

2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-7730-31-07

PLANNING BY
SCANNED BY

PLANS FOR CONSTRUCTION OF VALUE PLACE ALBUQUERQUE, NEW MEXICO

NOVEMBER 2005

INDEX TO DRAWINGS

SHEET TITLE

1. TITLE SHEET
2. PRELIMINARY PLAT
3. GRADING AND DRAINAGE 1 OF 2
4. GRADING AND DRAINAGE 2 OF 2
5. UTILITY AND PAVING PLAN

LOCAL UTILITY CONTACT INFORMATION

City of Albuquerque
Nancy Musinski
Senior Engineer, Utilities Development
P.O. Box 1293
Albuquerque, NM 87103
Office phone: (505) 768-2729
Office fax: 768-3629
E-mail: nmusinski@cabq.gov

New Mexico Utilities
Steve Bates
4700 Irving Blvd. NW Suite 201
Albuquerque, NM 87114
Office phone: (505) 898-2661 ext: 48
Office fax: 898-6379
E-mail: sbates@ecoreresources.com

Xspedius Management Co.
Steve Benjamin
Operations Support Manager
505 Marquette NW Ste 1605
Albuquerque, NM 87102
Office phone: (505) 998-2220
Office fax: (505) 998-2200
E-mail: Steve.Benjamin@xspedius.com

AT&T
David Crowl
Resource Supervisor
111 3rd Street NW
Albuquerque, NM 87103
Office phone: (505) 842-2911
Office fax: 842-2890
E-mail: dcrowel@att.com

MCI Worldcom
Andy Darnell
Operations Manager
6001 Midway Park NE
Albuquerque, NM 87109
Office phone: (505) 346-4470
Office fax: 346-4481
E-mail: andy.darnell@mci.com

PNM Gas Co.
Joe Dunlop
4625 Edith Blvd. NE
Albuquerque, NM 87107
Office phone: (505) 241-7771
Office fax: 241-7740
E-mail: jdunlop@pnm.com

Comcast
Rita Erickson
Planning and Design Supervisor
4611 Montbel Place NE
Albuquerque, NM 87107
Office phone: (505) 761-6235
Office fax: (505) 761-0599
E-mail: rita_erickson@cable.comcast.com

Time Warner Telecom
Royal Harrison
Plant Manager
3830 Singer Blvd. NE Suite 1000
Albuquerque, NM 87109
Office phone: (505) 938-7339
Office fax: (505) 938-7380
E-mail: Royal.Harrison@twtelecom.com

Time Warner Telecom
Royal Harrison
Plant Manager
3830 Singer Blvd. NE Suite 1000
Albuquerque, NM 87109
Office phone: (505) 938-7339
Office fax: (505) 938-7380
E-mail: Royal.Harrison@twtelecom.com

PNM Electric
Jim Hill
4201 Edith Blvd. NE MS-ES61
Albuquerque, NM 87107
Office phone: (505) 241-3581
Office fax: (505) 241-0559
E-mail: jhill@pnm.com

Qwest Long Distance
Larry Kelly
Sr. Operations Tech
400 Tijeras NW Suite 570
Albuquerque, NM 87102
Office phone: (505) 246-0501
Office fax: (505) 246-0479
E-mail: Larry.Kelly@qwest.com

Qwest Long Distance
Larry Kelly
Sr. Operations Tech
400 Tijeras NW Suite 570
Albuquerque, NM 87102
Office phone: (505) 246-0501
Office fax: (505) 246-0479
E-mail: Larry.Kelly@qwest.com

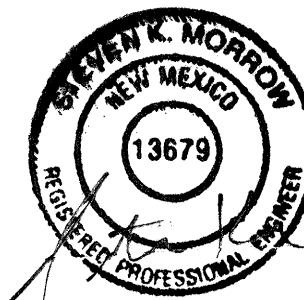
PNM Electric
Jim Hill
4201 Edith Blvd. NE MS-ES61
Albuquerque, NM 87107
Office phone: (505) 241-3581
Office fax: (505) 241-0559
E-mail: jhill@pnm.com

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Steven K. Morrow, of the firm Brasher and Lorenz, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Precision Surveys NMPS number 11993.

Steven K. Morrow
Steven K. Morrow, NMPE 13679

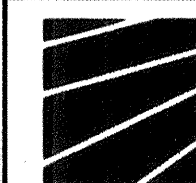
7-3-07
Date



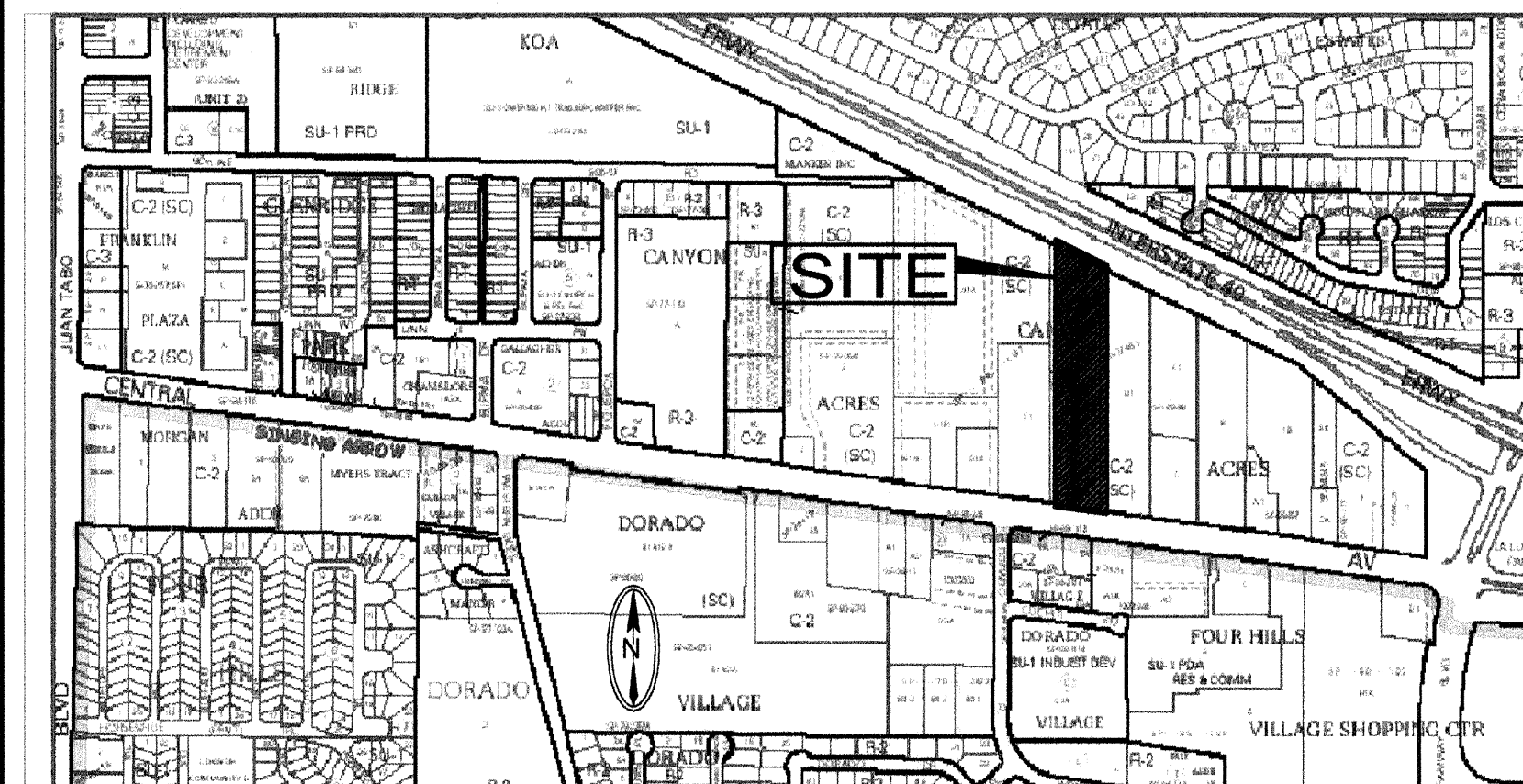
7-3-07

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Angela K. Lopez
DATE: 8-2-07

