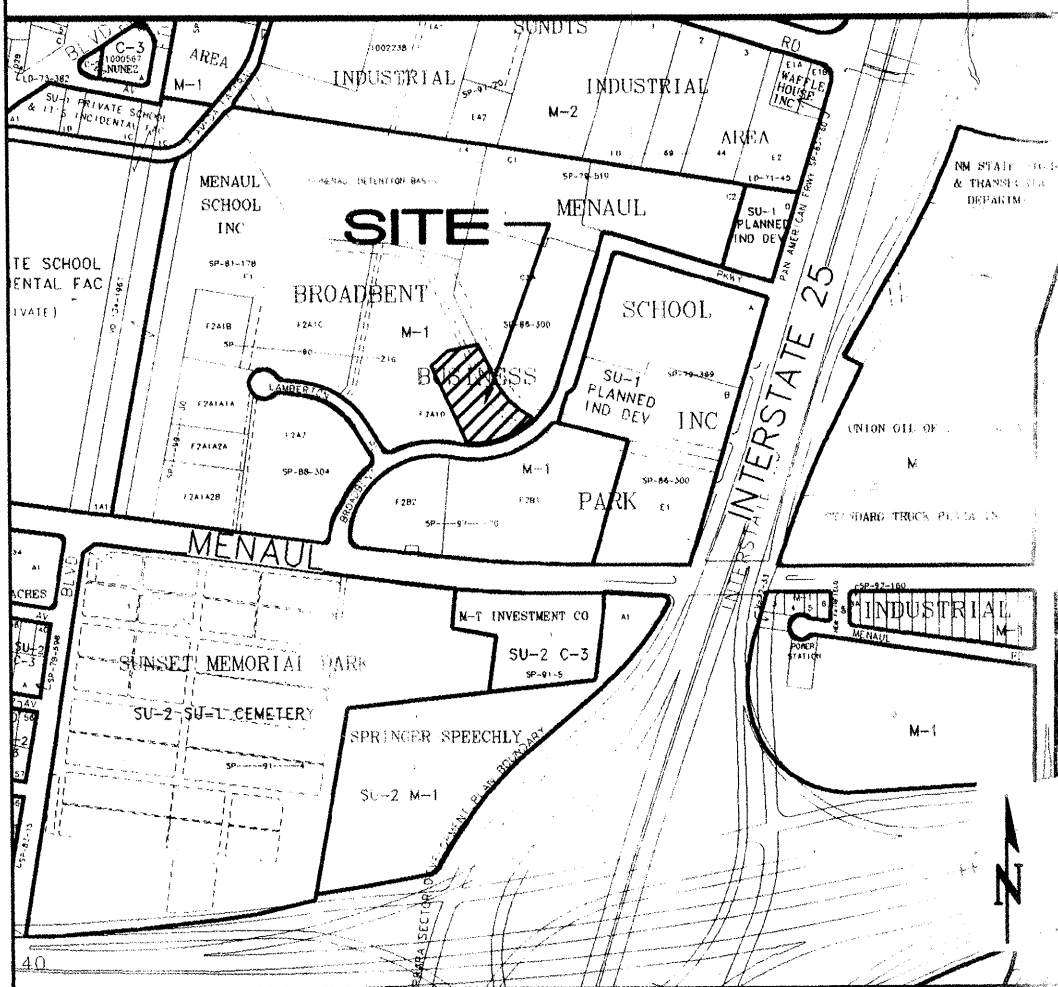


VICINITY MAP H-15



KEYED NOTES

- CONSTRUCT SITE ENTRANCE PER C.O.A. STANDARDS. MATCH EXISTING FLOWLINE ELEVATIONS TO PROVIDE A SMOOTH RIDE-UP TRANSITION. CONSTRUCT CONCRETE VALLEY GUTTER (PER C.O.A. STD. DWG. 2426) MATCHING EXISTING TOP OF CURB AND FLOWLINE ELEVATIONS. TRANSITION CURB HEIGHT FROM 8" TO 6" OVER LENGTH OF RADIUS. SEE ARCHITECTURAL FOR DIMENSIONS / DETAILS / DEMOLITION OF EXISTING CURBS.
- PROPOSED ASPHALT PAVING. SEE ARCHITECTURAL FOR SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
- CONSTRUCT 6" HIGH MEDIAN CURB AND GUTTER PER C.O.A. STD. DWG. 2415 (TYPICAL) UNLESS NOTED OTHERWISE.
- CONSTRUCT TURNED DOWN CONCRETE WALK THIS AREA. TOP OF WALK TO BE 6" ABOVE TOP OF ADJACENT PAVEMENT (TYPICAL). SEE ARCHITECTURAL FOR RAMP LOCATIONS / DIMENSIONS AND ADDITIONAL INFORMATION.
- FUTURE PHASE BLDG. / ACCESS / PARKING / DRAINAGE FEATURES N.I.C.
- HIGH POINT THIS AREA.
