

2 3 4 5 6 7 8 9 10 11 12 13 14 15  
216-716710-11-071

# CONSTRUCTION PLANS FOR *JOURNAL CENTER* *LAW OFFICES* ALBUQUERQUE, NEW MEXICO

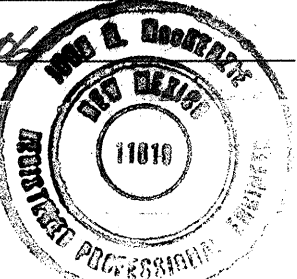
## INDEX TO DRAWINGS

| SHEET NO. | SHEET                   |
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| 1         | TITLE SHEET             |
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| 3         | GRADING & DRAINAGE PLAN |
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### CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS, Inc., NMPS number 7719.

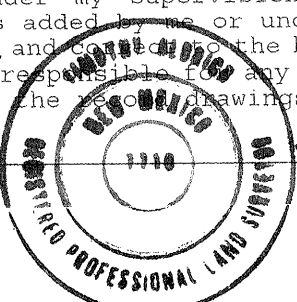
John M. MacKenzie 7-11-05  
John M. MacKenzie, NMPE 11619



### SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added to or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief. Although Land Surveying is not one of the design concepts, I hereby certify that the engineering, or intent of the drawings, is correct."

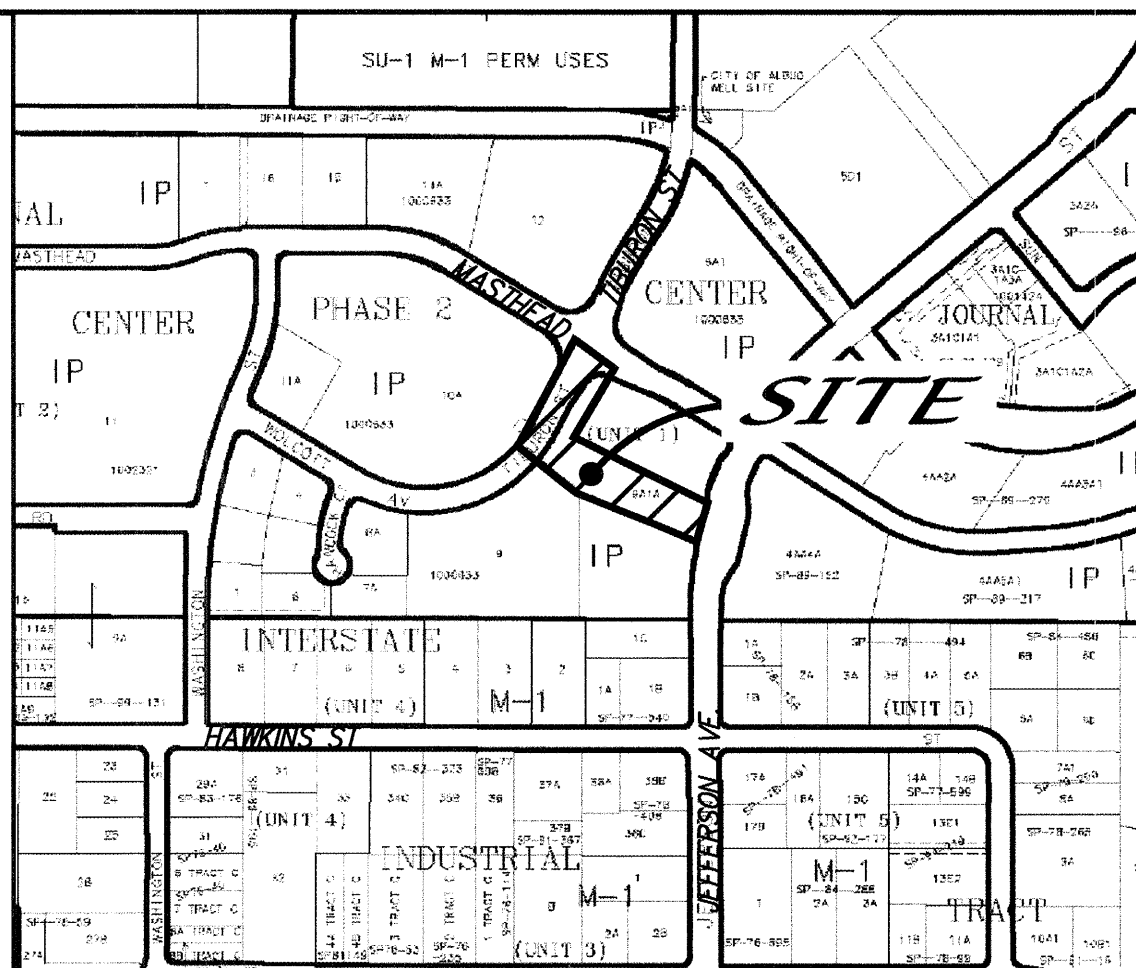
Timothy Aldrich  
Timothy Aldrich, P.S. No. 7719



APPROVED AS RECORD DRAWINGS  
DESIGN REVIEW SECTION  
CITY CONSTRUCTION ENGINEER  
Bryan White  
DATE: 1/04/2007

DRB NO.

1003883



VICINITY MAP ZONE ATLAS: D-17

### GENERAL NOTES

#### NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- FIVE (5) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
- ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS WAS EXISTING, OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO COVER THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAVE BEEN RECORDED.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE WATER SYSTEMS DIVISION (957-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.
- FOR STORM DRAIN CONSTRUCTION, RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER DISKS (EMD) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- PRIVATE STREETS REQUIRE STREET NAME SIGNS, STOP SIGNS, AND ANY NECESSARY STRIPING.

#### THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

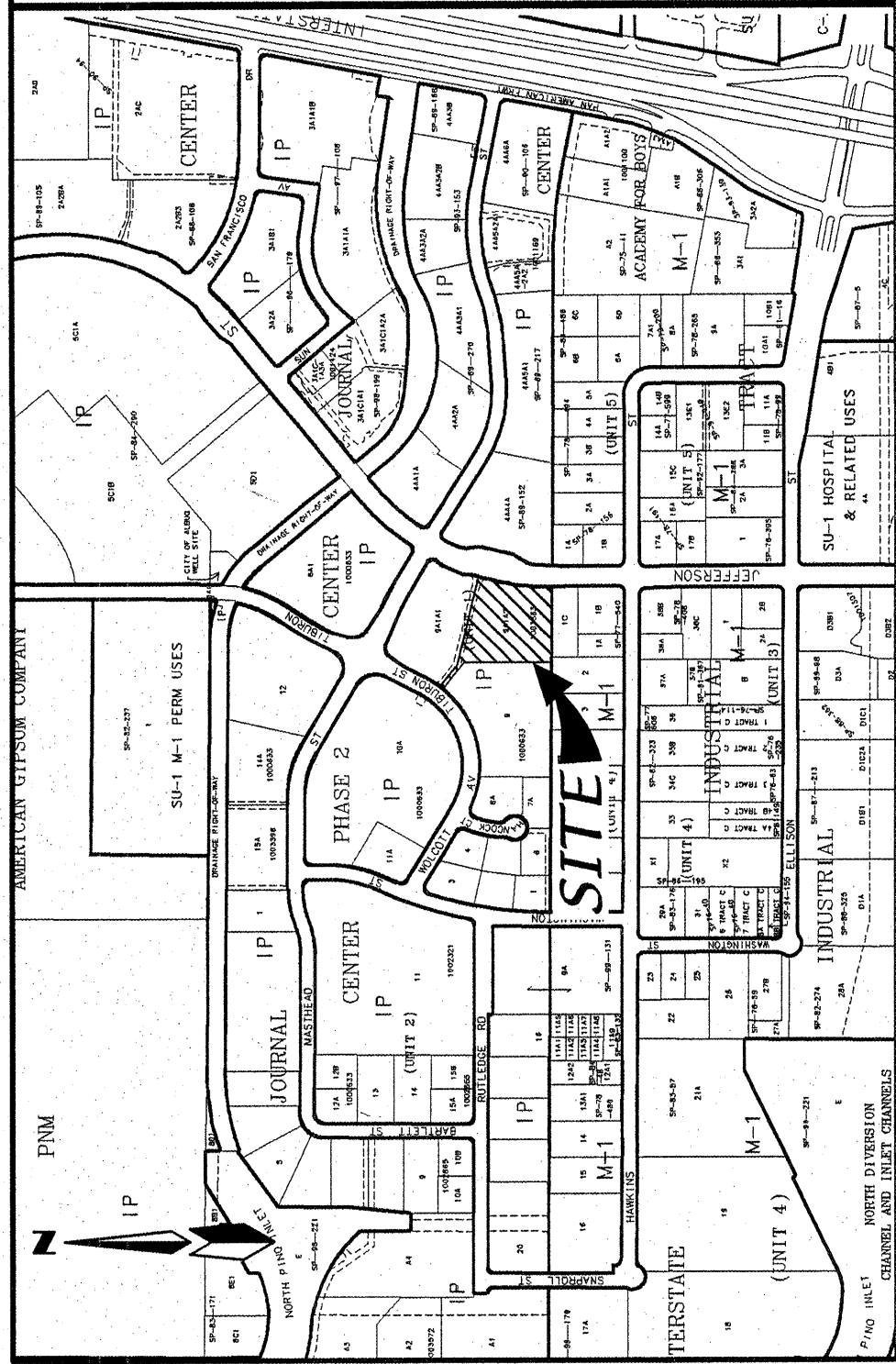
- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALK AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

#### CAUTION:

NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P. O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 928-2200, FAX (505) 797-8539

| REV.                                                                                                                          | SHEETS | CITY ENGINEER    | DATE                     | USER DEPARTMENT | DATE                      | USER DEPARTMENT | DATE |
|-------------------------------------------------------------------------------------------------------------------------------|--------|------------------|--------------------------|-----------------|---------------------------|-----------------|------|
| ENGINEERS STAMP & SIGNATURE                                                                                                   |        | APPROVALS        | ENGINEER                 | DATE            | *****                     |                 |      |
| <br><i>John M. MacKenzie</i><br>11-17-05 |        | DRC CHAIRMAN     | <i>John M. MacKenzie</i> | 12-8-05         | APPROVED FOR CONSTRUCTION |                 |      |
|                                                                                                                               |        | TRANSPORTATION   | <i>John M. MacKenzie</i> | 12-9-05         |                           |                 |      |
|                                                                                                                               |        | WATER/WASTEWATER | <i>William J. Bales</i>  | 12-1-05         |                           |                 |      |
|                                                                                                                               |        | HYDROLOGY        | <i>John M. MacKenzie</i> | 12-1-05         |                           |                 |      |
|                                                                                                                               |        | AMAFCA           | <i>John M. MacKenzie</i> |                 |                           |                 |      |
|                                                                                                                               |        | CONSTR. MNGMT.   |                          |                 | <i>John M. MacKenzie</i>  | 12-9-05         |      |
|                                                                                                                               |        | CONSTR. COORD.   | <i>John M. MacKenzie</i> | 12-8-05         | CITY ENGINEER             | DATE            |      |
| CITY PROJECT NO.                                                                                                              |        |                  |                          | SHEET OF        |                           |                 |      |
| 767081                                                                                                                        |        |                  |                          | 1 5             |                           |                 |      |



LOCATION MAP  
SCALE: NONE

SUBDIVISION DATA

Gross Acreage 2.6780 Ac.  
Zone Atlas No. D-17-Z  
No. of Existing Tracts 1 Tract  
No. of Tracts created 3 Tracts  
No. of Tracts eliminated 1 Tract  
Miles of full width streets created 0.00  
Miles of half width streets created 0.00  
Street Area dedicated to the City of Albuquerque 0.0000 Ac.  
Date of Survey November, 2004  
Utility Control Location System Log Number 2005132317  
Zoning IP

### FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant, all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein, and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Carl J. Bettinger and Marianne Bettinger, Trustees of The Bettinger Family Trust,  
Philip Gaddy and Gloria Gaddy, Husband and Wife,  
Bernard Bettinger and Pamela Bettinger, Husband and Wife

Carl J. Bettinger, Attorney in Fact  
Date 8/15/05

### OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 8/15/05 at 8:16 AM by  
Carl J. Bettinger, Attorney in Fact on behalf of the owners.

