

SCANNED BY PW

CONSTRUCTION PLANS FOR *GLENWOOD LOFTS SUBDIVISION*

2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-762981-811061

ALBUQUERQUE, NEW MEXICO

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Bryan W. Lee
DATE: 7/27/2006

INDEX TO DRAWINGS

SHEET NO.	SHEET
1	TITLE SHEET
2	PLAT
2A	SITE PLAN
3	GRADING AND DRAINAGE PLAN
4	MASTER PAVING PLAN
5	PAVING IMPROVEMENTS - PRAIRIE LOFT WAY
6	UTILITY IMPROVEMENTS - PRAIRIE LOFT WAY

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Mark Goodwin, NMPE 8948, of the firm Mark Goodwin & Associates, PA, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by Russ P. Hugg, NMPS number 9750.

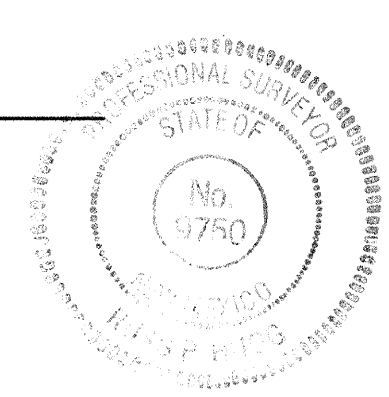
Mark Goodwin 3/29/06
Mark Goodwin NMPE 8948



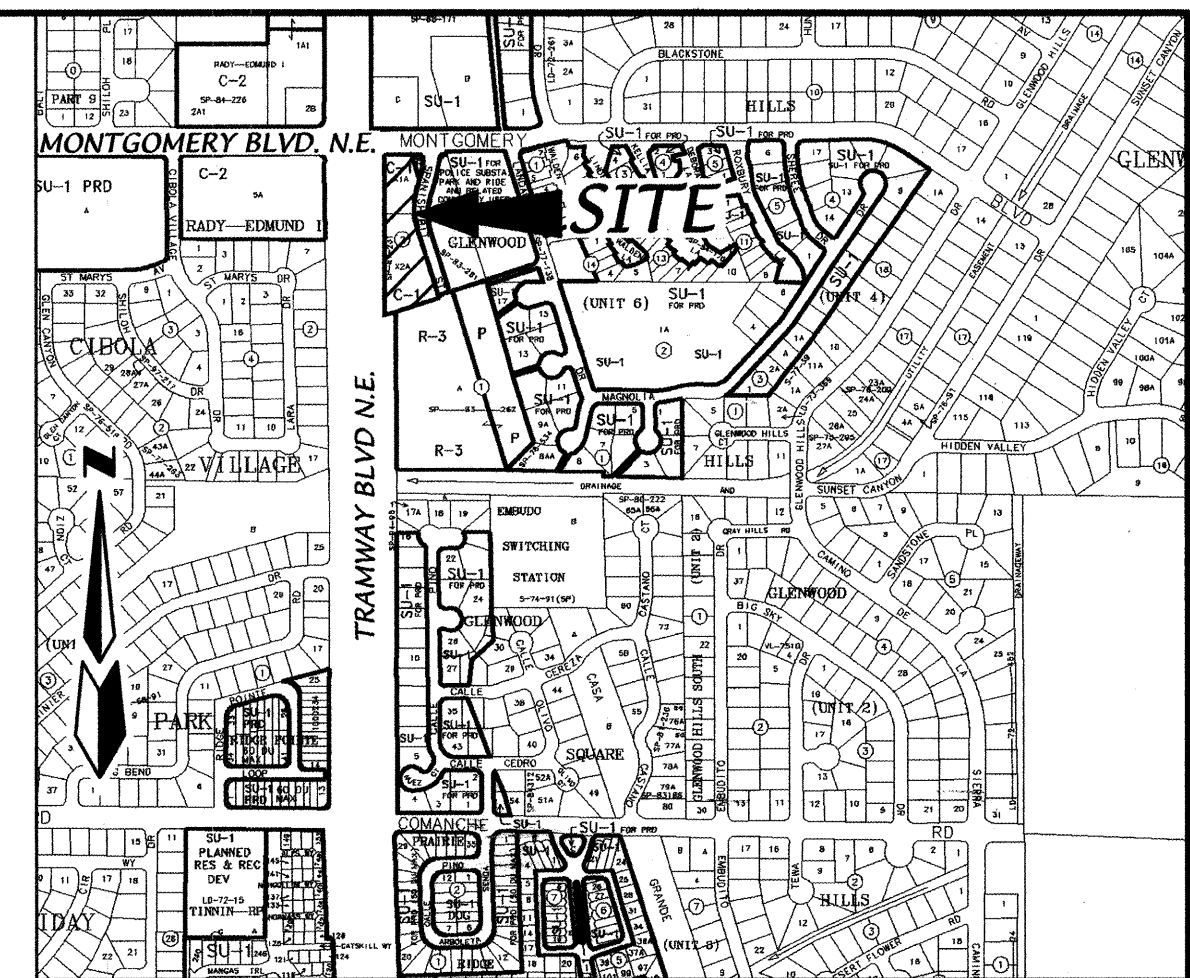
SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, Hereby Certify that the as-built information shown hereon is the result of an actual field survey performed by me or under my direct supervision and that the same is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
3-27-06



DRB NO. 1002457



VICINITY MAP ZONE ATLAS G-23-Z
SCALE: 1=750'

GENERAL NOTES

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
- FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