DRB # 1004364



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-6098 Fax: (505) 888-6188



VICINITY MAP: L-22

SCALE: NTS

GENERAL NOTES:

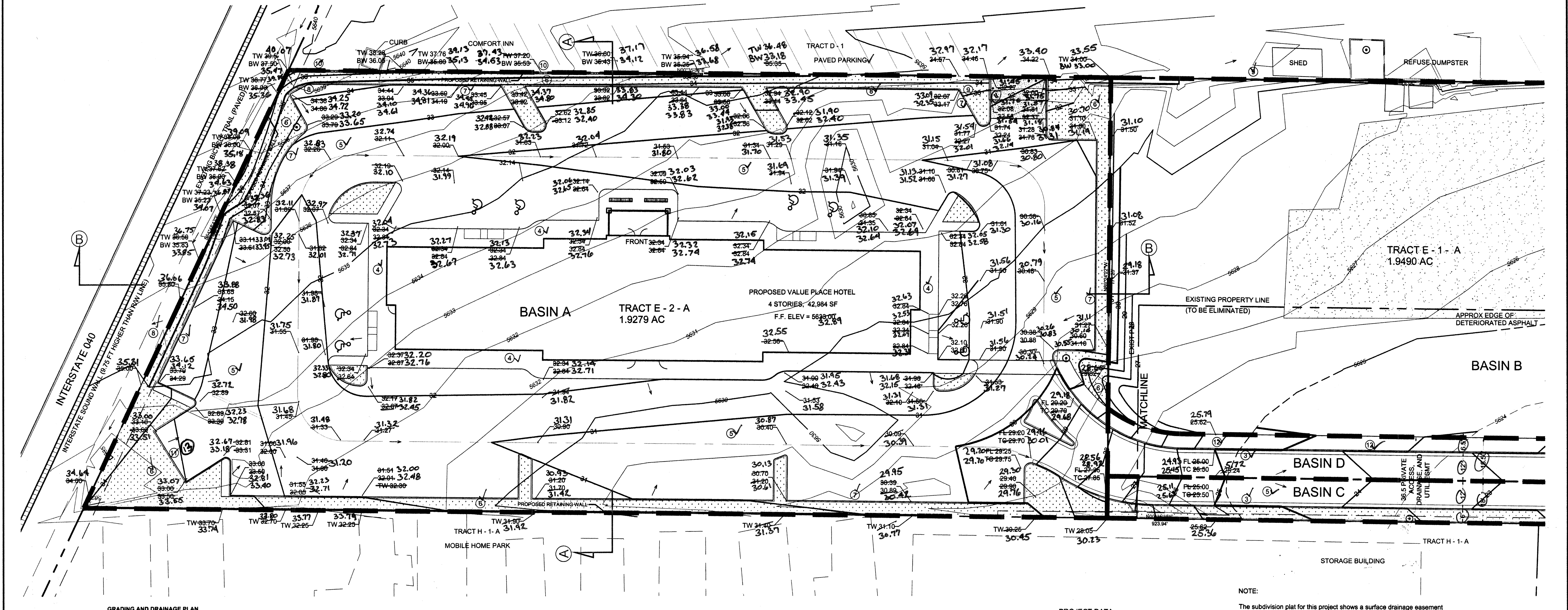
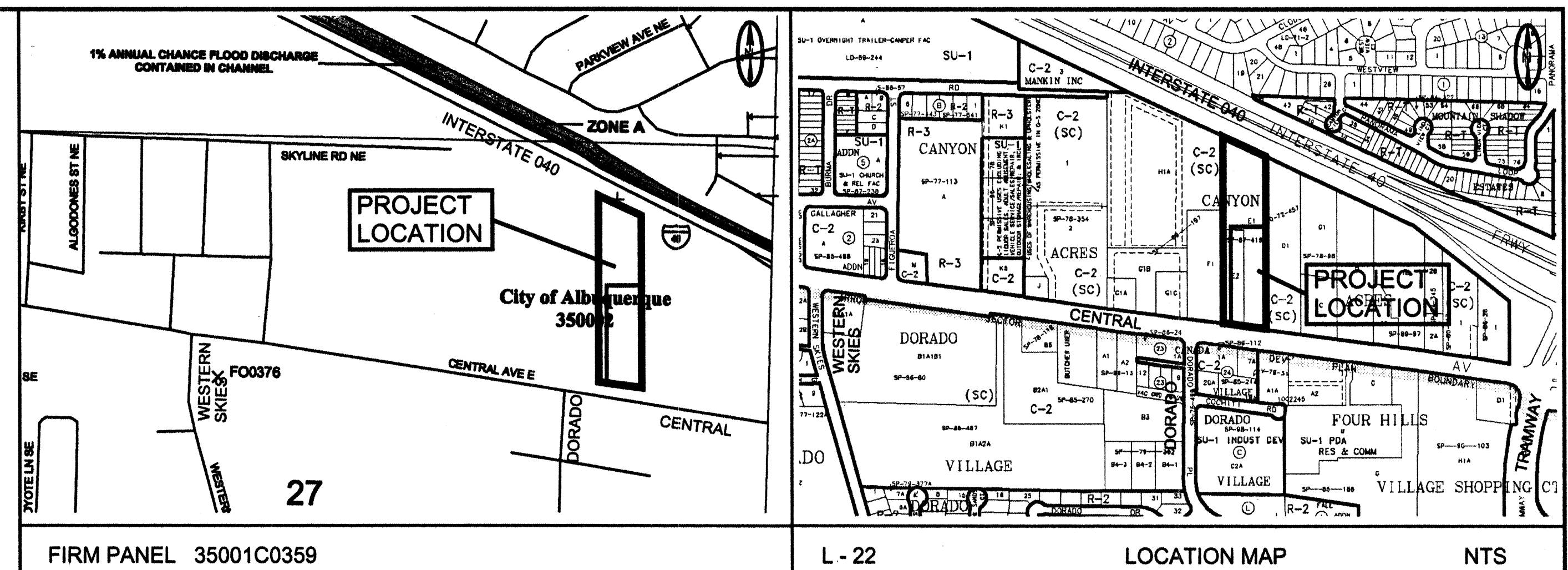
1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 7, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS
2. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENTS SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
7. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
8. ALL EXISTING UTILITIES REFLECTED ON THESE PLANS ARE BASED ON DOCUMENTATION RESEARCH ONLY AND REQUIRE FIELD VERIFICATION. PRIOR TO CONSTRUCTION CONTRACTOR SHALL FIELD VERIFY ALL RELEVANT UTILITIES FOR LOCATION, SIZE, AND MATERIAL AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF ANY DISCREPANCY.
9. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
10. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEEL CHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
11. EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
12. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
13. THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
14. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
15. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
17. THE WATER SYSTEMS DIVISION (857-8200) WILL BE NOTIFIED BY THE CONTRACTOR SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK WHICH MAY AFFECT THE EXISTING PUBLIC WATER FACILITIES. REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS.
18. ELECTRONIC MARKER DISKS (EMD) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chair	<i>Paul T. Brasher</i>	4-20-06			
		Transportation	<i>Mr. [Signature]</i>	4/4/06			
		Water/Wastewater	<i>Brady & Blythe</i>	3/28/06			
		Hydrology	<i>Brady & Blythe</i>	4/3/06			
		CIP					
		Constr. Mgmt.					
		Constr. Coord.					
City Project No.					Zone Map No.	Sheet	of
7730.81					L - 22		1 OF 5

