

SCANNED BY
PLANNING

PUBLIC IMPROVEMENT PLANS FOR BELL TRADING POST HOMES ALBUQUERQUE, NEW MEXICO

FEBRUARY 2006

PREPARED FOR:
FAMILY HOUSING DEVELOPMENT CORPORATION
PO BOX 91525
ALBUQUERQUE, NM 87199

PREPARED BY:
ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

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CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Amy L. D. Niese of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me and personnel under my direction and survey information provided by Aldrich Land Surveying, a member 7719

Amy L. D. Niese, PE NMPE No. 15334

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, and that the 'as-built' information shown on these drawings was added to the 'as-built' information shown on these drawings as true and correct to the best of my knowledge and belief. Aldrich Land Surveying is not responsible for any of the design concepts, dimensions, grades, or content of the drawings."

Timothy Aldrich, P.L.S., No. 1118 Date 3-15-06

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE 11/14/07

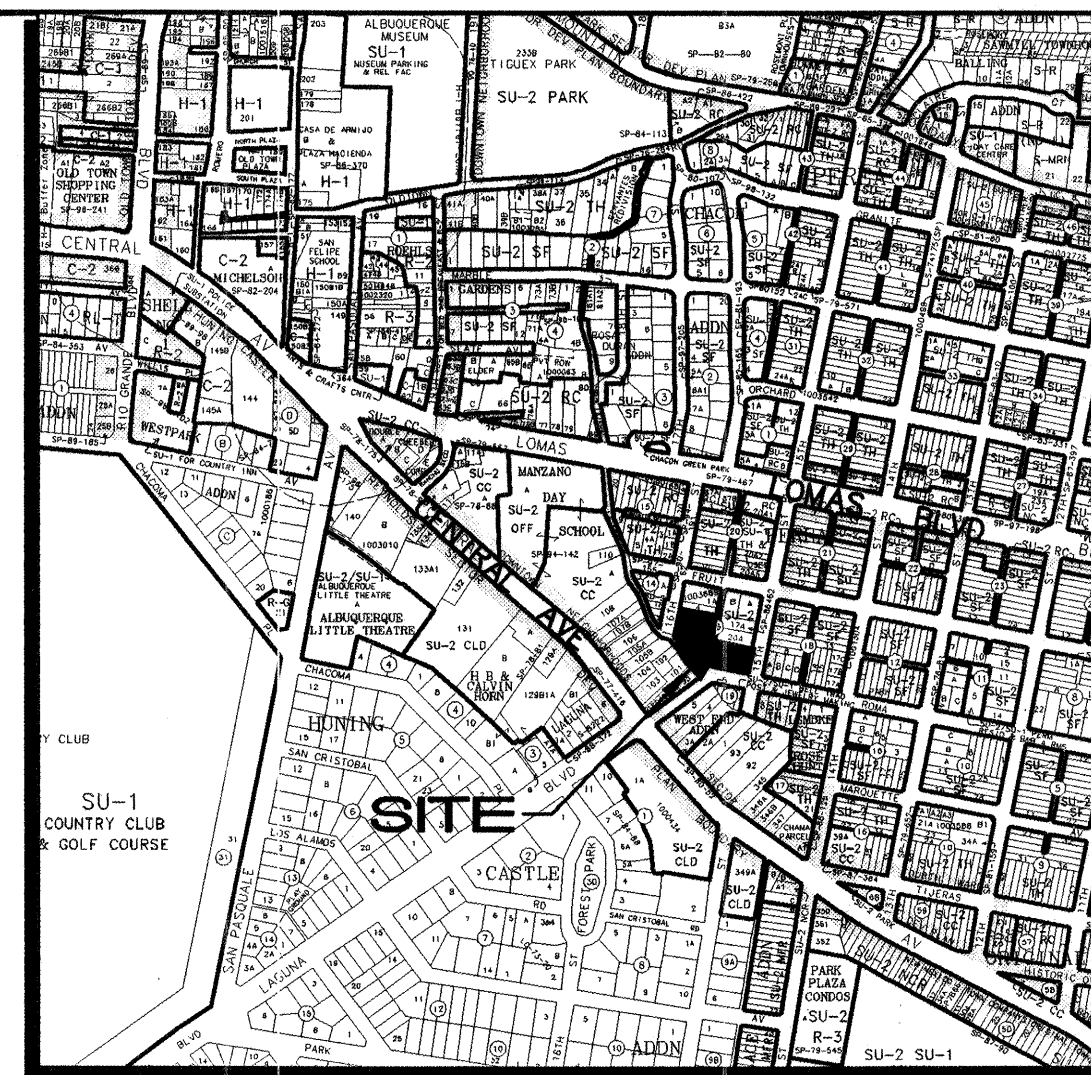
DRB NO. 1003885

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax 505-268-2632

1304CVR-NORTH.DWGthor

02.17.06



J-13

1"=750'±

VICINITY MAP

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7, INCLUDING AMENDMENT 1.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATER-LINE AND/OR SEWERLINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	*****		
 AMY L. D. NIESE NEW MEXICO 15334 REGISTERED PROFESSIONAL ENGINEER		DRC Chairman				5-15-06	APPROVED FOR CONSTRUCTION City Engineer Date		
		Transportation				3-15-06			
		Water/Wastewater				3-15-06			
		Hydrology							
		Constr. Mngmt.							
Constr. Coord.									
City Project No.						758382		Sheet 1 Of 12	