Notary Public  
MY COMMISSION EXPIRES 11/17/07

### LEGAL DESCRIPTION

Tract 9A-1A-2, of the plat entitled "TRACTS 9A-1A-1 & 9A-1A-2, JOURNAL CENTER, PHASE 2, UNIT 1, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January, 31, 2005 in Plat Book 2005C, Page 40, and containing 2.6780 acres, more or less.

NOTES (SEE SHEET 2)

### PURPOSE OF PLAT

- Subdivide 1 Existing Tract into 3 Tracts.
- Grant easements as shown hereon.

### PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



THIS IS TO CERTIFY THAT TAXES ARE CURRENTLY PAID ON THIS PLAT.  
Journal Center  
Bernalillo County, New Mexico  
11/14/05

F:\A4092\JOURNAL CENTER LAW OFFICES\FINAL PLAT\A4092FPL1.DWG (3-29-05 RDO)

### TRACTS 9A-1A-2A, 9A-1A-2B AND 9A-1A-2C JOURNAL CENTER PHASE 2, UNIT 1

WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 23  
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2005

### APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque Subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 11223883

Application Number: 05 DR15-01000

### PLAT APPROVAL

Utility Approvals:

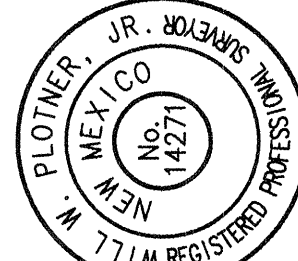
PNM Electric Services 6-14-05 Date  
PNM Gas Services 6-14-05 Date  
Qwest 6-14-05 Date  
Comcast 6-14-05 Date  
City Approvals: 6/3/05 Date  
City Surveyor

Real Property Division  
Traffic Engineering/Transportation Division  
Albuquerque-Bernalillo County Utility Authority  
Parks and Recreation Department  
AMAFA  
City Engineer  
DRB Chairperson, Planning Department

### SURVEYOR'S CERTIFICATION

"I, Will W. Plover, Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Will W. Plover, Jr., N.M.P.S. No. 14271



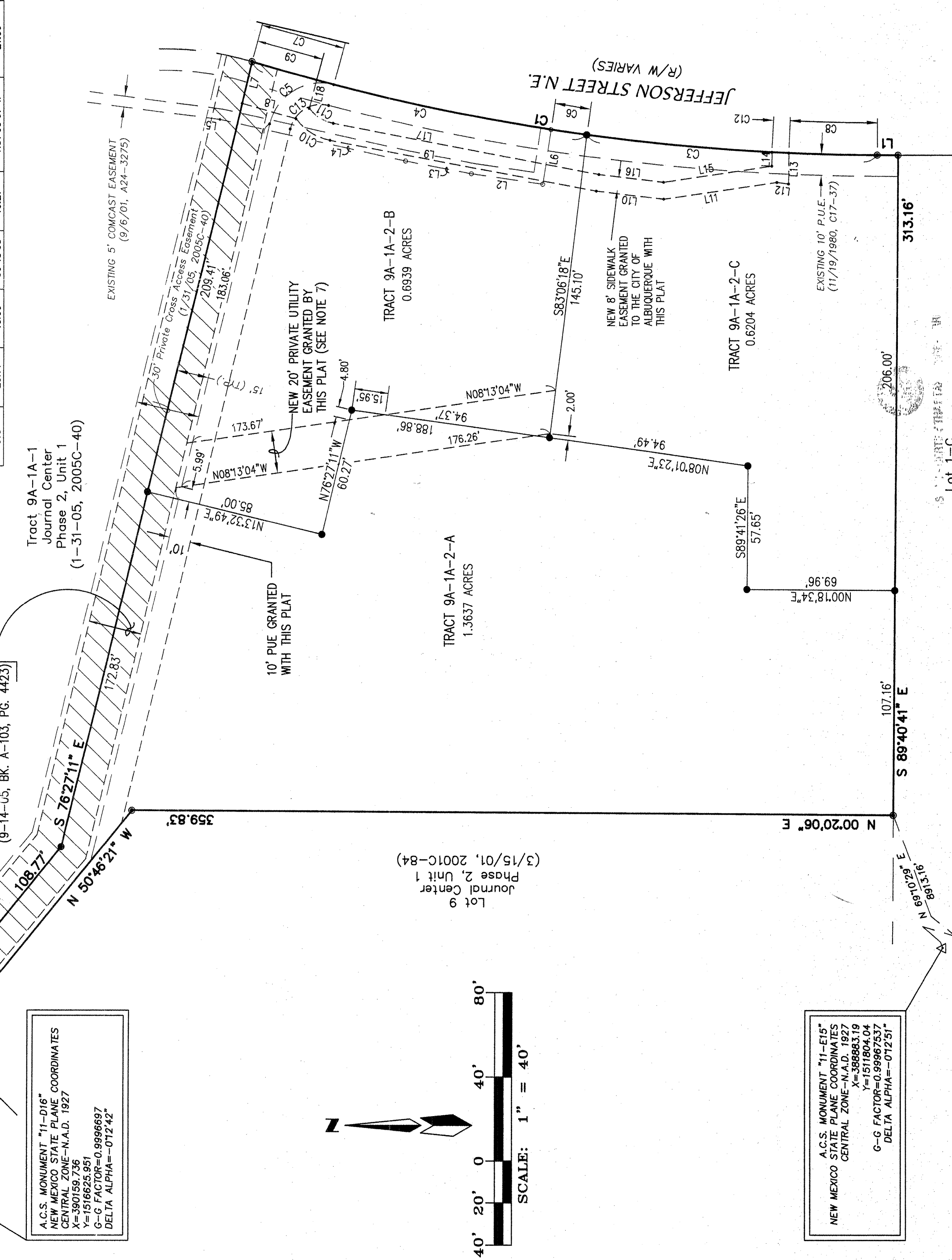
CARTESIAN SURVEYS INC.  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A4092FPL1.dwg Drawn: RICHARD Checked: ALS  
Scale: N/A Date: 03/29/05 Job: A04092 (042197) Sheet 1 of 2