LEGEND			LEGEND		
ITEM	EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED
RIGHT OF WAY	---	---	CHAIN LINK FENCE	---	---
EASEMENT LINE	---	---	RETAINING WALL	---	---
PROPERTY LINE	---	---	DRAINAGE BASIN	---	---
CENTERLINE	---	---	DIVIDE	---	---
SPOT ELEV.	X 16.7	87.26	TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
HEADER CURB	---	---			
FLOWLINE ELEV.	FL 0.14	FL 0.14			
TOP OF CURB ELEV.	TC 99.3	TC 99.31			
CONTOUR	5166	92			
CONT. (SUPPLEMENT)	5166	92			
SWALE	---	---			
DIRECTION OF FLOW	---	---			
WATER BLOCK	---	---			
LANDSCAPED AREA	---	---			

- KEYED NOTES**
- EXISTING STANDARD CURB & GUTTER
 - EXISTING ASPHALT PAVING
 - NEW CONC. CURB AND GUTTER
 - NEW 6" CONC. TURNDOWN SIDEWALK
 - NEW ASPHALT PAVEMENT
 - NEW LANDSCAPING
 - 6" CONC. HEADER CURB
 - NEW CMU RETAINING WALL
 - EXIST. CHAIN LINK FENCE
 - NEW 8" CHAIN LINK FENCE
 - NEW REFUSE ENCLOSURE
 - 6" SIDEWALK
 - NEW REFUSE ENCLOSURE OMITTED

PROJECT HYDROLOGY									
TRACTS E-1-A AND E-2-A FOR VALUE PLACE (TRACT E-2-A)									
ZONE:	3								
P ₂₄ HOUR	2.80								
P ₂₄ HR	3.10								
UNDEVELOPED									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)	
A	1.7278	-0-	-0-	1.6241	0.1037	1.35	6.14	0.1950	
B	0.2000	-0-	-0-	0.1640	0.0360	1.48	0.55	0.0247	
C	1.6917	-0-	-0-	1.2180	0.4737	1.59	6.60	0.2239	
D	0.2573	-0-	-0-	0.1853	0.0720	1.59	1.02	0.0341	
DEVELOPED									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL 360 (ac ft)	
A	1.7278	-0-	-0-	0.2200	1.5078	2.27	8.48	0.3271	
B	0.2000	-0-	-0-	0.0699	0.1301	1.98	0.92	0.0331	
C	1.6917	-0-	-0-	1.2688	0.4229	1.56	6.52	0.2194	
D	0.2573	-0-	-0-	-0-	0.2573	2.36	1.30	0.0505	



PURPOSE AND SCOPE

This Grading and Drainage Plan is a component of a Site Plan for Subdivision, plat, and Site Development Plan initiated to reconfigure two existing tracts - Tracts E-1 and E-2, Canyon Acres Subdivision - into new Tracts E-1-A and E-2-A, respectively, for the immediate development of E-2-A as a hotel. Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. Hydrology calculations are provided for both tracts; detailed grading is provided for Tract E-2-A only.

EXISTING CONDITIONS

The project site consists of 3.8768 acres, comprising existing Tracts E-1 and E-2 of Canyon Acres Subdivision. The site is located adjacent to the north side of Central, between Juan Tabo and Tramway. It is bounded on the north by the bike trail adjacent to Interstate 40, on the south by Central, on the east by the fully-developed Comfort Inn hotel, and on the west by a mobile home/trailer park. The site was originally developed as a motel which was demolished in 2002, leaving only deteriorating paving and landscaping features. At present, the combined site serves temporary storage of several uninhabited mobile homes. Much of the site is overgrown by native vegetation. Site topography slopes generally down from northeast to southwest. Grading of the adjoining properties is such that no runoff from adjacent development enters the site. The developed property to the east is elevated by a retaining wall running much of the length of the common property line. The asphalt bike trail to the north is lower in elevation than the north property line of the site. The site is graded such that apparently no runoff discharges west to the mobile home/trailer park. As a result, all runoff from the combined project site discharges to Central Ave. As shown by the attached FIRM Panel, the project site is not encumbered by a designated flood hazard zone.

PROPOSED CONDITIONS

A re-plot of existing Tracts E-1 and E-2 will create new Tracts E-1-A and E-2-A by reconfiguration of the lot lines. The total acreage will remain the same. As shown by the Plan, the project consists of the immediate development of a hotel to be constructed on new Tract E-2-A, towards the north end of the site. Tract E-1-A will be developed at some future date under a future site development planning action. Access to the hotel property will be taken directly from Central by means of a private paved entrance road. Although the new property line runs along the approximate centerline of the new access road, the full road improvement will be contained within a shared private access, drainage, and utilities easement. The hotel site (Tract E-2-A) will be fully paved and landscaped, with only minor grading to occur on Tract E-1-A as necessary along the adjoining property line. Otherwise, no improvements to new Tract E-1-A are proposed. All areas of Tract E-2-A that are not to be paved will be landscaped.

The grading plan for the hotel site provides for an inverted crown in the drive aisles to convey water from the site's northernmost reaches to the entrance road. The entrance road is graded to drain directly to Central, and into the existing closed-conduit storm sewer system downstream. As a result, all drainage from the hotel tract will be discharged directly to Central. New and existing retaining walls will be required along portions of the perimeter of the hotel site. The finished floor elevation was established to optimize necessary retaining wall heights, parking lot slopes, earthwork, and surface drainage conveyance. The proposed site improvements do not affect historical drainage patterns.

EROSION CONTROL

Since the disturbed area is determined to be more than 1.0-acre a Storm Water Pollution Prevention Plan and Notice of Intent are required prior to construction. A complete Storm Water Pollution Prevention Plan will be prepared in advance of construction outlining the short term and long term erosion, sediment and pollution control aspects of the project.

CALCULATIONS

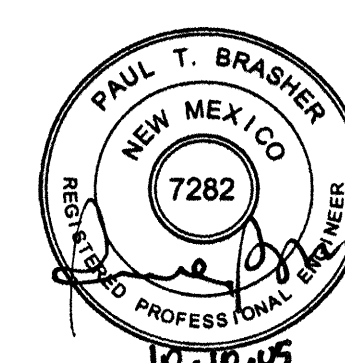
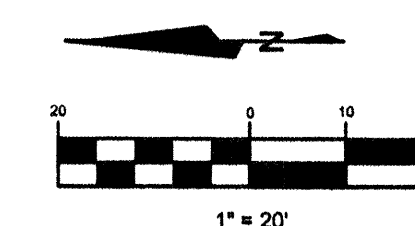
Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997.

PROJECT DATA

LEGAL DESCRIPTION:
TRACT E-2-A,
CANYON ACRES SUBDIVISION
PROPERTY ADDRESS:
13001 CENTRAL AVE. NE
BENCHMARK:
TBM - C.O.A. CONTROL #6 - L-22
TOP OF CURB OPP. SE CORNER TRACT E-1-A
ELEVATION = 5620.06 MSL (1929 DATUM)

MAPPING:
TOPOGRAPHIC AND FIELD MEASUREMENTS
BY PRECISION SURVEYS
DATED JULY, 2005

NOTE:
The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.



