

CONSTRUCTION PLANS
FOR
LOPEZ WEST
Single Family Residential
6 Lots

10" PUBLIC WATER LINE EXTENSION

INDEX

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TITLE

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COVER SHEET, GENERAL NOTES & LEGEND

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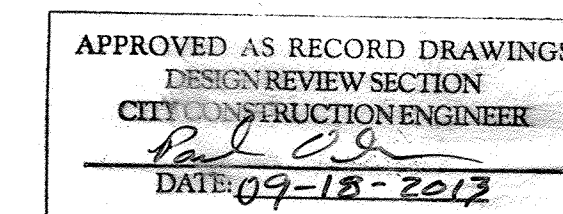
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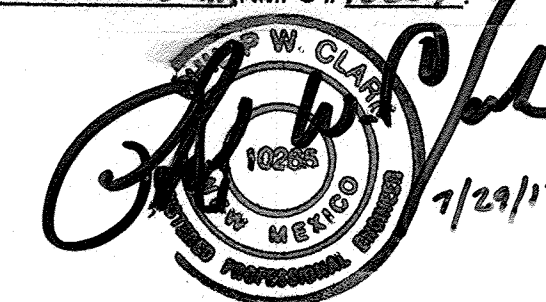
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PUBLIC WATER LINE PLAN & PROFILE



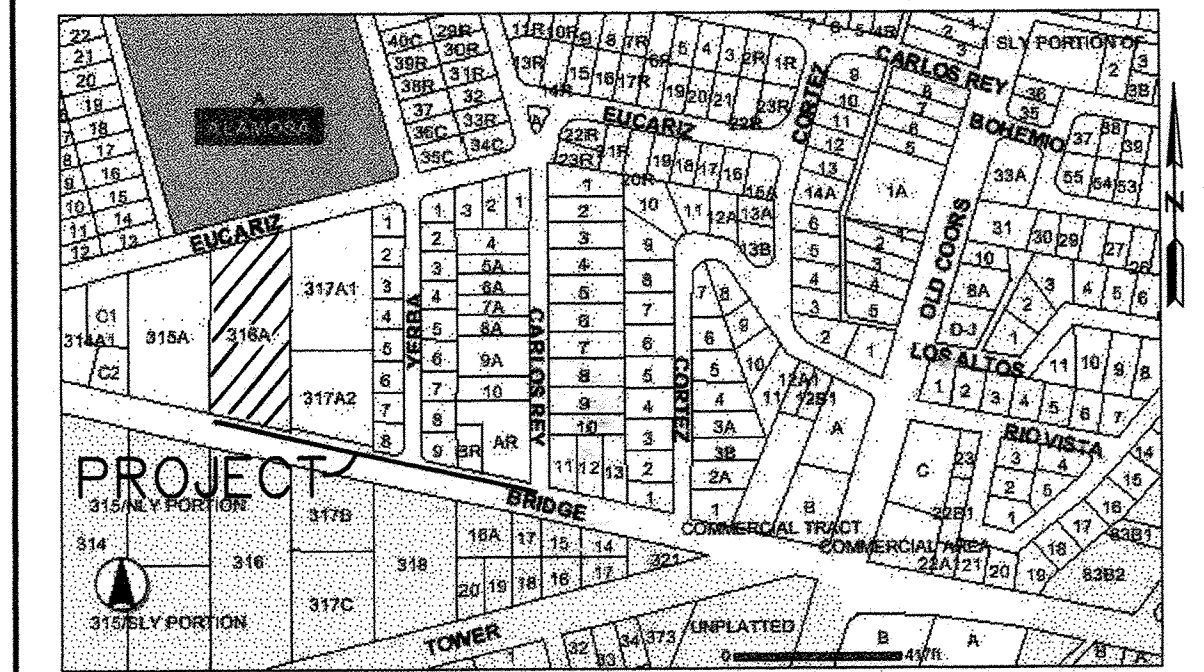
AS-CONSTRUCTED

I, PHILIP W. CLARK, OF CLARK CONSULTING ENGINEERS, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN OBSERVED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER, AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY TELEMETRICS MNMPS #10224.



Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tel: (505) 281-2444 Fax: (505) 281-2444

