

CITY OF ALBUQUERQUE NEW MEXICO



APRIL 2021

MESA DEL SOL TRACT D, INNOVATION PARK II PAVING AND UTILITY IMPROVEMENTS

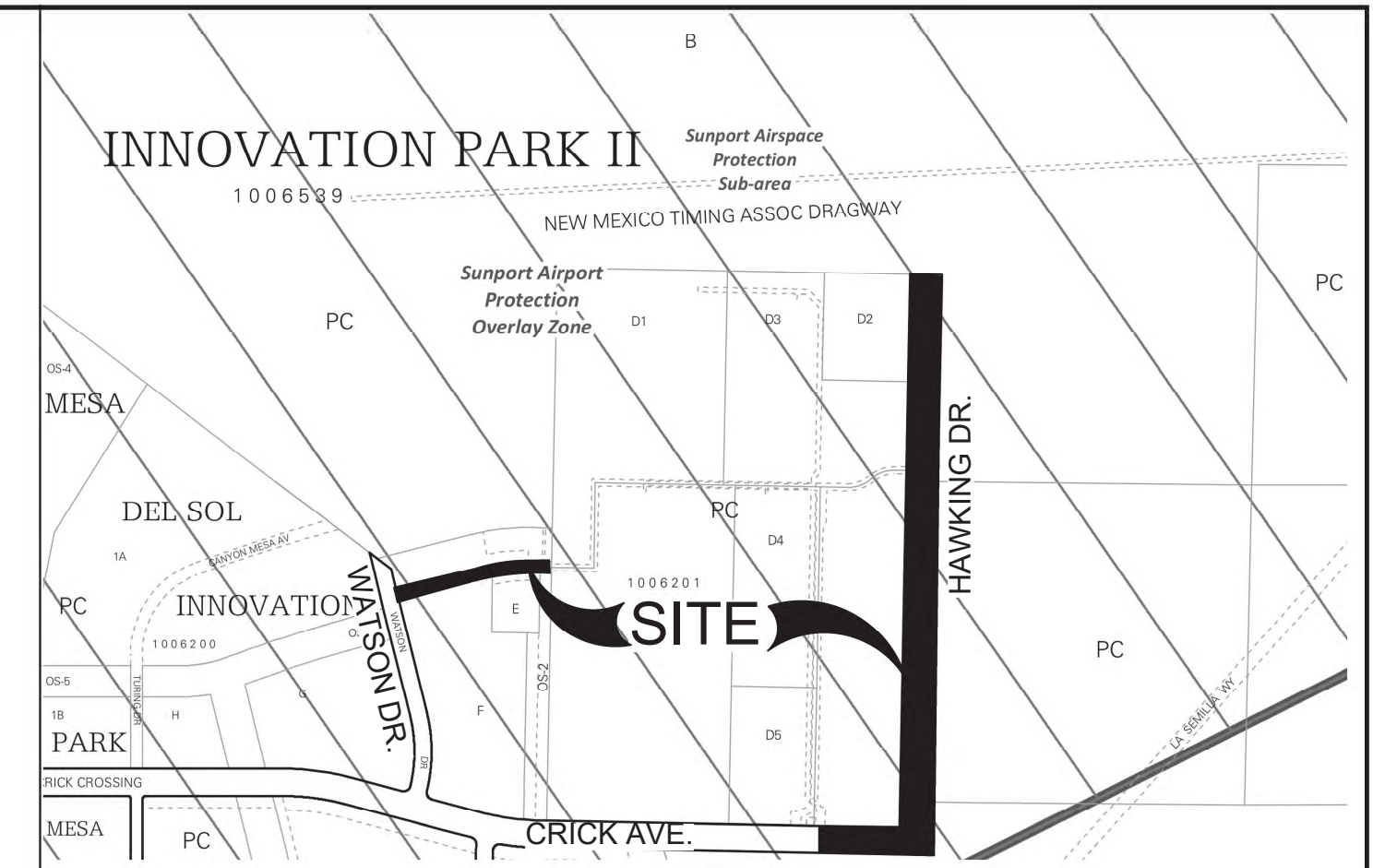
PROJECT # ~~299588~~ 775580

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CALL NM ONE-CALL SYSTEM
SEVEN (7) DAYS PRIOR TO
ANY EXCAVATION



VICINITY MAP

ZONE ATLAS MAP Q-16-Z
NTS

RECORD DRAWINGS

I, DAVID B. THOMPSON OF THE FIRM THOMPSON ENGINEERING CONSULTANTS, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY STATE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN GENERAL ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, WHILE SOMEONE FROM THOMPSON ENGINEERING CONSULTANTS WAS ONSITE, APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED ON THE AS-BUILT CONSTRUCTION DRAWINGS. THE CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION, AND AS-BUILT SURVEY INFORMATION PROVIDED BY JASON D. SMITH NMPS NUMBER 17122.

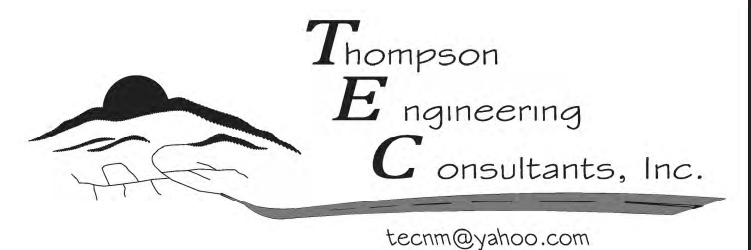


I, Jason D. Smith, New Mexico Professional Surveyor No. 17122, do hereby certify that this Property Description was prepared by me or under my supervision, meets the minimum requirements for surveys in New Mexico, and is true and accurate to the best of my knowledge and belief.
Jason D. Smith, N.M.P.S. No. 17122(3-16-2023)

Jason D. Smith



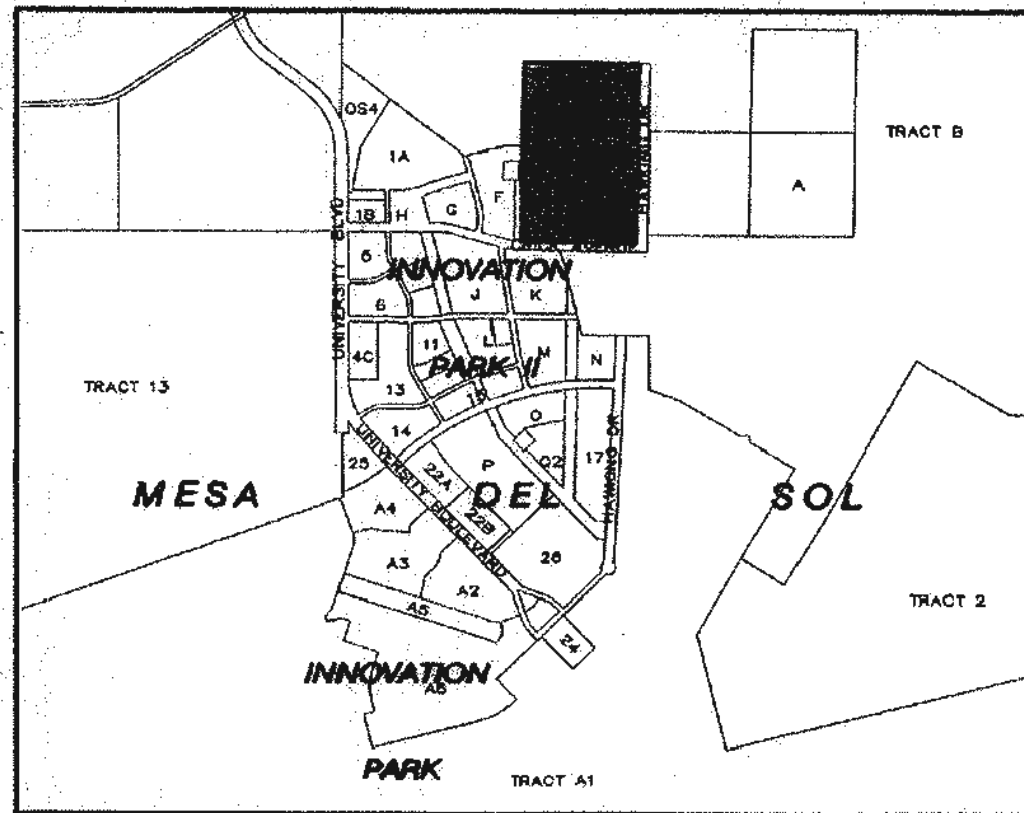
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P.O. BOX 65760 ALBUQUERQUE, NM 87193 PHONE: (505) 271-2199 FAX: (505) 630-9246

DRB CASE # 2019-001971

ENGINEER STAMP AND SIGNATURE	APPROVALS	ENGINEER	DATE	*****
	DRC CHAIRPERSON	1/11/2022	APPROVED FOR CONSTRUCTION	
	TRANSPORTATION	4/29/2021		
	WATER/WASTEWATER	5/26/21		
	HYDROLOGY	5/5/2021		
	PARKS			
CONST. MGMT.				12/16/2022
CONST. COORD.				CITY ENGINEER DATE
CITY PROJECT NO.				SHEET
775580	299588			1 OF 14