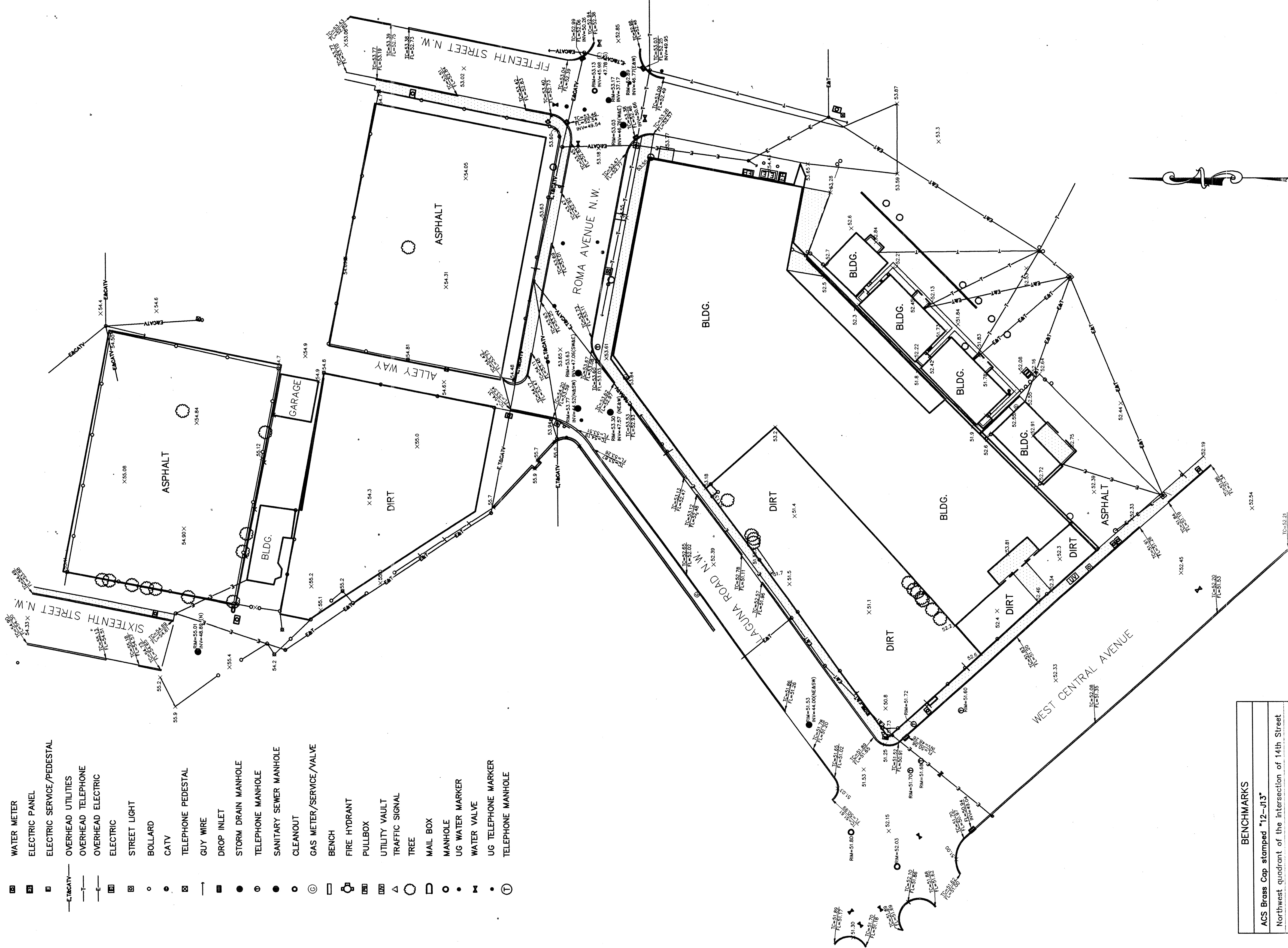
TOPOGRAPHIC SURVEY FOR
PEREA ADDITION
BLOCK 13
LOTS 4 THRU 7, 9 THRU 12
AND 21THRU 24
AND
BLOCK 19
LOTS 1 THRU 6
TOGETHER WITH
WEST END ADDITION
LOTS 3A, 4 AND 5
WITHIN THE
TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 18
TOWNSHIP 10 NORTH, RANGE 3 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2004

THIS IS NOT A BOUNDARY SURVEY
BUT A TOPOGRAPHIC SURVEY
SHOWING PROPERTY CORNERS ARE
SHOWN FOR ORIENTATION ONLY.
BOUNDARY DATA SHOWN IS FROM
PREVIOUS SURVEY REFERENCED HEREON.

• BM=53.88 (N. S. & W.)
• BM=53.97 (N. S. & W.)
• BM=48.40 (N. S. & W.)

FRUIT AVENUE N.W.

- LEGEND
- CONCRETE CURB
 - CONCRETE/SIDEWALK
 - WALL OR HEAD WALL
 - WOOD FENCE
 - CHAIN LINK FENCE
 - TOP CURB
 - FLOWLINE
 - POST
 - POST
 - SIGN
 - WATER VALVE
 - WATER METER
 - ELECTRIC PANEL
 - ELECTRIC SERVICE/PEDESTAL
 - OVERHEAD UTILITIES
 - OVERHEAD TELEPHONE
 - OVERHEAD ELECTRIC
 - ELECTRIC
 - STREET LIGHT
 - BOLLARD
 - CATV
 - TELEPHONE PEDESTAL
 - GUY WIRE
 - DROP INLET
 - STORM DRAIN MANHOLE
 - TELEPHONE MANHOLE
 - SANITARY SEWER MANHOLE
 - CLEANOUT
 - GAS METER/SERVICE/VALVE
 - BENCH
 - FIRE HYDRANT
 - PULLBOX
 - UTILITY VAULT
 - TRAFFIC SIGNAL
 - TREE
 - MAIL BOX
 - MANHOLE
 - UG WATER MARKER
 - WATER VALVE
 - UG TELEPHONE MARKER
 - TELEPHONE MANHOLE