NEW MEXICO — USA



VICINITY MAP L-11
GENERAL NOTES

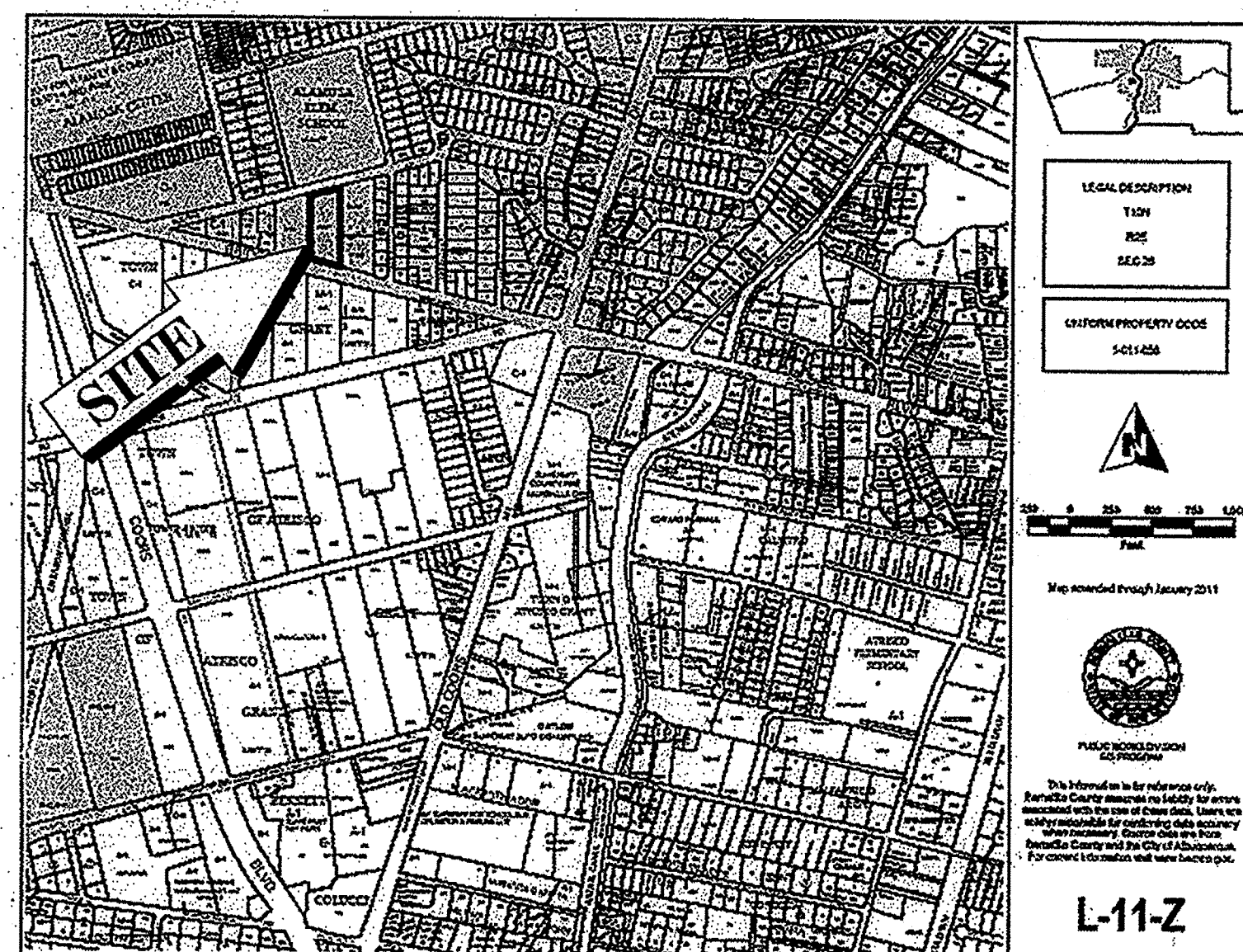
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, FOR PUBLIC WORKS CONSTRUCTION (1986 EDITION AND UPDATE #8, AND CITY STANDARD DRAWINGS)
- ALL WORK PERFORMED ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL NOTIFY AND COORDINATE ALL CONSTRUCTION TWO WEEKS PRIOR TO START WITH THE FOLLOWING UTILITIES: CENTURY LINK, PUBLIC SERVICE AND GAS CO. OF NEW MEXICO, (ELECTRIC & GAS SERVICES), COMCAST CABLE TV.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE-CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE FIELD OR RECORD ENGINEER.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE REGARDING TRAFFIC CONTROL. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM SAME DIVISION. CONTRACTOR SHALL NOTIFY THE BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION, AS PER SECT. 19 OF THE SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR TO EXISTING LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER SPHERES SHALL BE INSTALLED PER SECTION 170 OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS SHOULD BE MADE ONLINE AT <http://abcwua.org/content/view/full/463/729/>.

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING
☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE

DRB 1008926

REV	SHEET	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
		DRC Chairman		11/26/12		APPROVED FOR CONSTRUCTION	
		Transportation		11-26-12			
		Water/Wastewater		11-26-12			
		Hydrology		11-26-12			
		Parks					
BERN. CO.							
AMAFCA							
City Project No.		7645.81		Sheet		1 OF 4	

CP# 7645.81
LOPEZ WEST



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA, ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ABQ CONTROL MONUMENT NM 45 4A, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE DEED, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 3, 1934, IN BOOK 136 FOLIO 80.
6. GROSS AREA: 2.0938 ACRES
7. NUMBER OF EXISTING LOTS: 1
8. NUMBER OF TRACTS CREATED: 6
9. NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE TRACTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