LOCATION MAP
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index Number: Q-16.
3. Zoning: PC
4. Gross Subdivision Acreage: 80.0000 Acres.
5. Total number of Lots/Tracts Created: Seven (7) Tracts.
6. 0.0044 Acres of additional public right-of-way created with this Plat.
7. Date of Survey: February, 2014.
8. Plat is located within Sections 15 & 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

PURPOSE OF PLAT

The purpose of this Plat is to Subdivide all of Tract lettered "D" of the Bulk Land Plat for Mesa Del Sol, Innovation Park II, being a replat of Tracts 1, 12, 15, 4-A-2, 4-A-3 & 4-A-4, Mesa Del Sol and Tracts 2-A, 2-B, 3, 4, 8, 9, 10, 16, 18, 19, 20, 21, OS-1, OS-2, OS-3 & OS-6, Mesa del Sol Innovation Park, as the same is shown and designated on the plat thereof recorded in the real property records of Bernalillo County, New Mexico, on August 7, 2008, as Document Number 2008089615, in Plat Book 2008-C, Page 175 into Seven (7) Tracts and to grant easements and dedicate right of way.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGCO) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGCO and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

DESCRIPTION

A certain tract of land located within Sections 15 & 22, Township 9 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract lettered "D" of the Bulk Land Plat for Mesa Del Sol, Innovation Park II, being a replat of Tracts 1, 12, 15, 4-A-2, 4-A-3 & 4-A-4, Mesa Del Sol and Tracts 2-A, 2-B, 3, 4, 8, 9, 10, 16, 18, 19, 20, 21, OS-1, OS-2, OS-3 & OS-6, Mesa del Sol Innovation Park, as the same is shown and designated on the plat thereof recorded in the real property records of Bernalillo County, New Mexico, on August 7, 2008, as Document Number 2008089615, in Plat Book 2008-C, Page 175.

Tract contains 80.0000 acres of land, more or less.

FREE CONSENT AND DEDICATION

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat and dedicate right of way to the City of Albuquerque in Fee Simple with Warranty Covenants. Access easements are permanent.

SCHOTT Solar CSP, LLC,
a Delaware limited liability company

By: Don P. Brown

Name: Don P. Brown

Title: Agent

State of New Mexico

County of Bernalillo

This instrument was acknowledged before me on 15th day of April, 2011, by

Don P. Brown

Agent for Schott Solar CSP, LLC, a Delaware

limited liability company

My Commission Expires 6-12-17 Notary Public

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1983 Datum). Basis of Bearings: Inverse between City of Albuquerque survey Monuments "3-C-16" and "1-R-16" Bearing = S12°18'06"W
2. Distances are ground distances.
3. Record bearings and distances are the same as shown on the Bulk Land Plat for Mesa Del Sol Innovation Park II, Albuquerque, New Mexico, recorded August 7, 2008 in Book 2008C, Page 175 as Document No. 2008089615.
4. Record Easements were taken from Title Commitment issued by Stewart Title Guaranty Company, Commitment No. 01147-7966, Effective Date: February 1, 2016.
5. Tracts D-1 thru D-7 are subject to a private blanket drainage easement granted with the filing of this plat.
6. 20' Permanent Private Utility Easement granted with the filing of this plat and to be maintained by owners of Tracts D-1 thru D-7.
7. 30' Permanent Private Access Easement granted with the filing of this plat and to be maintained by owners of Tracts D-1, D-3, D-4, D-5, D-6 & D-7.
8. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat."
9. All interior tract corners to be monumented by a 5/8" rebar and plastic cap stamped "Gromatzky PS 16469" or a nail and washer stamped "Gromatzky PS 16469".
10. Chick Avenue SE and Hawking Drive SE are public rights-of-way in fee simple to the City of Albuquerque as dedicated by the plat filed on August 7, 2008 in Book 2008C, page 175 as Document No. 2008089615.

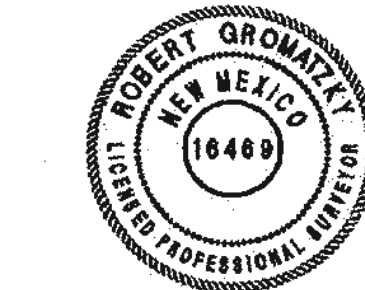
SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky

Robert Gromatzky
New Mexico Professional Surveyor 18469

Date: April 13, 2016



PLAT OF TRACTS D-1 THRU D-7 MESA DEL SOL INNOVATION PARK II

(A SUBDIVISION OF TRACT D
MESA DEL SOL INNOVATION PARK II)

SECTIONS 15 & 22,
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 2016

PROJECT NUMBER 1006201

APPLICATION NUMBER 17DRB-10318

UTILITY APPROVALS:

QWEST CORPORATION d/b/a CENTURYLINK QC	DATE <u>9/14/2017</u>
COMCAST CABLE	DATE <u>3/1/17</u>
PNM ELECTRIC SERVICES	DATE <u>1-31-17</u>
NEW MEXICO GAS COMPANY	DATE <u>1/8/17</u>

CITY APPROVALS:

CITY SURVEYOR	DATE <u>4/15/16</u>
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE <u>1/18/17</u>
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE <u>10-27-17</u>
PARKS & RECREATION DEPARTMENT	DATE <u>11/29/17</u>
CITY ENGINEER	DATE <u>1-18-17</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE <u>1-18-17</u>
REAL PROPERTY DIVISION	DATE <u>1-18-17</u>

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

101605231210840210

PROPERTY OWNER OF RECORD: Gold Mesa Investments LLC

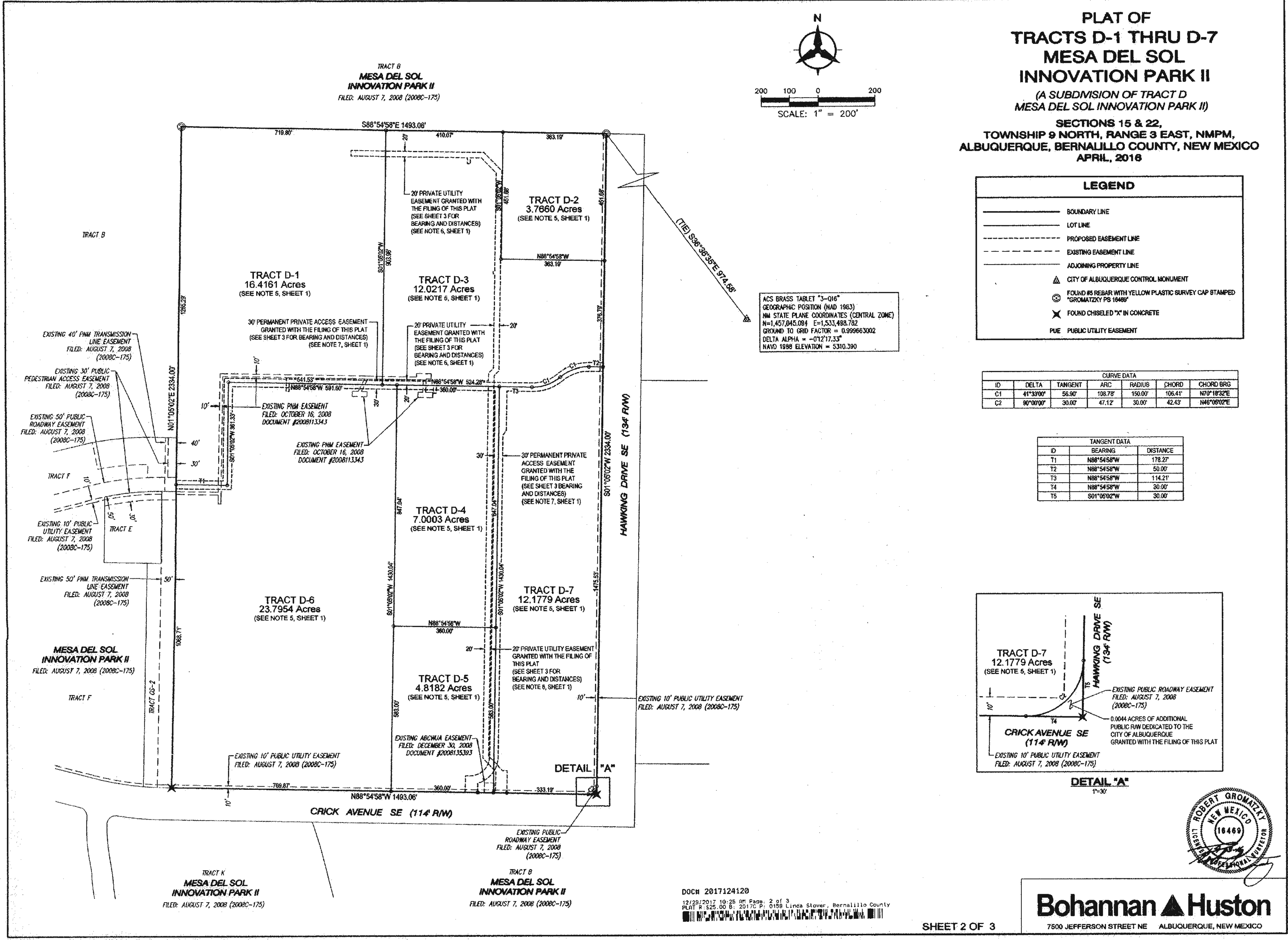
Sub 12/29/17
BERNALILLO COUNTY TREASURER'S OFFICE DATE

