

PUBLIC IMPROVEMENT PLANS FOR EMBUDO CANYON SOUTH SUBDIVISION ALBUQUERQUE, NEW MEXICO

APRIL 2005

PREPARED FOR:
LAS CANDELARIAS, LLC.
723B SILVER AVE. SW
ALBUQUERQUE, NM 87102

PREPARED BY:
ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

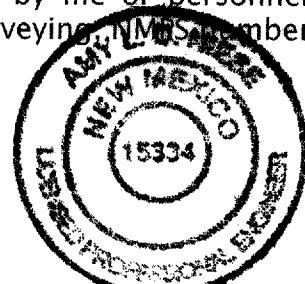
INDEX TO DRAWINGS

SHEET NO.	TITLE
1	COVER SHEET
2	PLAT
3	GRADING & DRAINAGE PLAN
4	MASTER PAVING PLAN
	<u>PAVING PLAN & PROFILE SHEETS</u>
5	DEL AGUA CT NE STA 1+00.00 TO END
6	MASTER UTILITY PLAN
	<u>UTILITY PLAN & PROFILE SHEETS</u>
7	DEL AGUA CT NE STA 1+00.00 TO END
8	PUBLIC WATERLINE EASEMENT STA 1+00.00 TO END

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Amy L. D. Niese of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Aldrich Land Surveying, Inc. Drawing Number 7719

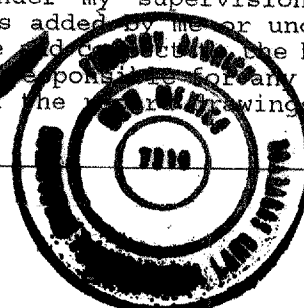
Amy L. D. Niese, PE
NMPE No. 15334



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added to the original drawings under my supervision, and that this 'as-built' information is not to be used for any purpose other than the best of my knowledge and belief. Aldrich Land Surveying, Inc. is not responsible for any errors or omissions of the design concepts, calculations, engineering, or intent of the original drawings.

Timothy Aldrich, P.S. No. 7719 Date

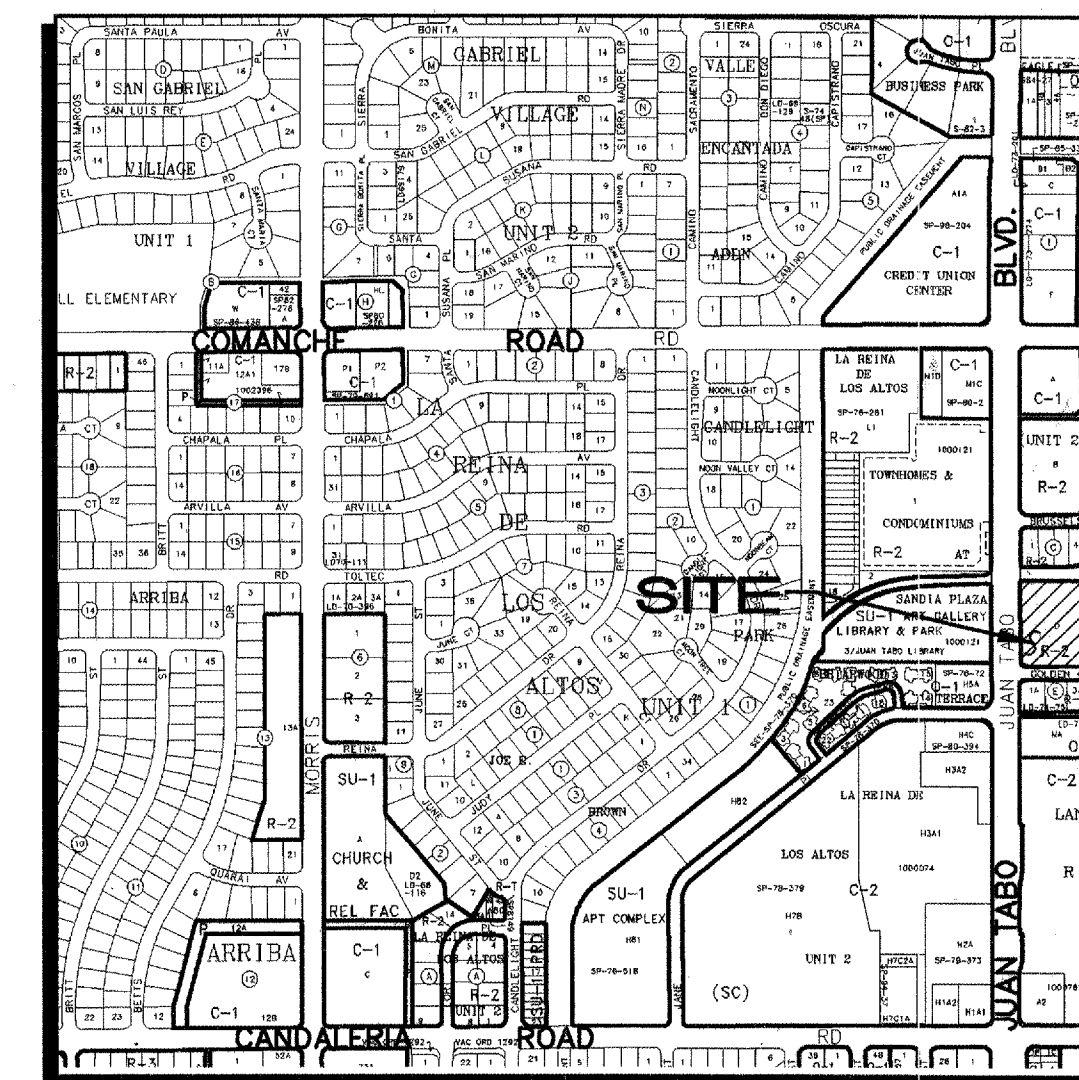


APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE: 5/2/05
BY: DEAN W. R. F.

RECORD DRAWING

DRB NO. 1003821
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1411.02CVR.DWGdp 04/15/05

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	*****		
		DRC Chairman		5/2/05		APPROVED FOR CONSTRUCTION			
		Transportation		4/27/05					
		Water/Wastewater		5/2/05					
		Hydrology		4/27/05					
		AMAFCA		5/11/05					
Constr. Mngmt.						City Engineer Date 7-28-05			
Constr. Coord.									
City Project No.		758982		Sheet		1		Of 8	

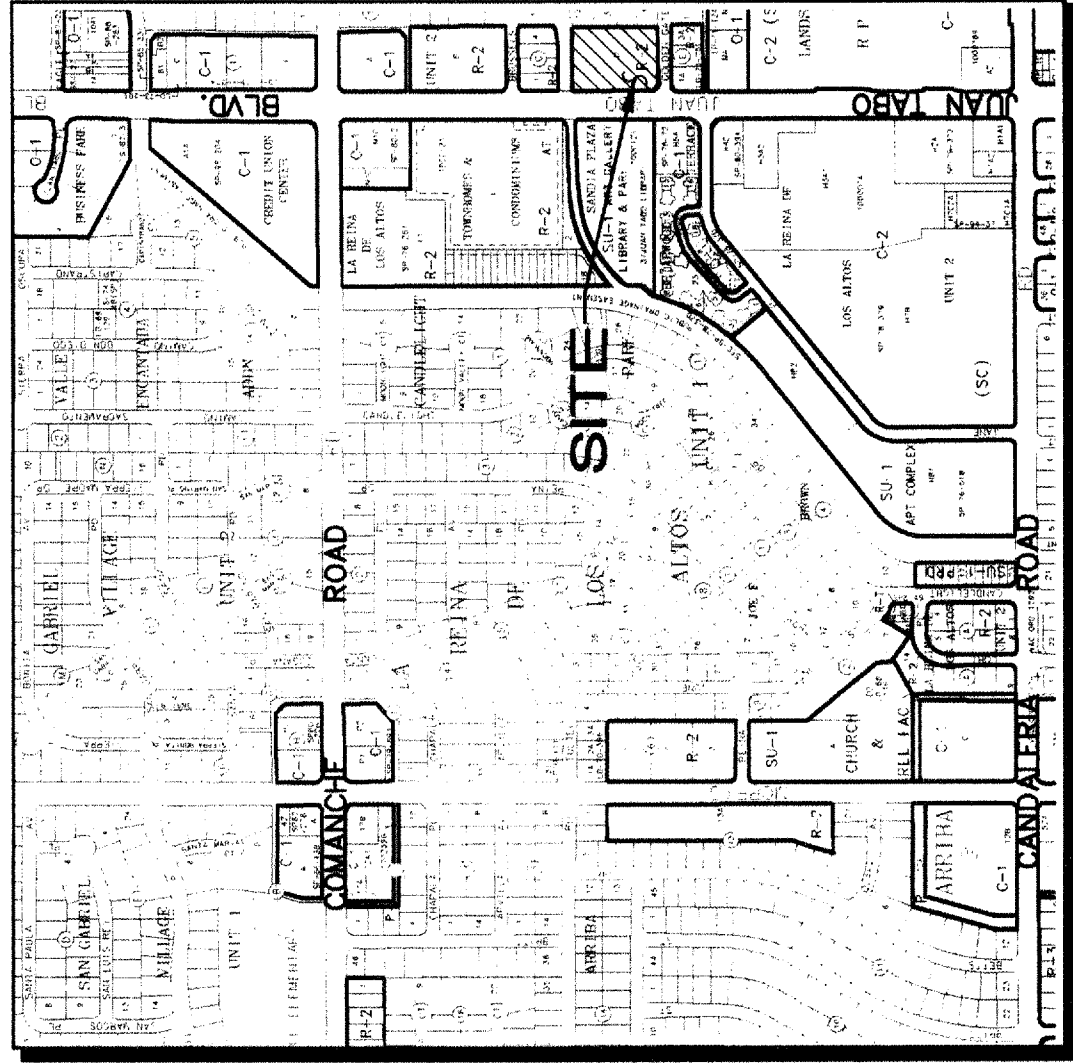


G-21 & G-22 1"=750'±

VICINITY MAP

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATER-LINE AND/OR SEWERLINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.