DOCH 2013110541

10/03/2013 02:32 PM Page: 1 of 2
PLAT R: 328.00 S: 2013C P: 0114 N. Toulous Oliver, Bernalillo Cour.
BERNALILLO COUNTY TREASURER'S OFFICE: 10/3/13

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC#: 1011-056-113415-201-05

PROPERTY OWNER OF RECORD:

Lopez Francisco

BERNALILLO COUNTY TREASURER'S OFFICE:

LEGAL DESCRIPTION

TRACT 316-A OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED IN DEED THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON APRIL 3, 1934, IN PLAT BOOK 136, FOLIO 80 AND MORE PARTICULARLY AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF TRACT 316-A; SAID SOUTHEAST CORNER BEING A FOUND #5 REBAR, ALSO LYING ON THE NORTHERLY RIGHT-OF-WAY OF BRIDGE STREET SW; WHENCE CITY OF ALBUQUERQUE CONTROL STATION "NM 45 4A" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD 1983) NORTHING = 1480289.338 AND EASTING = 1505414.477 BEARS SOUTH 74°02'23" EAST, A DISTANCE OF 1355.62 FEET RUNNING; THENCE NORTH 78°48'46" WEST WITH SAID RIGHT OF WAY A DISTANCE OF 206.59 FEET TO A FOUND #5 REBAR FOR A CORNER; THENCE NORTH 00°12'17" EAST A DISTANCE OF 404.09 FEET TO A FOUND #4 REBAR, ALSO LYING IN THE SOUTHERLY RIGHT-OF-WAY OF EUCARIZ AVENUE SW FOR A CORNER; THENCE NORTH 75°50'37" EAST, WITH SAID RIGHT-OF-WAY, A DISTANCE OF 209.39 FEET TO A FOUND #5 REBAR FOR A CORNER; THENCE SOUTH 00°12'34" WEST A DISTANCE OF 495.38 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.0938 ACRES MORE OR LESS, PER ATTACHED PLAT MADE A PART OF HEREIN.

FREE CONSENT

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATTING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DO HEREBY GRANT EASEMENT(S) AS SHOWN

OWNER(S) SIGNATURE: Francisco Lopez DATE: 8/28/12

OWNER(S) PRINT NAME: Francisco Lopez

ADDRESS: _____ TRACT: _____

ACKNOWLEDGMENT STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

OWNER(S) SIGNATURE: N/A DATE: _____

OWNER(S) PRINT NAME: N/A

ADDRESS: N/A TRACT: _____

ACKNOWLEDGMENT STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28th DAY OF August, 2012.

BY: Francisco Lopez

MY COMMISSION EXPIRES: 11/10/14 Kimberly G. Maple NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

A. PUBLIC SERVICE COMPANY OF NEW MEXICO, (PNM) A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

4. COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT-OF-WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON.

CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

PLAT OF
LOTS 1-6
LOPEZ WEST
PROJECTED SECTION 26, T10N, R2E N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 2012
SHEET 1 OF 2

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO DIVIDE ONE (1) EXISTING TRACT INTO SIX (6) NEW LOTS AND GRANT EASEMENTS AS SHOWN HEREON.

CITY APPROVALS: PROJECT NO.: 1008926 APPLICATION NO. 13-70684

W.B. Hall D.P. Acosta 8/28/12

CITY SURVEYOR 9-11-13 DATE

7/22/13 9-25-13

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE

Carl S. Dumont 9-25-13

PARKS & RECREATION DEPARTMENT DATE

Allan Penter 09/25/13

A.B.C.W.U.A. DATE

Antonio Chen 9-25-13

A.M.A.F.C.A. DATE

Antonio Chen 9-25-13

CITY ENGINEER DATE

John Choi 10-2-13

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

APPROVALS

Fernando Virdi 10-1-13

PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) DATE

QWEST CORPORATION D/B/A CENTURY LINK QC 10/2/13

COMCAST CABLE DATE

NEW MEXICO GAS COMPANY (NMGC) 10/1/2013

SURVEYOR'S CERTIFICATION

I, ANTHONY L. HARRIS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Anthony L. Harris 8-28-12

ANTHONY L. HARRIS DATE

NEW MEXICO PROFESSIONAL SURVEYOR, 11463

THE SURVEY OFFICE, LLC

333 LOMAS BLVD., N.E. PHONE: (505) 998-0303

ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305

87102

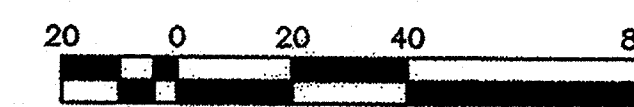
T10N, R2E S26

PROJECTED SECTION 26, T10N, R2E N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY 2012
SHEET 2 OF 2

TRACT 317-A-1
TOWN OF ATRISCO GRANT UNIT 3
FILED: 09/01/04
BK. 2004C, PG. 270
DOC. NO: 2004124096
OWNER: MARTHA & ISMAEL ARAGON
UPC #101105613342720418