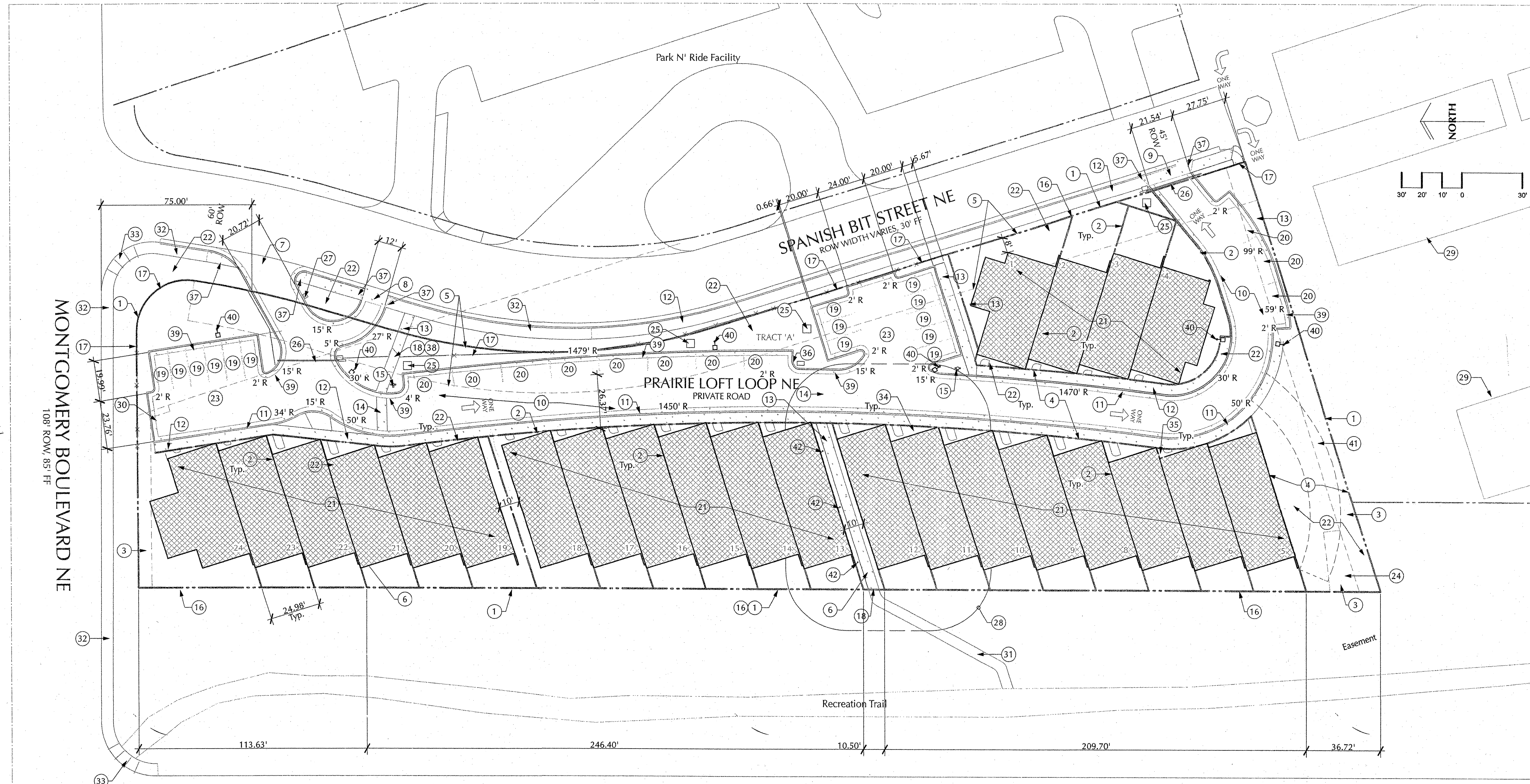
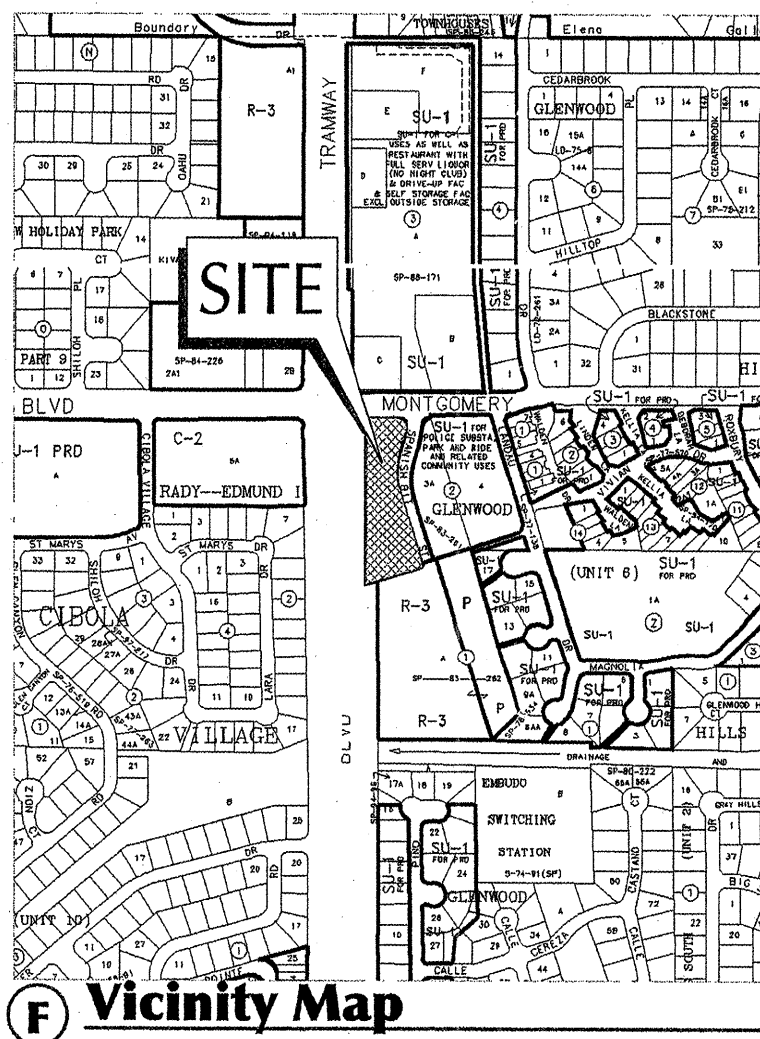