BENCHMARKS	
ACS Brass Cap stamped "12-113"	
Northwest quadrant of the intersection of 14th Street	
N.W. and Lomas Avenue N.W.	
Geographic Position (NAD 1927), in feet	
N.M. State Plane Coordinates (Central Zone)	
X=376,922.94 Y=1,489,212.34	
Elevation=4954.85 (NGVD29) in feet	



Drawn By: JPA	Date:	REVISE: 12-23-05
Checked By: RJA	Drawing Name: 04039TP.DWG	09-20-04
Job No: 04-039	Sheet: 1	of 1

**ALDRICH LAND
SURVEYING**
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

PLAT
FOR
BELL TRADING POST HOMES

BEING A REPLAT OF
PEREA ADDITION
BLOCK 13,
LOTS 4 THRU 7, 9 THRU 12
21 THRU 24
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2005

LINE	BEARING	DISTANCE
EL5	N 11°05'31" E	15.20
EL6	S 34°18'17" E	70.91
EL7	S 32°38'36" E	60.94
EL8	S 46°59'10" E	55.77
EL9	S 11°05'48" W	9.01
EL10	S 47°38'31" E	39.80
EL11	S 11°05'31" E	3.92
L1	N 11°05'31" E	16.91
L2	S 54°14'50" W	7.50
L3	N 57°04'32" E	5.71
L4	S 78°56'35" E	2.00

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT, FACILITIES, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF UNDERGROUND/OVERHEAD GAS LINES, TRANSFORMERS, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE GAS SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH THE ACCESS TO, EGRESS FROM, AND EGRESS OVER THE PLAT, AND THE RIGHT TO HAVE ACCESS TO, EGRESS FROM, AND EGRESS OVER THE PLAT, AND THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED ON SAID EASEMENTS. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NADNORC ELECTRICAL SAFETY CODES, AND FOR CORRECTING ANY VIOLATIONS OF NADNORC PLUMBING, MECHANICAL, AND HEATING AND AIR CONDITIONING EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

KEYED EASEMENT NOTES:

1. PRIVATE ACCESS EASEMENT TO BE GRANTED TO THE OWNER OF LOT 8, FOR THE BENEFIT OF THE OWNER OF LOT 8, TO BE MAINTAINED BY OWNERS OF LOTS 7&8.
2. ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 1, TO BE MAINTAINED BY OWNERS OF LOTS 1 & 2.
3. ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 2, TO BE MAINTAINED BY OWNERS OF LOTS 2 & 3.
4. ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 4, TO BE MAINTAINED BY OWNERS OF LOTS 4 & 5.
- 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- 3' ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 5, TO BE MAINTAINED BE OWNERS OF LOTS 5 & 6.
- 3' ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 8, TO BE MAINTAINED BY OWNERS OF LOTS 7 & 8.
- 3' ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 9, TO BE MAINTAINED BY OWNERS OF LOTS 8 & 9.
- 3' ACCESS EASEMENT GRANTED TO AND FOR THE BENEFIT OF THE OWNER OF LOT 10, TO BE MAINTAINED BY OWNERS OF LOTS 9 & 10.
- NOT USED
- 15' PRIVATE ACCESS EASEMENT TO BE GRANTED TO THE OWNER OF LOT 8, FOR THE BENEFIT OF THE OWNER OF LOT 8, TO BE MAINTAINED BY OWNERS OF LOTS 9 & 10.
- NOT USED
- 4' PUE GRANTED BY THIS PLAT.
- PUBLIC DRAINAGE EASEMENT, GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT AND TO ALBUQUERQUE BERNALILLO COUNTY FOR THE BENEFIT OF THE OWNER OF LOT 9, TO BE MAINTAINED BY THIS PLAT.
- 5' PUE GRANTED BY THIS PLAT.