TRACT 317-A-2
TOWN OF ATRISCO GRANT UNIT 3
FILED: 09/01/04
BK. 2004C, PG. 270
DOC. NO. 2004124096
OWNER: MIGUEL & RAFAELA GOMEZ
UPC #101105613340020406

GRAPHIC SCALE



SCALE: 1" = 40'

DRAWN BY: JMT
ZONE ATLAS: L-11

MONUMENT LEGEND

- ◆ - FOUND CONTROL STATION AS NOTED
- ▣ - FOUND MONUMENT AS NOTED
- ◎ - SET 1/2" REBAR w/ CAP STAMPED "PS 11463" UNLESS OTHERWISE NOTED

THE SURVEY OFFICE, LLC

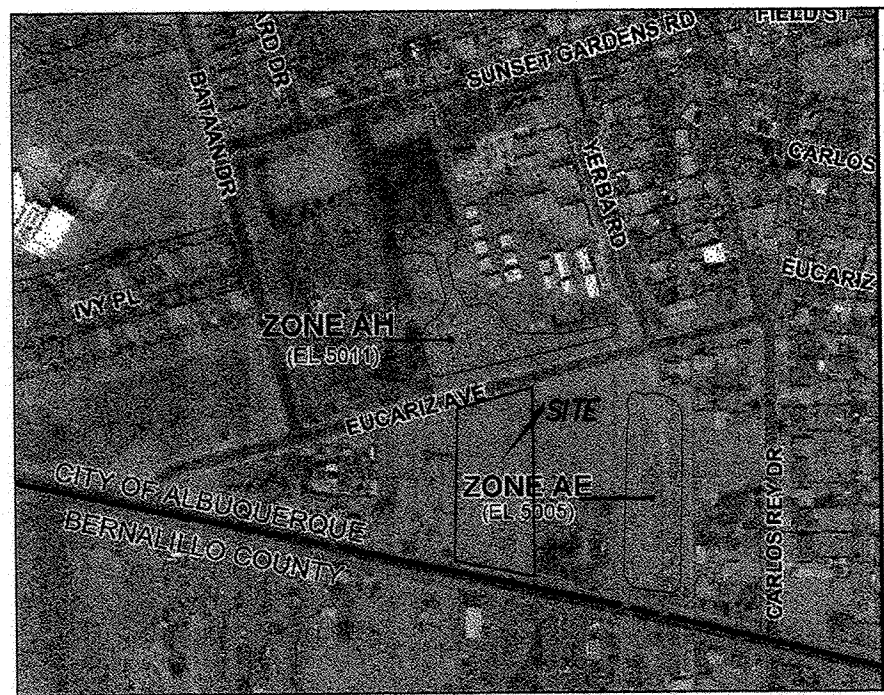
333 LOMAS BLVD., N.E. PHONE: (505) 998-0303
ALBUQUERQUE, NEW MEXICO FAX: (505) 998-0305
87102

ATRISCO GRANT LOT 316 A SUB_2

T10N, R2E S26

DOCM 2013110541

10/03/2013 02:32 PM Page: 2 of 2
 PLAT R: \$25.00 B: 2013C P: 0114 M. Toulous Olivere, Bernalillo Cou.



FIRM MAP PANEL # 329 G

GRADING & DRAINAGE PLAN

THE 6-LOT RESIDENTIAL SUBDIVISION IS LOCATED IN THE SOUTHWEST AREA OF ALBUQUERQUE APPROXIMATELY 3 MILES SOUTHWEST OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, NO. 88-46, AND THE CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS, INCLUDING VACANT LOT
- PROPOSED IMPROVEMENTS: 6-2600 SF TOTAL SUB-GRADE PAD AREA(S), NEW CONCRETE DRIVEPADS AND ON-SITE PARKING, NEW GRADE ELEVATIONS, WALLS, FLATWORK AND LANDSCAPING.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON THE EAST AND WEST BY RESIDENTIAL USE. BRIDGE AND EUCARIZ DR. ON THE SOUTH AND NORTH ARE PAVED. EUCARIZ AVE. ON THE NORTH, HAS EXISTING CURB, GUTTER AND SIDEWALK, WHILE BOTH EUCARIZ AND BRIDGE ARE MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY DOES NOT DRAIN OR DISCHARGE RUNOFF.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. SINCE BOTH STREETS ARE IMPROVED ONLY MINIMAL GRADING (DRIVEPAD RECONSTRUCTION) IS PROPOSED WITHIN THE CITY R.O.W. THE "FIRST BLUSH" 1/2-INCH RAINSTORM IS RETAINED ON-SITE SINCE RUNOFF IS NOT DISCHARGED TO THE ADJACENT STREETS. ADDITIONALLY, RUNOFF IS ROUTED TO LANDSCAPING AND WATER HARVESTING IS RECOMMENDED. THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