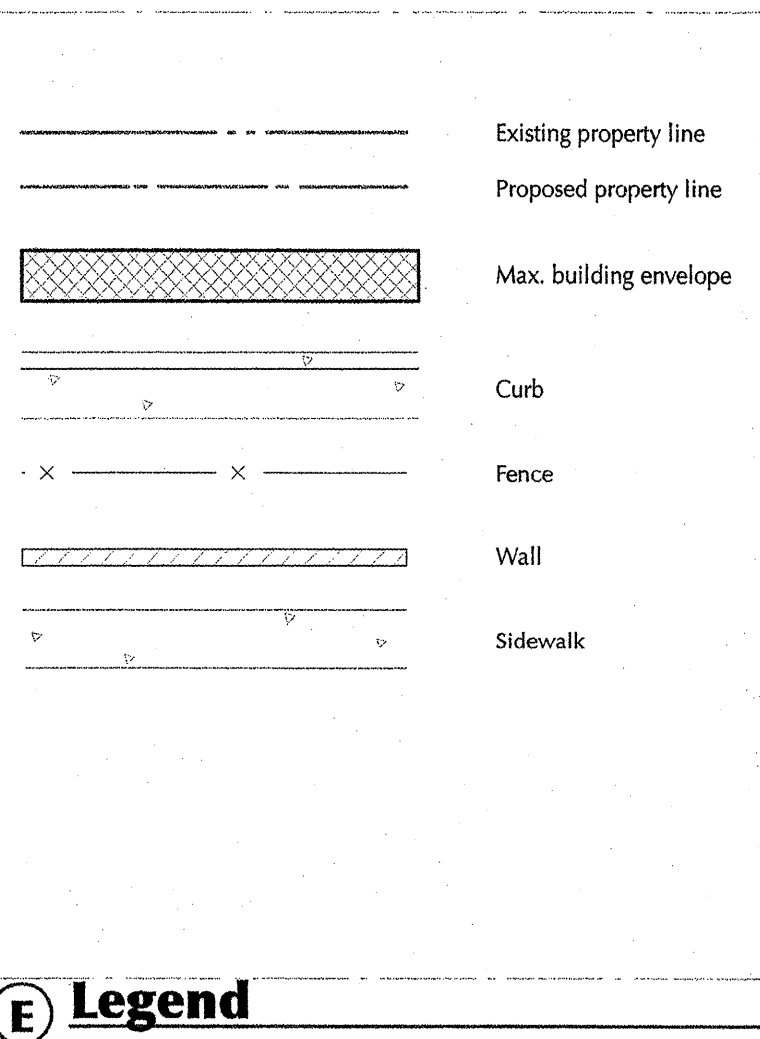
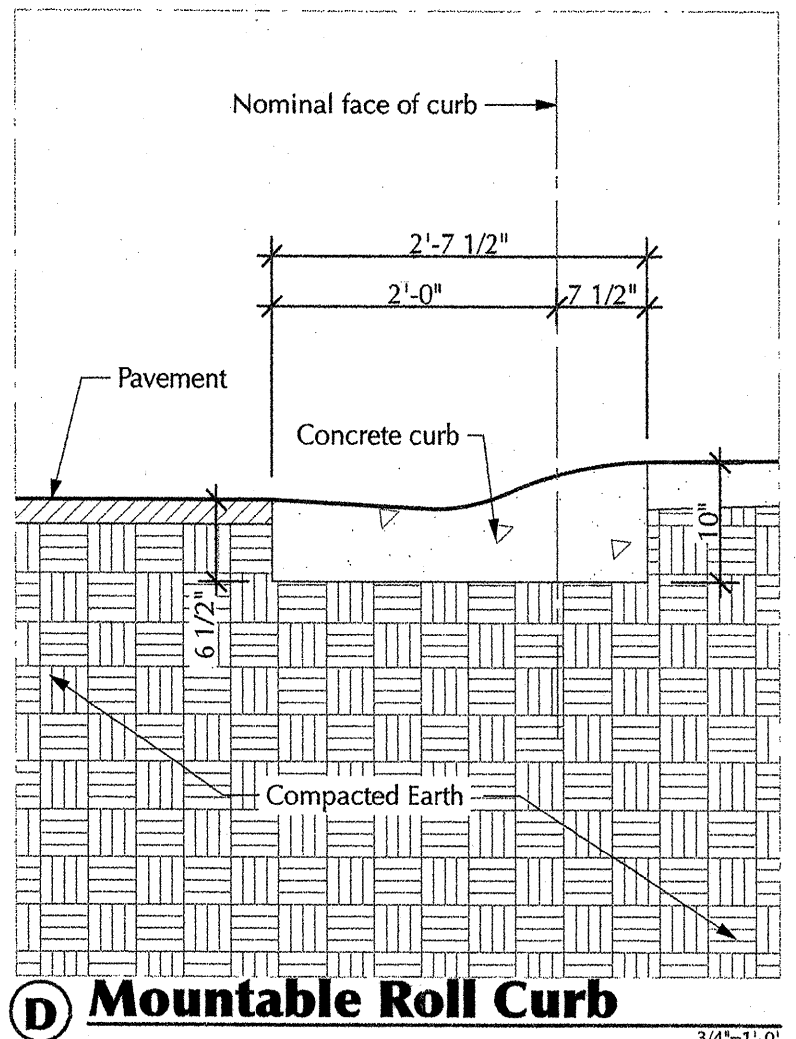