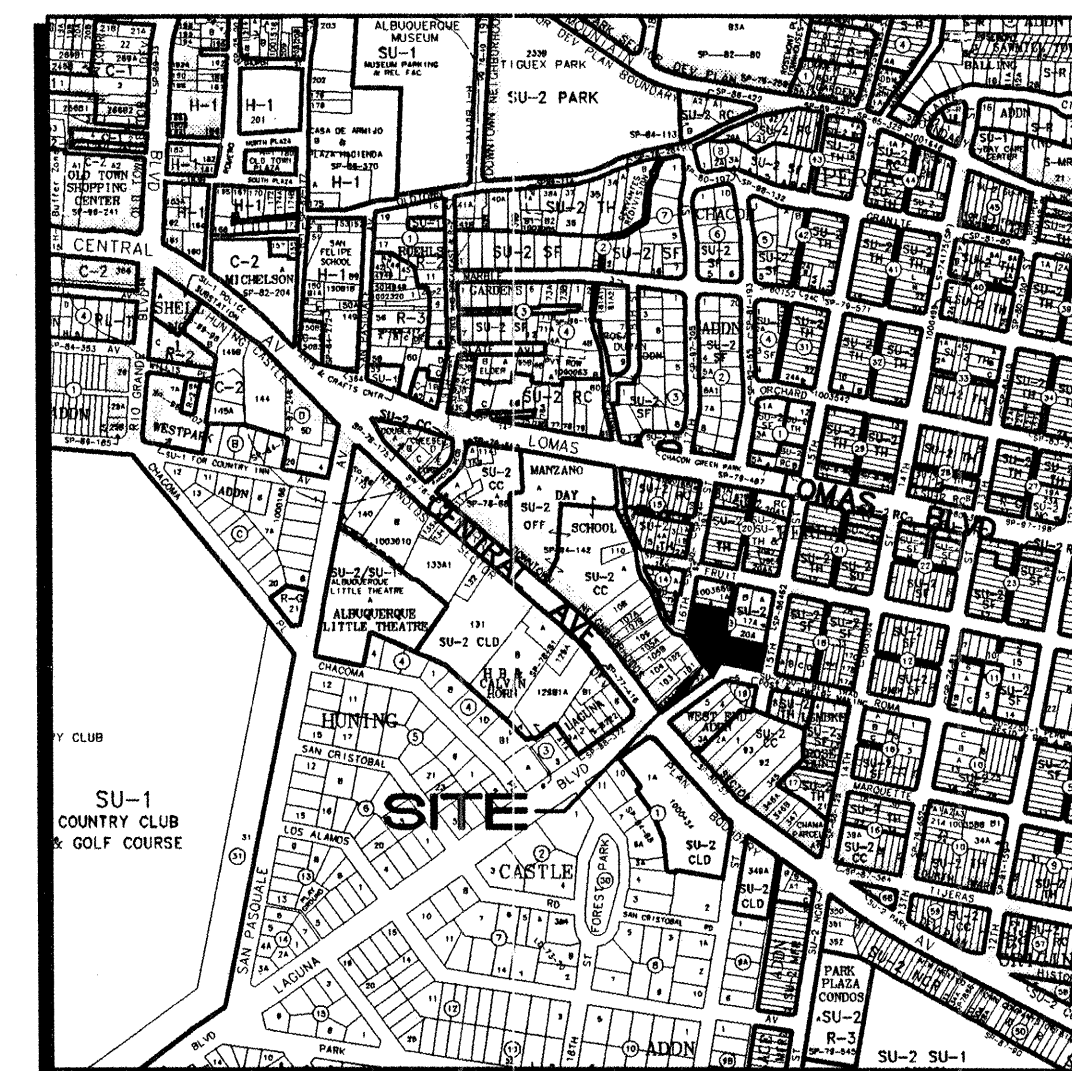
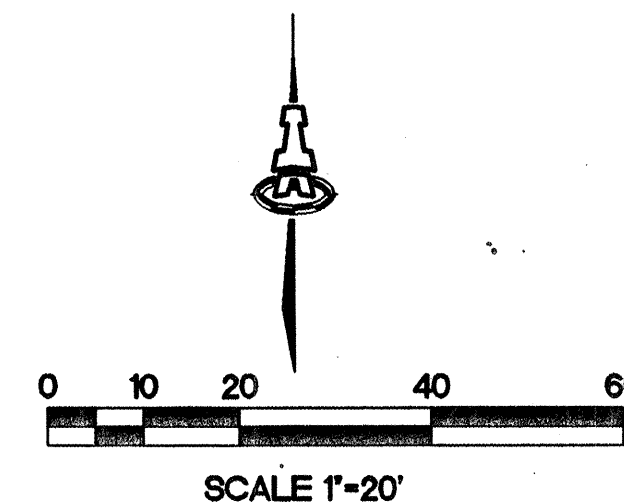
SCANNED BY
PLANNING

LEGEND

PROPOSED	EXISTING
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
54.31	PROPOSED SPOT ELEVATION
→	FLOW ARROW
PG= 55.15	FINISH FLOOR ELEVATION
INV=72.5	INVERT ELEVATION
TC 81.9 FL 81.4	TOP OF CURB FLOWLINE ELEVATION

EXISTING

---	CONCRETE CURB
---	CONCRETE/SIDEWALK
---	WALL OR HEAD WALL
+	SIGN
+	WATER VALVE
+	WATER METER
+	ELECTRIC SERVICE/PEDESTAL
+	ELECTRIC PANEL
+	OVERHEAD UTILITIES
+	POWER POLE
+	TELEPHONE PEDESTAL
+	CABLE TELEVISION
+	BOLLARD
+	GAS METER
+	GUY WIRE
+	DROP INLET
+	STORM DRAIN MANHOLE
+	TELEPHONE MANHOLE
+	SANITARY SEWER MANHOLE
+	MANHOLE
+	CLEANOUT
+	FIRE HYDRANT
+	SPRINKLER CONTROL
+	UTILITY VAULT
+	UTILITY PULLBOX
+	TRAFFIC SIGNAL
+	TREE
+	MAIL BOX



GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 1%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.

GENERAL NOTES

- SETBACK VARIANCES HAVE BEEN APPROVED BY C.O.A..
- SEE GEOTECHNICAL REPORT DATED 09/07/05 BY VINYARD & ASSOCIATES.

KEYED NOTES

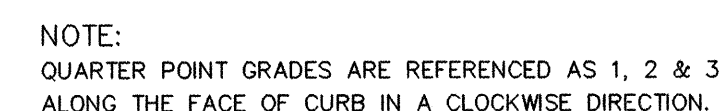
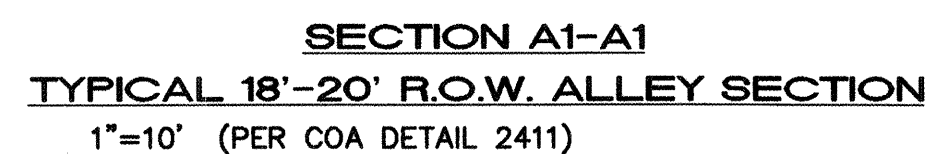
- UNIDIRECTIONAL HANDICAP RAMP
- STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- PCC VALLEY GUTTER 6" WIDE.
- ASPHALT ALLEY.
- 4" PCC SIDEWALK PER COA STD DWG #
- 6" PCC SIDEWALK PER COA STD DWG #
- MOUNTABLE CURB & GUTTER PER COA STD DWG #
- GRAVEL SURFACE.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
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Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1304GRD-NORTH.DWG.rh 10/21/05