G-21 & G-22 1"=750'±

VICINITY MAP

SUBDIVISION DATA / NOTES

1. Total Number of Existing Tracts: 1
2. Total Number of Lots created: 20
3. Total Number of Tracts created: 0
4. Gross Subdivision Acreage: 1.8621 Ac.
5. Total Mileage of Full Width Streets Created: 0.0375
6. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
7. Distances are ground distances.
8. Bearings and distances in parenthesis are record.
9. Basis of boundary are the following plats of record entitled:
PLAT OF "HOLIDAY PARK, UNIT 2",
(01-31-63, C5-146)
PLAT OF "HOLIDAY PARK, UNIT 3",
(08-08-63, D3-74)
all being records of Bernalillo County, New Mexico.
10. Field Survey performed on February, 2005.
11. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2005101711
12. Title Report: Stewart Title of Albuquerque, LLC
(Effective date: 12-10-04) File No. 4120194
13. City of Albuquerque, New Mexico Zoning: R-2
14. 100 Year Flood Zone Designation: Zone X, as shown on Panel 357
of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County,
New Mexico, dated September 20, 1996. (This Property does not lie within
the 100 Year Flood Plain.)

P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

1411.02PFI.DWG06 04/15/05

EASEMENTS

1. EXISTING 7' UTILITY EASEMENT
(01-31-63, C5-146)
2. 10' PUBLIC UTILITY EASEMENT GRANTED BY
THIS PLAT.
3. 20' PUBLIC WATERLINE AND SANITARY SEWER
EASEMENT GRANTED TO THE ALBUQUERQUE
BERNALILLO COUNTY WATER UTILITY AUTHORITY.
4. 15' PRIVATE ACCESS AND DRAINAGE
EASEMENT TO BE GRANTED TO THE OWNER OF
LOT 7, FOR THE BENEFIT OF THE OWNER OF
LOT 7. TO BE MAINTAINED BY THE OWNERS
OF LOTS 7 & 8 BY THIS PLAT.
5. 15' PRIVATE ACCESS AND DRAINAGE
EASEMENT TO BE GRANTED TO THE OWNER OF
LOT 14, FOR THE BENEFIT OF THE OWNER OF
LOT 14. TO BE MAINTAINED BY THE OWNERS
OF LOTS 13 & 14 BY THIS PLAT.
6. 15' PRIVATE WATERLINE & SANITARY SEWER
EASEMENT GRANTED TO FOR THE BENEFIT OF,
AND TO BE MAINTAINED BY OWNER OF LOT
14.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR
THE COMMON AND JOINT USE OF:

1. THE PUBLIC SERVICE CO. OF NM--ELECTRIC SERVICES DIVISION FOR THE
INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND/OVERHEAD
ELECTRICAL LINES, COMMUNICATION LINES, TRANSFORMERS, AND ANY OTHER
EQUIPMENT, FIXTURES, STRUCTURES, AND RELATED FACILITIES REASONABLY
NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. QWEST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF ALL
BURIED COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND
FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION
SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND CABLES,
AND CLOSURES.
 3. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF
SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES
REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
 4. THE PUBLIC SERVICE CO. OF NM--GAS SERVICES DIVISION FOR THE
INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH DISTRIBUTION AND
SERVICE LINES AND FACILITIES REASONABLY NECESSARY TO PROVIDE
GAS SERVICE.
- INCLUDED IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, RECONSTRUCT,
LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, REPAIR, OPERATE, AND
MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH
FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, INCLUDING SUFFICIENT
WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND
PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS, OR BUSHES WHICH INTER-
FERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, OR
OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASE-
MENT, AND THE PROPERTY OWNER SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY
VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCT-
TION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR
EASEMENTS SHOWN ON THIS PLAT.
- EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED,
SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR
DOORS AND FIVE FEET (5') ON EACH SIDE.
- In approving this plat, PNM Electric Services and Gas
Services (PNM) did not conduct a Title Search of the
properties shown herein. Consequently, PNM does not
warrant that there is no easement or easement rights to
which it may be entitled.
- ACS MONUMENT
"2"-G21A
Y=1500252.92
X=420717.75
G=0-009600"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5666.13

LEGAL DESCRIPTION

A tract of land situate within Section 3, Township 10 North, Range 4
East, New Mexico Principals Meridian, City of Albuquerque, Bernalillo County,
New Mexico, designated on said plat filed for record in the office of the
County Clerk of Bernalillo County, New Mexico on January 31, 1963 in
Volume C5, Folio 146 and containing 1.8621 acres more or less.

DISCLOSURE STATEMENT

The intent of this plat is to subdivide the subject tract into 20
residential lots, the boundaries of which are shown to permit
easements as necessary to serve the residential development.

FREE CONSENT AND DEDICATION

The subdivision shown hereon is with the free consent and in accordance with the
desires of the undersigned Owner(s) and/or Proprietor(s) thereof and said Owner(s)
and/or Proprietor(s) do hereby dedicate all streets and public rights-of-way shown
hereon to the City of Albuquerque in fee simple with warranty covenants and do
hereby grant: all access, utility and drainage easements shown hereon including the
right to construct, operate, inspect, and maintain facilities therein; and all public
utility easements shown hereon for the common and joint use of gas, electrical power
and communication services for overhead and/or buried distribution lines, conduits, and
pipes for underground and/or overhead utilities where shown or indicated, and
including the right of ingress and egress for construction and maintenance, and the
right to trim interfering trees and shrubs. Said Owner(s) and/or Proprietor(s) do
hereby consent to all of the foregoing and said owners warrant that they hold among
them complete and undivisible title in fee simple to the land subdivided, and do
hereby certify that this subdivision is their free act and deed.

OWNERS

LOS CANDELARIAS, LLC

JAY REMBE
MANAGING MEMBERCHRISTOPHER CALOTT
MANAGING MEMBER

ACKNOWLEDGMENT

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

This instrument was acknowledged before me on _____
2005, by Jay Rembe, Managing Member of Los Candelarias a New Mexico
Limited Liability Company, on behalf of said company.

My Commission Expires: _____

Notary Public

Timothy Aldrich, P.S. No. 7719

Date
SHEET 1 OF 2PLAT
FOR
EMBUDO CANYON SOUTH
SUBDIVISION

BEING A REPLAT OF

TRACT D

HOLIDAY PARK UNIT 2

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

MARCH 2005

APPROVALS
DRB PROJECT NO. 1003821
APPLICATION NO. 05DRB - 00334
UTILITY Approvals 05DRB - 00335

PNM ELECTRIC SERVICES DIVISION

PNM GAS SERVICES DIVISION

QWEST

COMCAST

NEW MEXICO UTILITIES

City Approvals

CITY SURVEYOR

REAL PROPERTY DIVISION

ENVIRONMENTAL HEALTH DEPARTMENT

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEVELOPMENT

PARKS AND RECREATION DEPARTMENT

AMATCA

CITY ENGINEER

DRB CHAIRPERSON, PLANNING DEPARTMENT

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land
Surveyor and member of the State of New Mexico, do hereby certify
that this plat and description were prepared by me or under my
supervision, shows all easements as shown on the plat of record or
made known to me by the owners and/or proprietors of the
subdivision shown hereon, utility companies and other parties
expressing an interest and meets the minimum requirements for
monumentation and surveys of the Albuquerque Subdivision Ordinance,
and further meets the Minimum Standards for Land Surveying in the
State of New Mexico (Effective November 1, 1989 and revisions
effective December 25, 1991, February 2, 1994 and October, 2000), and
is true and correct to the best of my knowledge and belief."