### TRACTS 9A-1A-2A, 9A-1A-2B AND 9A-1A-2C JOURNAL CENTER PHASE 2, UNIT 1

WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 23  
TOWNSHIP 11 NORTH, RANGE 3 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2005

| CURVE | LENGTH | RADIUS  | DELTA     | TANGENT | CHORD BRG.  | CHORD  |
|-------|--------|---------|-----------|---------|-------------|--------|
| C1    | 288.85 | 1043.00 | 1628.20   | 150.97  | S88°19'37"W | 288.82 |
| C2    | 15.00  | 416.00  | 203.58    | 7.50    | N8°11'39"E  | 15.00  |
| C3    | 137.52 | 1043.00 | 7331.17   | 68.86   | S03°52'20"W | 137.42 |
| C4    | 162.33 | 1043.00 | 8550.03   | 81.33   | S12°06'30"W | 162.17 |
| C5    | 39.62  | 25.00   | 90°48'00" | 25.35   | N31°03'07"W | 35.60  |
| C6    | 17.08  | 1043.00 | 0°56'17"  | 8.54    | S88°07'07"W | 17.08  |
| C7    | 40.37  | 1043.00 | 213.05    | 20.19   | S15°27'29"W | 40.37  |
| C8    | 41.82  | 1043.00 | 217.50    | 20.91   | S01°43'37"W | 41.81  |
| C9    | 31.89  | 1043.00 | 145.06    | 15.95   | S15°41'28"W | 31.89  |
| C10   | 14.74  | 1043.00 | 74.00     | 10.16   | S12°43'45"W | 14.74  |
| C11   | 13.70  | 1043.00 | 41°18'43" | 4.00    | S02°36'44"W | 13.70  |
| C12   | 8.01   | 1043.00 | 0°25'25"  | 4.00    | S02°36'44"W | 8.01   |
| C13   | 23.77  | 15.00   | 90°48'00" | 15.21   | N31°03'07"W | 21.36  |



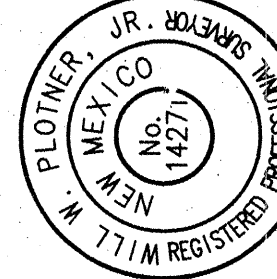
| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 9.84   | S00°05'23"E |
| L2   | 33.89  | S02°42'29"W |
| L3   | 30.26  | S10°51'08"W |
| L4   | 30.26  | S12°26'32"E |
| L5   | 6.48   | N87°25'00"E |
| L6   | 25.89  | N87°25'00"E |
| L7   | 20.03  | N87°27'11"W |
| L8   | 26.60  | S15°53'22"W |
| L9   | 128.12 | S10°44'32"W |
| L10  | 32.09  | S06°53'45"W |
| L11  | 54.03  | S08°37'48"E |
| L12  | 5.54   | S07°52'35"W |
| L13  | 14.67  | S89°41'26"E |
| L14  | 6.56   | N89°44'22"W |
| L15  | 51.65  | N08°37'48"W |
| L16  | 30.73  | N06°53'45"E |
| L17  | 127.85 | N10°44'23"E |
| L18  | 13.66  | S75°11'05"E |

Notes  
1. FIELD SURVEY PERFORMED IN NOVEMBER 2004.  
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.  
3. TALOS LOG # 2005132317  
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 23, TOWNSHIP 11 NORTH, RANGE 3 EAST N.M.P.M., ELENA GALLEGOS GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.  
5. THE BASIS OF BEARINGS IS THE ACS MONUMENTS SHOWN HEREON, REFERENCEING N.M.S.P. GRID (N.A.D. 1927).  
6. UNLESS OTHERWISE NOTED, ALL POINTS ARE A SET BATHEY MARKER WITH CAP "LS 14271".  
7. PRIVATE UTILITY EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNERS OF TRACT 9A-1A-2-C.  
8. TRACTS 9A-1A-2-A, 9A-1A-2-B AND 9A-1A-2-C ARE COVERED BY A RECIPROCAL CROSS LOT ACCESS, PARKING AND DRAINAGE EASEMENT, OUTSIDE OF BUILDINGS.