CALCULATIONS

DESIGN CRITERIA

HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{WEIGHTED} \times AREA$
P100 = 2.20 Inches, Zone 1 Time of Concentration, TC = 10 Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

EXISTING CONDITIONS

TOTAL AREA = 2.09 ACRES, WHERE EXCESS PRECIP. 'A' = 0.49 In. [0.08]
PEAK DISCHARGE, Q100 = 2.7 CFS [0.51], WHERE UNIT PEAK DISCHARGE 'A' = 1.29 CFS/AC. [0.24]
THEREFORE: $VOLUME_{100} = 3717 \text{ CF}$ [607]

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED/HARVEST POND	0.84 Ac. (40%)	A	1.29[0.24]	0.49[0.08]
LANDSCAPING	0.42 Ac. (20%)	B	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.48 Ac. (23%)	C	2.87[1.49]	0.99[0.44]
ROOF - PAVEMENT	0.36 Ac. (17%)	D	4.40[2.90]	1.97[1.24]
	2.09 Ac.			

THEREFORE: $E_{WEIGHTED} = 0.89 \text{ In. [0.38]}$ &
 $Q_{100} = 4.89 \text{ CFS}$ VOLUME 100 = 6752 CF
 $Q_{10} = 2.28 \text{ CFS}$ VOLUME 10 = 2883 CF