LINE	BEARING	DISTANCE
L1	S 58°33'47" E	21.73
L2	S 47°49'49" E	38.08
L3	S 34°32'55" E	14.57
L4	S 34°40'34" W	14.58
L5	S 47°58'11" W	38.07
L6	S 59°21'37" W	21.58
EL1	S 47°49'49" E	4.47
EL2	S 89°55'55" E	24.34

PLAT
FOR
EMBUDO CANYON SOUTH
SUBDIVISION

BEING A REPLAT OF

TRACT D

HOLIDAY PARK UNIT 2

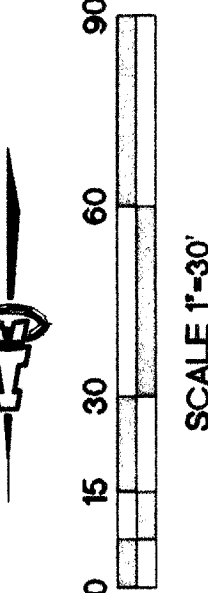
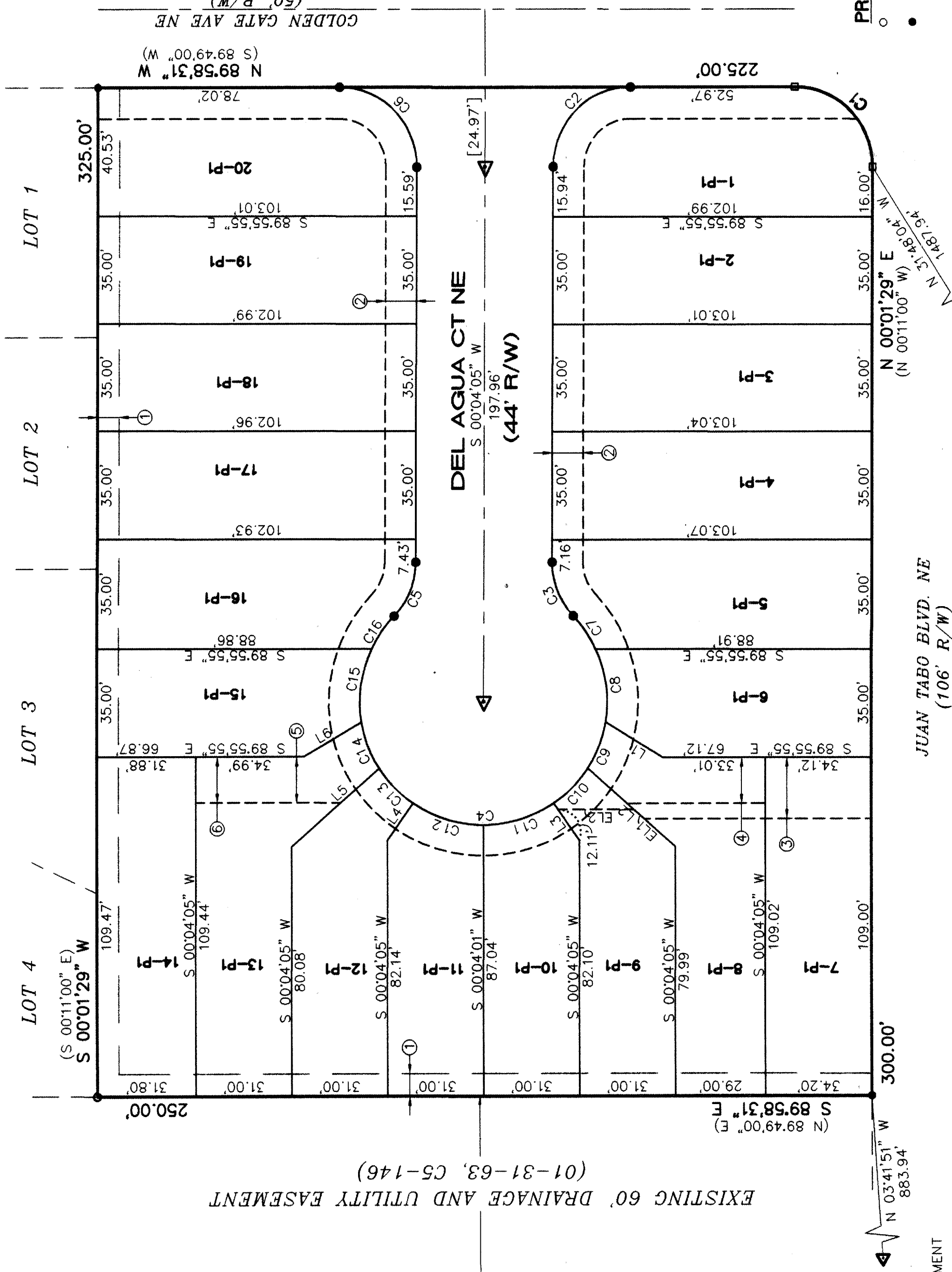
CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

MARCH 2005

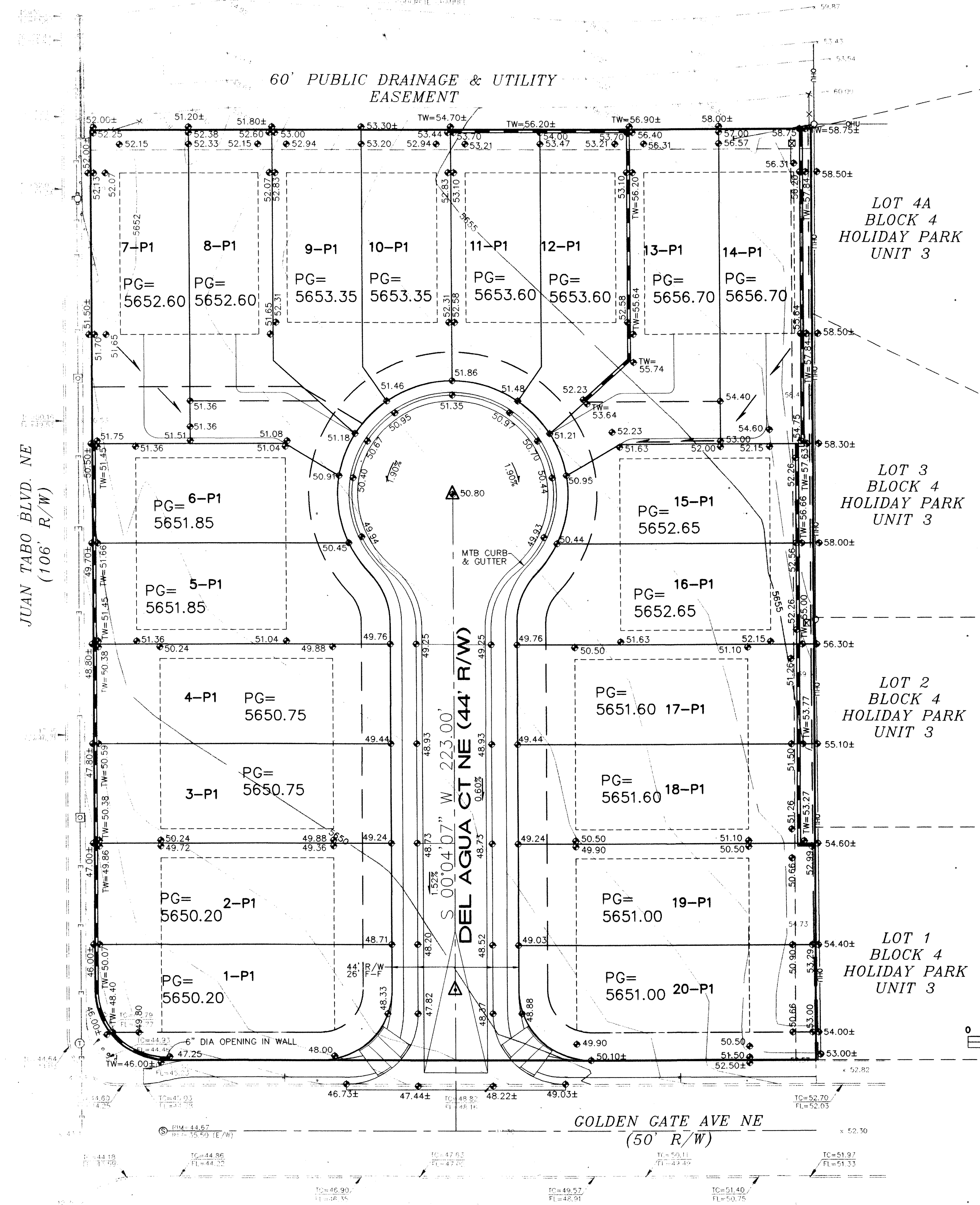
LOT	AREA (SF)
1	3,949.95
2	3,604.98
3	3,605.91
4	3,606.83
5	3,454.42
6	2,902.63
7	3,723.82
8	3,740.95
9	2,983.61
10	2,758.40
11	2,758.90
12	2,985.90
13	3,975.10
14	3,484.99
15	2,898.60
16	3,452.75
17	3,603.13
18	3,604.06
19	3,604.99
20	4,045.49

HOLIDAY PARK
UNIT 3
(08-08-63, D3-74)