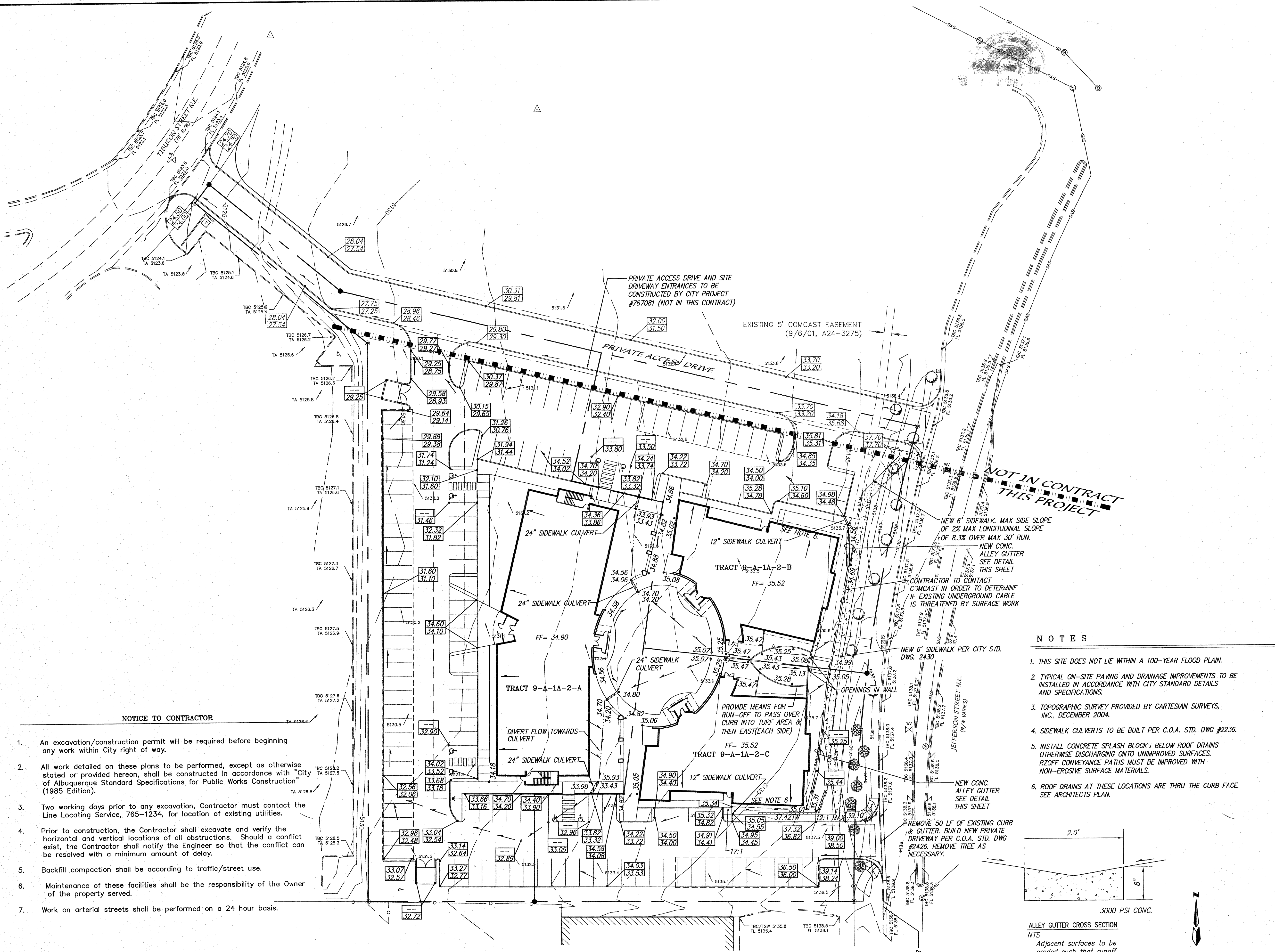
Legend  
(N 90°00'00" E) RECORD BEARING AND DISTANCES  
● FOUND REBAR WITH CAP "LS 6544"  
● SET BATHEY MARKER WITH CAP "LS 14271"

Benchmark  
ACS MONUMENT "16-E17" HAVING AN ELEVATION OF 5144.74.

CARTESIAN SURVEYS INC.  
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505) 891-0244

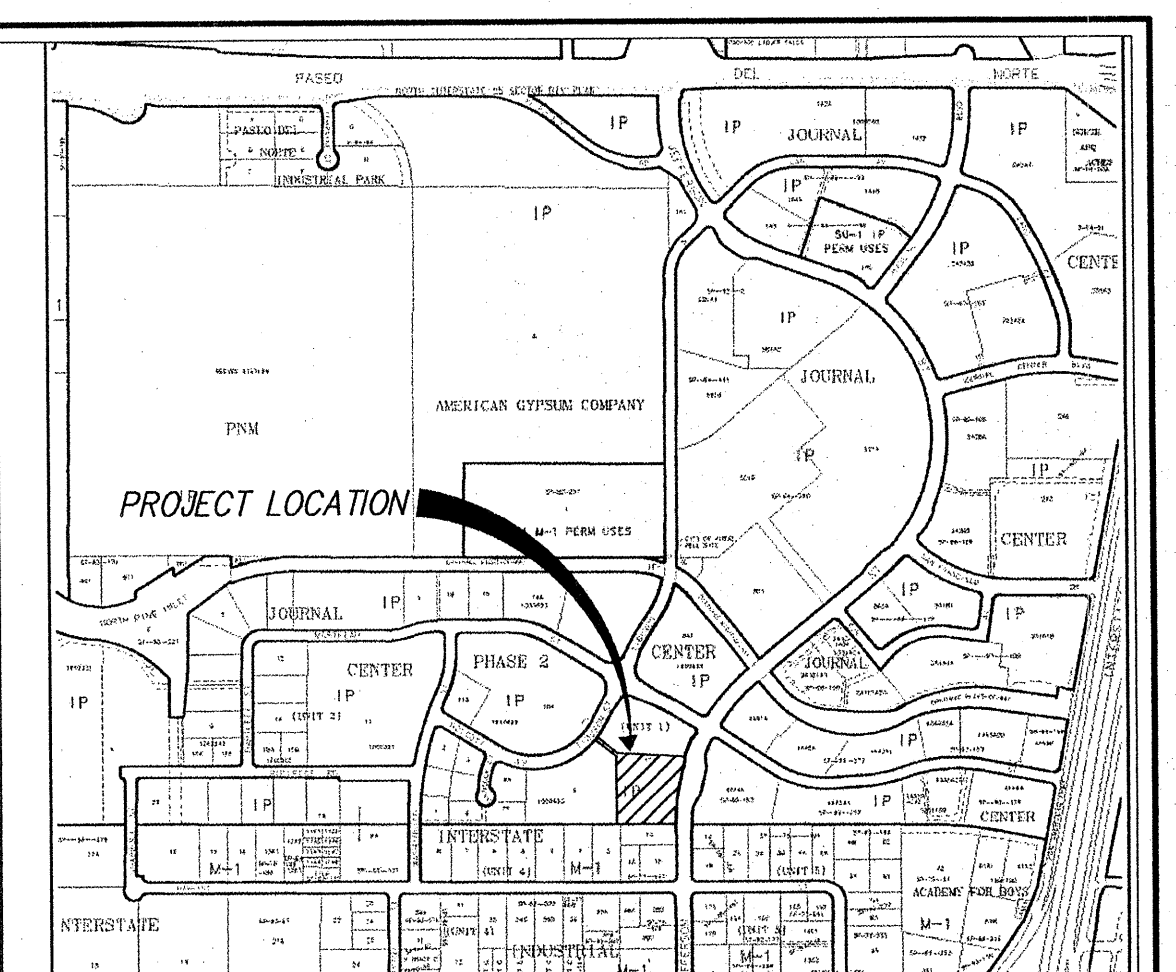
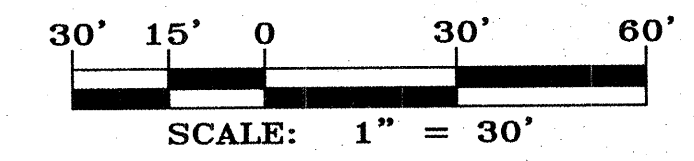
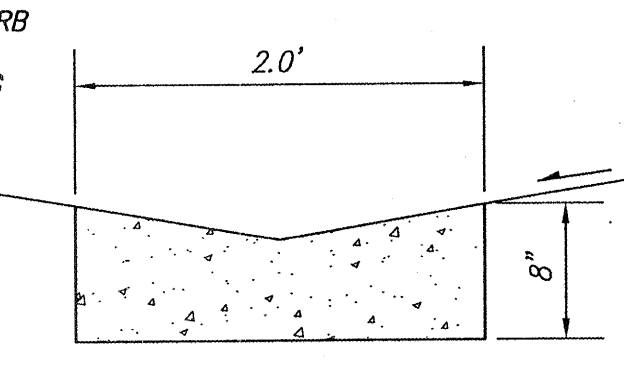