DOCH 2017124120

12/29/2017 10:25 AM Page: 1 of 2
PLAT # 325 00 8: 2017C P: 0159 Linda Stover, Bernalillo County

Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 1 OF 3



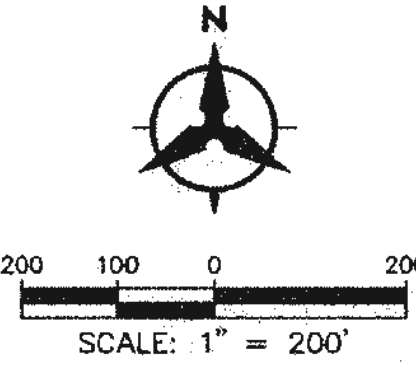
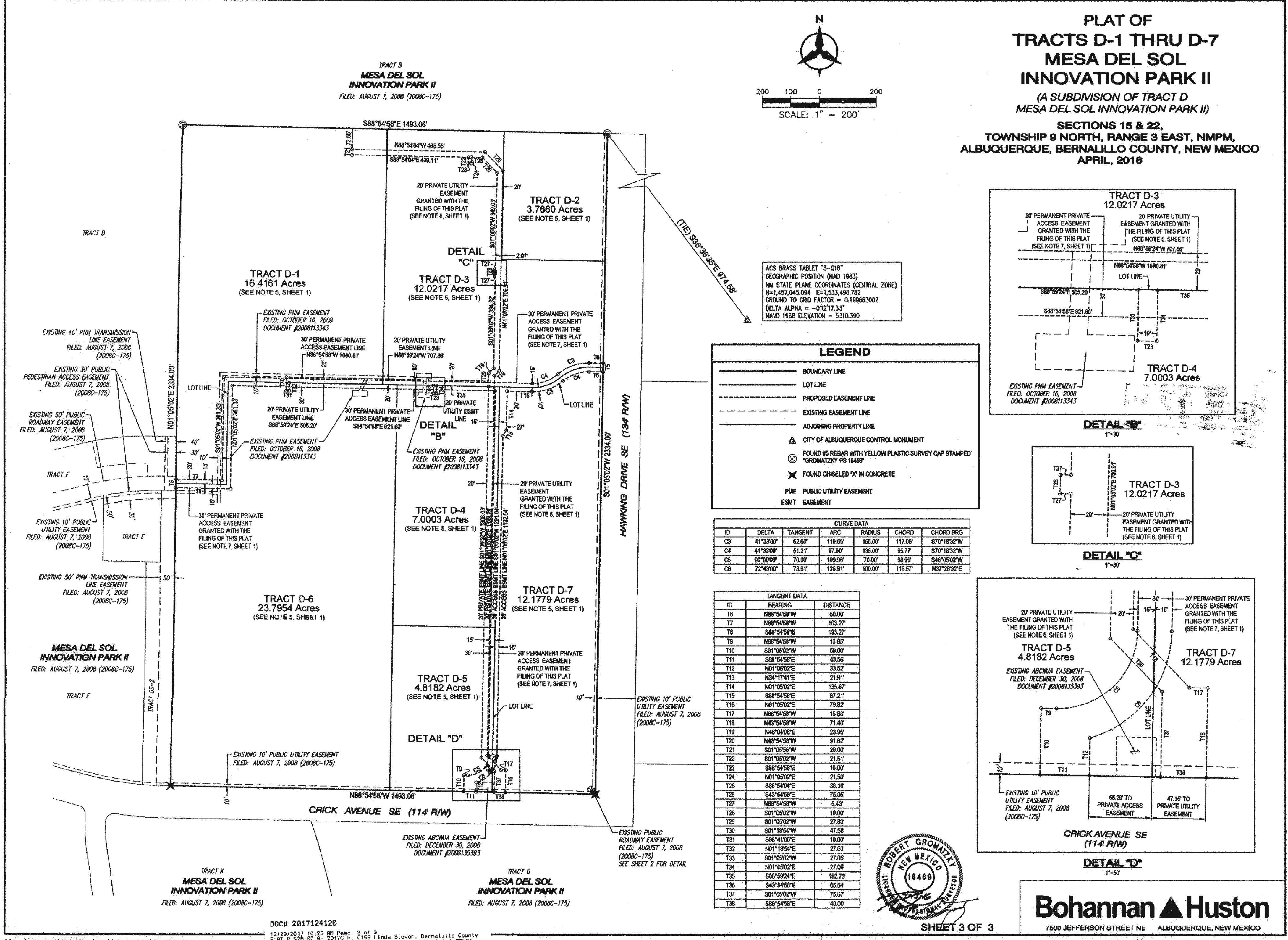
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PLAT # 525,000 8: 2017 P: 0189 Linda Stover, Bernalillo County
12/29/2017 10:28 AM Page: 2 of 2

SHEET 2 OF 3

Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO





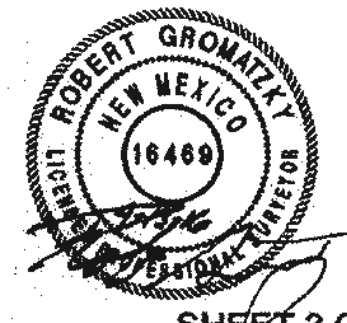
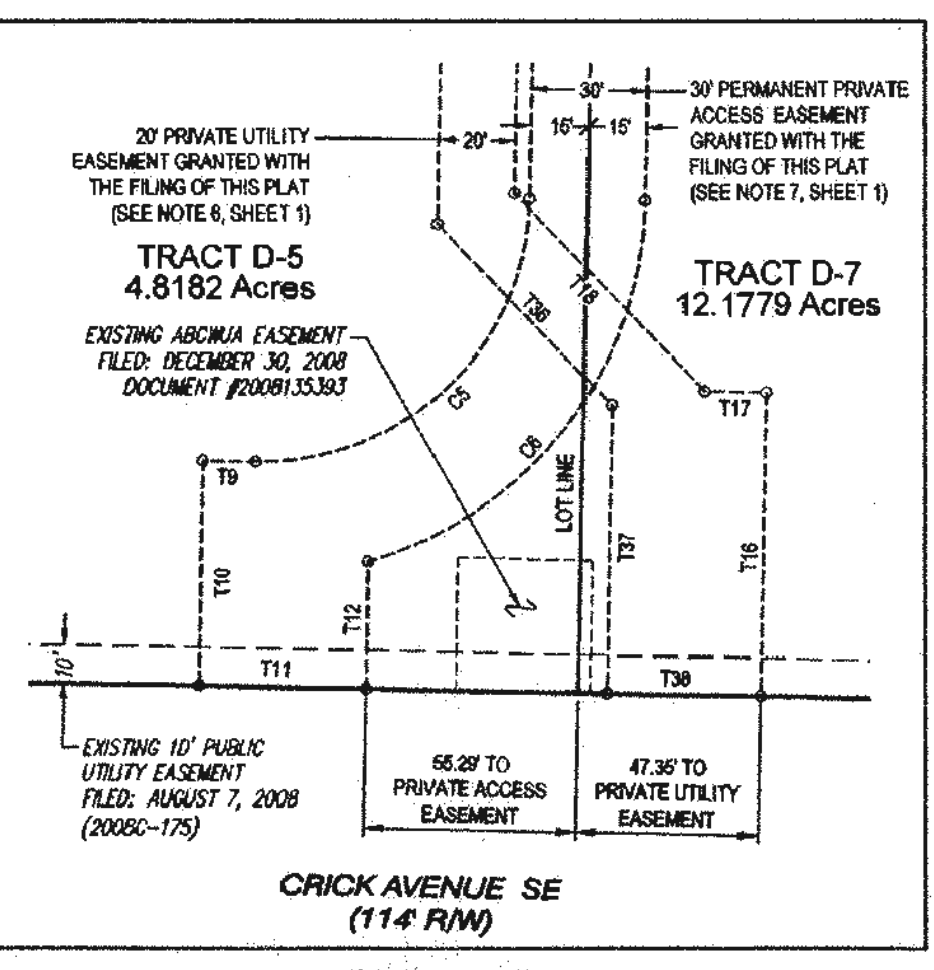
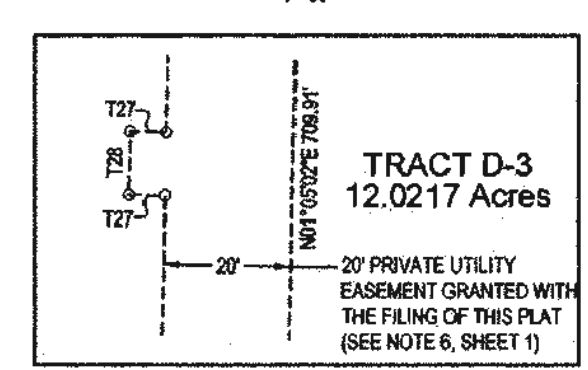
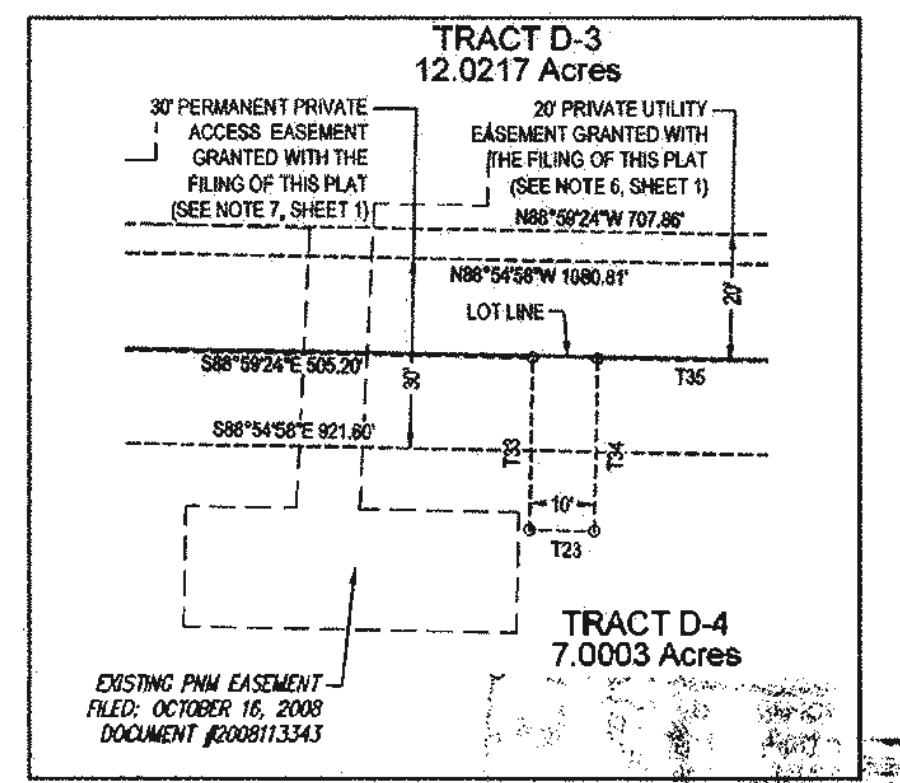
PLAT OF
TRACTS D-1 THRU D-7
MESA DEL SOL
INNOVATION PARK II
(A SUBDIVISION OF TRACT D
MESA DEL SOL INNOVATION PARK II)
SECTIONS 15 & 22,
TOWNSHIP 9 NORTH, RANGE 3 EAST, NMPM,
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 2016