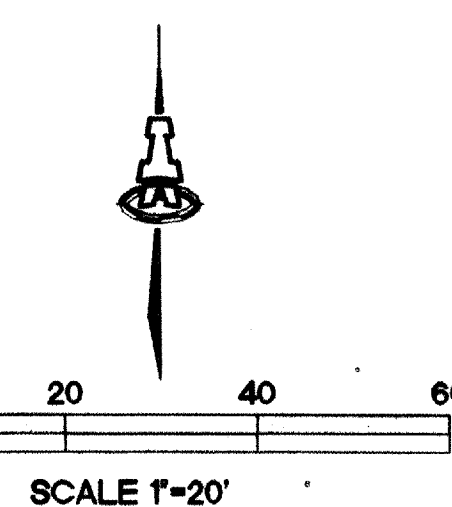
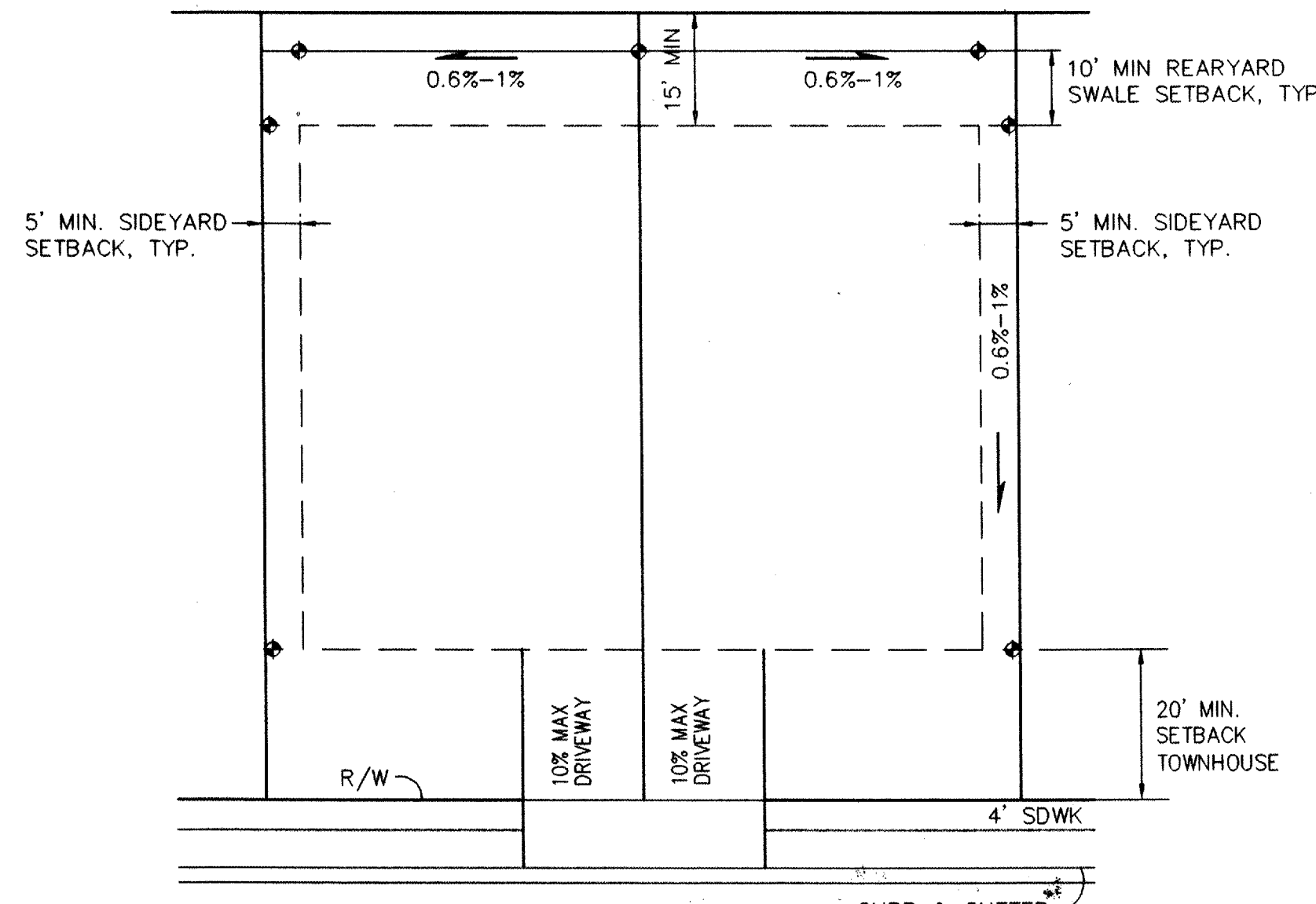
1411.02PFI.DWG06 04/15/05

SHEET 2 OF 2



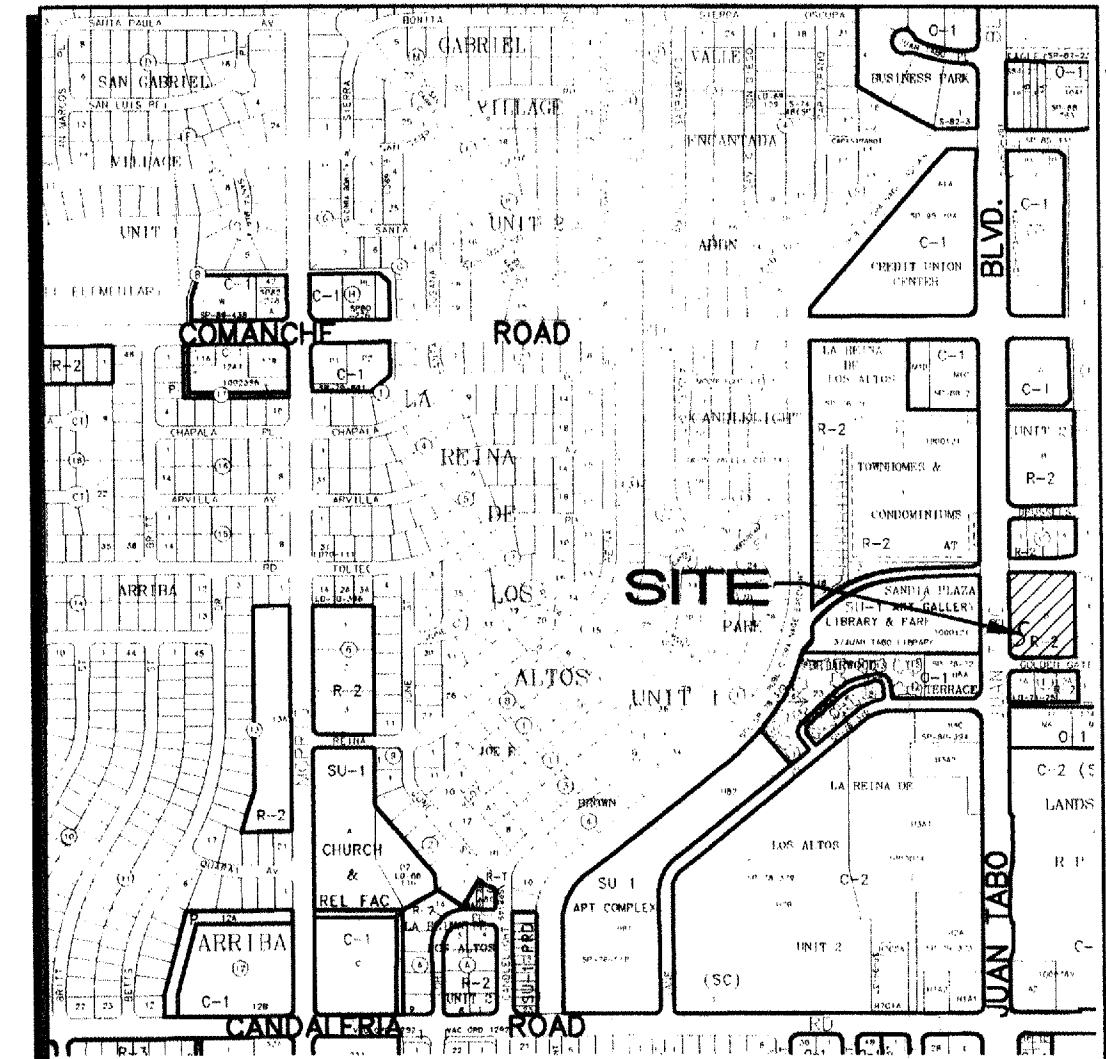
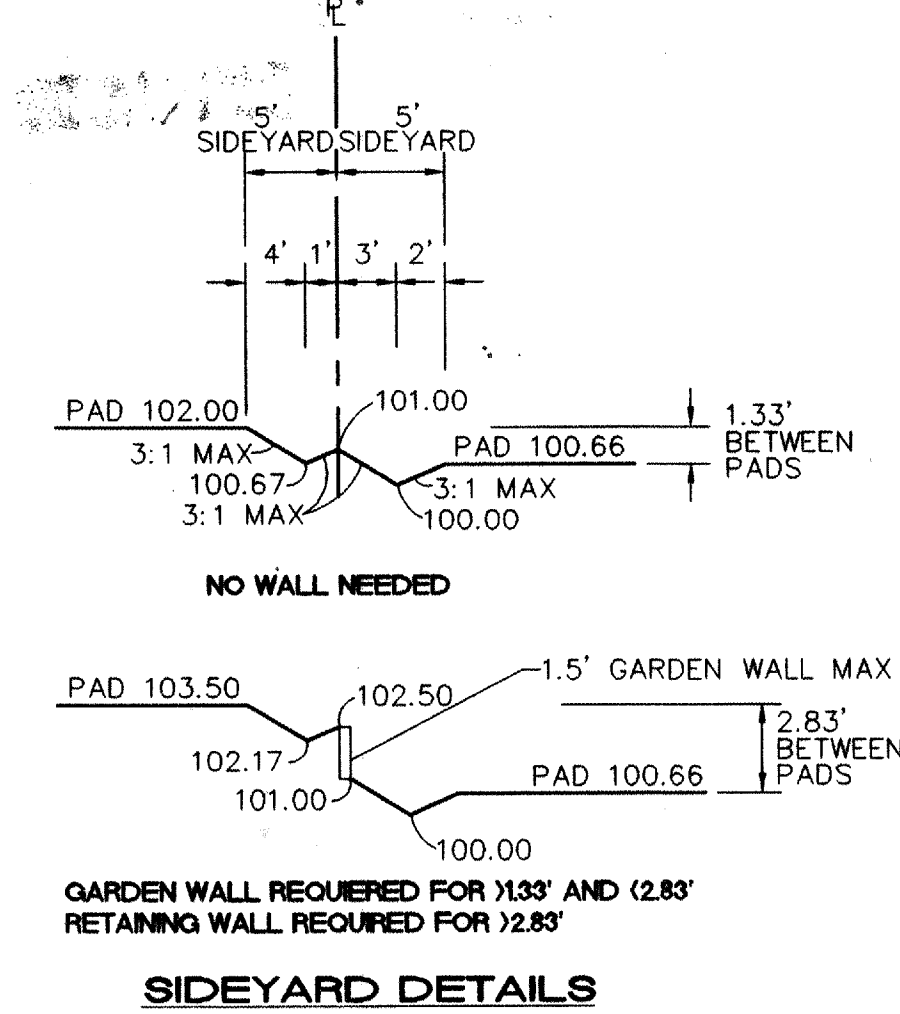
GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OFFSITE.
- ALL SUBGRADE AND FILL SHALL BE COMPACTED TO A MINIMUM OF 90% ASTM D-1557.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.3± FEET.
- SCARIFY AND COMPACT SUBGRADE FOR FILLS. PLACE FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH. MOISTEN AS NECESSARY TO PROVIDE OPTIMUM MOISTURE (±2%) CONTENT.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1 MINIMUM SLOPES SHALL BE 0.6%.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING SERVICE TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT NO ADDITIONAL EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.