Dwg: A4092FPL2.DWG Drawn: RICHARD Checked: ALS  
Scale: 1"=40' Date: 11/11/05 Job: A04092 (042197) Sheet 2 of 2



| APPROVAL  | NAME | DATE |
|-----------|------|------|
| INSPECTOR |      |      |

- NOTES**
- THIS SITE DOES NOT LIE WITHIN A 100-YEAR FLOOD PLAIN.
  - TYPICAL ON-SITE PAVING AND DRAINAGE IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH CITY STANDARD DETAILS AND SPECIFICATIONS.
  - TOPOGRAPHIC SURVEY PROVIDED BY CARTESIAN SURVEYS, INC., DECEMBER 2004.
  - SIDEWALK CULVERTS TO BE BUILT PER C.O.A. STD. DWG #2236.
  - INSTALL CONCRETE SPLASH BLOCK, BELOW ROOF DRAINS OTHERWISE DISCHARGING ONTO UNIMPROVED SURFACES. RZOFF CONVEYANCE PATHS MUST BE IMPROVED WITH NON-EROSIVE SURFACE MATERIALS.
  - ROOF DRAINS AT THESE LOCATIONS ARE THRU THE CURB FACE. SEE ARCHITECTS PLAN.



VICINITY MAP ZONE MAP: D-17-Z

**ACS BENCHMARK**  
ACS MONUMENT "16-E 17" ELEV. = 5144.74

**LEGAL DESCRIPTION**  
TRACT 9-A-1A-2-A, 9-A-1A-2-B, AND 9-A-1A-2-C  
JOURNAL CENTER PHASE 2, UNIT 1

- LEGEND**
- N 90°00'00" E RECORD BEARING AND DISTANCES
  - FOUND REBAR WITH CAP "LS 6544"
  - SANITARY SEWER MANHOLE
  - STORM DRAIN MANHOLE
  - FIRE HYDRANT
  - WATER VALVE
  - CHAIN LINK FENCE
  - UNDERGROUND ELECTRIC BOX
  - TRANSFORMER
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - RETAINING WALL
  - LANDSCAPE SWALE
  - FINISH FLOOR ELEVATION
  - NEW SPOT ELEVATION
  - TOP OF CURB ELEVATION & FLOWLINE ELEVATION
  - FLOW DIRECTION