ACS BRASS TABLE "3-016"
GEOGRAPHIC POSITION (NAD 1983)
NAD STATE PLANE COORDINATES (CENTRAL ZONE)
N=1,457,045.094 E=1,533,498.782
GROUND TO OGD FACTOR = 0.999863002
DELTA ALPHA = -0.212133°
NAVD 1988 ELEVATION = 5310.390

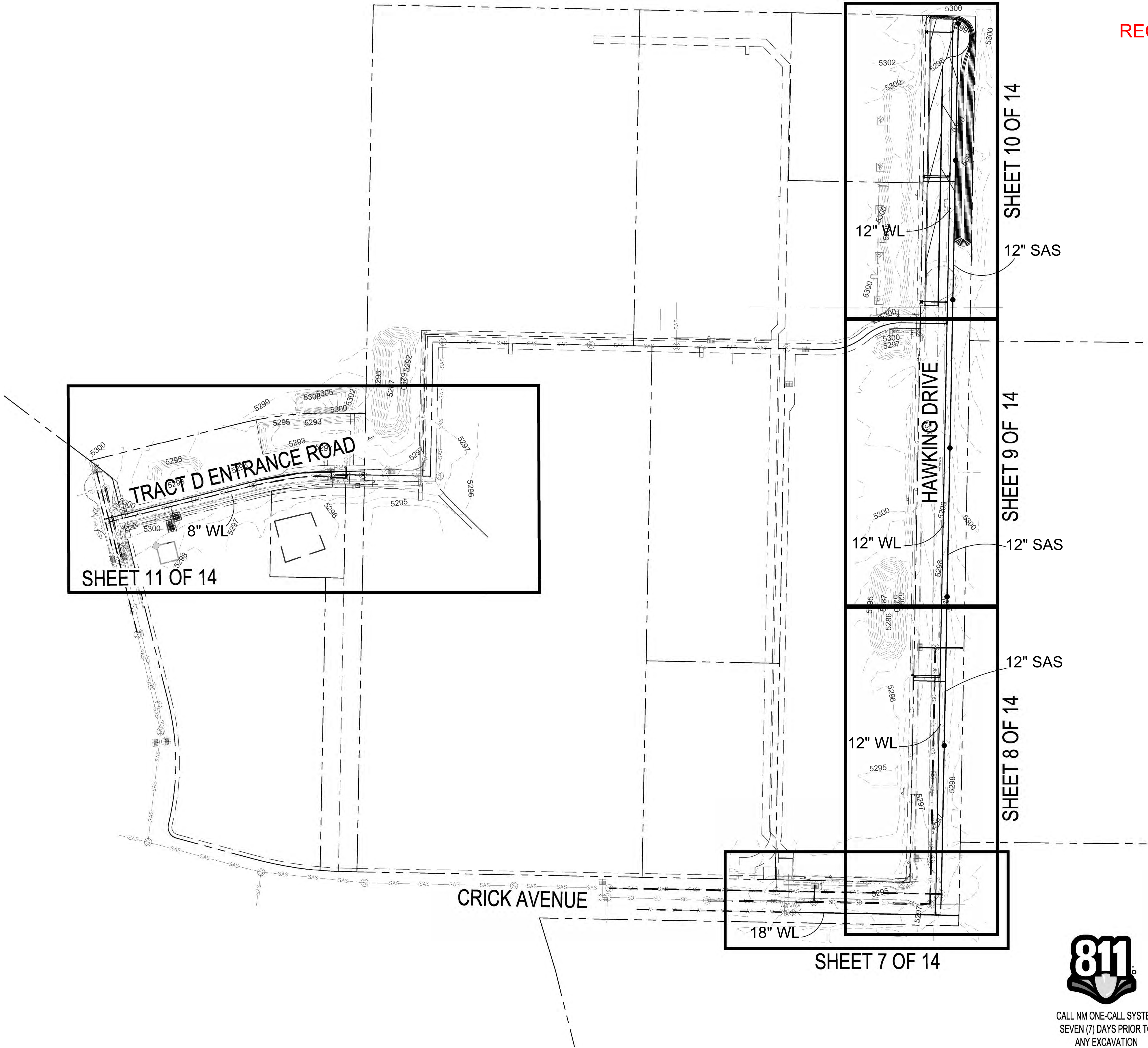
LEGEND									
—	BOUNDARY LINE								
- - -	LOT LINE								
- - -	PROPOSED EASEMENT LINE								
- - -	EXISTING EASEMENT LINE								
- - -	ADJOINING PROPERTY LINE								
▲	CITY OF ALBUQUERQUE CONTROL MONUMENT								
●	FOUND AS REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"								
✕	FOUND CHISELED "X" IN CONCRETE								
PUE	PUBLIC UTILITY EASEMENT								
ESMT	EASEMENT								

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C3	41°39'00"	62.67'	119.69'	165.00'	117.00'	S70°16'32"W
C4	41°39'00"	61.21'	97.90'	135.00'	95.77'	S70°16'32"W
C5	90°00'00"	70.00'	109.95'	70.00'	98.99'	S40°00'02"W
C6	72°43'00"	73.61'	126.91'	100.00'	118.67'	N37°28'32"E

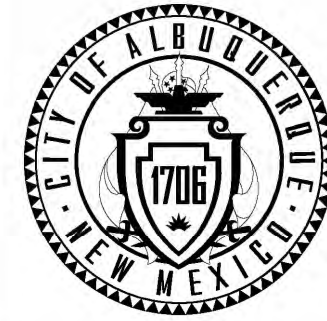
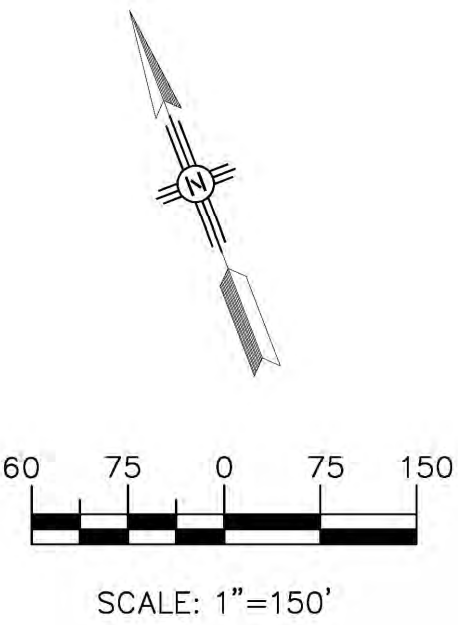
TANGENT DATA		
ID	BEARING	DISTANCE
T5	N88°54'58"W	50.00'
T7	N88°54'58"W	163.27'
T8	N88°54'58"E	163.27'
T9	N88°54'58"W	13.69'
T10	S01°09'02"W	50.00'
T11	S88°54'58"E	43.56'
T12	N01°09'02"E	33.52'
T13	N34°17'41"E	21.91'
T14	N01°09'02"E	136.67'
T15	S88°54'58"E	87.21'
T16	N01°09'02"E	79.52'
T17	N88°54'58"W	15.88'
T18	N42°54'59"W	71.42'
T19	N46°04'06"E	23.96'
T20	N43°54'58"W	91.82'
T21	S01°09'02"W	20.00'
T22	S01°09'02"W	21.51'
T23	S88°54'58"E	10.00'
T24	N01°09'02"E	21.50'
T25	S88°54'58"E	38.19'
T26	S43°54'58"E	75.08'
T27	N88°54'58"W	5.43'
T28	S01°09'02"W	10.00'
T29	S01°09'02"W	27.83'
T30	S01°09'04"W	47.58'
T31	S88°54'58"E	10.00'
T32	N01°09'04"E	27.63'
T33	S01°09'02"W	27.06'
T34	N01°09'02"E	27.06'
T35	S88°59'24"E	182.73'
T36	S43°54'58"E	65.54'
T37	S01°09'02"W	75.67'
T38	S88°54'58"E	40.00'



Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO



RECORD DRAWING



DESIGN REVIEW COMMITTEE



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

MESA DEL SOL, INNOVATION PARK II
PAVING AND UTILITY IMPROVEMENTS

OVERALL UTILITY PLAN

CITY ENGINEER APPROVAL



ZONE MAP NO.