TYPICAL LOT GRADING
SCALE: 1"=20'

RECORD DRAWING



- GENERAL NOTES**
- SEE GEOTECHNICAL REPORT BY FLORENTINO ENGINEERING FOR STRUCTURAL FILL REQUIREMENTS.
 - SEE THIS PLAN FOR RETAINING WALL ELEVATION REQUIREMENTS. SEE ARCHITECT'S PLAN FOR PERIMETER WALL (GARDEN WALL) DETAILS. RETAINING WALLS SHALL BE DESIGNED BY STRUCTURAL ENGINEER.

LEGAL
A tract of land situate within Section 3, Township 10 North, Range 4 East, NMPM, Bernalillo County, Albuquerque, New Mexico, being all of Tract D as the same is shown and designated on The Plat of Holiday Park Addition filed for record in the office of County Clerk of Bernalillo County, New Mexico on January 31, 1963 recorded in Volume C5, Folio 146 and containing 1.8622 acres (81,115.48 sf), more or less.

ACS BENCHMARK
17-G21
ELEVATION: 5655.34

SURVEY INFO
DATE: FEBRUARY 2005
PERFORMED BY: TIM ALDRICH, ALDRICH LAND SURVEYING

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	FLOW ARROW
	PAD GRADE ELEVATION
	SIDEWALK CULVERT
	TOP OF CURB ELEVATION
	AREA DRAIN
	INVERT ELEVATION
	DRAIN LINE WITH SIZE
	STORM DRAIN MANHOLE
	RETAINING WALL

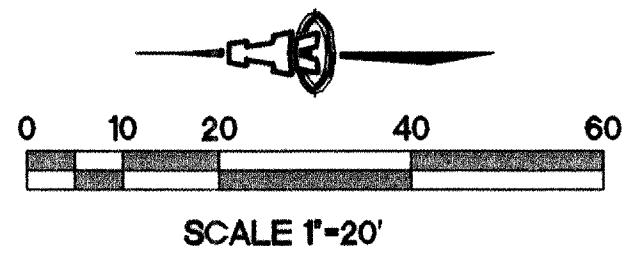
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1411.02GRD.DWGthor 02.24.05

EMBUDO CANYON SOUTH SUBDIVISION
Infill Solutions, I

GRADING & DRAINAGE PLAN

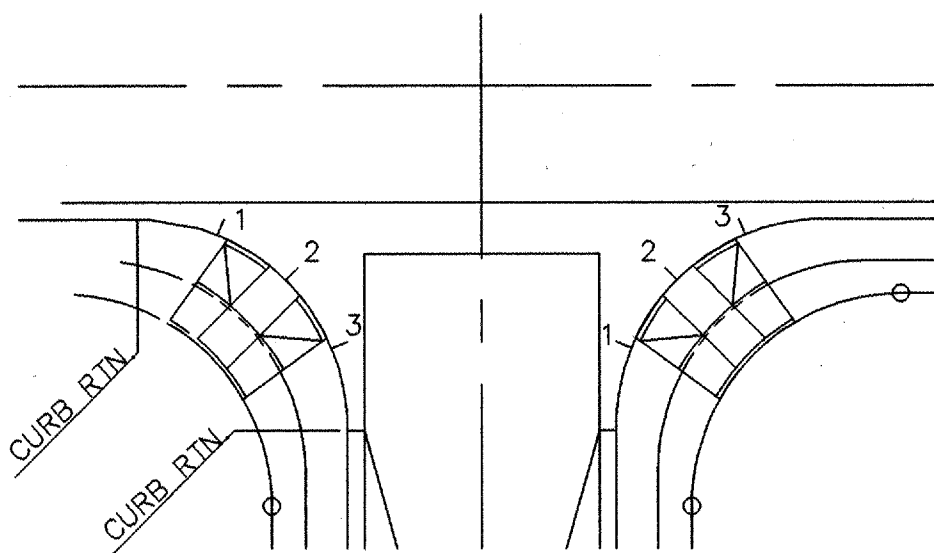
Checked By: ALDN	Drawn By: thor	No.	Revision	PAGE
Date: 02/24/05	Job Number: 1411.02			311 OF 1

HOLIDAY PARK
UNIT 3
(08-08-63, D3-74)

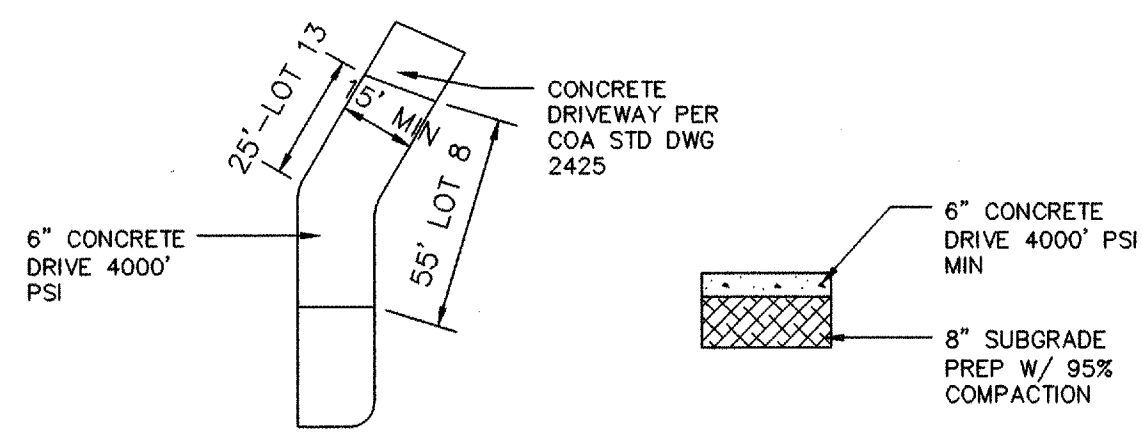


LEGEND

- EXISTING CONCRETE CURB/GUTTER
- PROPOSED STREET IMPROVEMENTS
- PROPOSED WHEEL CHAIR RAMP
- VALLEY GUTTER
- BLOCK NO.
- LOT NO.
- PROPOSED STREET LIGHT
- STORM DRAIN CATCH BASIN
- STORM DRAIN MANHOLE
- EXISTING WHEELCHAIR RAMP
- SIDEWALK BY OTHERS
- SIDEWALK THIS CONTRACT
- PAVEMENT REMOVAL AND REPLACEMENT
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT