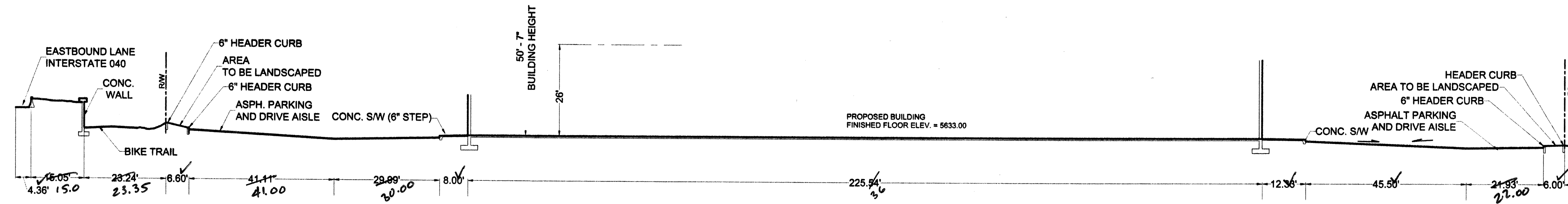
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-868-6088 Fax: 505-868-6188

VALUE PLACE
GRADING AND DRAINAGE PLAN
SHT: 3 OF 5

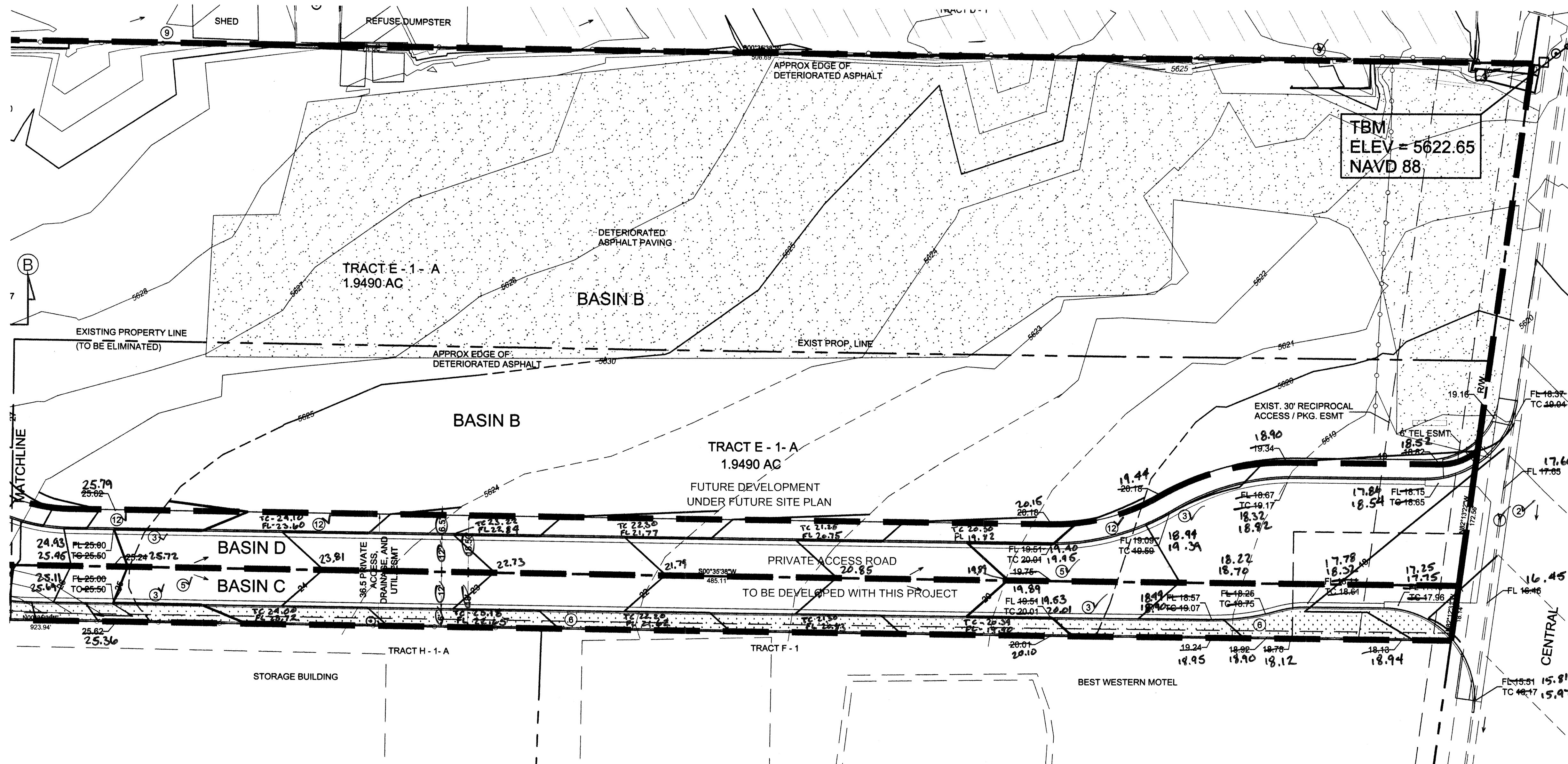
DRW: R.M.
CKD: P.T.B.
APP:
REV. NO.

TR:
OK:
ACAD FILE:
FOD/DP

DATE: 10/03/05
SCALE: 1" = 20'



SECTION B - B



LEGEND		
ITEM	EXISTING	PROPOSED
RIGHT OF WAY	---	---
EASEMENT LINE	---	---
CHAIN LINK FENCE	x	x
RETAINING WALL	=====	=====
DRAINAGE BASIN DIVIDE	---	---
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
SPOT ELEV.	X 16.7	X 87.26
CURB	---	---
FLOWLINE ELEV.	FL 0.14	FL 0.14
TOP OF CURB ELEV.	TC 99.3	TC 99.31
CONTOUR	5166	66
SWALE	---	---
DIRECTION OF FLOW	---	---
WATER BLOCK	---	---
PROPERTY LINE	---	---
CENTERLINE	---	---

ENGINEER'S CERTIFICATION (HYDROLOGY) FOR PERMANENT CERTIFICATE OF OCCUPANCY
All of the deficiencies listed below have been addressed.

Steven K. Morrow, NMPE 13679 Date 6-4-07

HYDROLOGY CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY

I, Steven K. Morrow, NMPE 13679, of the firm Brasher and Lorenz, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 10-10-05. The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

The following deficiencies must be addressed before a Permanent Certificate of Occupancy will be granted:

1. Landscaping must be completed.
2. There are several very large puddles in the parking lot.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Steven K. Morrow, NMPE 13679

5-16-07 Date

NOTE:

The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.

PROJECT DATA

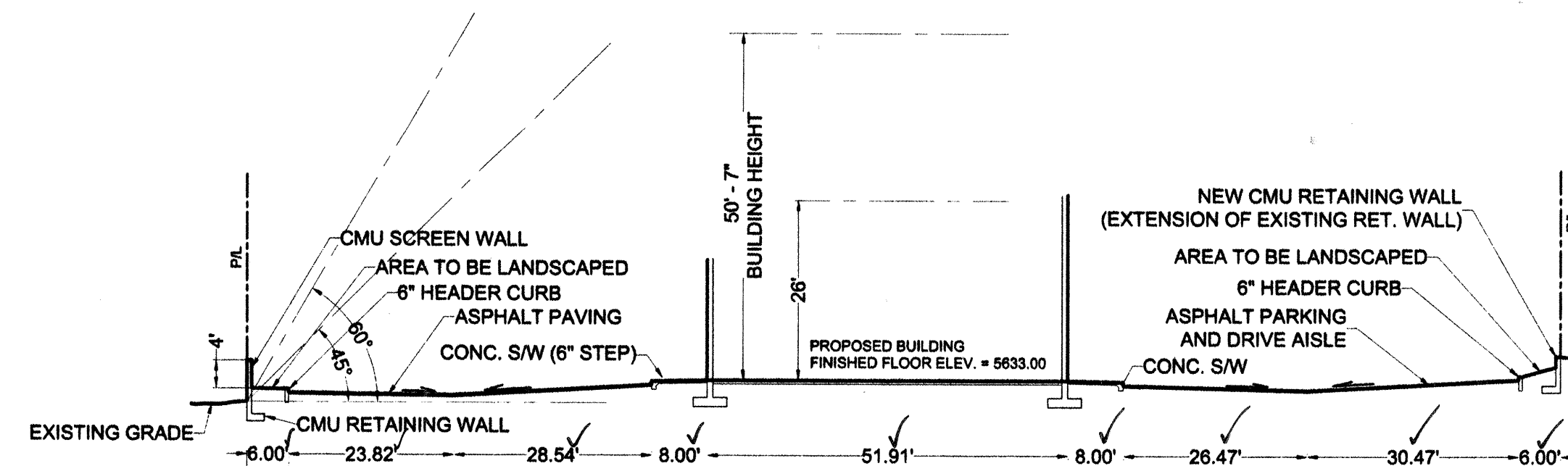
LEGAL DESCRIPTION:
TRACT E-2-A,
CANYON ACRES SUBDIVISION

PROPERTY ADDRESS:
13001 CENTRAL AVE. NE

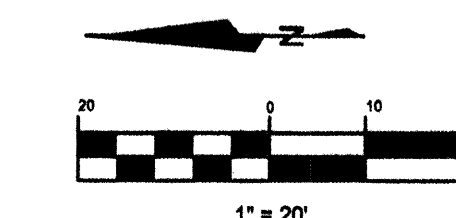
BENCHMARK:

TBM - C.O.A. CONTROL #6 - L-22*
TOP OF CURB OPP. SE CORNER TRACT E-1-A
ELEVATION = 5620.06 MSL (1929 DATUM)

MAPPING:
TOPOGRAPHIC AND FIELD MEASUREMENTS
BY PRECISION SURVEYS
DATED JULY, 2005



SECTION A - A



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-886-6088 Fax: 505-886-6188



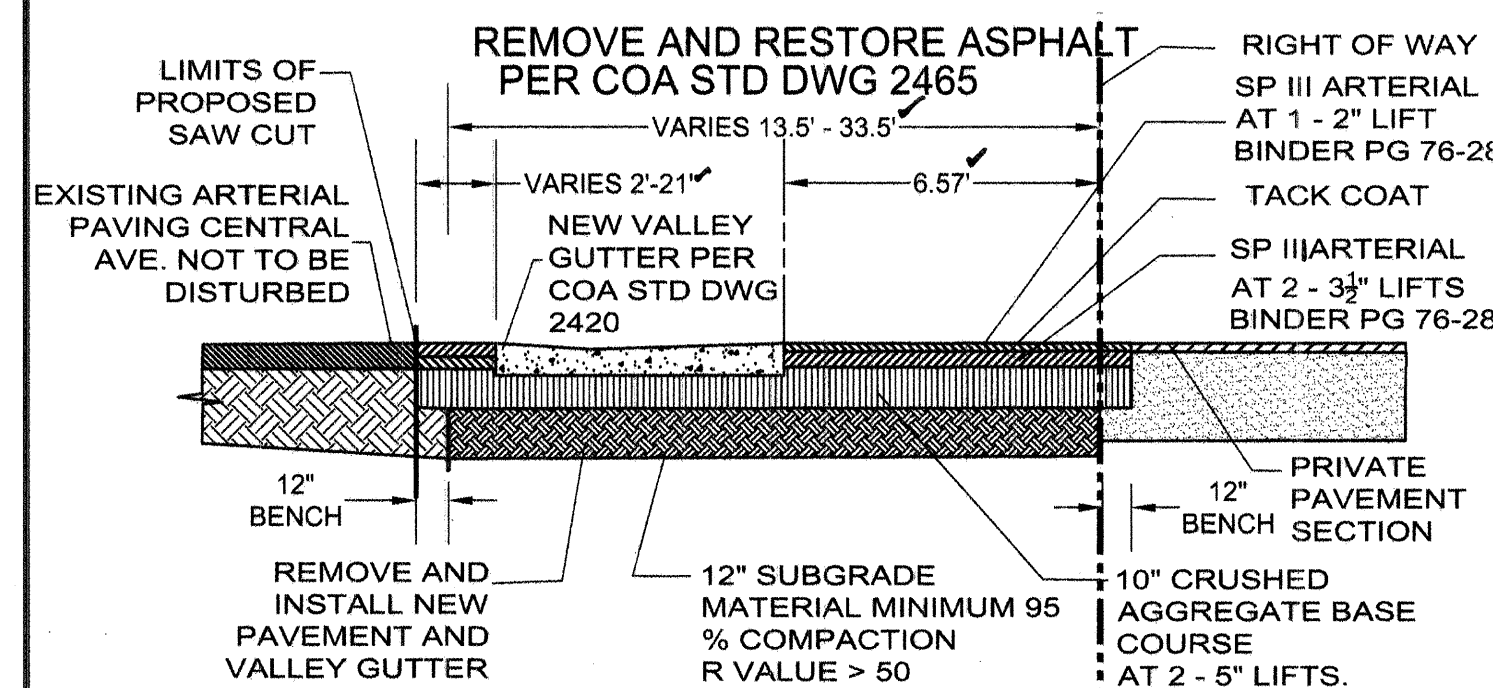
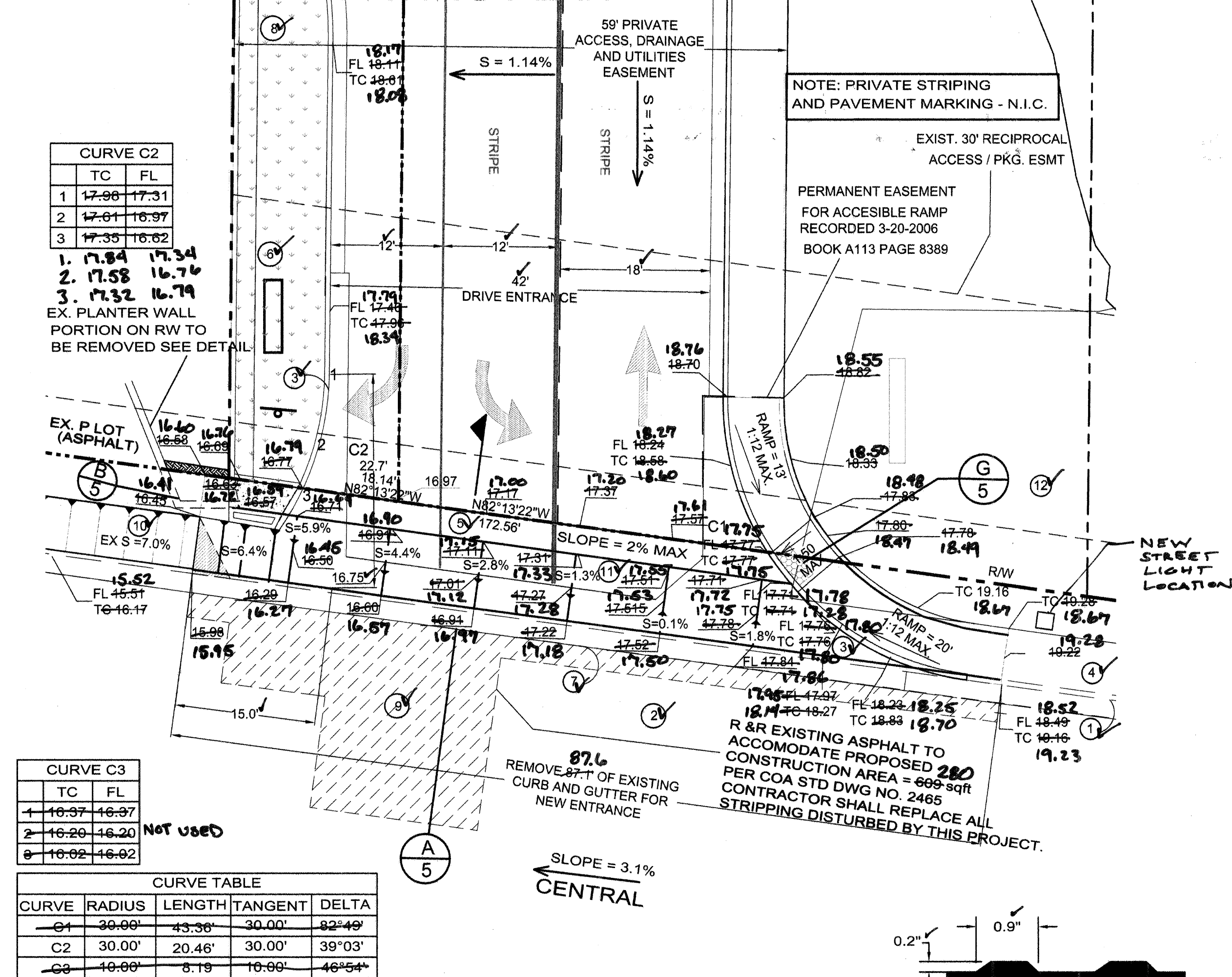
VALUE PLACE
GRADING AND DRAINAGE PLAN