Q-16-Z

CITY PROJECT NO.

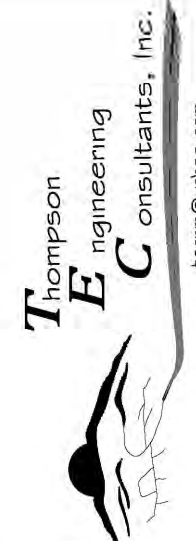
775580

SHEET NO.

6

14

CONSULTANTS



BENCH MARKS



SEAL

DESIGNED BY: DBT					
DRAWN BY: DEM					
CHECKED BY: DBT					
DATE 1/2021					
	NO.	DATE	AS-BUILT INFORMATION	DESCRIPTION	BY
				CONTRACTOR:	
	WORK STAKED BY:				
	INSPECTOR'S ACCEPTANCE BY:			DATE:	
	FIELD VERIFICATION BY:			DATE:	
	DRAWINGS CORRECTED BY:			DATE:	

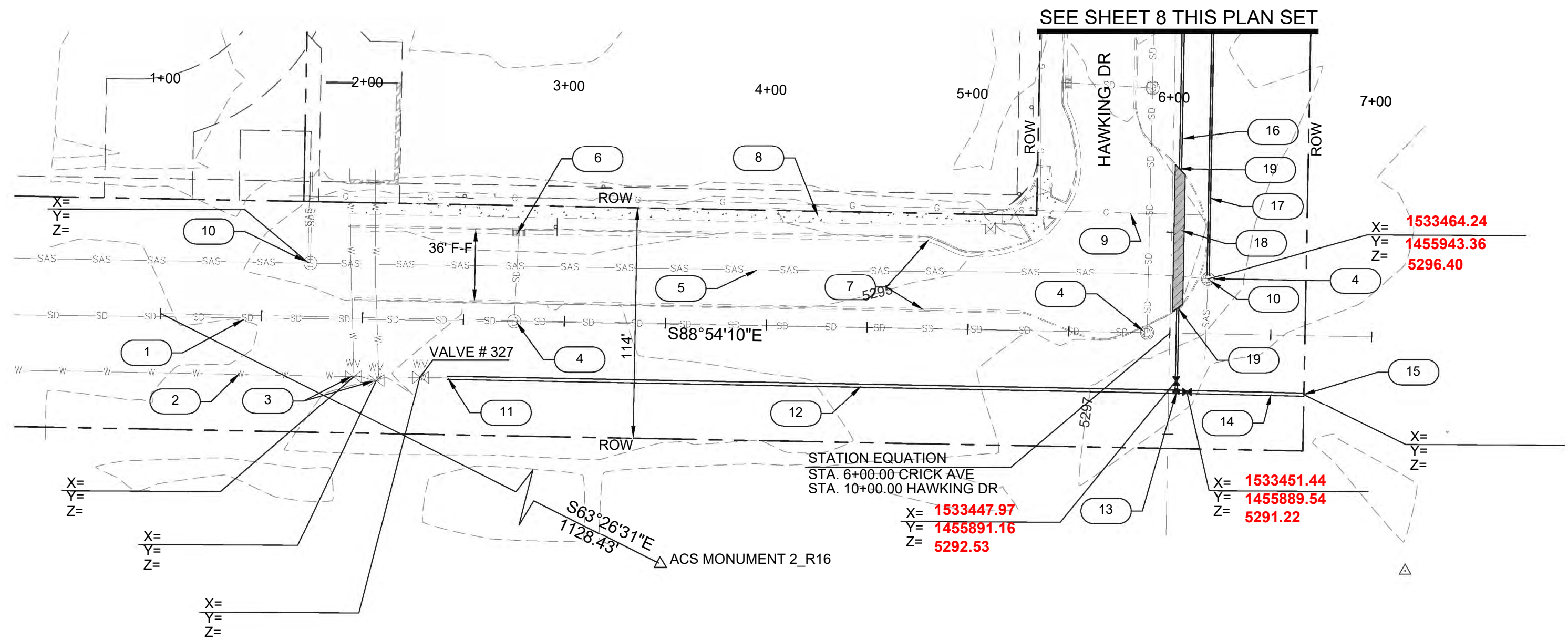
DESIGNED BY: DBT

DRAWN BY: DEM

CHECKED BY: DBT

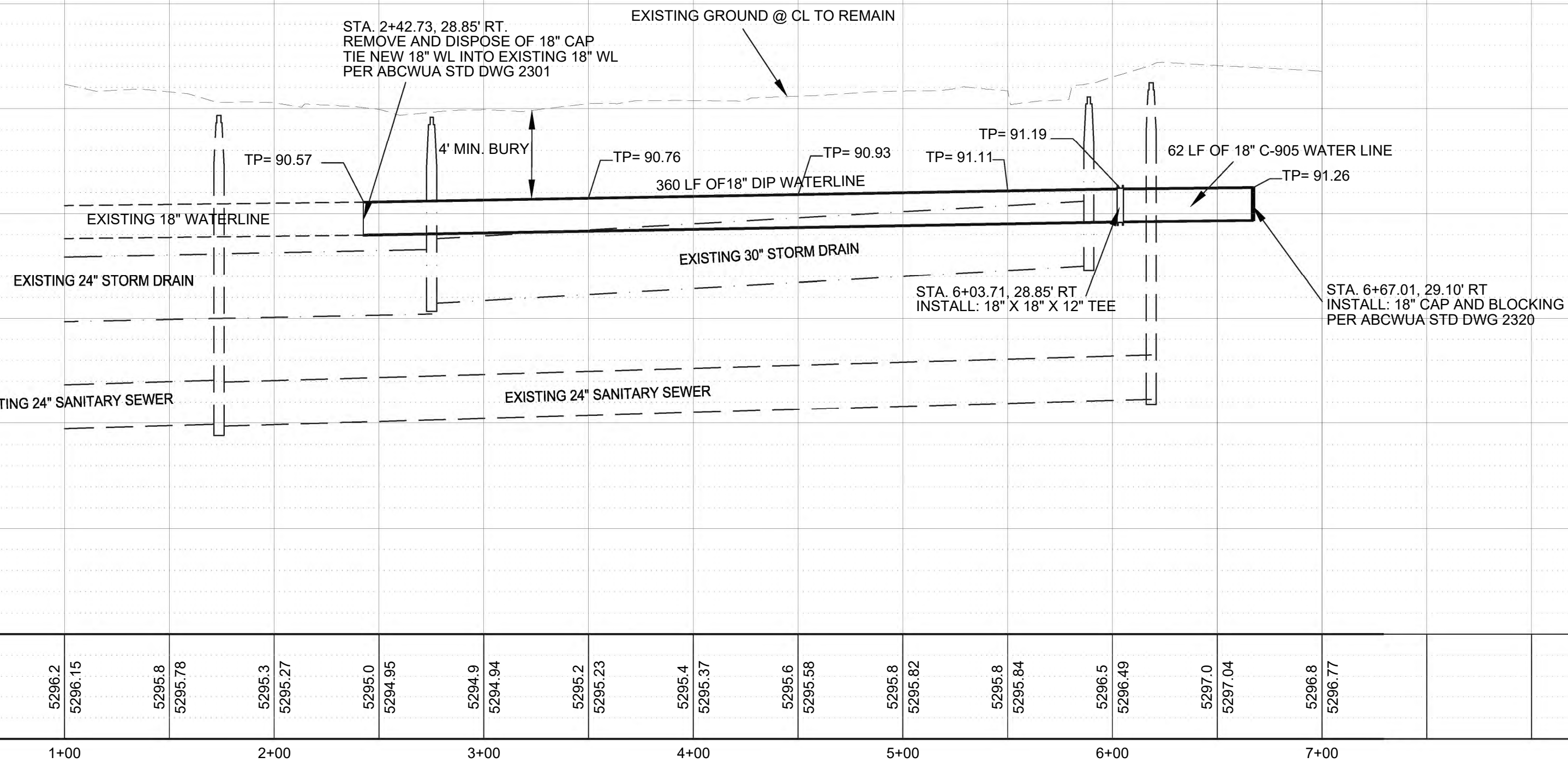
DATE: 1/2021

RECORD DRAWING



I, Jason D. Smith, New Mexico Professional Surveyor No. 17122, do hereby certify that this Property Description was prepared by me or under my supervision, meets the minimum requirements for surveys in New Mexico, and is true and accurate to the best of my knowledge and belief.
Jason D. Smith, N.M.P.S. No. 17122(3-16-2023)

Jason D. Smith



GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO USE COA STD DWGS AND ABCWUA STD DWGS UNLESS OTHERWISE NOTED.
- MINIMUM ALLOWABLE SEPARATION BETWEEN WATER LINE AND STORM DRAIN IS 6".
- WATER SHUT OFF PLAN SEE SHEET 5 THIS PLANSET.
- RESTRAINED JOINT TABLE SEE SHEET 14 THIS PLANSET.