BELL TRADING POST HOMES
Family Housing Development Corporation
GRADING AND DRAINAGE PLAN
FOR INFORMATION ONLY
Checked by: ALON Date: 10/19/05
Drawn by: [Signature] Date: 10/19/05
Job Number: 1304
Sheet: 5 of 12

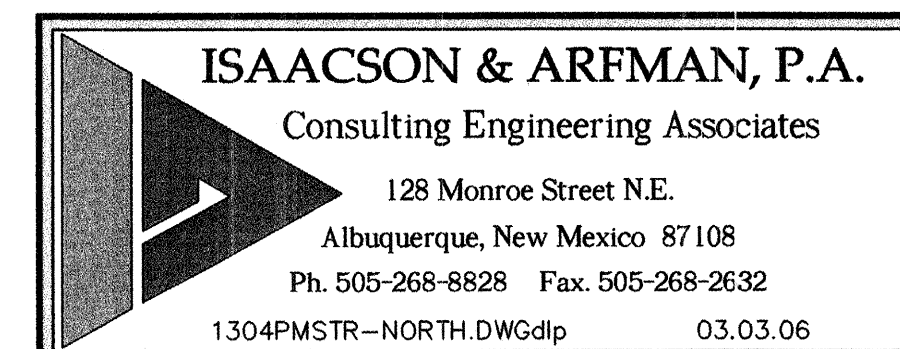
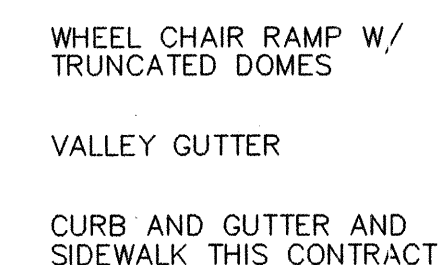
PROJECT NO 158382

SHEET 5 OF 12



QUARTER POINT DETAIL
NTS

LEGEND

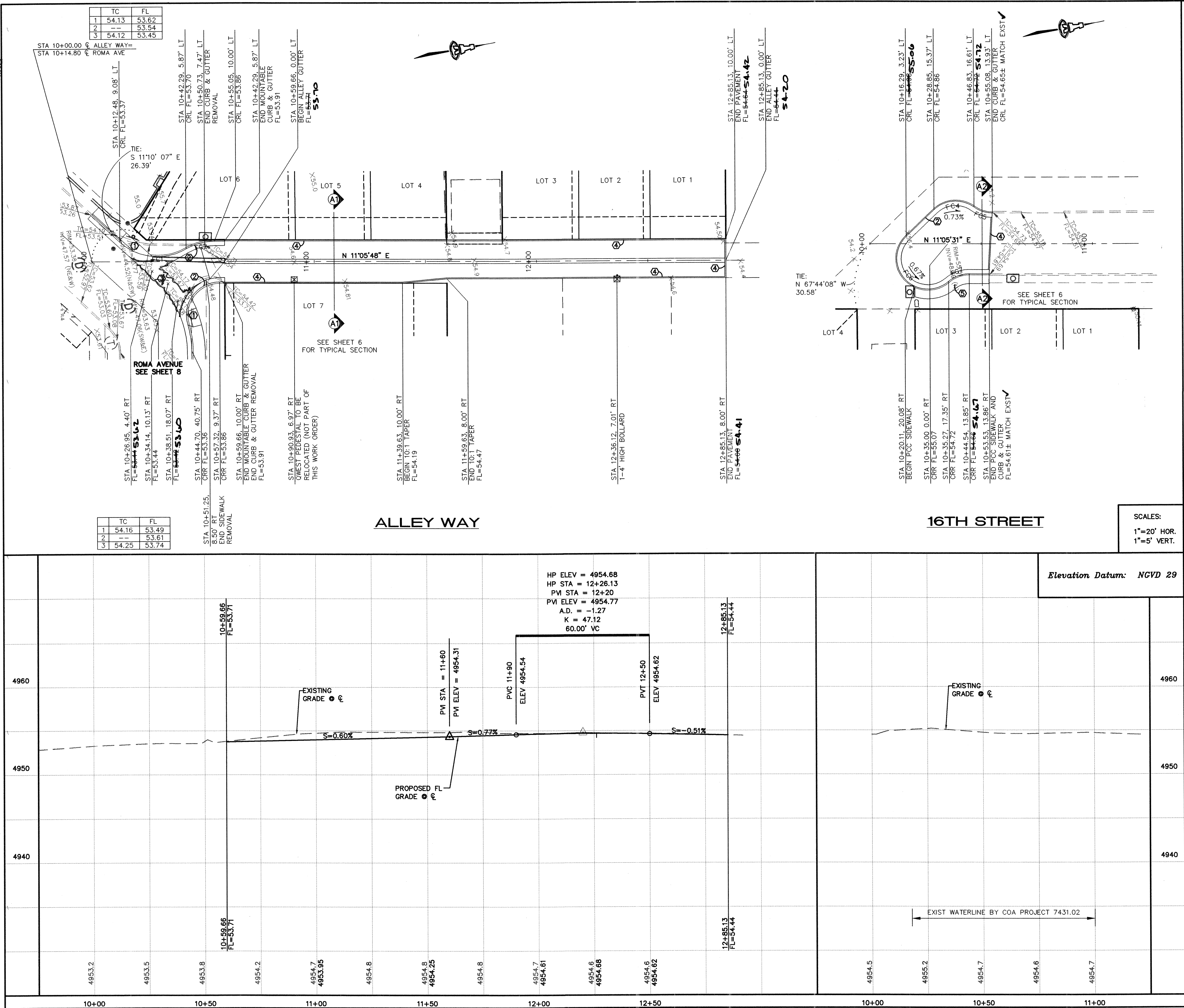


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: BELL TRADING POST HOMES
MASTER PAVING PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
758382	J-13-Z	6	12	