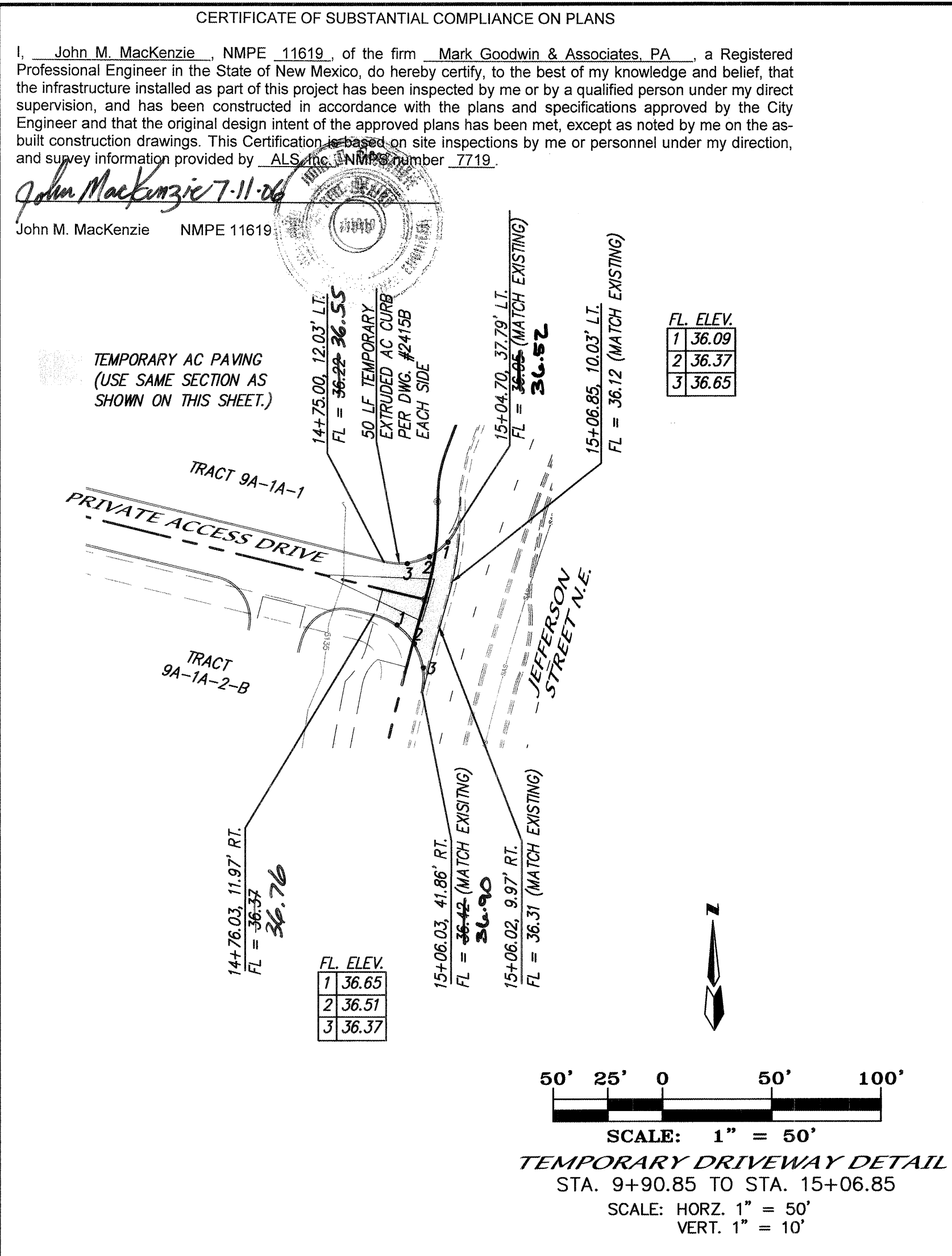
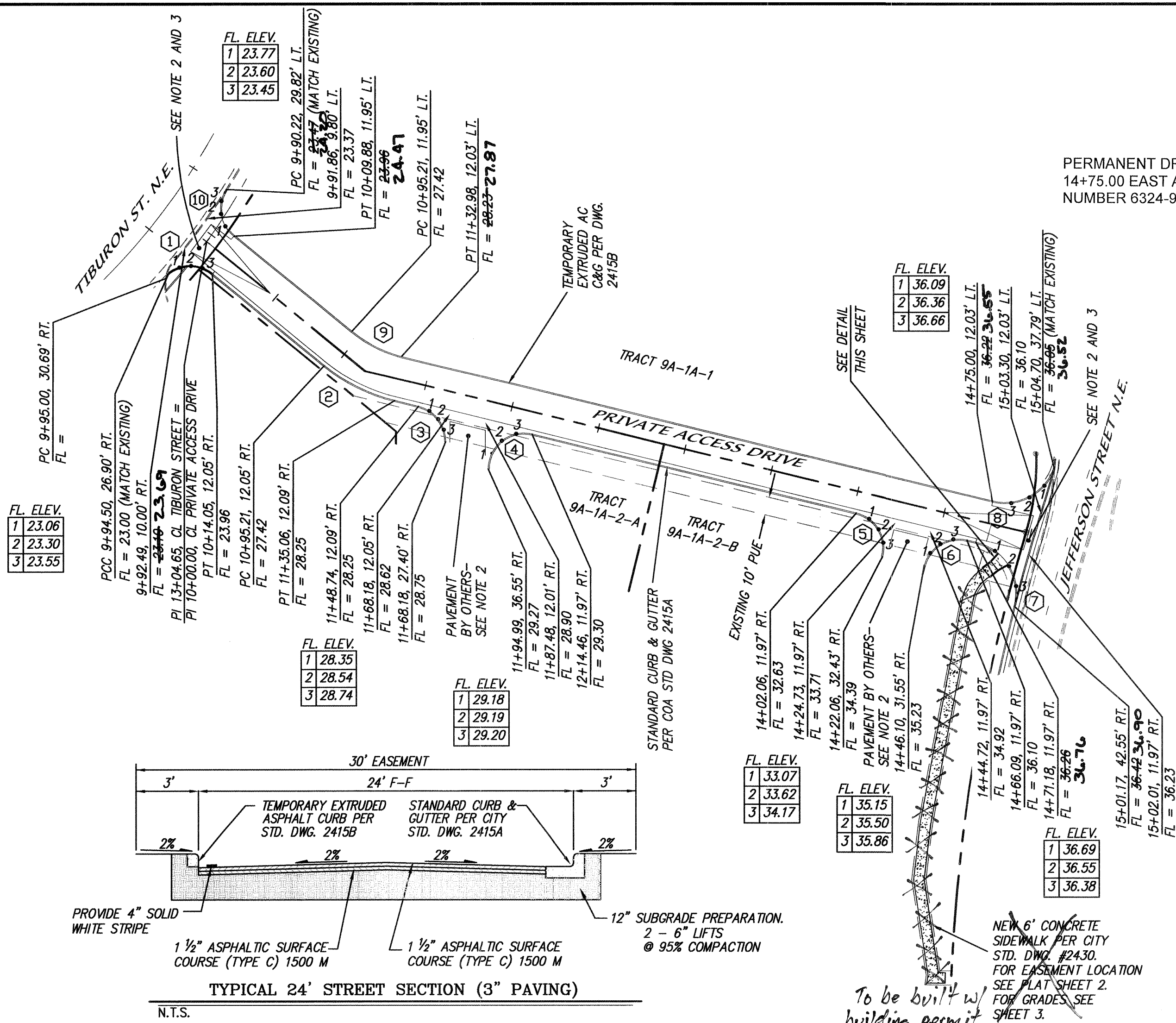
FOR INFORMATION ONLY  
**JOURNAL CENTER LAW OFFICE**