KEYED NOTES:

- EXISTING 24" STORM DRAIN
- EXISTING 18" WATER LINE
- EXISTING WATER VALVES
- EXISTING STORM DRAIN MANHOLE
- EXISTING 24" SANITARY SEWER
- EXISTING STORM DRAIN INLET
- EXISTING CURB AND GUTTER
- EXISTING SIDEWALK
- EXISTING GAS LINE
- EXISTING SANITARY SEWER MANHOLE # R16061 STA. 2+42.73, 28.85' RT. REMOVE AND DISPOSE OF 18" CAP TIE NEW 18" WL INTO EXISTING 18" WL PER ABCWUA STD DWG 2301
- INSTALL: 360 LF OF 18" WATER LINE 4' MIN. BURY STA. 6+03.71, 28.85' RT. INSTALL: 18"X18"X12" TEE FITTING 1-12" BUTER FLY VALVE 1-12" GATE VALVE NON-PRESSURE CONNECTION RESTRAINED JOINTS AND BLOCKING PER ABCWUA STD DWGS 2301, 2326, 2328 AND 2333
- INSTALL: 62 LF OF 18" WATER LINE 4' MIN. BURY STA. 6+67.01, 29.10' RT. INSTALL: 18" CAP AND BLOCKING PER ABCWUA STD DWG 2465
- 12" WATER LINE
- 12" SANITARY SEWER LINE
- REMOVE AND REPLACE PAVEMENT PER COA STD DWG 2465
- REMOVE AND REPLACE ASPHALT CURB PER COA STD DWG 2415C



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

MESA DEL SOL, INNOVATION PARK II
PAVING AND UTILITY IMPROVEMENTS

CRICK AVENUE UTILITY PLAN AND PROFILE

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.



Q-16-Z

CITY PROJECT NO.

775580

SHEET NO. OF

7

14

RECORD DRAWING

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO USE COA STD DWGS AND ABCWUA STD DWGS UNLESS OTHERWISE NOTED.
3. MINIMUM ALLOWABLE SEPARATION BETWEEN WATER LINE AND STORM DRAIN IS 6".

KEYED NOTES:

- | | |
|---|---|
| 1 | EXISTING GAS LINE |
| 2 | EXISTING SIGN |
| 3 | EXISTING CURB AND GUTTER |
| 4 | EXISTING SIDEWALK |
| 5 | INSTALL: 2419 LF OF 12" C-900 WATER LINE 4' MIN. BURY |
| 6 | INSTALL: 400 LF 12" PVC @ S=0.50% |

STA. 18+27.13, 18.83' RT
INSTALL: 4' DIA SAS MANHOLE #2
RIM = 5297.06
INV. IN = 5285.50
INV OUT = 5285.40
DEPTH = 11.66'
PER ABCWUA STD DWGS 2102 & 2104

- 8 INSTALL: 400 LF 12" PVC @ S=0.50%

STA. 22+27.20, 19.04' RT
INSTALL: 4' DIA SAS MANHOLE #3
RIM = 5300.42
INV. IN = 5287.50
INV OUT = 5287.40
DEPTH = 13.02'
PER ABCWUA STD DWGS 2102 & 2104

- 10 INSTALL: 400 LF 12" SDR 35 PVC @ S=0.50%

STA. 26+27.05, 19.28' RT.
INSTALL: 4' DIA SAS MANHOLE #4
RIM = 5301.67
INV. IN = 5289.60
INV OUT = 5289.50
DEPTH = 12.17'
PER ABCWUA STD DWGS 2102 & 2104

- 12 INSTALL: 375 LF 12" SDR 35 PVC @ S=0.50%

STA. 25+62.45, 5.00' RT.
INSTALL: 12"x12"x8" TEE
1-1/2" GATE VALVE
1-8" GATE VALVE
72 LF OF 8" WATER LINE (3 MIN BURY)
1-8" CAP, TOP = 6296.92
RESTRAINED JOINTS AND BLOCKING
PER ABCWA STD DWGS 2301, 2320, 2326, 2328 AND 2333

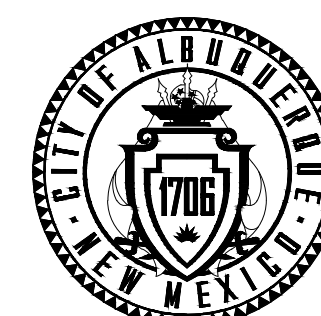
- 14 STA. 26+20.00, 5.00' RT.
INSTALL WATER CAV VALVE VAULT WITH 2" CAV
PER ABCWUA STD DWG 2349

- ~~15 REMOVE AND REPLACE PAVEMENT AND CURB & GUTTER
PER COA STD DWG 2415A AND 2465~~

- ~~16 REMOVE AND REPLACE EXISTING VALLEY GUTTER
WITH DOWELED CONNECTIONS REMOVE TO
NEAREST EXISTING JOINT PER COA STD.DWG 2420~~



CALL NM ONE-CALL SYSTEM
SEVEN (7) DAYS PRIOR TO
ANY EXCAVATION



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

MESA DEL SOL, INNOVATION PARK II
PAVING AND UTILITY IMPROVEMENTS
HAWKING DRIVE UTILITY PLAN AND
PROFILE STA. 18+20 TO STA. 28+35

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO. 0107

CITY PROJECT NO.
775580

SHEET NO.	OF
9R	14

CONSULTANTS



Thompson
Engineering
Consultants, Inc.

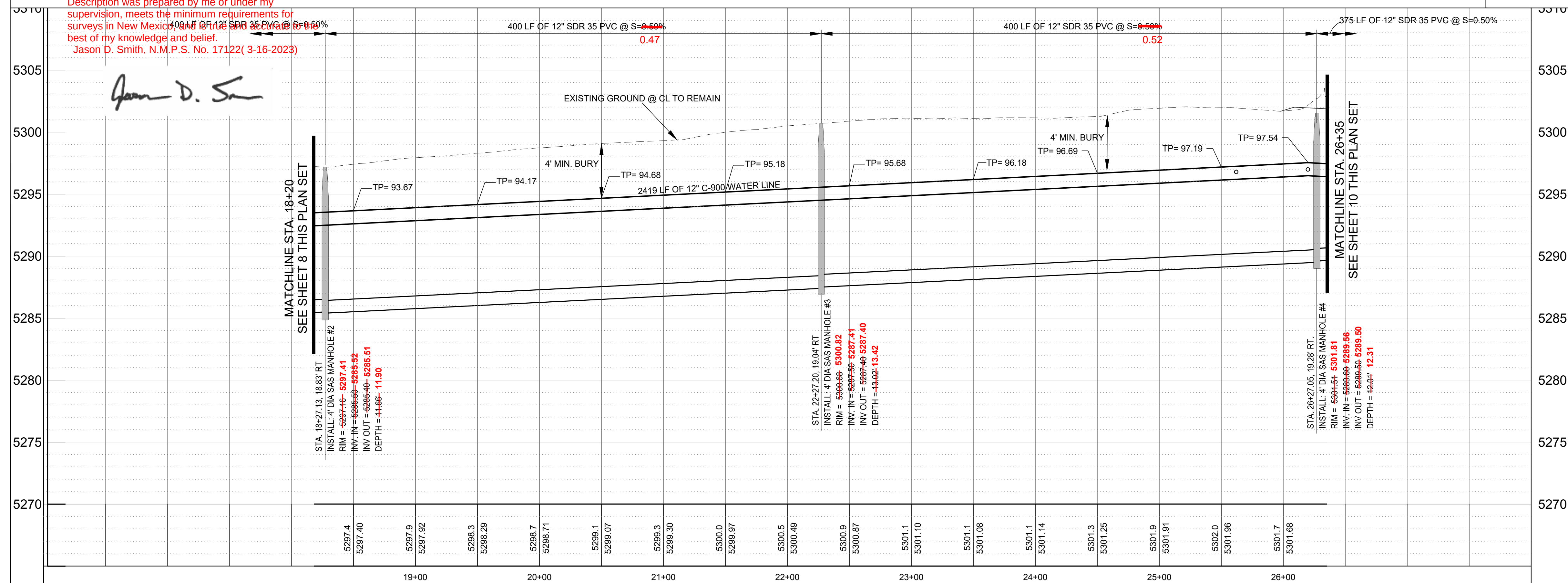
teccrm@yahoo.com

P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 830-9248

A circular professional seal for Jason D. Smith, a Professional Surveyor in New Mexico. The seal features three concentric circles. The outermost ring contains the text "JASON D. SMITH" at the top and "PROFESSIONAL SURVEYOR" at the bottom. The middle ring contains the text "NEW MEXICO". The innermost circle contains the license number "17122".