SCANNED BY
PLANNING



ENGINEER'S SEAL

ANY C. D. NIESE
NEW MEXICO
15334
3/15/06
Professional Engineer

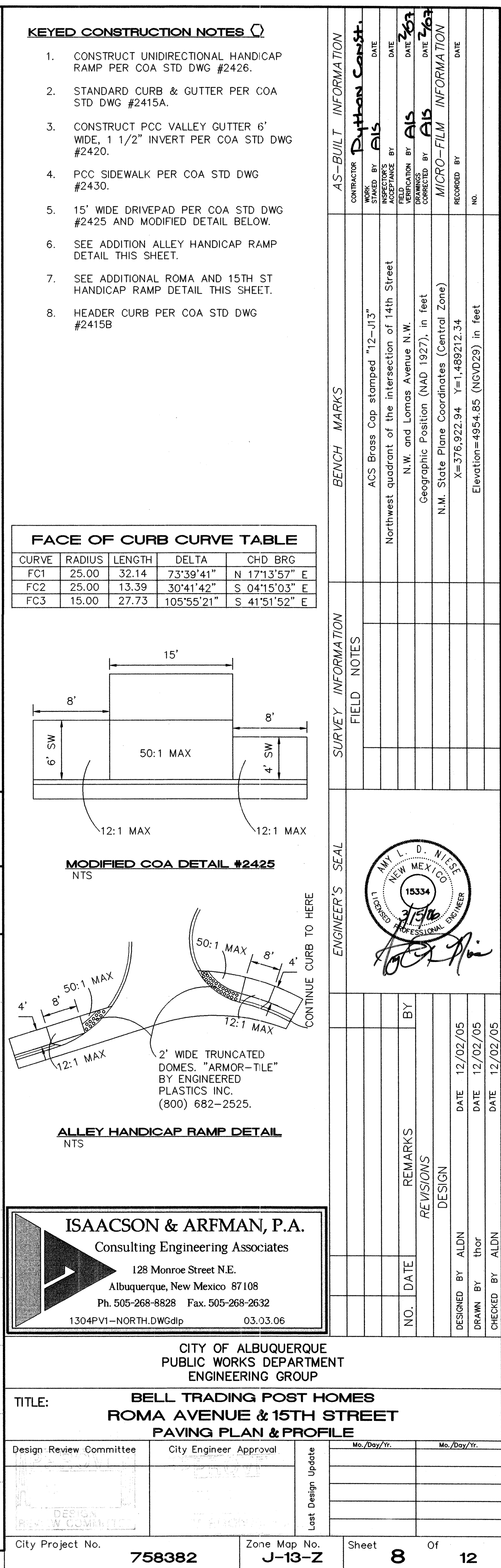
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2532
1304PVI-NORTH.DWGdlp 03.06.06

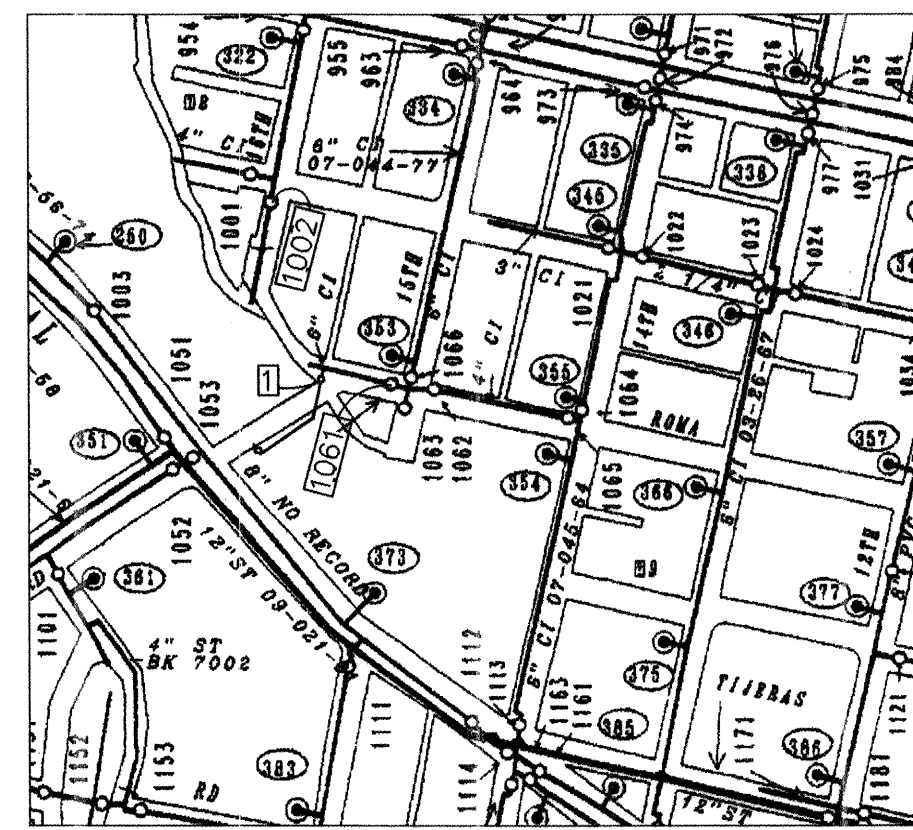
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**

**TITLE: BELL TRADING POST HOMES
ALLEY WAY & 16TH STREET
PAVING PLAN & PROFILE**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **758382** Zone Map No. **J-13-Z** Sheet **7** Of **12**





SHUT-OFF VALVES 1002, 1061, & 1 TO PROVIDE NON-PRESSURE CONNECTION. THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) 7 WORKING DAYS PRIOR TO SHUT-OFF OR TURN-ON AT VALVES. ONLY CITY PERSONNEL ARE ALLOWED TO OPERATE VALVES.