QUARTER POINT DETAIL
NTS



DRIVEWAY DETAIL
NTS

RECORD DRAWING

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1411.02PMSTR.DWGdlp 04/13/05

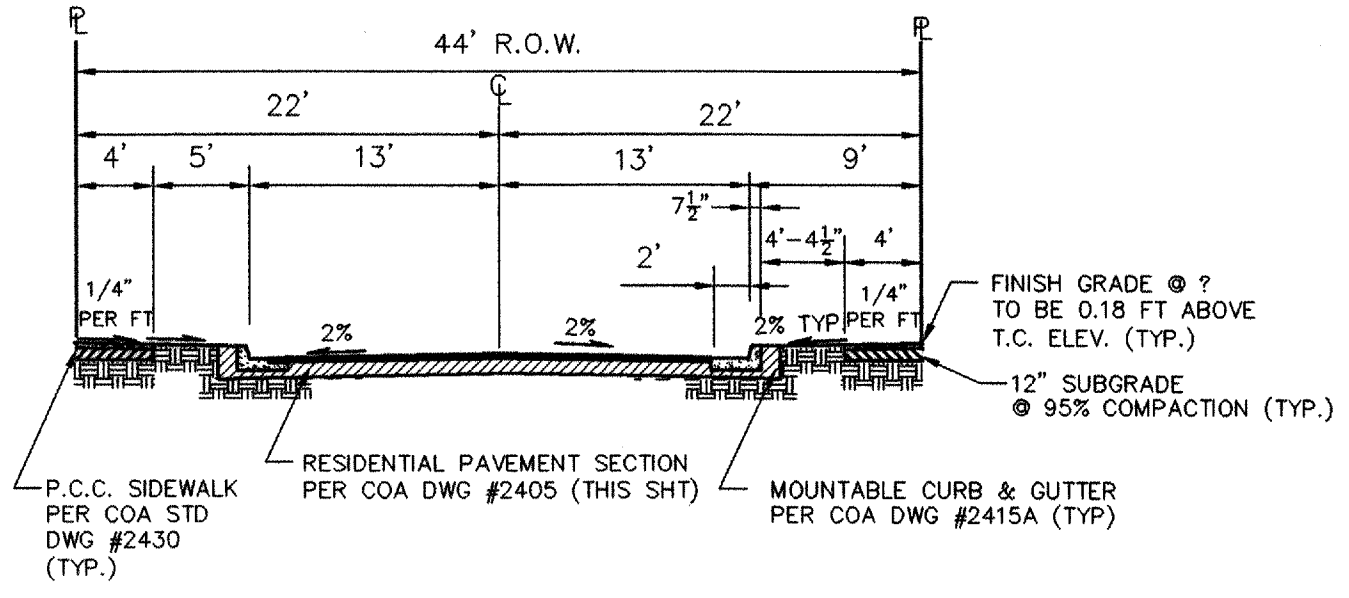
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **EMBUDO CANYON SOUTH SUBDIVISION
MASTER PAVING PLAN**

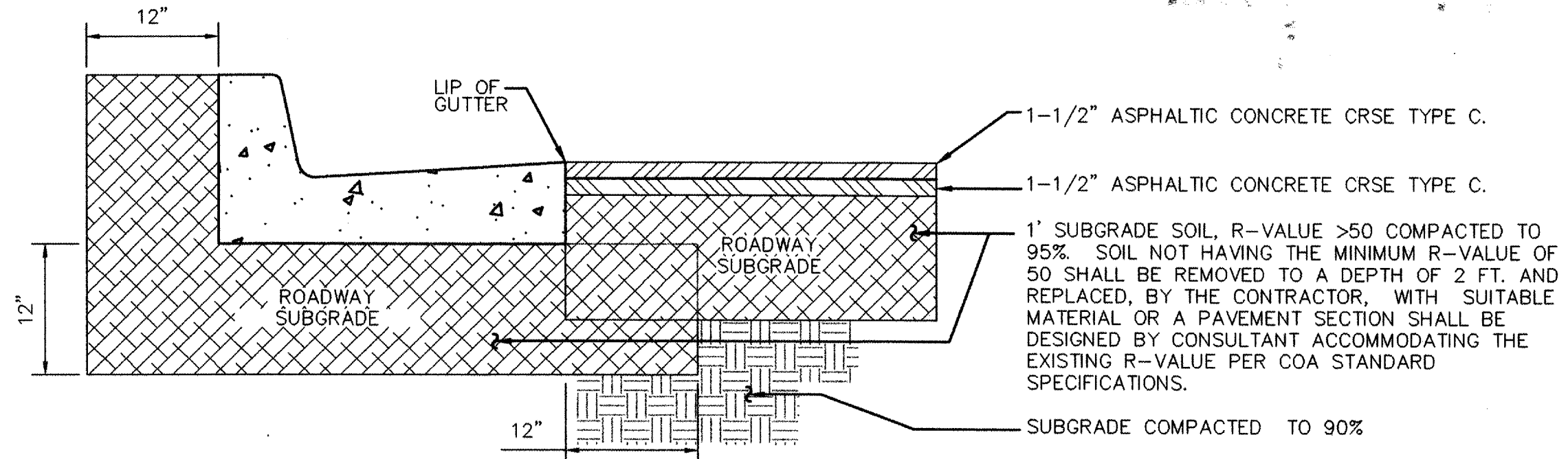
Design Review Committee: APPROVED MAY 11 2005
City Engineer Approval: APPROVED JUL 28 2005
Last Design Update: Mo./Day/Yr.

REVISIONS
NO. DATE REMARKS
DESIGNED BY ALDN DATE 03/04/05
DRAWN BY thor DATE 03/04/05
CHECKED BY ALDN DATE 03/04/05

City Project No. **758982** Zone Map No. **Q-21 & Q-22** Sheet **4** of **8**



SECTION A1-A1
TYPICAL 46' R.O.W. RESIDENTIAL STREET SECTION
1"=10'



RESIDENTIAL PAVING SECTION
SCALE: 1"=1'-0"
(PER COA STD DWG # 2405A)

Engineering plan view of Del Agua Ct NE. The drawing shows a road layout with stationing and elevations. Key features include:

- Stationing and Elevations:**
 - STA 1+05.00, 0.04' RT CRR, FL= 51.37
 - STA 1+40.04, 35.0' RT CRR, FL= 50.34
 - STA 1+67.09, 22.17' RT CRR, FL= 49.77
 - STA 1+86.43, 13.0' RT CRR, FL= 49.38
 - STA 3+21.40, 13.0' LT CRR, FL= 48.37
 - STA 3+46.40, 38.01' RT BEGIN C&G REMOVAL FL= 49.03±
 - STA 3+47.24, 12.86' LT FL= 48.16
 - STA 3+47.24, 12.90' RT FL= 47.35
 - STA 3+46.44, 37.99' RT END C&G REMOVAL FL= 46.73±
- Property Lines and Lots:**
 - 13-P1, 15-P1, 16-P1, 17-P1, 18-P1, 19-P1, 20-P1
 - 12-P1, 11-P1, 10-P1, 9-P1, 8-P1, 6-P1, 5-P1, 4-P1, 3-P1, 2-P1, 1-P1
- Curves and Grades:**
 - Curves: FC3, FC4, FC2
 - Grades: 1.85%
- Tables:**

	TC	FL
1	49.54	48.86
2	-	48.70
3	48.86	48.53

	TC	FL
1	47.88	47.55
2	-	47.28
3	47.67	47.00
- Other Labels:**
 - GOLDEN GATE AVE N.W.
 - DEL AGUA CT NE

	TC	FL
1	47.88	47.55
2	--	47.28
3	47.67	47.00

GOLDEN GATE
AVE N.W.