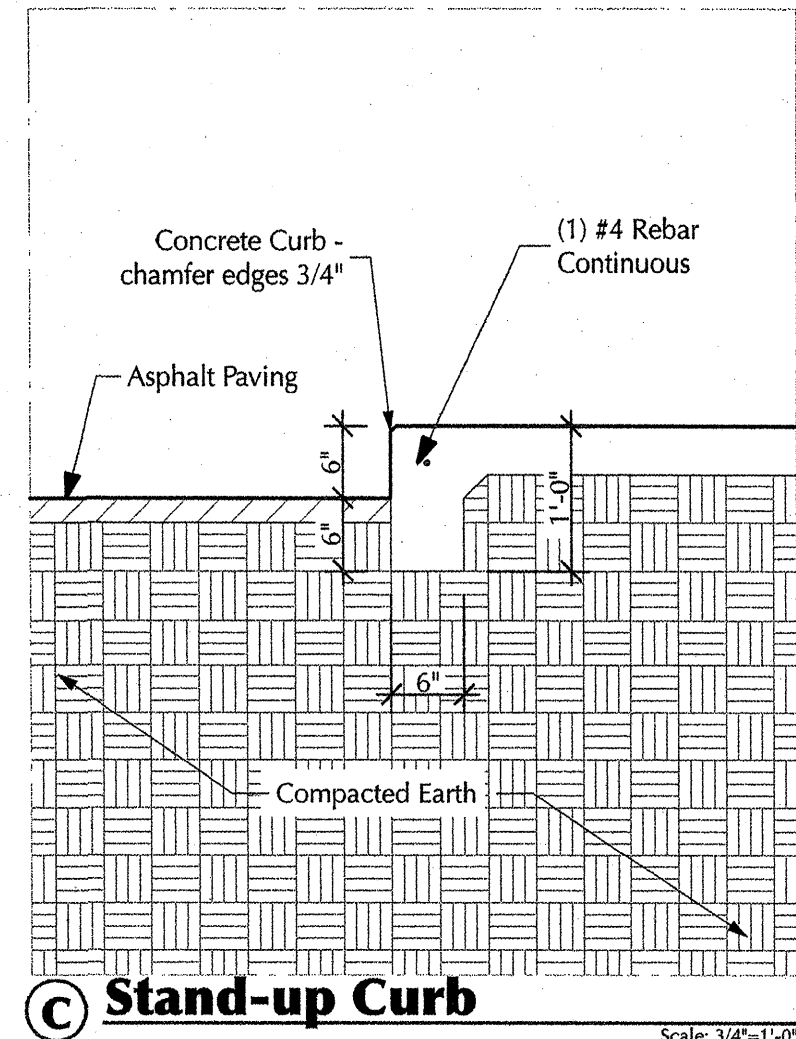
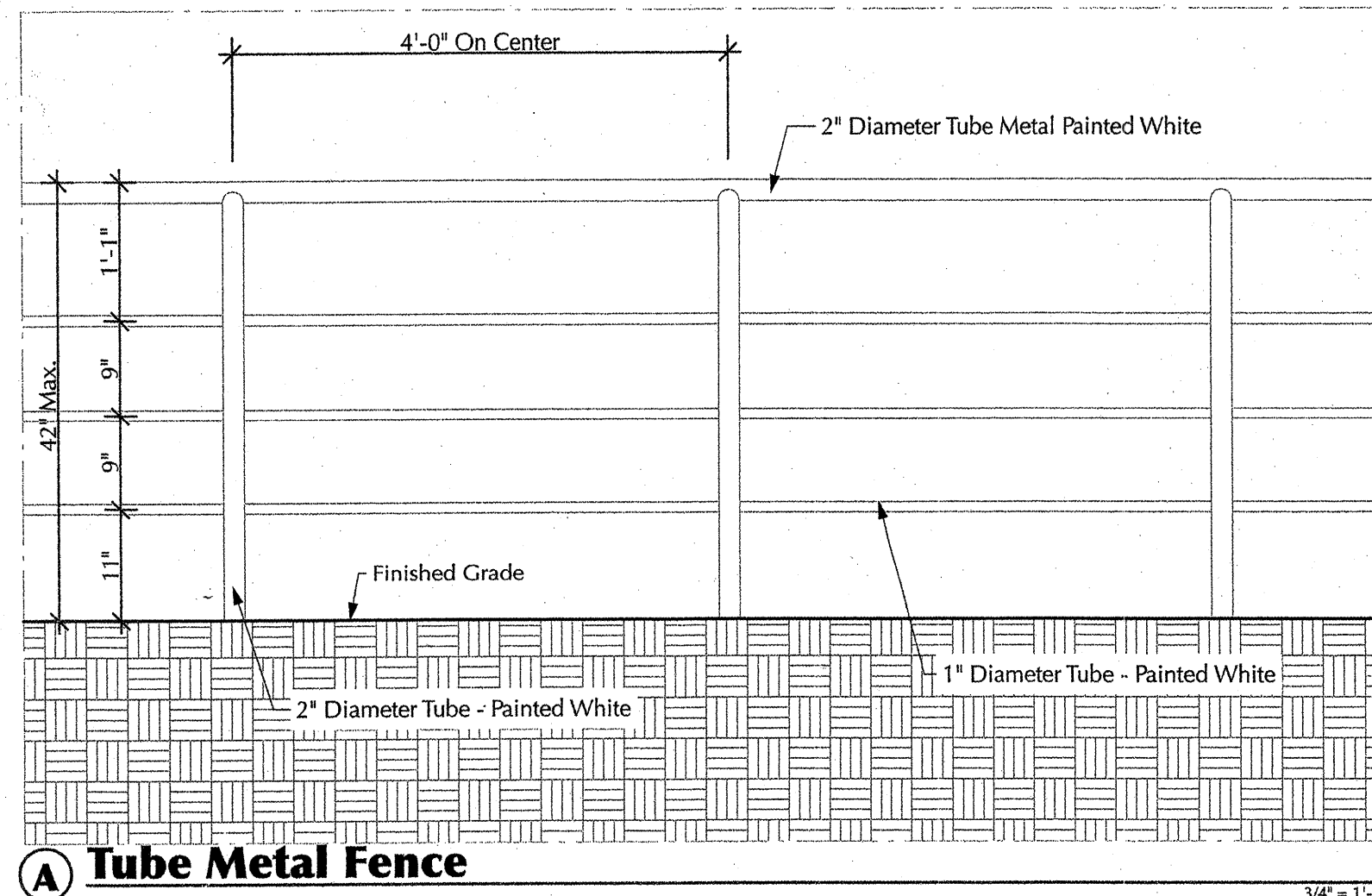
CAUTION:

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

dmg D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P. O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****APPROVED FOR CONSTRUCTION		
		DRC CHAIRMAN	<i>KS</i>	9-23-05	<i>Mark Goodwin</i> 10-20-05 CITY ENGINEER DATE		
		TRANSPORTATION	<i>KS</i>	9-23-05			
		WATER/WASTEWATER	<i>William G. Balch</i>	9-22-05			
		HYDROLOGY	<i>KS</i>	9-22-05			
		CIP					
		CONSTR. MGMT.					
		CONSTR. COORD.	<i>KS</i>	9-22-05			
		CITY PROJECT NO.	762981		SHEET OF 1 6		

SCANNED BY *PLW*



APD PLANS CHECKING OFFICE
024-3611
APPROVED/DISAPPROVED
R.C. Jones 5-10-05
SIGNATURE & DATE

NOTE:
An access and cross parking easement shall be overlaid on all circulation and parking in tract 'A' for the use of lots 1-24.

CURVE TABLE					
NO	DELTA	RADIUS	ARC LGTH	TANGENT	CHORD
C1	100°00'00"	25.00	43.63	29.79	38.30
C2	06°44'21"	400.00	47.05	23.55	47.02
C3	33°54'01"	280.00	165.67	85.34	163.26

LINE TABLE		
NO	DIRECTION	LENGTH
L1	S 09°44'38" W	11.19'
L2	S 16°28'59" W	40.82'

- Existing property line
- Proposed property line
- Existing public utility easement
- Proposed private and public utility easement
- Existing public easement deleted by replat
- Proposed private easement
- New 20' wide driveway (entrance only) per COA standards
- New 12' wide escape driveway (exit only) per COA standards
- New 24' wide driveway (exit only) per COA standards
- New 20' one-way paved drive aisle (private street)
- Mountable roll curb at townhome driveways - see detail 'D' on this sheet
- 5' wide concrete public walk
- 5' wide concrete sidewalk
- 5' wide concrete crosswalk flush with paving
- Proposed fire hydrant
- 8' high (max) CMU wall - see sheet SDP-5 for typical location
- 42" high tube metal fence painted white - see detail 'A' on this sheet
- Pedestrian tube metal gate with keypad entry
- Typical parking space 9'-0"x20'
- Parallel parking space 9'-0"x24'-0"
- Townhome (maximum building envelope)
- Landscaping area - see sheet SDP-4
- Parking lot with a 24' wide drive
- Existing transformer
- Proposed transformer
- Painted metal security gate - lift arm type
- Call box
- See sheet SDP-5 for enlarged typical unit site plan
- Existing apartment building
- Existing transformer and pad to be removed
- 5' wide pedestrian connection at developers expense
- Existing public sidewalk
- Existing handicapped ramp
- Unit driveway
- Unit entry walk
- Cluster mailbox
- Proposed handicapped ramp
- Call box at pedestrian gate
- Mountable roll curb, stand-up curb or curb and gutter
- Pole mounted light - see detail 'A' on sheet SDP-1
- Packed gravel path for fire truck access
- Bollard lighting - see detail 'G' on sheet SDP-1

Keyed Notes

PROJECT NUMBER:
APPLICATION NUMBER:
Is an Infrastructure List Required? Yes (Y) No (N) If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-way or for construction of public improvements.

DRB Development Plan Approval

Roger A. Green 5/11/05
Transportation Department
Date

Christine Sandorral 5/11/05
Parks and Recreation Department
Date

Bradley L. Dugan 5/11/05
City Engineer
Date

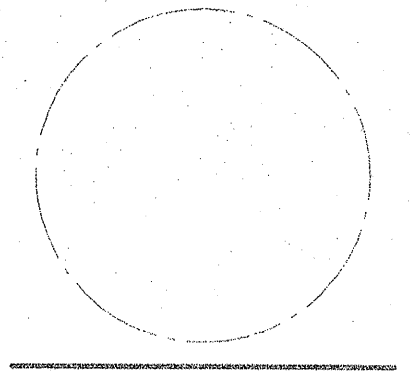
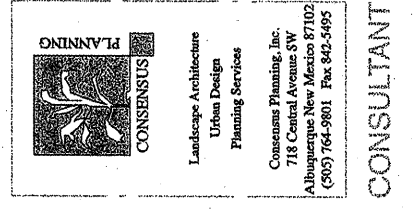
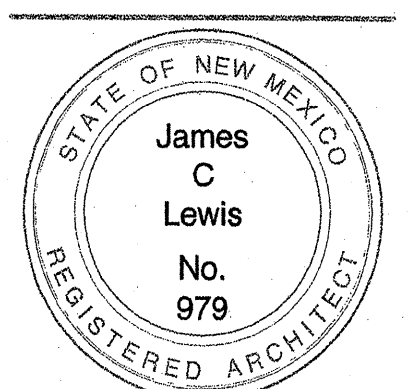
N/A 5/11/05
Environmental Health Department (conditional)
Date

Michael Holton 5-10-05
Solid Waste Management
Date

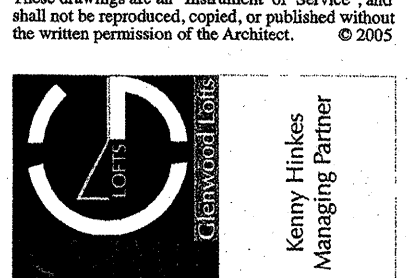
Sharon M. Patten 5/11/05
DRB Chairperson, Planning Department
Date

Environmental Health, if necessary

Signature Block



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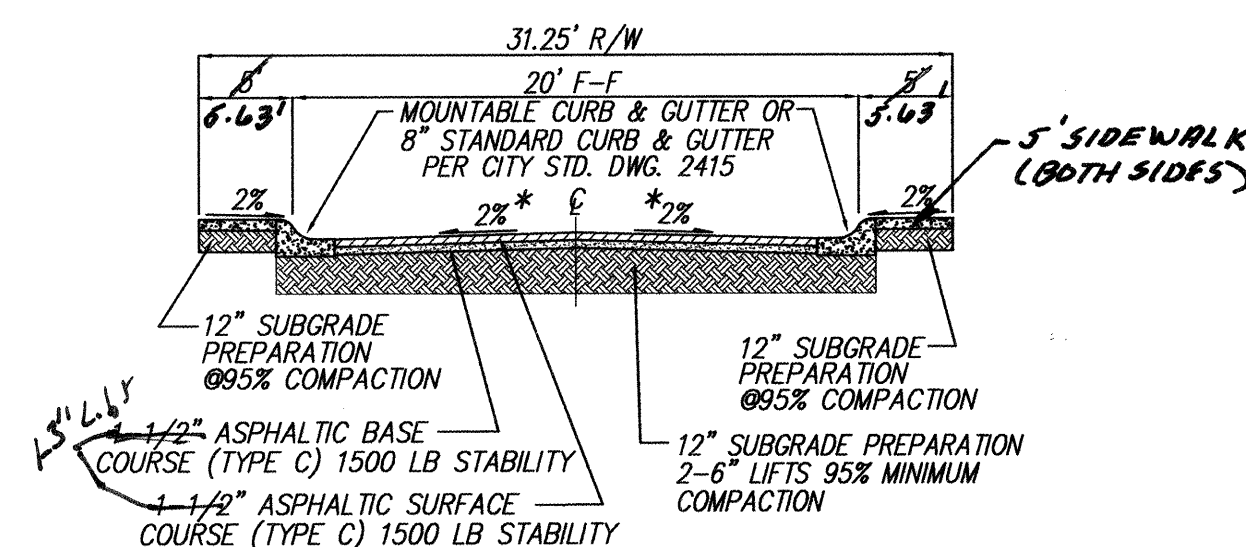