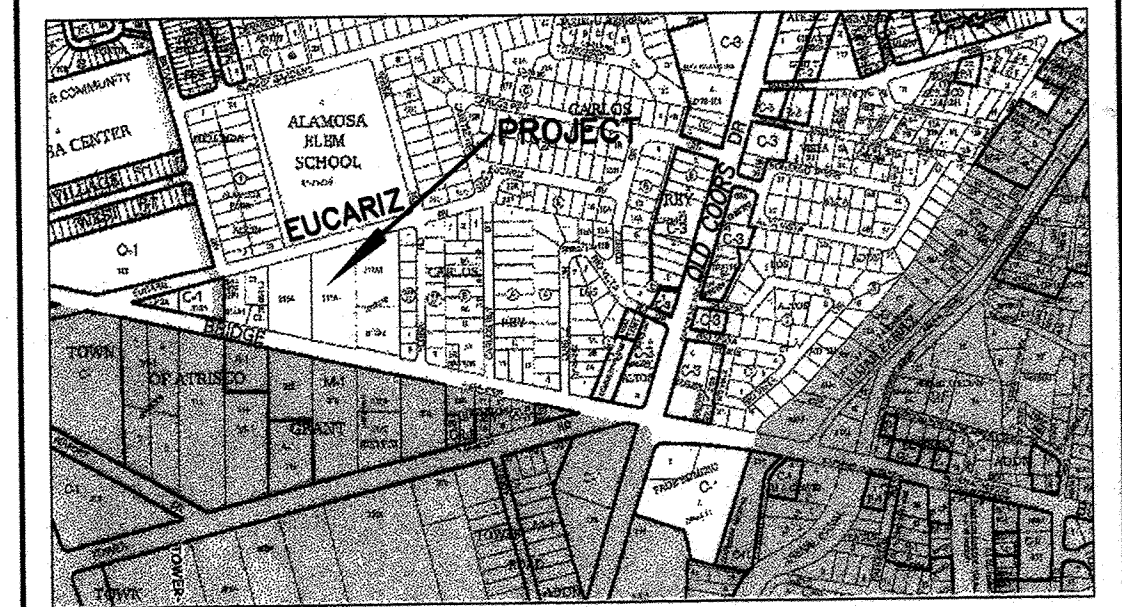
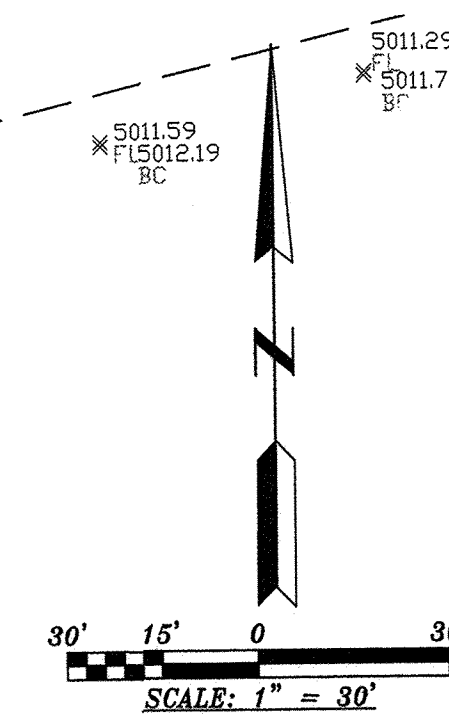
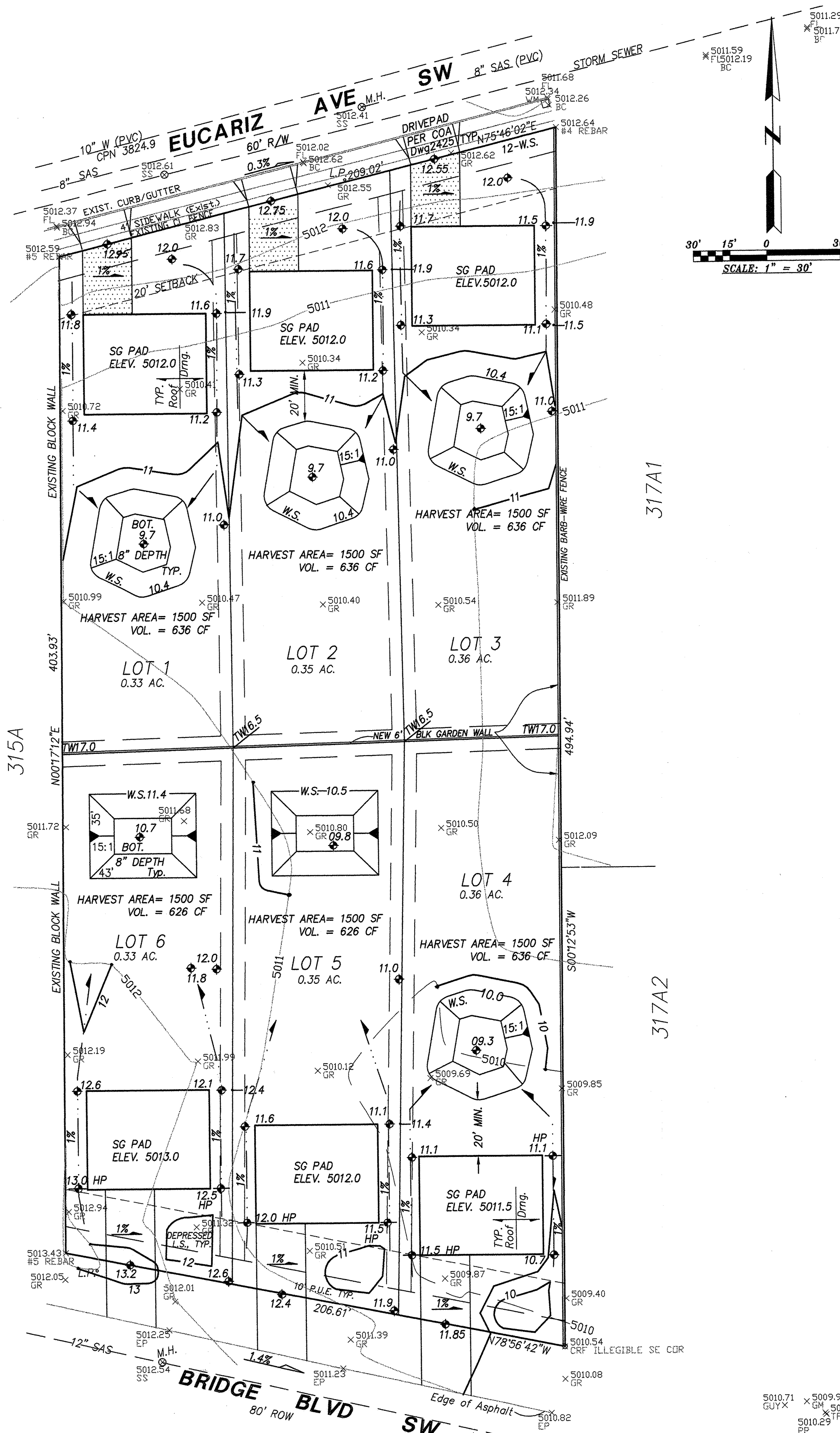
RECOMMEND: ROUTE DEVELOPED RUNOFF THROUGH EXISTING/UPGRADED SOFT LANDSCAPING INCLUDING DEPRESSED LANDSCAPING IN THE NEW REAR YARDS AS SHOWN

REAR YARD HARVEST CALC. (TYP.)

ALL DEVELOPED RUNOFF IS DIRECTED TO THE REAR YARD HARVESTING AREAS WITH THE EXCEPTION OF THE EAST SIDEYARD / SWALE ON LOT 4. THE REAR YARDS ARE CALCULATED AS FOLLOWS:

$(1500 \text{ SF} + 341 \text{ SF}) / 2 \times 0.68' = 626 \text{ CF}$
 $(1495 \text{ SF} + 405 \text{ SF}) / 2 \times 0.67' = 636 \text{ CF}$

CHECK 1st 1/2" RETAINED
 $2.09 \text{ AC} \times 43560 \text{ SF} \times 0.04' = 3641 \text{ CF}$
PER LOT 3641/6 ~ 607 CF, OK



ZONE L-11

VICINITY MAP

NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 8TH EDITION W/ UPDATES.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL, 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

LEGEND

EXIST. SPOT ELEVATION	+24.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION	+24.0
NEW CONTOUR	12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
FLOWLINE	FL
EXISTING POWER POLE	O
FACE OF CURB/FACE OF CURB	F-F
HIGH POINT	HP
WATER SURFACE	W.S.