SHT: 4 OF 5

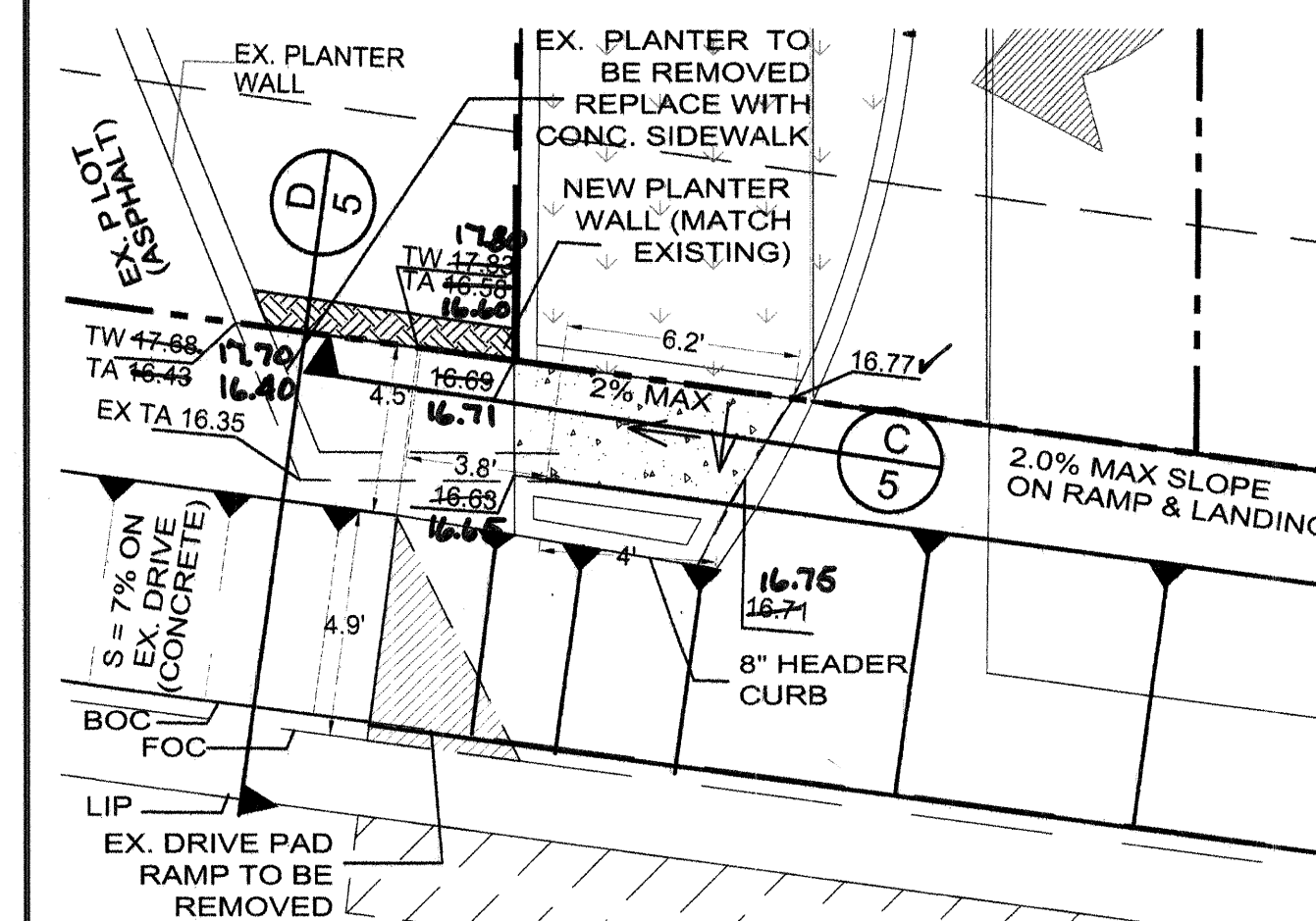
DRW: R.M	TR:	DATE: 10/03/05
CKD: P.T.B	OK:	SCALE: 1" = 20'
APP:	ACAD FILE:	
REV. NO.	FOD/VP	

#773081 Sh. 4 of 5

PAVING PLAN



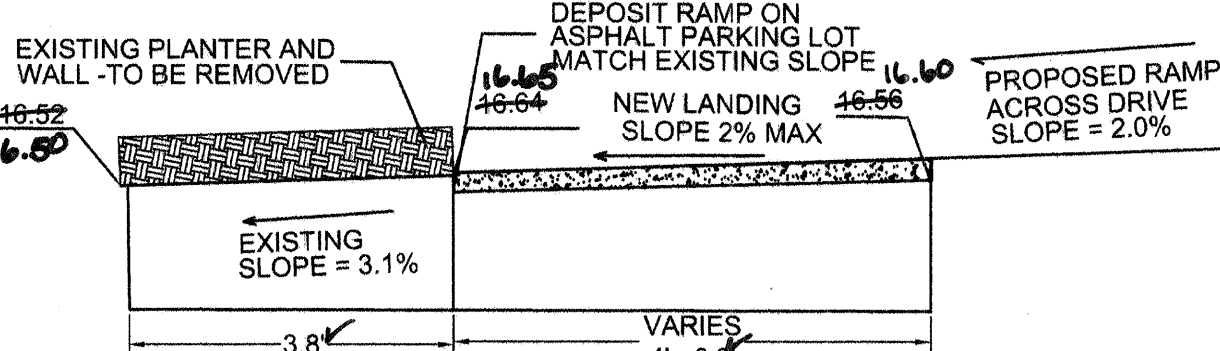
ENTRANCE PAVEMENT SECTION
PAVEMENT DESIGN FROM
COA PROJECT NUMBER 5188.90



CORNER DETAIL

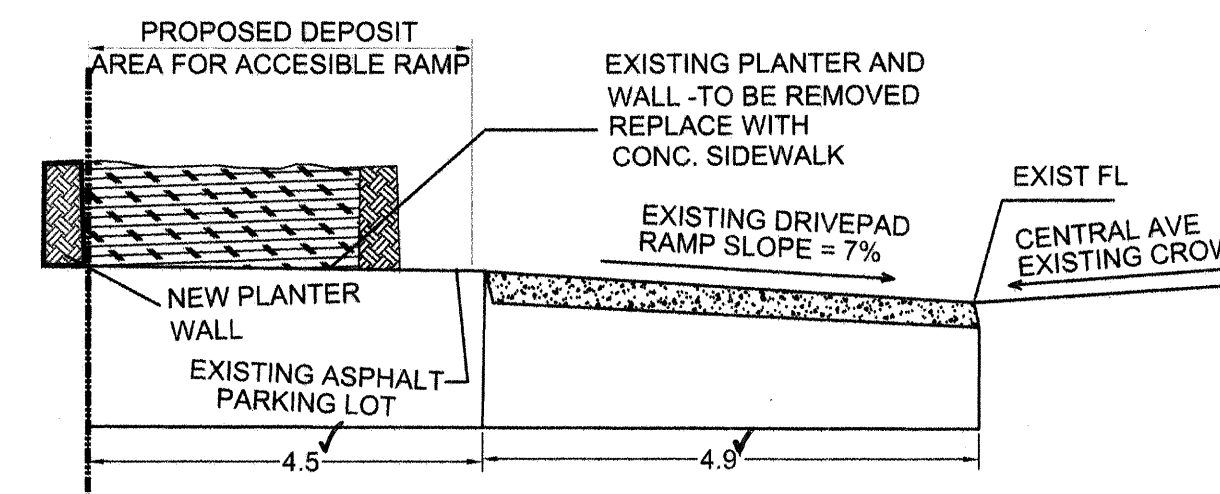
NOTE:

The subdivision plat for this project shows a surface drainage easement over Tracts E-1-A, AND E-2-A. Maintenance of the easement and facilities contained therein will be the responsibility of the property owners.