Elevation Datum: NGVD 29

- | CURVE TABLE | | | | |
|-------------|--------|--------|------------|---------------|
| CURVE | RADIUS | LENGTH | DELTA | CHD BRG |
| FC1 | 25.00 | 39.26 | 89°58'15" | N 45°03'15" E |
| FC2 | 25.00 | 22.12 | 50°42'15" | N 25°17'00" W |
| FC3 | 35.00 | 171.91 | 281°24'30" | N 89°55'53" W |
| FC4 | 25.00 | 22.12 | 50°42'15" | S 25°25'15" W |
| FC5 | 25.00 | 39.28 | 90°01'53" | S 44°56'49" E |

CURVE TABLE				
CURVE	RADIUS	LENGTH	DELTA	CHD BRG
FC1	25.00	39.26	89°58'15"	N 45°03'15" E
FC2	25.00	22.12	50°42'15"	N 25°17'00" W
FC3	35.00	171.91	281°24'30"	N 89°55'53" W
FC4	25.00	22.12	50°42'15"	S 25°25'15" W
FC5	25.00	39.28	90°01'53"	S 44°56'49" E

BENCH MARKS
ACS Brass Cap stamped "17-021"
Located on top of concrete curb
727.25 feet from centerline of Juan T
Geographic Position (NAD 1927), in
N.M. State Plane Coordinates (Cent
X=419990.79, Y=1500335.33
Elevation=5855.34 (NGVD29) in feet

[illegible]

ENGINEER'S SEAL



AMY L. D. NIESE
NEW MEXICO
15334
4/18/05
LICENSED PROFESSIONAL ENGINEER

[illegible]

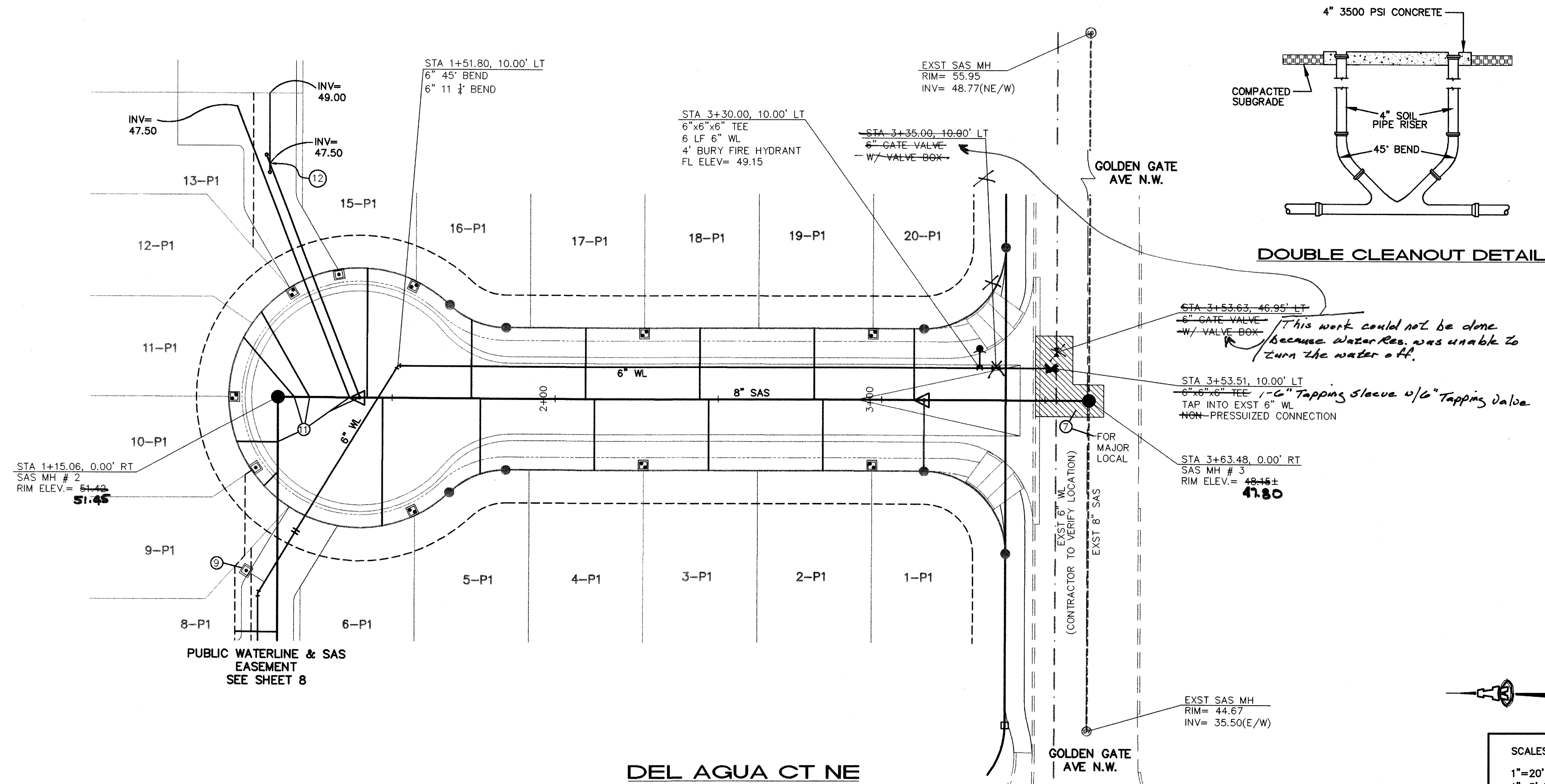
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: EMBUDO CANYON SOUTH SUBDIVISION
DEL AGUA CT NE

[illegible]

City Project No.	758982	Zone Map No.	G-21 & G-22	Sheet	5	Of	8
------------------	--------	--------------	-------------	-------	---	----	---

RECORD DRAWING



GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125 UNLESS OTHERWISE NOTED.
2. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, & #2362.
3. SEE SHEET #6 FOR WATER SHUT-OFF PLAN.
4. SEE SHEET #6 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
6. GATE VALVE & BOX PER COA STD DWG #2326.
7. PAVEMENT REMOVAL & REPLACEMENT PER COA STD DWG #2465.
8. SIDEWALK & CURB AND GUTTER REMOVAL & REPLACEMENT PER COA STD DWG #S 2430 & 2415A.
9. HEAVY WEIGHT COVER & LID PER COA STD DWG #2369.
10. SAS SERVICE PER COA STD DWG #2118.
11. 8"x4" WYES.
12. CLEANOUT PER DETAIL THIS SHEET.

UTILITY SERVICE TABLE

LOT NO.	STATION		SAS INV @ R/W
	WATER, LENGTH	SAS, LENGTH	
1-P1	2+97.06, 32'	3+13.00, 22'	42.94
2-P1	2+82.06, 22'	2+47.06, 22'	43.41
3-P1	2+27.06, 32'	2+47.06, 22'	43.82
4-P1	2+27.06, 32'	2+12.06, 22'	44.06
5-P1	1+57.06, 29'	1+77.06, 23'	44.53
6-P1	see sheet 8	1+47.06, 39'	45.31
7-P1	see sheet 8	see sheet 8	---
8-P1	see sheet 8	see sheet 8	---
9-P1	1+07.08, 6' (S)	1+10.85, 6'	45.92
10-P1	1+00.00, 42'	1+02.48, 18'	46.14
11-P1	1+00.00, 42'	1+04.50, 24'	46.04
12-P1	1+18.52, 41'	1+09.90, 30'	45.84
13-P1	1+18.52, 41'	1+22.90, 39'	45.60
14-P1	1+33.36, 37' (S)	1+12.34, 97'	45.54
15-P1	1+57.34, 23'	1+42.34, 40'	45.26
16-P1	1+57.34, 23'	1+74.34, 24'	44.58
17-P1	2+09.34, 22'	2+44.34, 22'	44.09
18-P1	2+27.34, 12'	2+44.34, 22'	43.83
19-P1	2+27.34, 12'	2+79.34, 22'	43.45
20-P1	2+27.34, 12'	3+09.93, 22'	42.99

ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

SCALES:
1"=20' HOR.
1"=5' VERT.