THIS TABLE IS BASED UPON THE FOLLOWING CRITERIA:

DEPTH OF BURY	3.0 FT. MINIMUM
FACTOR OF SAFETY	1.25
MATERIAL	PVC PIPE
SOIL TYPE:	GM/SM - SILTY GRAVELS AND SILTY SANDS, GRAVEL-SAND-SILT MIXTURES.
TEST PRESSURE	150 PSI
TRENCH TYPE 4:	PIPE BEDDED IN SAND, GRAVEL, OR CRUSHED STONE TO DEPTH OF 1/8 PIPE DIAMETER, 4 INCH MINIMUM; BACKFILL COMPACTED TO TOP OF PIPE.

DIFFERENT CRITERIA, E.G., DUCTILE IRON PIPE, GREATER DEPTH OF BURY, ETC., WILL REQUIRE DIFFERENT RESTRAINED LENGTHS. THESE MUST BE CALCULATED BY A QUALIFIED PROFESSIONAL ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.

NOTES:

1. ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF A MECHANICAL JOINT SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ON THIS SHEET.
4. THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

LEGEND

EXISTING

- | | |
|---|---------------------------|
|  | CONCRETE CURB |
|  | CONCRETE/SIDEWALK |
|  | WALL OR HEAD WALL |
|  | SIGN |
|  | WATER VALVE |
|  | WATER METER |
|  | ELECTRIC SERVICE/PEDESTAL |
|  | ELECTRIC PANEL |
| -E,T&CATV- | OVERHEAD UTILITIES |
| ○ | POWER POLE |
| ⊠ | TELEPHONE PEDESTAL |
| ⊕ | CABLE TELEVISION |
| ○ | BOLLARD |
| ⊙ | GAS METER |
| → | GUY WIRE |
|  | DROP INLET |
|  | STORM DRAIN MANHOLE |
|  | TELEPHONE MANHOLE |
|  | SANITARY SEWER MANHOLE |
|  | MANHOLE |
| • | CLEANOUT |
| ⊕ | FIRE HYDRANT |
|  | SPRINKLER CONTROL |
|  | UTILITY VAULT |
|  | UTILITY PULLBOX |
| △ | TRAFFIC SIGNAL |
|  | TREE |
|  | MAIL BOX |

PROPOSED

- | | |
|---|--------------------------------|
|  | SINGLE WATER METER & BOX |
|  | DOUBLE WATER METER & BOX |
|  | GATE VALVE W/ VALVE BOX |
|  | FIRE HYDRANT |
|  | SAS MANHOLE |
|  | WATER LINE W/ FITTING |
|  | ADDRESS |
|  | PAVEMENT REMOVAL & REPLACEMENT |

Consulting Engineering Associates

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **BELL TRADING POST HOMES**
MASTER UTILITY PLAN

Design Review Committee	City Engineer Approval
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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100

DESIGN

NEW COMMITTEE

City Project No.	Zone
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City Project No.	758382	Zone	J-
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AS-BUILT INFORMATION	
CONTRACTOR	Python Constn
WORK ORDERED BY	DATE
APPROVED BY	DATE
ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE 7/203
DRAWINGS BY	DATE 7/203
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH	MARKS
ACS Brass Cop stamped "12-J13"	
1st quadrant of the intersection of 14th Street	
N.W. and Lomas Avenue N.W.	
Geographic Position (NAD 1927), in feet	
M. State Plane Coordinates (Central Zone)	
X=376,922.94 Y=1,489,212.34	
Elevation=4954.85 (NGVD29) in feet	

[illegible]

NO.		DATE	REMARKS	BY
DESIGN				
DESIGNED BY			ALDN	DATE 12/02/05
DRAWN BY			thor	DATE 12/02/05

[illegible]

SCANNED BY
PLANNING



GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125.
2. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, #2362, & #2363.
3. SEE SHEET #9 FOR WATER SHUT-OFF PLAN.
4. SEE SHEET #9 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
6. SEE COA STD DWG #2328 FOR VALVE RING & COVER DETAIL.
7. PAVEMENT REMOVAL AND REPLACEMENT PER COA STD DWG #2465. SIDEWALK AND CURB & GUTTER REMOVAL AND REPLACEMENT PER COA STD DWGS #2430 AND #2415A.

UTILITY SERVICE TABLE

LOT NO.	STATION		SAS INV @ R/W
	WATER, LENGTH	SAS, LENGTH	
1	10+86.65, 32'	12+66.13, 10'	49.04
2		12+34.13, 10'	49.40
3	10+24.07, 35(S)	11+99.61, 10'	49.31
4	10+42.33, 7'(S)	11+40.60, 10'	48.90
5	10+52.22, 1'(S)	11+10.60, 10'	48.72
6	10+26.42, 5'(S)	10+76.60, 10'	48.51