I, Jason D. Smith, New Mexico Professional Surveyor No. 17122, do hereby certify that this Property Description was prepared by me or under my supervision, meets the minimum requirements for surveys in New Mexico, and of the best of my knowledge and belief.

HAWKING DRIVE



DESIGN REVIEW COMMITTEE

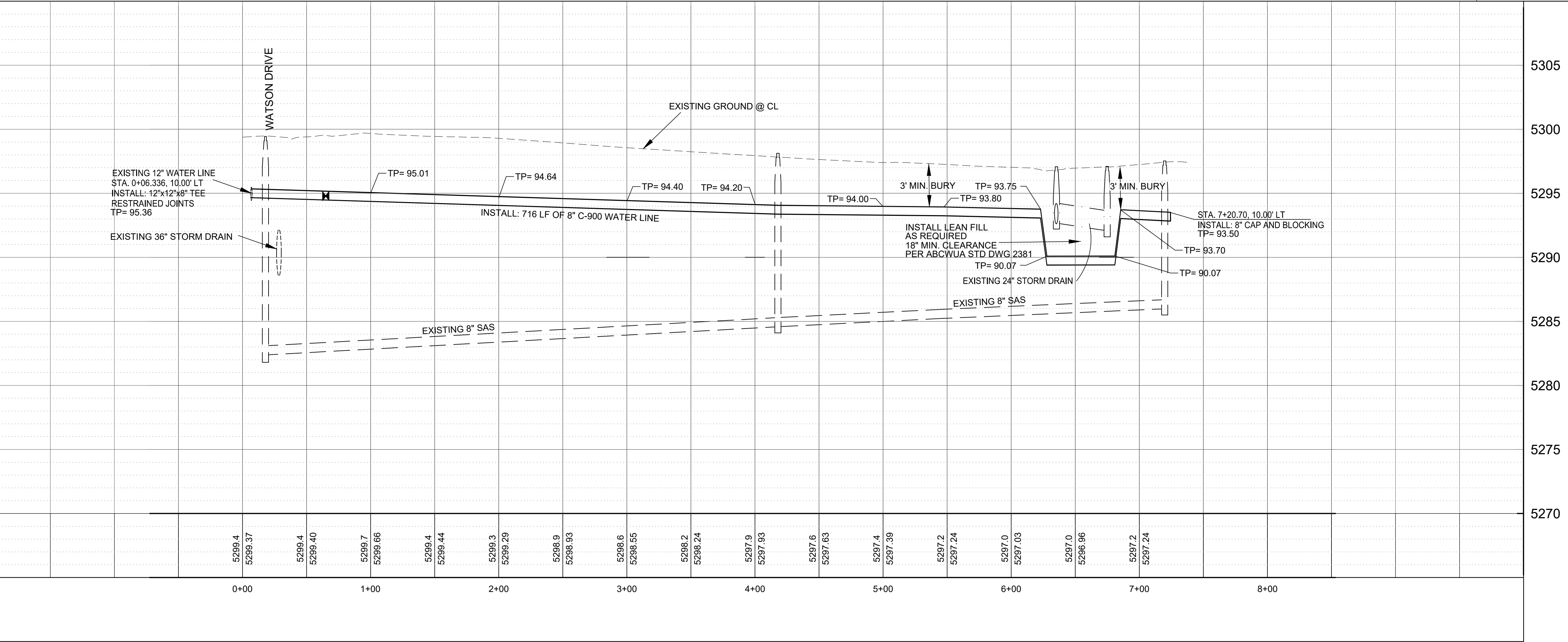
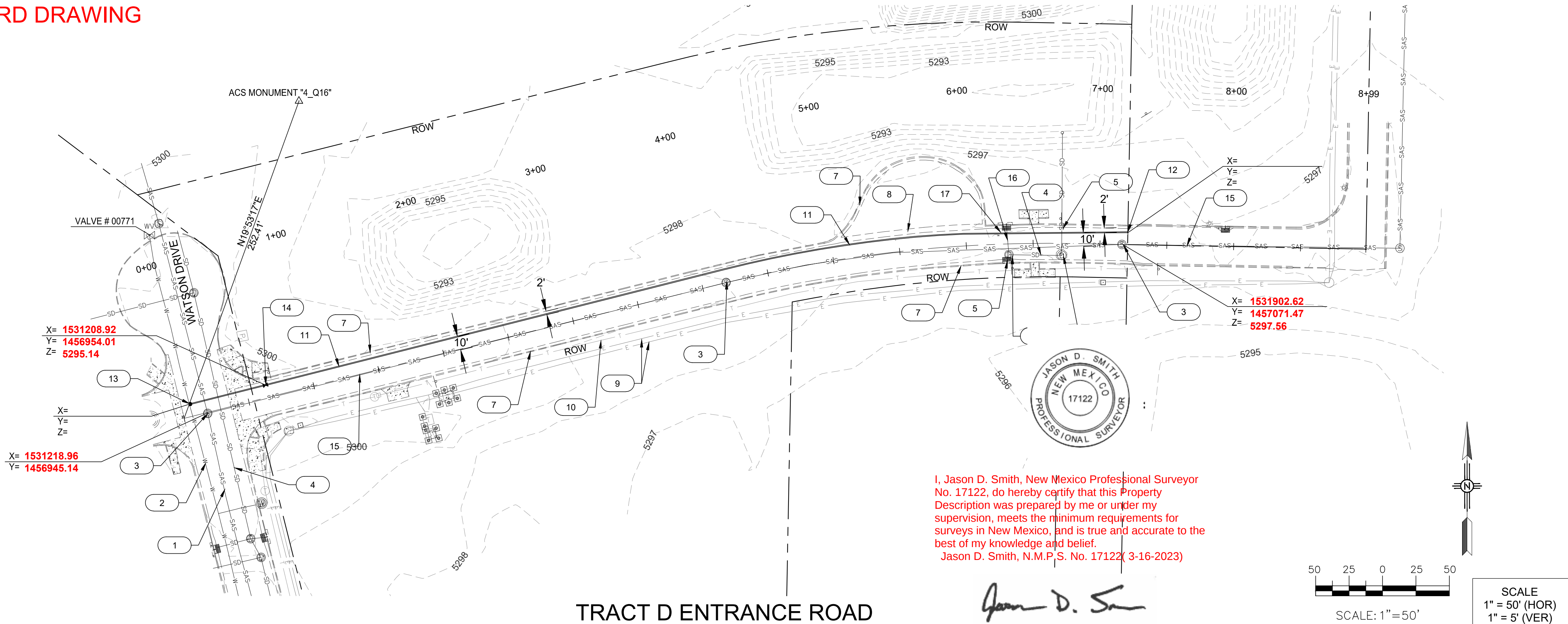
CITY ENGINEER APPROVAL

ZONE MAP NO. 0107

CITY PROJECT NO.
775580

SHEET NO.	OF
9R	14

RECORD DRAWING



GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO USE COA STD DWGS AND ABCWUA STD DWGS UNLESS OTHERWISE NOTED.
3. MINIMUM ALLOWABLE SEPARATION BETWEEN WATER LINE AND STORM DRAIN IS 6".
4. WATER SHUT OFF PLAN SEE SHEET 5 THIS PLANSET.
5. RESTRAINED JOINT TABLE SEE SHEET 14 THIS PLANSET.

KEYED NOTES:

- 1 EXISTING 12" SANITARY SEWER LINE
- 2 EXISTING 12" WATER LINE
- 3 EXISTING SANITARY SEWER MANHOLE
- 4 EXISTING 24" STORM DRAIN
- 5 EXISTING 30" STORM DRAIN
- 6 EXISTING STORM DRAIN MANHOLE
- 7 EXISTING CURB AND GUTTER
- 8 EXISTING VALLEY GUTTER
- 9 EXISTING ELECTRIC LINE
- 10 EXISTING TELEPHONE LINE
- 11 INSTALL: 716 LF OF 8" C-900 WATER LINE 3' MIN. BURY
- 12 STA. 7+20.70, 10.00' LT
INSTALL: 8" CAP AND BLOCKING
PER ABCWUA STD DWG 2320
- 13 STA. 0+06.336, 10.00' LT
INSTALL: 12"x12"x8" TEE
RESTRAINED JOINTS AND BLOCKING
PER ABCWUA STD DWG 2301
- 14 STA. 0+65.00, 10.00' LT
INSTALL: 8" GATE VALVE
RESTRAINED JOINTS AND BLOCKING
PER ABCWUA STD DWGS 2326, 2328 AND 2333
- 15 EXISTING 8" SANITARY SEWER LINE
- 16 EXISTING 18" STORM DRAIN
- 17 STA. 6+25.00 TO STA. 6+85.00
INSTALL: 8" WATER LINE PER STD DWG 2381
WITH MINIMUM 18" CLEARANCE BELOW
STORM DRAIN (LEAN FILL AS REQUIRED)



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PAVING AND UTILITY IMPROVEMENTS
TRACT D ENTRANCE ROAD UTILITY
PLAN AND PROFILE

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.