- CONSTRUCT PRIVACY WALLS WITH UP TO 24" EARTH RETENTION TO ACHIEVE GRADE DIFFERENCES SHOWN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION (DESIGN BY OTHERS).
- PROVIDE 2' WIDE OPENING IN CURB TO PASS DEVELOPED FLOW TO CHANNEL (TWO LOCATIONS). CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL FROM EDGE OF CURB TO CHANNEL BOTTOM. SEE DETAIL THIS SHEET.
- ROOF FLOW THIS BLDG. TO BE COLLECTED AND RELEASED TO WEST SIDE LANDSCAPED AREA.
- EXISTING DRAINAGE CHANNEL
- CONSTRUCT 2' WIDE CONCRETE SWALE AT FLOWLINE ELEVATIONS SHOWN. PROVIDE 2' WIDE X 6" HIGH OPENING IN NORTH WALL TO PASS FLOW TO PROPOSED 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL TO DELIVER FLOW TO PAVEMENT.

LEGEND

---	SIDEWALK, CURB and GUTTER, ETC. (EXISTING, PROPOSED)
+ 93.7	EXISTING SPOT ELEVATION
- 5093	EXISTING CONTOUR
+ 54.5	PROPOSED SPOT ELEVATION
- 55	PROPOSED CONTOUR
FL	FLOW LINE
FF	FINISHED FLOOR
FH	PROPOSED FIRE HYDRANT

ISAACSON & ARFMAN, P.A.
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1485GRD.DWG.BJ 04.17.06