PROJECT DATA

LEGAL DESCRIPTION (CONCURRENT PLATTING)

LOTS 1-6, LOPEZ WEST SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK

TOP OF REBAR/CAP AT THE PROJECT SOUTHEAST CORNER MSL
ELEVATION = 5010.54, AS TIED FROM COA 3-1/4" DIAMETER ALUM DISK, 8 L10, NAVD 88, MSL ELEV. 5069.58, LOCATED AT THE NE INTERSECTION OF 75TH ST. AND BRIDGE BLVD.

TOPOGRAPHIC DESIGN SURVEY

PROVIDED BY THE SURVEY OFFICE UNDER THE DIRECTION OF ANTHONY HARRIS, N.M.P.S., DATED JULY 2012.

For Information Only

Clark Consulting Engineers	
19 Ryan Road Edgewood, New Mexico 87015	
Tels: (505) 281-2444 Fax: (505) 281-2444	
DATE	REVISION
9.21.12	ADDR. COA 9.19.12 LET
LOT 316A, UNIT 3, TOWN OF ATRISCO GRANT ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO	
BRIDGE BLVD / EUCARIZ	
LOPEZ WEST	
Grading & Drainage Plan	
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: 7/2012
JOB #: LOPEZ_F	FILE #: G/D
1 OF 1	

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK NMPE #10265

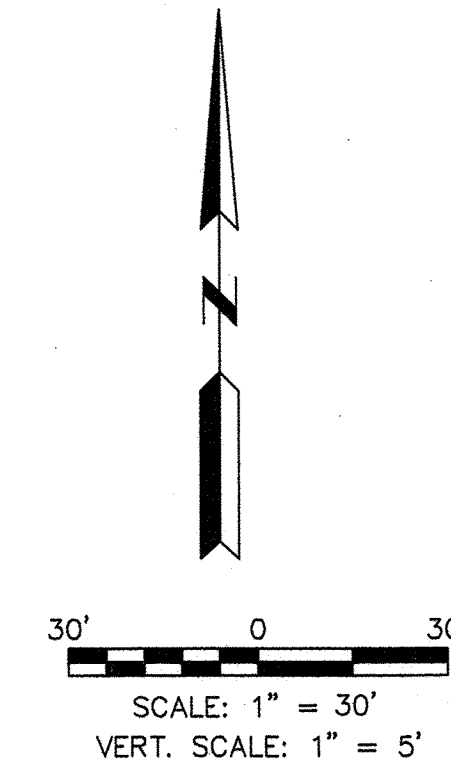


NOTES

1. ALL STATIONING BASED ON CENTERLINE OF NEW WATERLINE, UNLESS NOTED OTHERWISE.
2. MAINTAIN MINIMUM OF 3 FEET COVER TO TOP OF NEW 10" AND 6" WATERLINES.
3. ALL CITY UTILITIES AND SERVICES SHALL BE INSTALLED AND ACCEPTED PRIOR TO COMMENCING BACKFILL AND PAVING.
4. ALL UTILITY BACKFILL WITHIN CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH COA SPECIFICATION REQUIREMENTS. COMPACTION SHALL BE 95% ASTM D-1557.
5. INSTALL DUAL CHECK VALVES ON ALL METER SETTERS.
6. ALL WATER & SEWER SERVICES, HYDRANT AND VALVES SHALL BE INSTALLED PER COA STD DWGS 2362, 2366, 2125, 2340 AND 2326 (+2328), RESPECTIVELY.
7. CONTACT PINO YARDS, WJA PERSONNEL 7-DAYS PRIOR FOR SHUTOFF, 857-8200. SEE PLAN BELOW. WJA SHALL CLOSE VALVES @ CARLOS REY & BRIDGE BLVD.
8. CONTRACTOR SHALL PROVIDE STATE PLANE COORDINATES USING GPS ON ALL NEW VALVES AND HYDRANT - PER CITY OF ALBUQUERQUE STD SPECIFICATIONS, AND TO BE SHOWN ON RECORD AS-BUILT DRAWINGS.
9. REMOVE/REPLACE PAVEMENT PER COA STD DWG 2465.
10. CONCRETE DRIVEPADS SHALL BE 6" THK. PER COA 2425.
11. PUBLIC CURB/GUTTER AND PCC SDWKS PER COA STD DWGS 2415A & 2430.