SITE DEVELOPMENT PLAN FOR SUBDIVISION
Glenwood Lofts
Southeast Corner of
Montgomery Blvd. & Tramway Blvd.
Albuquerque New Mexico 87111

ISSUE DATE:
04 February 05
REVISIONS:
14 March 05
03 May 05

Site Plan

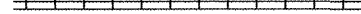
PROJECT
0448
SHEET
SDP-2
OF 6



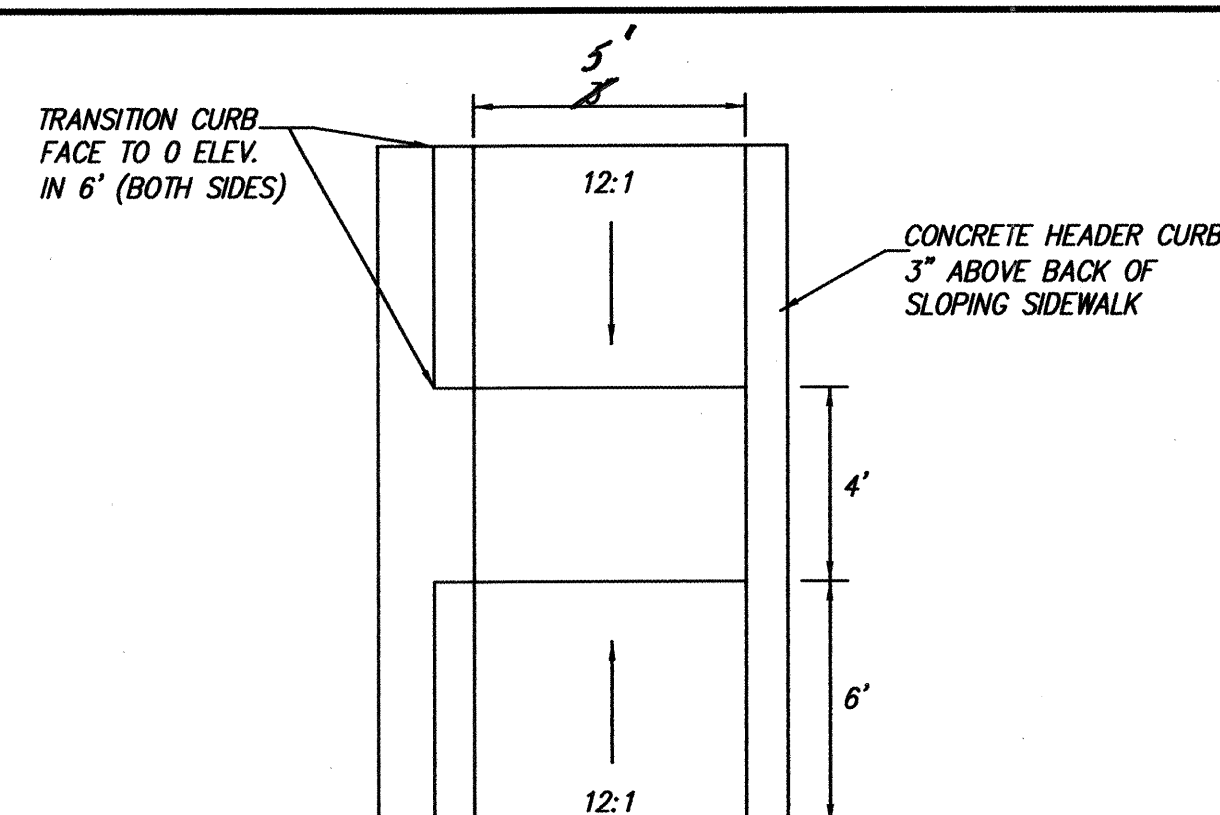
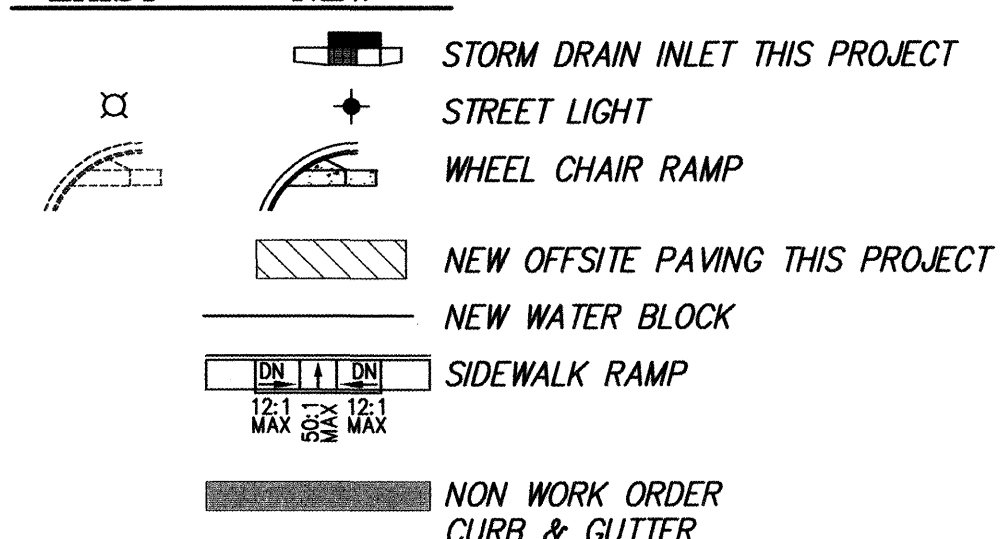
SECTION A-A 20' PRAIRIE LOFT WAY STREET SECTION

