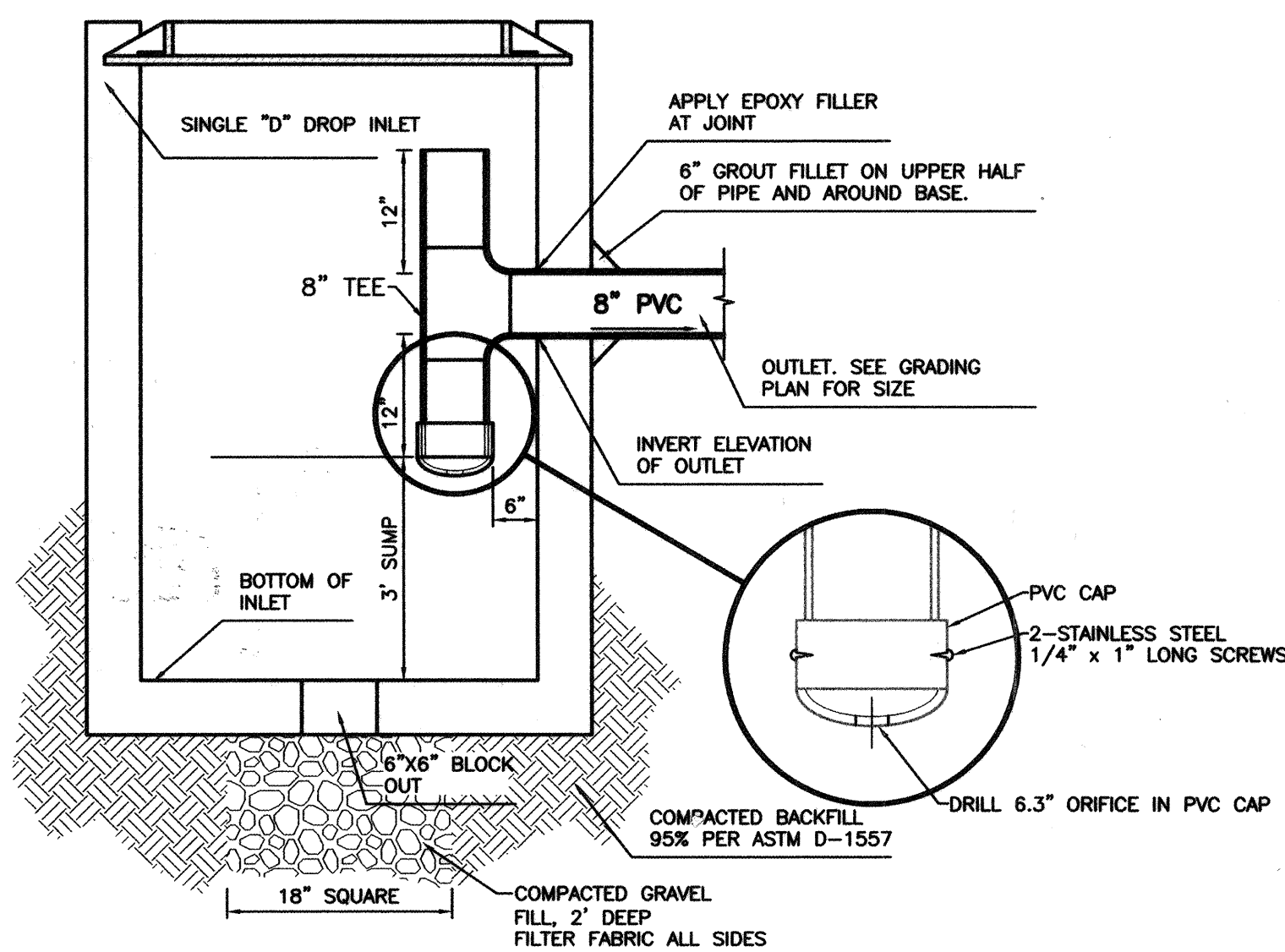
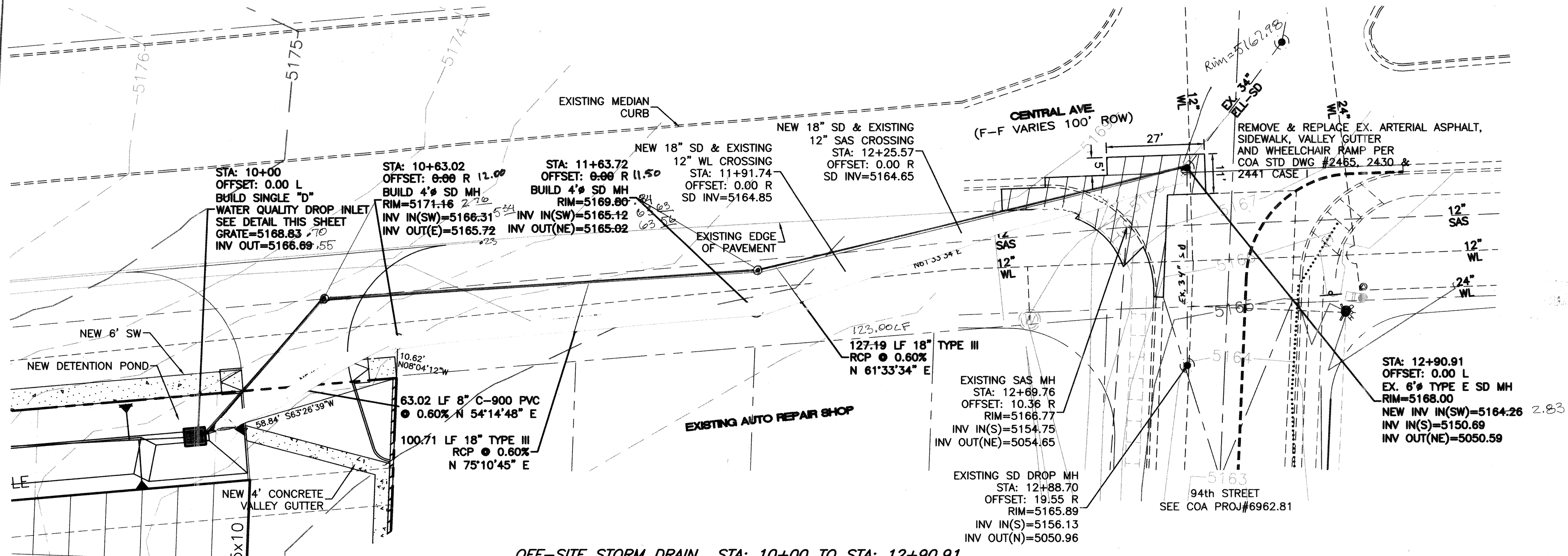


TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: VISTA STORAGE UNITS UTILITY IMPROVEMENTS VISTA STORAGE UNITS	
DESIGN REVIEW COMMITTEE APPROVED AUG 25 2005 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED NOV 30 2005 CITY ENGINEER
CITY PROJECT NO. 756881	ZONE MAP NO. L-9 & K-9
SHEET 5	OF 6

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	SUNSHINE PLUMBING	ACS "10-19"	DATE	NO.	BY	NO.	BY
INSPECTED BY	PRECISION SURVEYS	CENTRAL STATION DATA	DATE				
ACCEPTANCE BY	COA/TERRA WEST	NM STATE PLANE COORDINATES					
VERIFICATION BY	COA/TERRA WEST	Central Zone (NAD 1927)					
DRAWN BY	TERRA WEST	X=352794.84					
CHECKED BY	TERRA WEST	Y=1482084.51					
RECORDED BY		G-G=0.99967602					
DATE		Da=01°16'58"					
NO.		ELEV=5204.437					

SCANNED BY 222

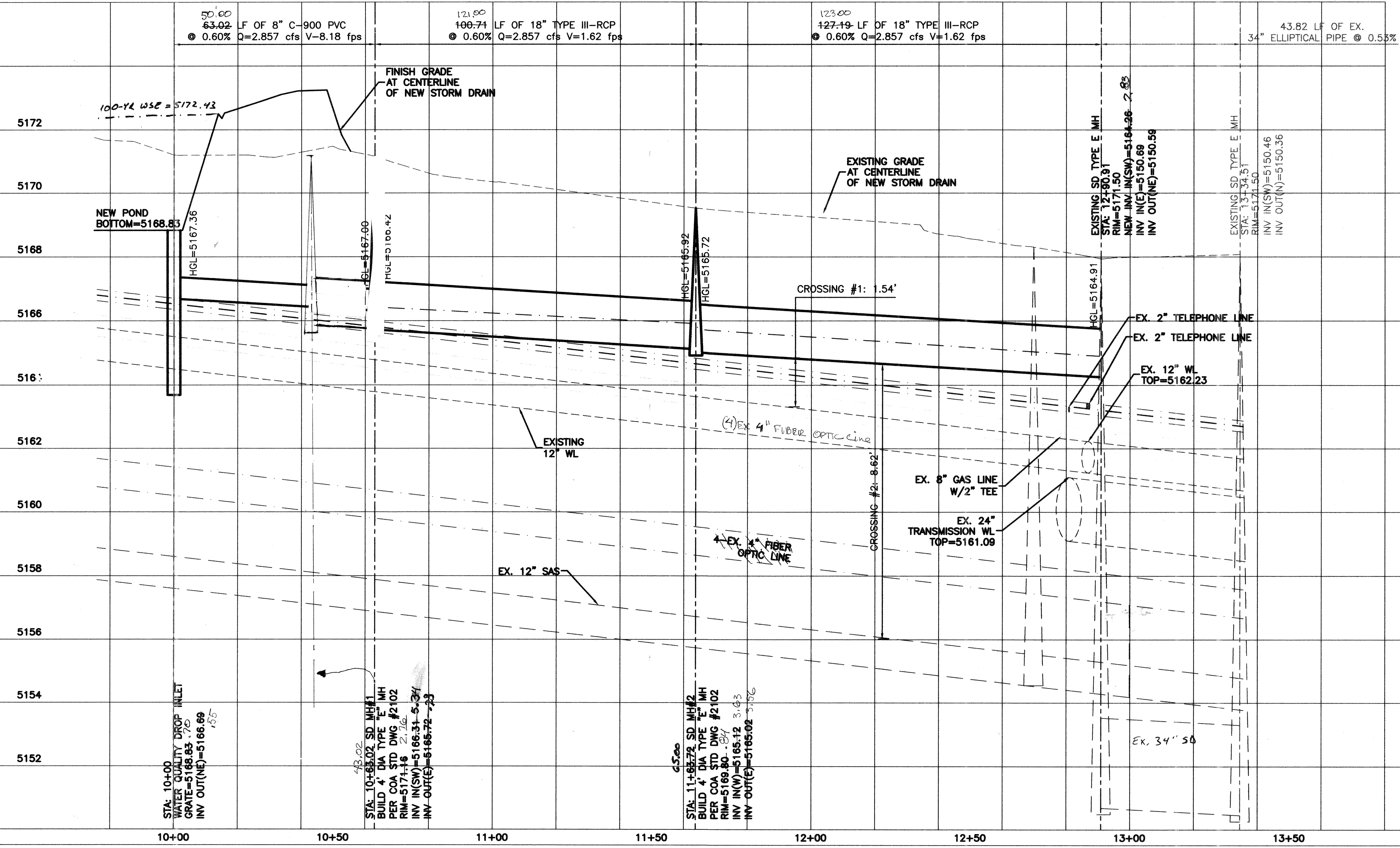
STATIONING BASED ON CENTERLINE OF NEW STORM DRAIN



NOTE: INLET TO BE CLEANED OUT AFTER EACH MAJOR EVENT OR WHEN SUMP ACCUMULATES DEBRIS.

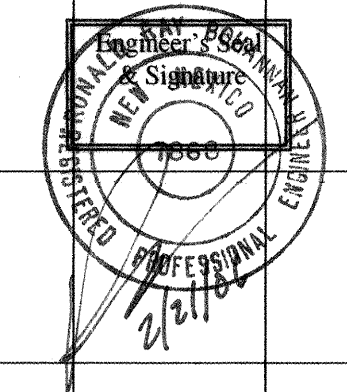
TYPICAL LARGE (1'-8") OFFICE OUTLET DETAIL

OFF-SITE STORM DRAIN STA: 10+00 TO STA: 12+90.91



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Bohannon, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This certification is based on site inspections by me, or personnel under my direction with survey information provided by Larry Medina of Precision Surveys. NMES #11995