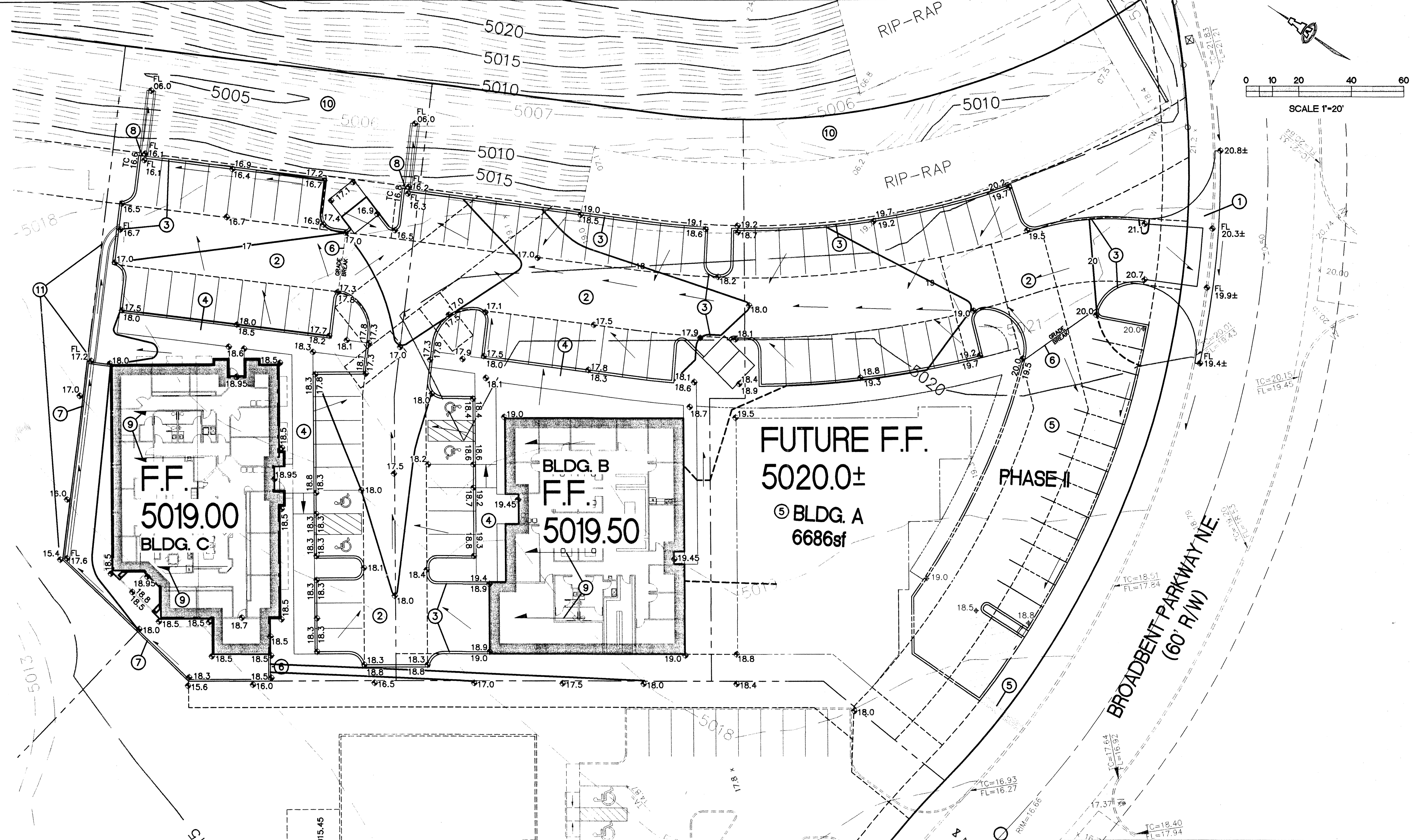
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BROADBENT CONSULTANTS OFFICE PARK Isaacson & Arfman, P.A.

GRADING & DRAINAGE PLAN

Date:	No.	Revision	Date:	Job No.
04.17.06				1485
Drawn By:				
BJB				
Ckd By:				
FCA				

SH. OF



GENERAL NOTES

- SITE ACCESS, SIDEWALKS, HANDICAP RAMPS, CURB AND GUTTER AND VALLEY GUTTER WITHIN C.O.A. R.O.W. TO BE CONSTRUCTED TO C.O.A. STANDARD DRAWINGS AND SPECIFICATIONS. MATCH EXISTING FL AND TC ELEVATIONS TO PROVIDE SMOOTH TRANSITION.
- COORDINATE ALL WORK WITH SITE PLAN, DEMOLITION PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- BECAUSE THIS SITE DEVELOPMENT DISTURBS MORE THAN 1 ACRE OF LAND IN BERNALILLO COUNTY, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) INCLUDING A COPY OF THE NOI SUBMITTED TO EPA, MUST BE SUBMITTED TO BERNALILLO COUNTY FOR ACCEPTANCE PRIOR TO ISSUANCE OF A GRADING OR PAVING PERMIT.

A SOIL EROSION CONTROL PLAN WILL SHOW INTERIM "MINIMUM CONTROL MEASURES" EMPLOYED TO PROTECT STORM WATER AND OTHER WATER RUNOFF QUALITY DURING CONSTRUCTION USING "BEST MANAGEMENT PRACTICES". THE SOIL EROSION CONTROL PLAN WILL INCLUDE THE RUSLE 1.06 ANALYSIS OR OTHER APPROPRIATE ANALYSIS AND NEEDS TO BE INCLUDED WITH THE SWPPP.

CONTRACTOR TO PROVIDE THIS INFORMATION AND PAY ALL APPLICABLE APPLICATION AND PERMIT FEES TO OBTAIN GRADING / PAVING PERMITS.
- GRADES SHOWN WITHIN LANDSCAPED AND PONDING AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.