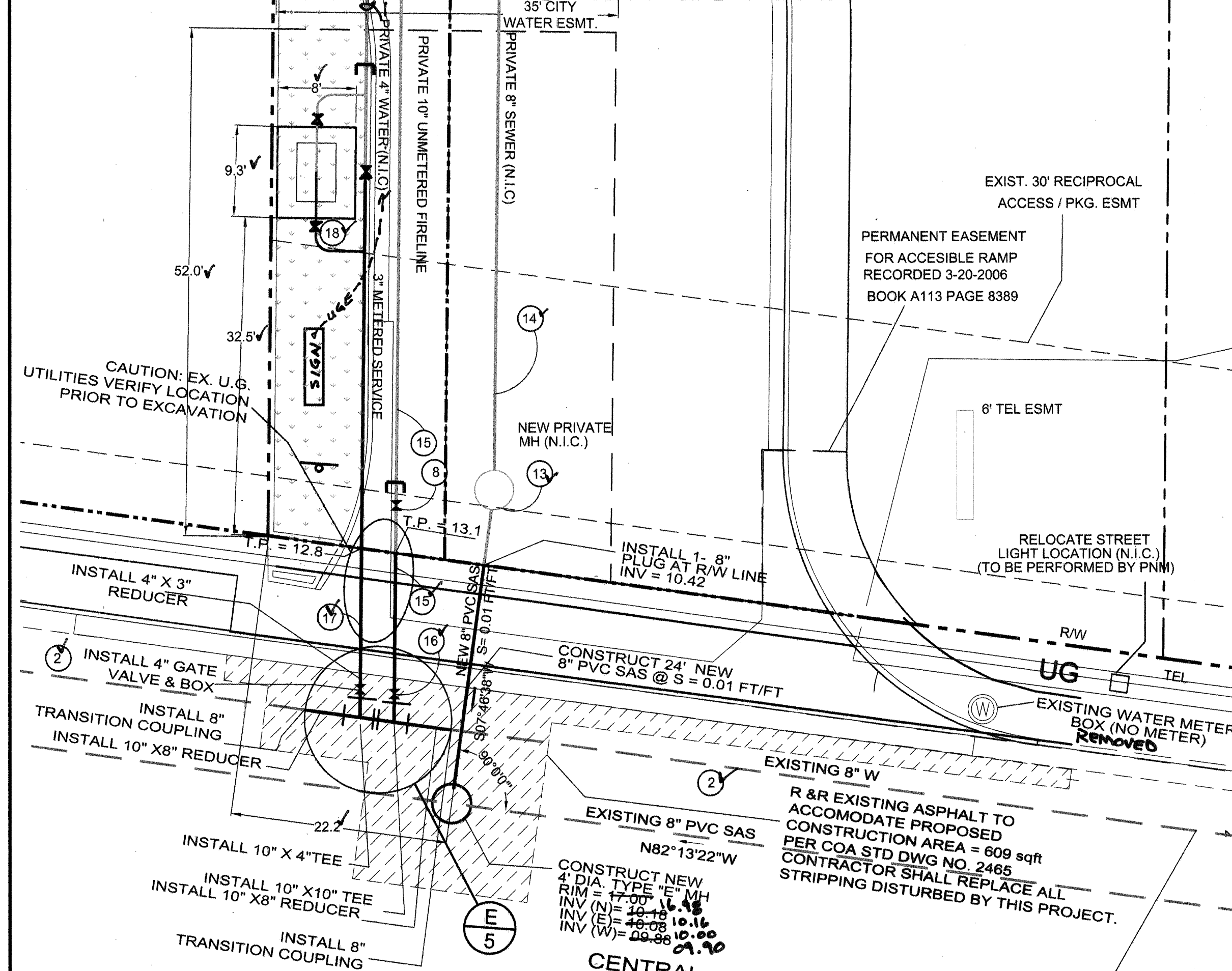
RAMP PROFILE SECTION

NOTE: ALL ACCESSIBLE
FEATURES ARE TO BE
ADA COMPLIANT.



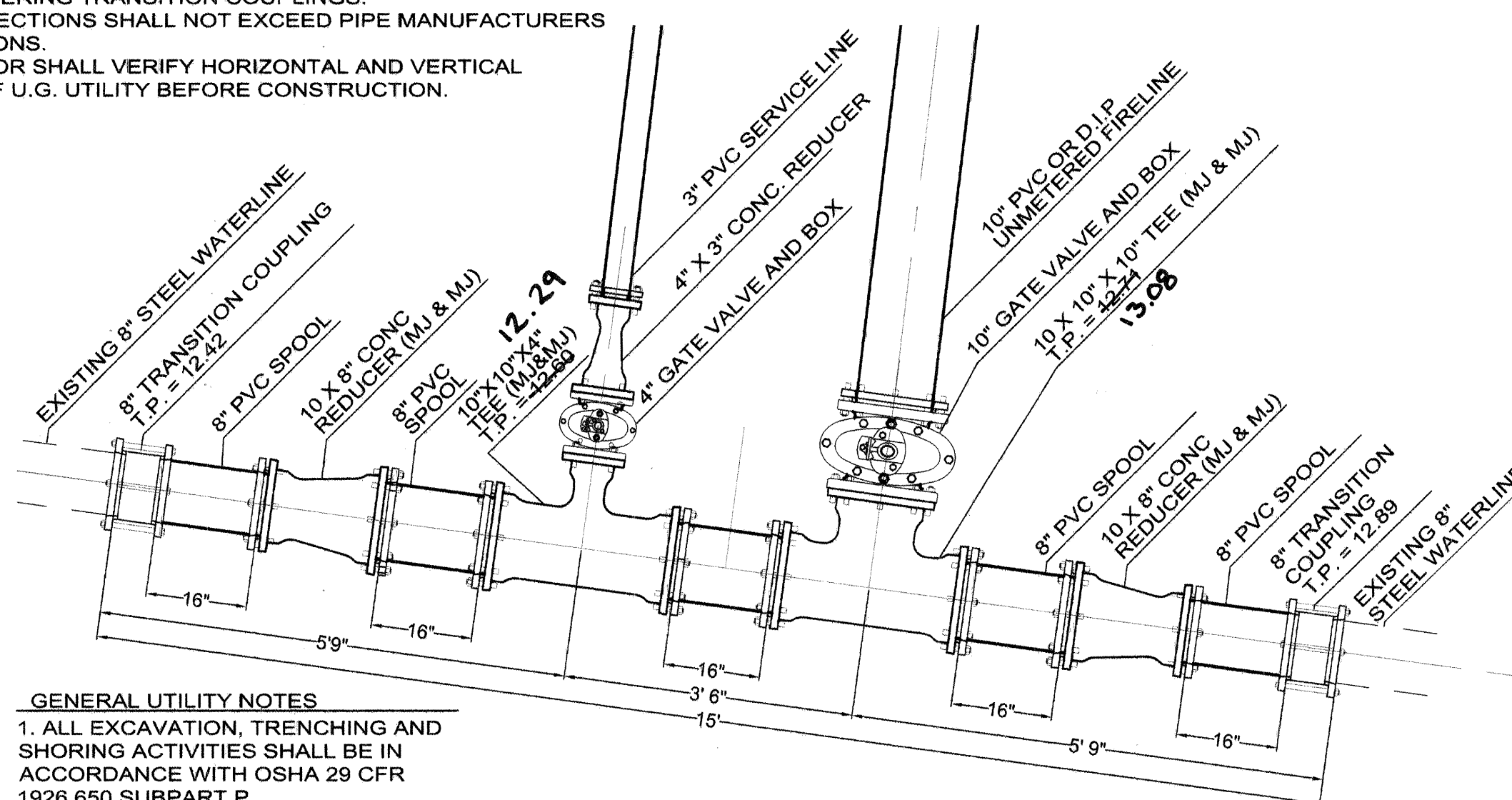
ADJACENT PROPERTY INTERFACE
PROFILE SECTION NTS

UTILITIES PLAN



- ALL CONNECTIONS REQUIRE RESTRAINED JOINTS (MEGA-LUGS)
- CONTRACTOR SHALL VERIFY O.D. OF EXISTING STEEL WATERLINE BEFORE ORDERING TRANSITION COUPLINGS.
- JOINT DEFLECTIONS SHALL NOT EXCEED PIPE MANUFACTURERS SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF U.G. UTILITY BEFORE CONSTRUCTION.