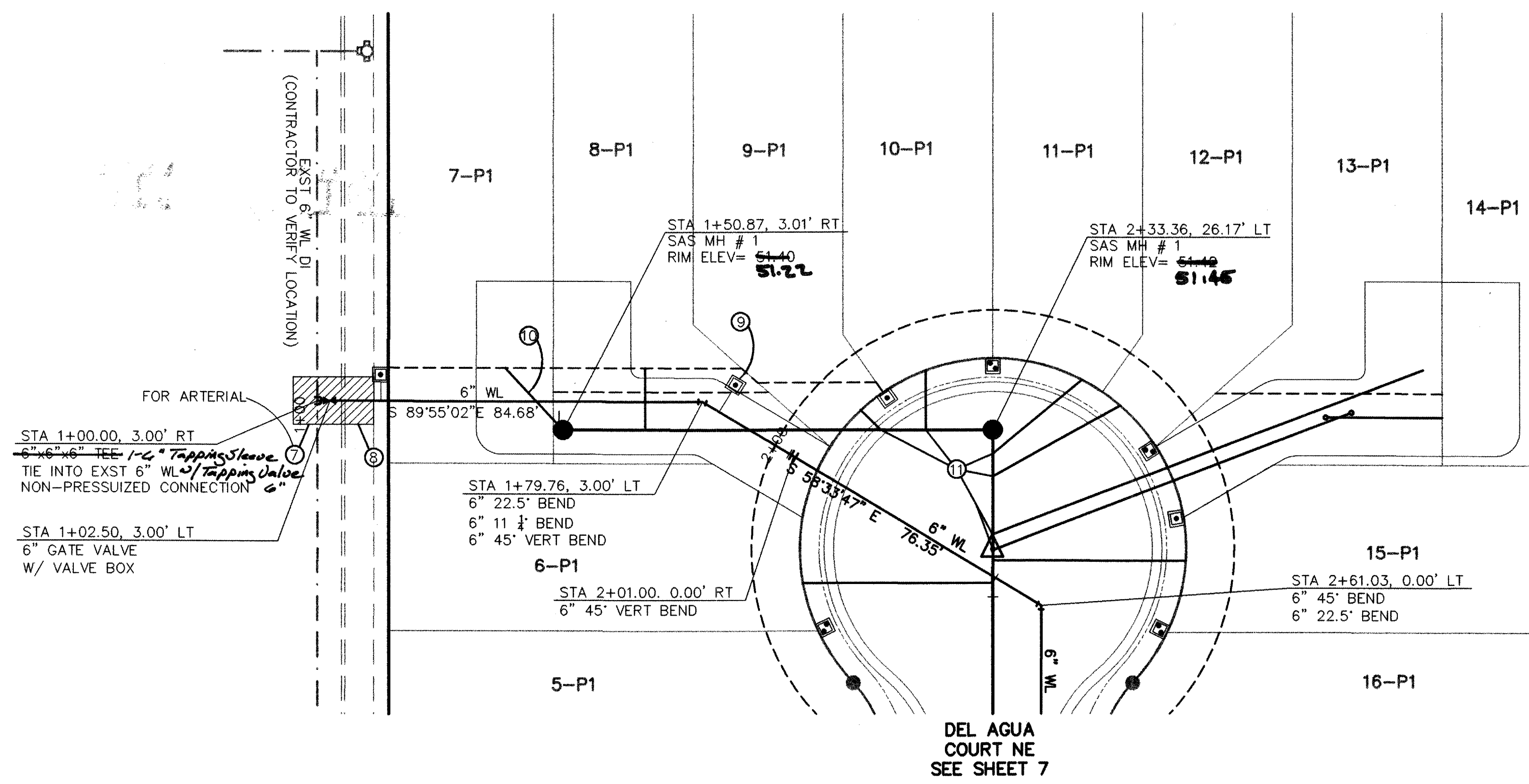
Elevation Datum: NGVD 29

RECORD DRAWING

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1411.02UT1.DWG.rth 05/02/05

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP
TITLE: **EMBUDO CANYON SOUTH SUBDIVISION
DEL AGUA CT NE
UTILITY PLAN & PROFILE**

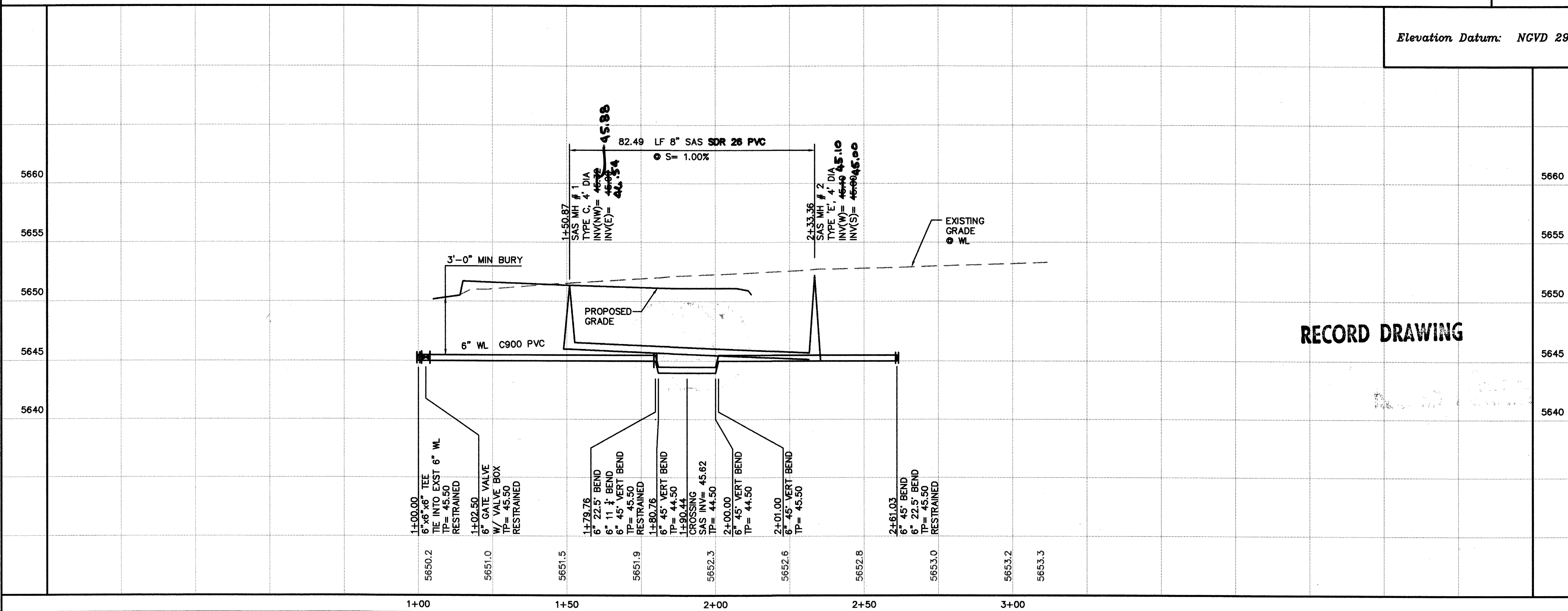
Design Review Committee APPROVED MAY 11 2005 REV: 10 COMMITTEE	City Engineer Approval APPROVED JUL 28 2005 CITY ENGINEER
--	---



PUBLIC WATERLINE EASEMENT

SCALES:
1"=20' HOR.
1"=5' VERT.

Elevation Datum: NGVD 29



RECORD DRAWING

GENERAL NOTES

1. CONSTRUCT SAS SERVICES PER COA STD DWG #2125 UNLESS OTHERWISE NOTED.
2. CONSTRUCT ALL SINGLE & DOUBLE WATER SERVICES PER COA STD DWG #2361, & #2362.
3. SEE SHEET #6 FOR WATER SHUT-OFF PLAN.
4. SEE SHEET #6 FOR RESTRAINED JOINT LENGTHS FOR WATER LINE FITTINGS.
5. CONSTRUCT FIRE HYDRANTS PER DESIGNATED DEPTHS & LENGTHS PER COA STD DWG #2340.
6. GATE VALVE & BOX PER COA STD DWG #2326.
7. PAVEMENT REMOVAL & REPLACEMENT PER COA STD DWG #2465.
8. SIDEWALK & CURB AND GUTTER REMOVAL & REPLACEMENT PER COA STD DWG #S 2430 & 2415A.
9. HEAVY WEIGHT COVER & LID PER COA STD DWG #2369.
10. SAS SERVICE PER COA STD DWG #2118.
11. 8"x4" WYES.
12. CLEANOUT PER DETAIL THIS SHEET.

UTILITY SERVICE TABLE

LOT NO.	STATION		SAS INV. @ ESMT LINE
	WATER, LENGTH	SAS, LENGTH	
7-P1	1+38.86, 18'(S)	1+14.73, 4'	46.42
8-P1	1+87.17, 5'(S)	1+67.86, 13'	46.08

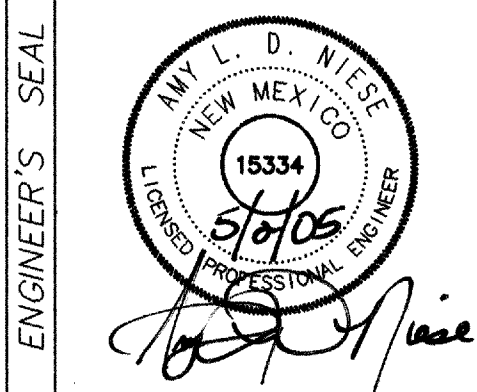
ALL WATER SERVICES ARE DOUBLE EXCEPT WHERE NOTED AS (S) SINGLE.

* STATIONING BASED OFF OF DEL AGUA ALIGNMENT.

AS-BUILT INFORMATION	
CONTRACTOR	System Grading
WORK	DATE
BY	DATE
ACCEPTANCE	DATE
FIELD	DATE
REVISION	DATE
CORRECTED	DATE
RECORDED	DATE

BENCH MARKS	
AS-Built Cap stamped "17-02"	
Located on top of concrete curb of Comanche Road.	
725 feet from centerline of Juan Tabo Blvd.	
Geographic Position (NAD 1927) in feet	
N.M. State Plane Coordinates (Central Zone)	
X=419990.79, Y=150035.33	
Elevation=5655.34 (NGVD29) in feet	

SURVEY INFORMATION	
FIELD NOTES	



ENGINEER'S SEAL	
NO.	DATE
REMARKS	BY
DESIGN	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1411.02U1.DWG:rh 05/02/05

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **EMBUDO CANYON SOUTH SUBDIVISION
PUBLIC WATERLINE EASEMENT**

UTILITY PLAN & PROFILE

Design Review Committee: MAY 11 2005
City Engineer Approval: JUL 28 2005
CITY ENGINEER

City Project No. **758982** Zone Map No. **G-21 & G-22** Sheet **8** Of **8**