TIERRA WEST, LLC
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ALBUQUERQUE, NEW MEXICO 87113
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

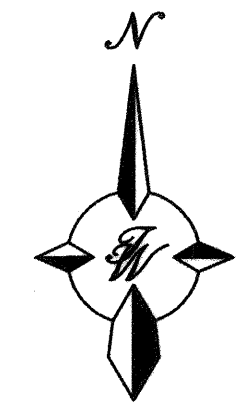
TITLE: **VISTA STORAGE UNITS**
STORM DRAIN IMPROVEMENTS
OFF-SITE STORM DRAIN STA: 10+00 TO STA: 12+90.91

DESIGN REVIEW COMMITTEE: **APPROVED** AUG 25 2005
CITY ENGINEER APPROVAL: **APPROVED** NOV 30 2005

DESIGNED BY: MP
DRAWN BY: MP
CHECKED BY: JDN

DATE: 10-2004
DATE: 12-28-2004
JOB NO.: 22055
DATE: 12-2004

CITY PROJECT NO. **756881**
ZONE MAP NO. **K-9/L-9**
SHEET **6** OF **6**



SCALE: HORIZ. 1"=20'
VERT. 1"= 2'

AS BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	SUNSHINE PLUMBING	WORK ORDER NO.	2005/6	ACS "10-L9"	CENTRAL STATION DATA	DATE	NO.	FIELD NOTES	DATE	BY	NO.	REMARKS	REVISIONS	BY	NO.
INSPECTOR	CONTRACTOR WEST	DATE	2006	NM STATE PLANE COORDINATES	Central Zone (NAD 1927)										
VERIFICATION BY	CONTRACTOR WEST	DATE	2006	X=352794.84	Y=1482084.51										
DRAWING NO.	TIERRA WEST	DATE	2006	G=0.09967602	Da=01'18"58"										
RECORDED BY		DATE		ELEV=5204.437 (NGVD 29)											