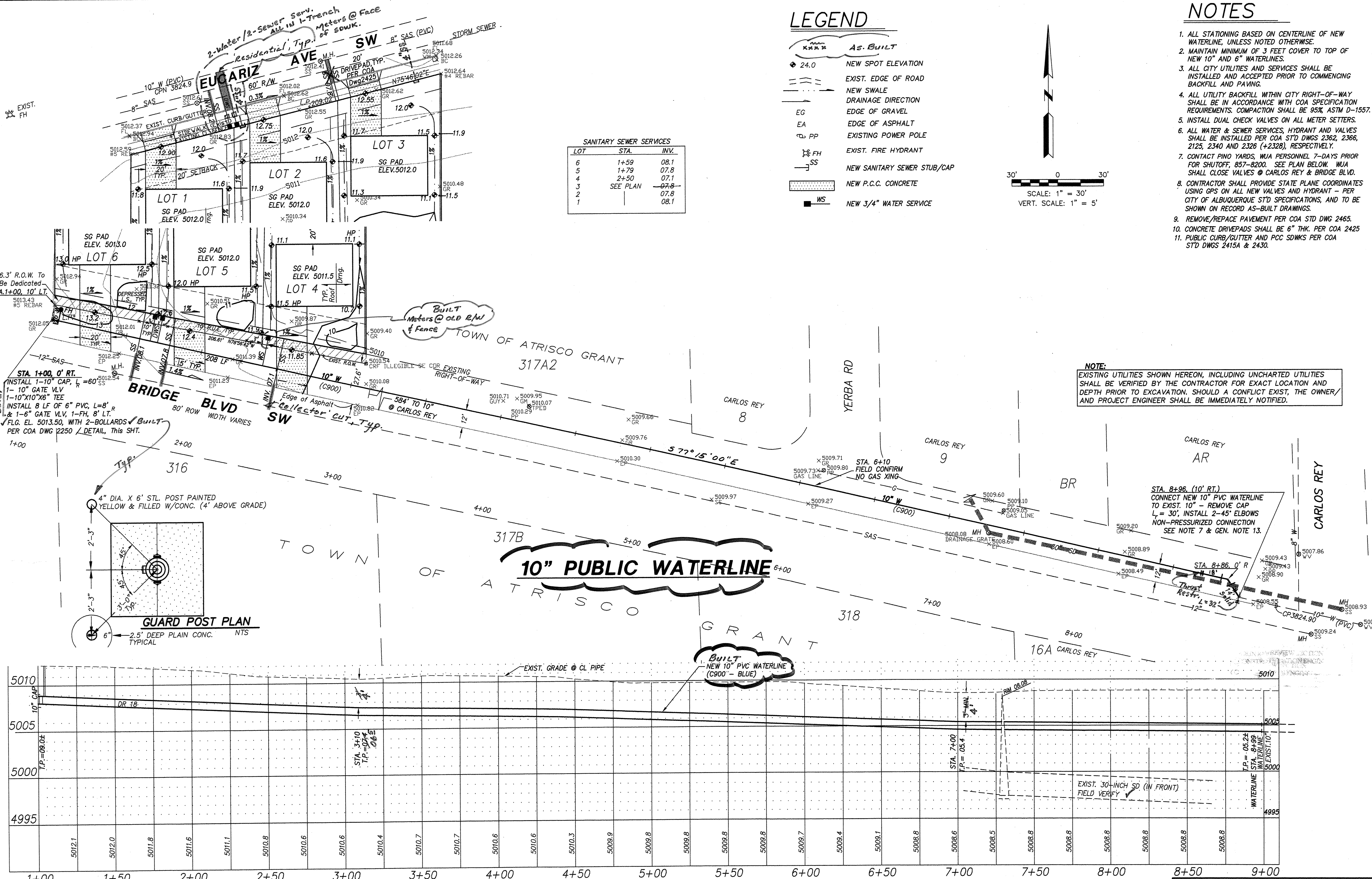
LEGEND

- AS-BUILT
- NEW SPOT ELEVATION
 - EXIST. EDGE OF ROAD
 - NEW SWALE
 - DRAINAGE DIRECTION
 - EDGE OF GRAVEL
 - EDGE OF ASPHALT
 - EXISTING POWER POLE
 - EXIST. FIRE HYDRANT
 - NEW SANITARY SEWER STUB/CAP
 - NEW P.C.C. CONCRETE
 - NEW 3/4" WATER SERVICE



SANITARY SEWER SERVICES		
LOT	STA.	INV.
6	1+59	08.1
5	1+79	07.8
4	2+50	07.1
3	SEE PLAN	07.8
2		07.8
1		08.1

NOTE:
EXISTING UTILITIES SHOWN HEREON, INCLUDING UNCHARTED UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR FOR EXACT LOCATION AND DEPTH PRIOR TO EXCAVATION. SHOULD A CONFLICT EXIST, THE OWNER/ AND PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
ENGINEERING DESIGN REVIEW / CONSTRUCTION

LOPEZ RESIDENTIAL - BRIDGE PUBLIC WATERLINE EXTENSION
PLAN & PROFILE

DESIGN REVIEW COMMITTEE	CITY ENGINEER	Mo./Day/Yr.	Mo./Day/Yr.
NOV 30 2012	MAY 06 2013		

City Project No. 7645.81 Zone Map No. L-11 SHEET 4 OF 4