EXISTING 8" WATERLINE WAS POTHOLED ON
1-28-2006.
IT WAS LOCATED 39" BELOW EXISTING PAVEMENT
AND WAS CONFIRMED TO BE 8" STEEL



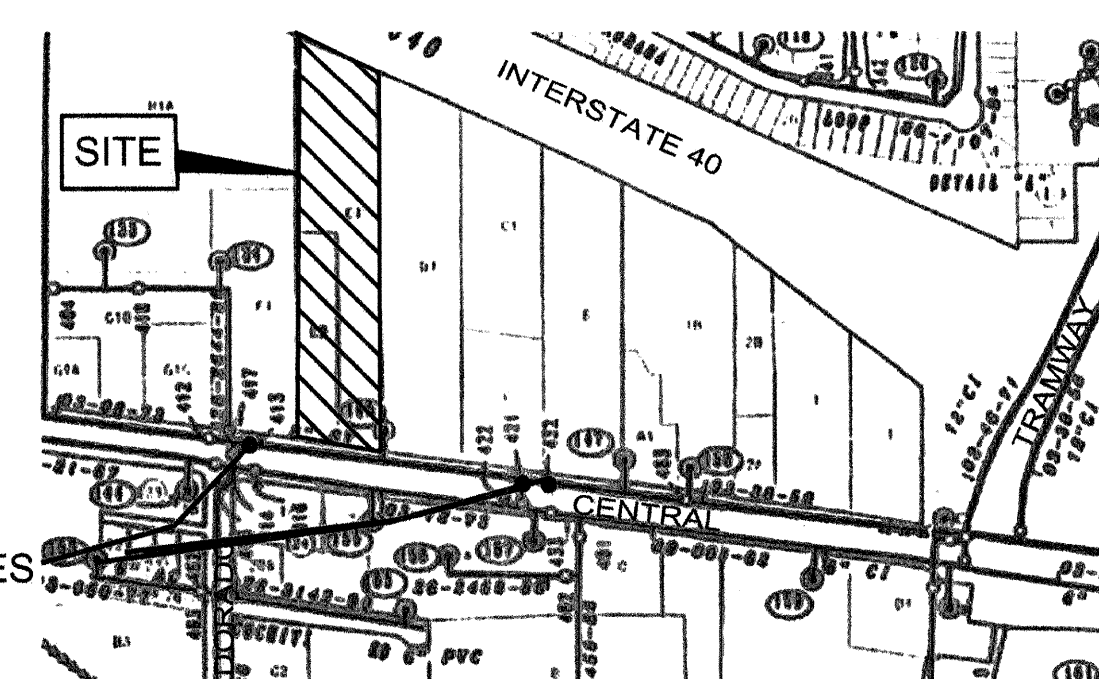
SERVICE CONNECTION DETAILS

WATER SHUT-OFF PLAN

SEE DETAIL  THIS SHEET FOR VALVE LOCATIONS

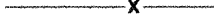
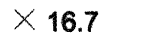
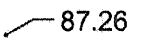
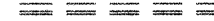
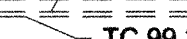
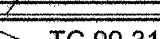
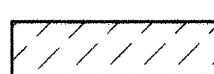
1. VALVES, HYDRANTS, AND APPURTENANCES OF THE CITY WATER SYSTEM SHALL BE OPERATED BY CITY PERSONNEL ONLY.
2. THE CONTRACTOR SHALL PROVIDE THE CITY 7 WORKING DAYS ADVANCE NOTICE OF NEED FOR SYSTEM SHUTDOWN. CALL 857-8200.
3. NON PRESSURIZED CONNECTION TO EXISTING 8" WATER LINE IN CENTRAL AVE. WILL REQUIRE SYSTEM SHUTDOWN.
4. SYSTEM SHUT-OFF WILL BE ACCOMPISHED BY
CLOSING THREE VALVES LOCATED IN CENTRAL AVE. VALVES NUMBERED 413, 421, & 432
5. ANTICIPATED SHUT DOWN DURATION IS 8 HOURS
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PROPERTY OWNERS 24 HOURS PRIOR TO SHUT DOWN

SHUT OFF VALVES
#413, 421, & 432



WATER SHUT OFF VICINITY MAP

LEGEND

ITEM	EXISTING	PROPOSED
RIGHT OF WAY		
EASEMENT LINE		
CHAIN LINK FENCE		
TOP OF ASPHALT ELEV.		
SPOT ELEV.		
CURB		
FLOW LINE ELEV.		
TOP OF CURB ELEV.		
CONTOUR		
WATER BLOCK		
PROPERTY LINE		
CENTERLINE		
REMOVE AND REPLACE ASPHALT		



KEYED NOTES

1. EXISTING STANDARD CURB & GUTTER
2. EXISTING ASPHALT PAVING
3. NEW CONC. CURB AND GUTTER
PER COA STD. DWG 2415A
4. NEW 6" CONC. TURNDOWN SIDEWALK
PER COA STD. DWG 2430
5. NEW ASPHALT PAVEMENT
SEE DETAIL (A) THIS SHEET
6. NEW LANDSCAPING
7. SAW CUT ASPHALT MIN 1' AWAY - ~~DELETED~~
FROM EXISTING CURB AND GUTTER
8. INSTALL NEW PRIVATE 10" GATE VALVE
WITH RESTRAINED JOINTS AND VALVE BOX
9. REMOVE AND RESTORE ASPHALT
PER COA STD. DWG 2465
10. EXISTING DRIVEWAY ENTRANCE
11. NEW 6" CONCRETE VALLEY GUTTER
PER COA STD. DWG 2420
12. NEW 6" SIDEWALK PER COA STD DWG 2430
13. NEW SANITARY SEWER TYPE "E" MANHOLE
PER COA STD. DWG 2102
14. NEW 8" PVC SANITARY SEWER LINE
15. NEW 10" UNMETERED FIRELINE
16. NEW 10" GATE VALVE WITH RESTRAINED JOINTS
& VALVE BOX PER COA STD. DWG 2326
17. NEW 3" METERED SERVICE LINE
18. INSTALL COMPLETE 3" METERED SERVICE
WITH VAULT PER COA STD. DWG 2370

RESTRAINED JOINTS LENGTH

1. TEE BRANCH - EACH RUN PIPE SHALL BE MINIMUM 10" W/O JOINTS
2. DISTANCE SHOWN IS IN EACH DIRECTION FOR VALVES AND BENDS
3. ALL DEAD END CAPS SHALL BE BLOCKED

SIZE	90°	45°	22-1/2°	11 1/4°	TEE	VALVE
4"	21'	9'	5'	3'	21'	52'
8"	31'	13'	7'	4'	54'	97'
10"	34'	15'	7'	4'	69'	107'

PROJECT DATA

LEGAL DESCRIPTION:
TRACT E-2-A,
CANYON ACRES SUBDIVISION

PROPERTY ADDRESS:
13001 CENTRAL AVE. NE

MAPPING:
TOPOGRAPHIC AND FIELD MEASUREMENTS
BY PRECISION SURVEYS
DATED JULY, 2005



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

VALUE PLACE

UTILITIES AND PAVING PLAN

Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
						

City Project No. _____

7730.81

Zone Map No.
L-22

5 of 5

UP
"RECORD
DRAWING