GENERAL INFORMATION

LEGAL: A PORTION OF LOT F2A1D, BROADBENT BUSINESS PARK, ALBUQUERQUE, NEW MEXICO

ADDRESS: BROADBENT PARKWAY N.E.

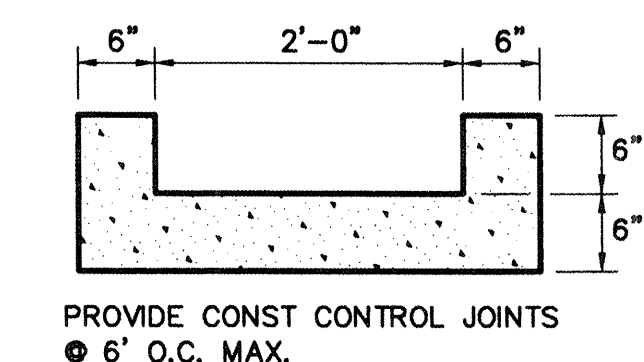
SURVEYOR: ALDRICH LAND SURVEYING

BENCHMARK: CITY OF ALBUQUERQUE MONUMENT "9-H15". A STANDARD BRASS TABLET LOCATED ON A MEDIAN 0.24 MILES SOUTHWEST OF THE INTERSECTION OF CANDELARIA AND LOCUST ST. N.E. (NAD 1927/SLD 1929) ELEVATION=5034.93

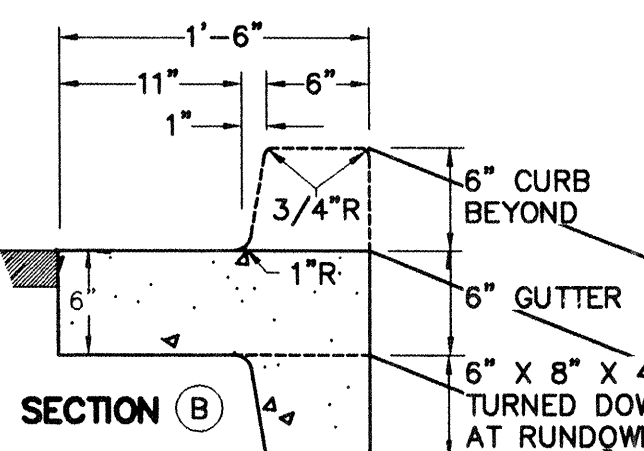
OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #332, A PORTION OF THE SITE IS LOCATED WITHIN FLOODZONE "AO" DESIGNATED AS AREAS WITH FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN; AVERAGE DEPTH DETERMINED TO BE 1'). THIS FLOODZONE IS CONTAINED WITHIN A 10'± DEEP GRADED CHANNEL ALONG THE NORTHEAST PROPERTY LINE.

EROSION CONTROL: THE CONTRACTOR IS RESPONSIBLE FOR RETAINING ON-SITE ALL SEDIMENT GENERATED DURING CONSTRUCTION BY MEANS OF TEMPORARY EARTH BERMS OR SILT FENCES AT THE LOW POINTS ON THE WEST AND NORTH PROPERTY LINES.



SECTION (A)