NOTE: RESIDENTIAL STREET SECTION PER COA STD DWG 2405.
SPECIAL NOTE: USE (2) 2" A.C. (TYPE B) 1500# STAB

LEGEND

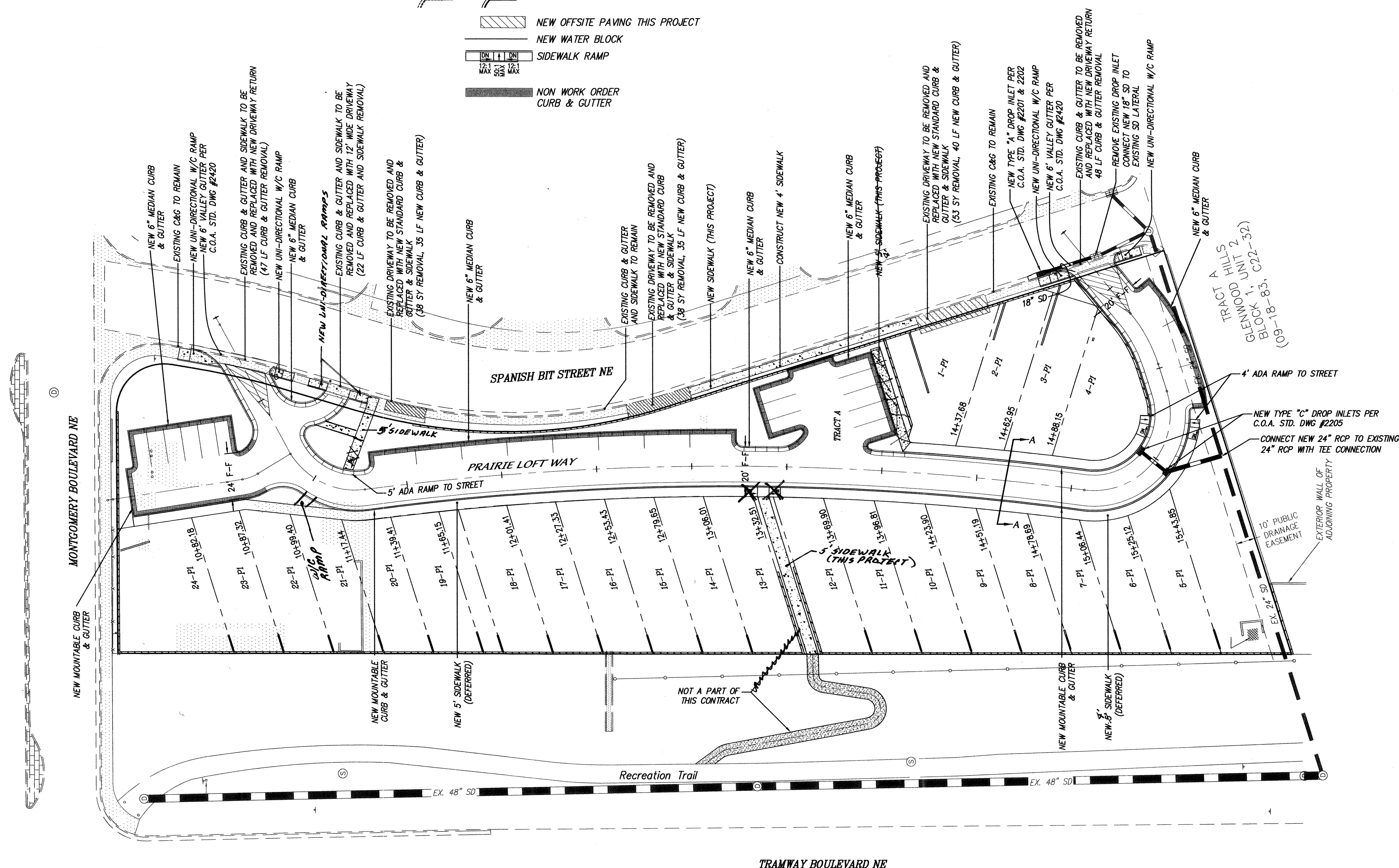
	NEW MOUNTABLE CURB AND GUTTER
	NEW 6" MEDIAN CURB AND GUTTER
	EXISTING WALL
	EXISTING CURB AND GUTTER
	SIDEWALK THIS PROJECT AS PER COA STD DWG 2430
	DEFERRED SIDEWALK
	LOT LINE
	RIGHT-OF-WAY LINE
	CENTERLINE

EXIST	NEW
1	1
2	2
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5	5
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100	100



NOTES

1. ALL STATIONING IS CENTERLINE STATIONING.
2. SAW CUT EXISTING ASPHALT, AS NECESSARY, IN SPANISH BIT STREET FOR CONSTRUCTION OF NEW VALLEY GUTTER (VALLEY GUTTER CONSTRUCTION PER COA STD DWG 2420). IF PAVEMENT IS CUT IN A NEAT STRAIGHT LINE, AND EXACTLY IN THE CORRECT LOCATION, THE VALLEY GUTTER MAY BE POURED DIRECTLY AGAINST THE PAVEMENT. IF NOT, PROVIDE A MINIMUM ONE FOOT WIDE PATCH TO BE REMOVED AND REPLACED AS PER COA STD SPEC 2465.
3. CONSTRUCT UNI-DIRECTIONAL WHEELCHAIRS RAMP PER COA STD DWG 2426.
4. CONSTRUCT STREETS PER COA STD DWG 2405A.
5. SUBGRADE R-VALUE MUST BE ≥ 50 . REPLACE ANY UNSUITABLE MATERIAL WITH SUITABLE MATERIAL (MIN. DEPTH = 24").
6. ALL SIDEWALKS THIS PROJECT, UNLESS OTHERWISE NOTED, PER COA STD DWG 2430.



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Mark Goodwin, NMPE #8948, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer, and that the original design intent of the approved plans has been met, except as noted by me on the as built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Russ P. Hugg, NMPS number 9750.

Mark Goodwin 3/29/06



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

 CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: ***GLENWOOD LOFTS SUBDIVISION
MASTER PAVING PLAN***

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
 DESIGN REVIEW COMMITTEE	 CITY ENGINEER			

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
762981	G-23-Z	4	6

SCANNED BY

PT. ELEV.
1 33.40
2 33.18
3 32.96

PT. ELEV.
1 31.72
2 31.74
3 31.76

PT. ELEV.
1 19.18
2 19.38
3 19.58

ALL QUARTER POINTS ARE
CLOCKWISE ROTATION AT
CURB RETURN.