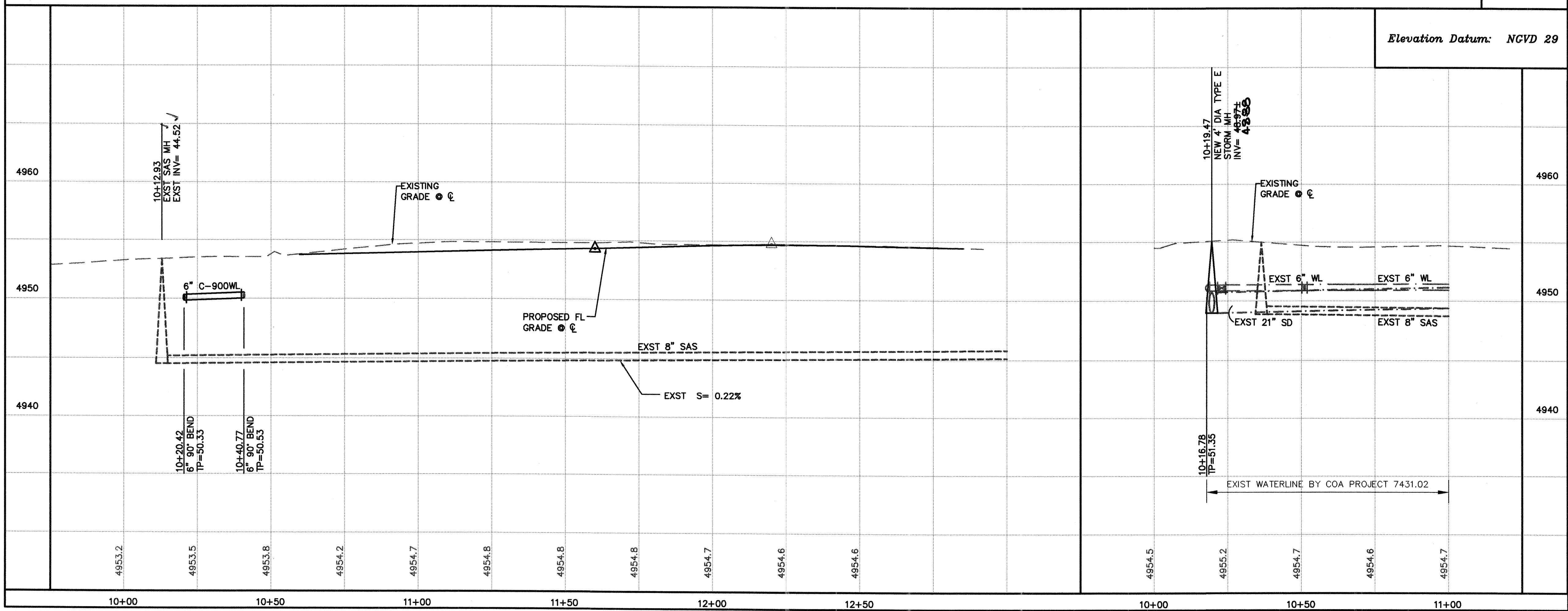
ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NGVD 29

ALLEY WAY

16TH STREET



AS-BUILT INFORMATION

CONTRACTOR: **Pythian Const.**

WORK STATED BY: **AB**

DATE: **12/02/05**

FIELD SUPERVISOR BY: **AB**

DATE: **12/02/05**

DRAWN BY: **AB**

DATE: **12/02/05**

CHECKED BY: **AB**

DATE: **12/02/05**

BENCH MARKS

ACS Brass Cap stamped "12-J13"

Northwest quadrant of the intersection of 14th Street

N.W. and Lomas Avenue N.W.

Geographic Position (NAD 1927), in feet

N.M. State Plane Coordinates (Central Zone)

X=376,922.94 Y=1,489,212.34

Elevation=4954.85 (NGVD29) in feet

SURVEY INFORMATION

FIELD NOTES

ENGINEER'S SEAL

AMT. L. D. NITSE

NEW MEXICO

15334

PROFESSIONAL ENGINEER

REVISIONS

NO.	DATE	REMARKS	BY
1	12/02/05	DESIGN	ALD
2	12/02/05	THOR	ALD
3	12/02/05	ALD	ALD

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

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Albuquerque, New Mexico 87108

Ph. 505-268-8828 Fax. 505-268-2632

1304UTL1-NORTH.DWG

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING GROUP

TITLE: **BELL TRADING POST HOMES**

ALLEY WAY & 16TH STREET

UTILITY PLAN & PROFILE

Design Review Committee

City Engineer Approval

Last Design Update

City Project No. **758382**

Zone Map No. **J-13-Z**

Sheet **10** Of **12**



Elevation Datum: NGVD 29



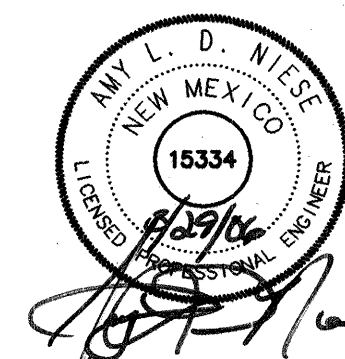
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UTILITY SERVICE TABLE

LOT NO.	STATION		SAS INV @ R/W
	WATER, LENGTH	SAS, LENGTH	
7	10+73.43, 12'	10+58.43, 31'	47.91
8		10+88.44, 31'	47.71
9		11+26.43, 31'	47.71
10	11+41.43, 12'	11+62.65, 31'	47.69

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

SURVEY INFORMATION		BENCH MARKS	AS-BUILT INFORMATION	
FIELD	NOTES		CONTRACTOR	INFORMATION
		ACS Brass Cap stamped "12-J13"	WORK STAGED BY	Pythian Const
		Northwest quadrant of the intersection of 14th Street	INSPECTOR'S OFFICE	DATE
		N.W. and Lomas Avenue N.W.	FIELD VERIFICATION BY	DATE
		Geographic Position (NAD 1927), in feet	CORRECTED BY	DATE
		N.W. State Plane Coordinates (Central Zone)		
		X=376,922.94 Y=1,489,212.34		
		Elevation=4954.85 (NGVD29) in feet	RECORDED BY	DATE
			NO.	

[illegible]

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: BELL TRADING POST HOMES
ROMA AVENUE & 15th STREET
UTILITY PLAN & PROFILE

Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	758382	Zone Map No.	J-13-Z	Sheet	11	Of	12
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