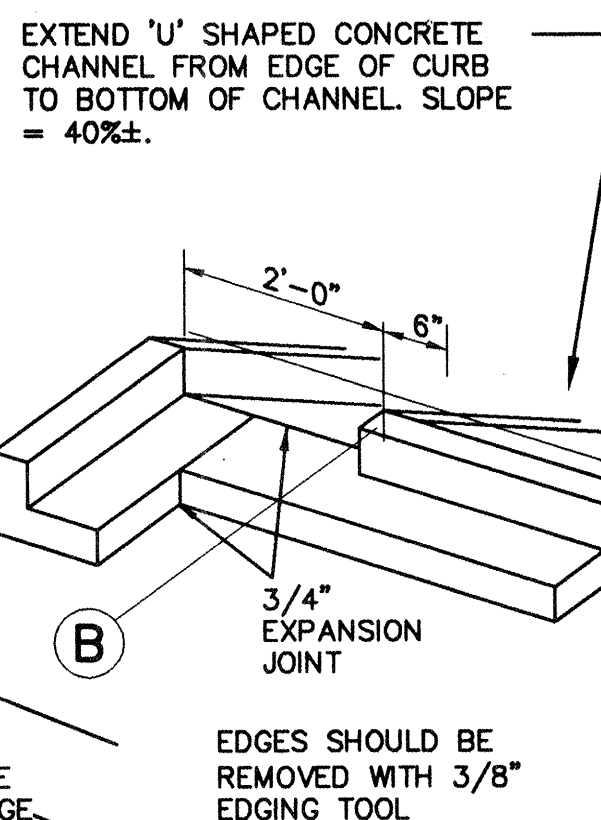


SECTION (B)

CURB OPENING TRANSITION

TO PASS SITE DISCHARGE TO EXISTING CHANNEL TWO LOCATIONS AS NOTED

N.T.S.



THE PROPOSED IMPROVEMENTS INCLUDE TWO COMMERCIAL BUILDINGS (BLDG. B AND BLDG. C) WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP H-15 (SEE INSERT ABOVE). THE SITE IS BOUND TO THE NORTHEAST BY AN UNLINED DRAINAGE CHANNEL, TO THE SOUTH BY BROADBENT PARKWAY, N.E. AND TO THE WEST BY A DEVELOPED COMMERCIAL PROPERTY.

THE INTENT OF THIS PLAN IS TO SHOW:

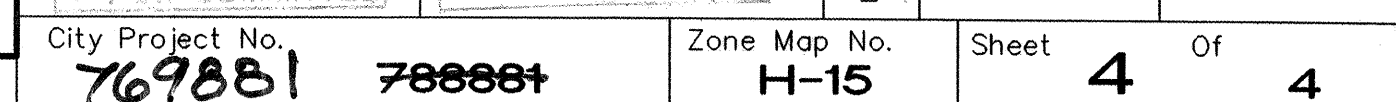
- GRADING RELATIONSHIPS BETWEEN THE EXISTING GROUND ELEVATIONS AND PROPOSED FINISHED ELEVATIONS IN ORDER TO FACILITATE POSITIVE DRAINAGE TO DESIGNATED DISCHARGE POINTS.
- THE EXTENT OF PROPOSED SITE IMPROVEMENTS, INCLUDING BUILDINGS, WALKS AND PAVEMENT.
- THE FLOW RATE/VOLUME OF RAINFALL RUNOFF ACROSS OR AROUND THESE IMPROVEMENTS AND METHODS OF HANDLING THESE FLOWS TO MEET CITY OF ALBUQUERQUE REQUIREMENTS FOR DRAINAGE MANAGEMENT.
- THE RELATIONSHIP OF ON-SITE IMPROVEMENTS WITH EXISTING NEIGHBORING PROPERTY TO INSURE AN ORDERLY TRANSITION BETWEEN PROPOSED AND SURROUNDING GRADES.

DRAINAGE PLAN CONCEPT:

THE OVERALL PROPERTY IS DIVIDED INTO FIVE SEPARATE SUB-BASINS. SUB-BASIN 1 (THE EXISTING CHANNEL) WILL NOT BE DISTURBED DURING DEVELOPMENT OTHER THAN TO PASS CONCENTRATED FLOW FROM SUB-BASINS 2, 3 AND 4 WHICH SURFACE DRAIN TO PROPOSED CURB OPENINGS AS SHOWN. SUB-BASIN 5 (FUTURE) WILL DISCHARGE TO BROADBENT PARKWAY N.E. SEE SUPPLEMENTAL INFORMATION PACKET FOR CALCULATIONS.

FOR INFO ONLY

SHEET 3 OF 4

[illegible]

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: BROADBENT OFFICE PARK
WATERLINE PLAN AND PROFILE

Design Review Committee	City Engineer Approval
DESIGN REVIEW COMMITTEE	CITY ENGINEER

City Project No. 769881	788881	Zone Map No. H-15	Sheet 4	Of 4
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