NOTES

- ALL STATIONING IS CENTERLINE STATIONING.
- SAW CUT EXISTING ASPHALT, AS NECESSARY, IN SPANISH BIT STREET FOR CONSTRUCTION OF NEW VALLEY GUTTER (VALLEY GUTTER CONSTRUCTION PER COA STD. DWG. 2420). IF PAVEMENT IS CUT IN A NEAT STRAIGHT LINE, AND EXACTLY IN THE CORRECT LOCATION, THE VALLEY GUTTER MAY BE POURED DIRECTLY AGAINST THE PAVEMENT. IF NOT, PROVIDE A MIN. ONE FOOT WIDE PATCH TO BE REMOVED AND REPLACED AS PER COA STD. SPEC. 2465.
- CONSTRUCT STANDARD WHEELCHAIR RAMPS PER COA STD DWG 2441, CASE 1. CONSTRUCT UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD DWG 2426 & DETAIL SHEET 4.
- CONSTRUCT STREETS PER COA STD DWG 2405A.
- SUBGRADE R-VALUE MUST BE >50. REPLACE ANY UNSUITABLE MATERIAL WITH SUITABLE MATERIAL (MIN. DEPTH = 24")

CURVE DATA - DESCRIBES FACE OF CURB RETURNS

1 L=22.49 R=25.00 Δ=51°32'29" Tan=12.07	2 L=19.26 R=12.00 Δ=91°56'45" Tan=12.41	3 L=3.77 R=2.00 Δ=108°01'58" Tan=2.75
4 L=3.14 R=2.00 Δ=89°59'53" Tan=2.00	5 L=11.92 R=32.00 Δ=21°20'54" Tan=6.03	6 L=19.17 R=17.00 Δ=64°36'08" Tan=10.75
7 L=36.70 R=50.00 Δ=42°03'34" Tan=19.22	8 L=376.64 R=1450.00 Δ=14°52'58" Tan=189.39	9 L=86.44 R=50.00 Δ=99°03'14" Tan=58.60
10 L=3.06 R=2.00 Δ=87°46'31" Tan=1.92	11 L=37.93 R=99.00 Δ=21°57'16" Tan=19.20	12 L=14.11 R=59.00 Δ=13°42'21" Tan=7.09
13 L=3.14 R=2.00 Δ=90°00'00" Tan=2.00	14 L=9.77 R=5.00 Δ=111°57'53" Tan=7.14	15 L=11.87 R=10.00 Δ=68°02'07" Tan=6.75
16 L=26.82 R=70.00 Δ=21°57'16" Tan=13.58	17 L=60.20 R=30.00 Δ=114°57'59" Tan=47.06	18 L=110.08 R=1470.00 Δ=04°17'26" Tan=55.07
19 L=4.71 R=15.00 Δ=17°58'52" Tan=2.37	20 L=4.94 R=2.00 Δ=141°23'03" Tan=5.71	21 L=3.14 R=2.00 Δ=90°00'00" Tan=2.00
22 L=3.14 R=2.00 Δ=90°00'00" Tan=2.00	23 L=4.88 R=2.00 Δ=139°46'26" Tan=5.46	24 L=15.41 R=15.00 Δ=58°51'46" Tan=8.46
25 L=18.91 R=1470.00 Δ=0°44'13" Tan=9.45	26 L=6.27 R=4.00 Δ=89°47'59" Tan=3.99	27 L=193.04 R=1479.00 Δ=7°28'42" Tan=96.66
28 L=6.17 R=4.00 Δ=88°23'05" Tan=3.89	29 L=34.84 R=30.00 Δ=66°32'38" Tan=19.69	30 L=9.44 R=5.00 Δ=108°12'36" Tan=6.91
31 L=25.48 R=27.00 Δ=54°04'43" Tan=13.78	32 L=31.15 R=15.00 Δ=118°59'58" Tan=25.46	33 L=7.03 R=3.00 Δ=134°14'29" Tan=7.11

CURVE DATA - DESCRIBES CENTERLINE

34 Δ=65°34'06" R=40.00 T=25.76 L=45.78	35 Δ=14°52'58" R=1460.00 T=190.69 L=379.24	36 Δ=144°57'59" R=40.00 T=62.75 L=80.26
37 Δ=21°57'16" R=80.00 T=15.52 L=30.65		

SURVEYORS CERTIFICATION

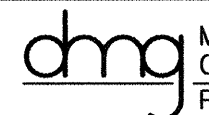
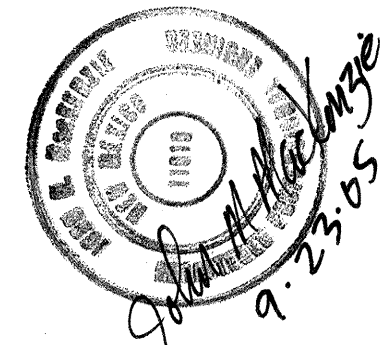
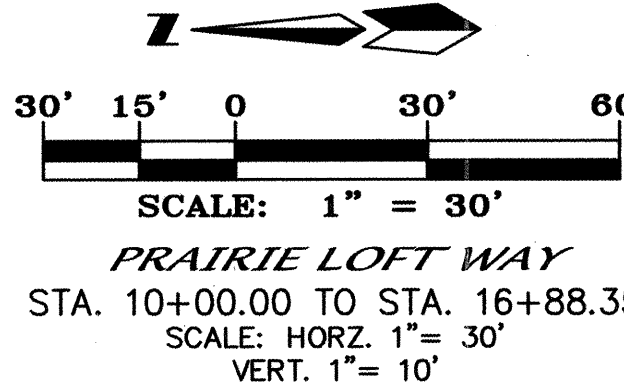
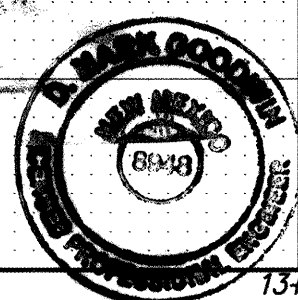
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Russ P. Hugg
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3/29/04

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Mark Goodwin NMPE 8948
3/29/04

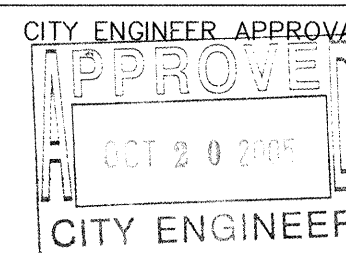
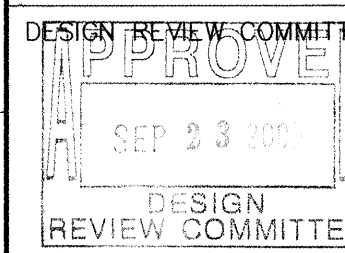


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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: GLENWOOD LOFTS SUBDIVISION
PRAIRIE LOFT WAY
PAVING IMPROVEMENTS



LAST DESIGN UPDATE

MO./DAY/YR.

MO./DAY/YR.

CITY PROJECT NO.

762981

ZONE MAP NO.

SHEET

OF

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