**GRADING & DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

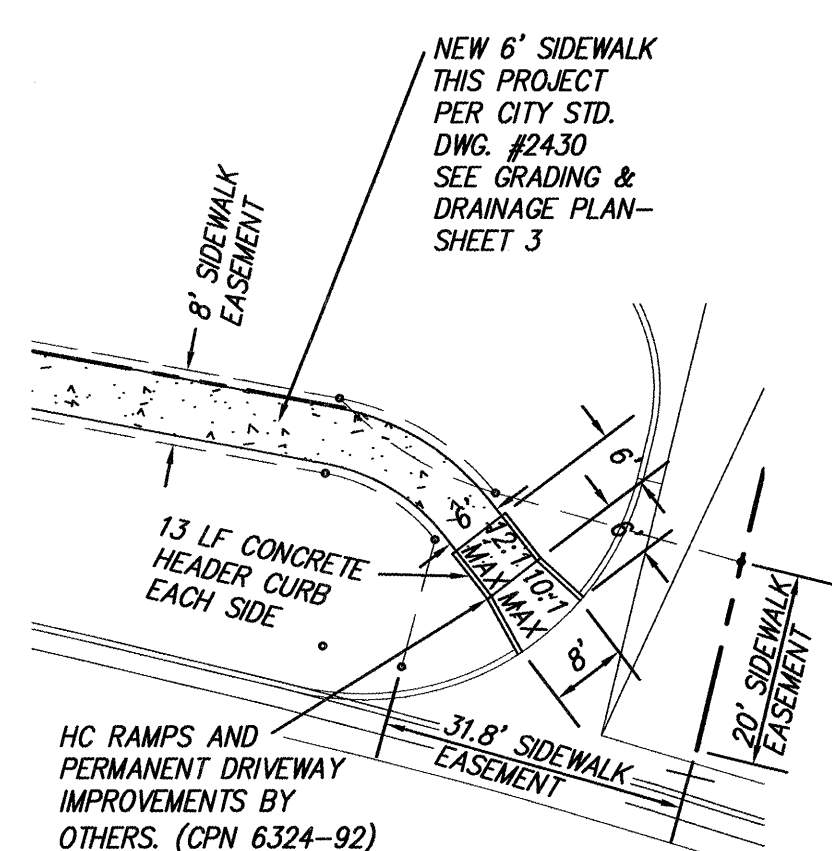
Designed: JMM Drawn: JCC Checked: DMG Sheet C-101  
Scale: 1" = 1' Date: 9-24-05 Job: A04092

CPI 767081 SHEET 3 of 5



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS  
I, John M. MacKenzie, NMPE 11619, of the firm Mark Goodwin & Associates, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision, and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction, and survey information provided by ALS Inc. NMPS Number 7719.  
John M. MacKenzie NMPE 11619

- NOTES**
- CENTERLINE STATIONING IS THE BOUNDARY LINE BETWEEN TRACTS 9A-1A-1 AND 9A-1A-2-A&B.
  - BUILD PRIVATE ENTRANCES PER COA STD. DWG. #2426.
  - PROVIDE MAX 2% CROSS SLOPE 3 FEET WIDE ACROSS DRIVEWAYS FOR HC ACCESS BETWEEN HC RAMPS.
  - ON JEFFERSON AND TIBURON REMOVE EXISTING CURB AND GUTTER AS NECESSARY TO INSTALL NEW DRIVEWAYS.
  - BUILD CROWN TRANSITIONS PER COA STD. DWG. #2401.
  - SUBSOIL NOT HAVING A MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2' BELOW PROPOSED TOP OF SUBGRADE AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL, OR A PAVEMENT SECTION SHALL BE DESIGNED BY CONSULTANT ACCORDING TO MINIMUM R-VALUE REQUIREMENT PER COA STANDARD SPECIFICATIONS.
  - ON HANDICAP RAMPS, CONTRACTOR TO AVOID CHANGES IN SLOPE ACROSS THE DIRECTION OF FOOT TRAFFIC THAT ARE NOT ORTHOGONAL.



**SIDEWALK DETAIL**  
SCALE: 1"=20'

**CURVE DATA - DESCRIBES FACE OF CURB RETURNS**

|                                                            |                                                           |                                                           |
|------------------------------------------------------------|-----------------------------------------------------------|-----------------------------------------------------------|
| ① Δ = 72°20'25"<br>R = 20.00'<br>T = 15.44'<br>L = 26.30'  | ② Δ = 25°40'50"<br>R = 99.50'<br>T = 22.68'<br>L = 44.60' | ③ Δ = 76°27'11"<br>R = 20.00'<br>T = 15.75'<br>L = 26.69' |
| ④ Δ = 103°14'15"<br>R = 20.00'<br>T = 25.25'<br>L = 36.04' | ⑤ Δ = 91°18'50"<br>R = 20.00'<br>T = 20.46'<br>L = 31.87' | ⑥ Δ = 88°47'06"<br>R = 20.00'<br>T = 19.58'<br>L = 30.99' |
| ⑦ Δ = 91°06'32"<br>R = 30.00'<br>T = 30.59'<br>L = 47.70'  | ⑧ Δ = 81°52'39"<br>R = 30.00'<br>T = 26.02'<br>L = 42.87' | ⑨ Δ = 24°24'36"<br>R = 74.50'<br>T = 16.11'<br>L = 31.74' |
| ⑩ Δ = 83°32'54"<br>R = 20.00'<br>T = 17.87'<br>L = 29.16'  |                                                           |                                                           |

**dmg**  
MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

TITLE: **JOURNAL CENTER LAW OFFICES  
PAVING IMPROVEMENTS**

DESIGN REVIEW COMMITTEE  
APPROVE  
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL  
APPROVE  
CITY ENGINEER

LAST DESIGN UPDATE

| MO./DAY/YR. | MO./DAY/YR. |
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ENGINEER'S SEAL  
John M. MacKenzie  
11-17-05

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| AS BUILT INFORMATION |          |     |     |
|----------------------|----------|-----|-----|
| CONTRACTOR           | DATE     | BY  | NO. |
| Stansbury            | 11-17-05 | DMG |     |
| SURVEY INFORMATION   |          |     |     |
| FIELD NOTES          | DATE     | BY  | NO. |
|                      |          |     |     |

| BENCH MARKS |  |
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