Q-16-Z

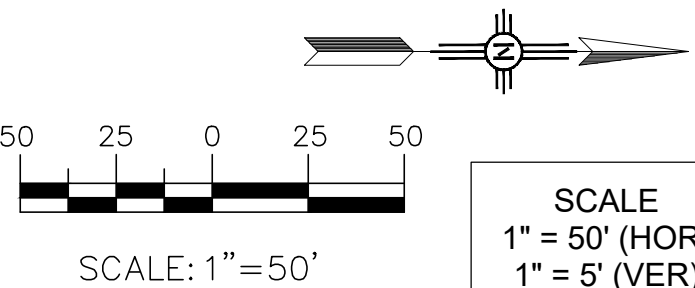
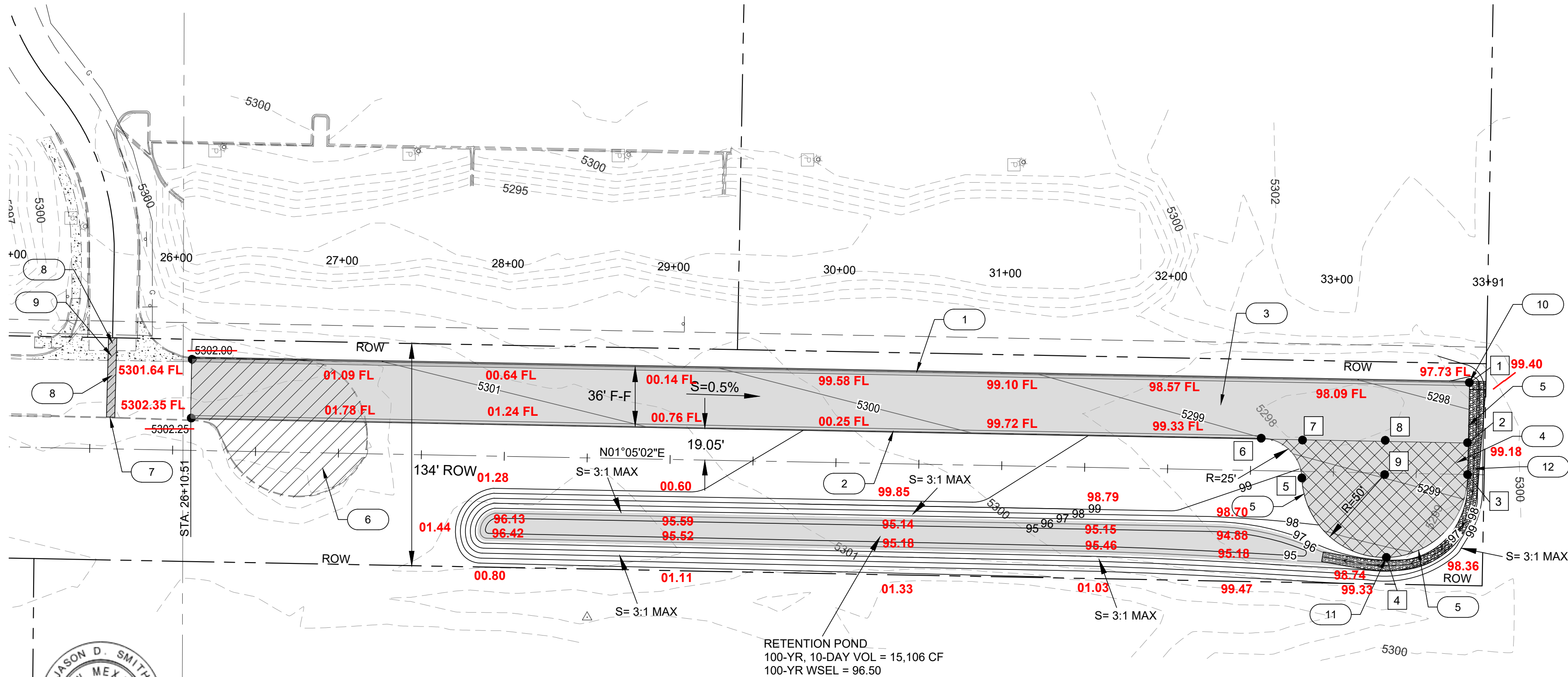
CITY PROJECT NO.

775580

SHEET NO.

11R 14

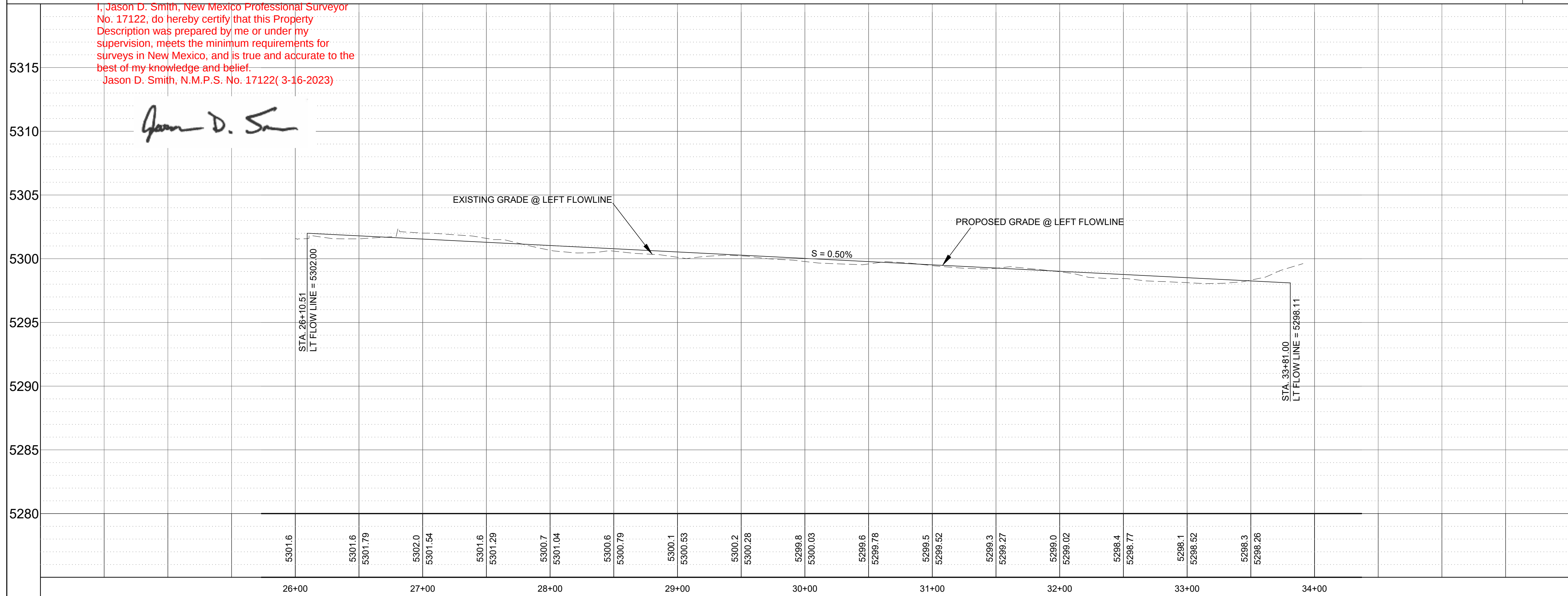
RECORD DRAWING



HAWKING DRIVE

I, Jason D. Smith, New Mexico Professional Surveyor No. 17122, do hereby certify that this Property Description was prepared by me or under my supervision, meets the minimum requirements for surveys in New Mexico, and is true and accurate to the best of my knowledge and belief.
Jason D. Smith, N.M.P.S. No. 17122(3-16-2023)

Jason D. Smith



GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO USE COA STD DWGS AND ABCWUA STD DWGS UNLESS OTHERWISE NOTED.
- MINIMUM ALLOWABLE SEPARATION BETWEEN WATER LINE AND STORM DRAIN IS 6".

KEYED NOTES:

- STANDARD CURB AND GUTTER PER COA STD DWG 2415A
- MEDIAN CURB AND GUTTER PER COA STD DWG 2415B
- INSTALL ARTERIAL PAVEMENT SEE DETAIL SHEET 14
- INSTALL TEMPORARY PAVEMENT SEE DETAIL SHEET 14
- TYPE (I) PINNED CURB PER COA STD DWG 2415B
- REMOVE AND DISPOSE EXISTING TEMPORARY PAVEMENT
- REMOVE AND REPLACE ASPALT CURB PER COA STD DWG 2415C
- REMOVE AND REPLACE PAVEMENT PER COA STD DWG 2465
- REMOVE AND REPLACE EXISTING VALLEY GUTTER WITH DOWELED CONNECTIONS REMOVE TO NEAREST EXISTING JOINT PER COA STD DWG 2420
- 5' CURB CUT WITH 5x10" RIPRAP PAD INSTALL CONCRETE CUT-OFF WALL INV. E = 97.70 INV. W = 97.50 PER COA STD DWG 2415B
- 5' CURB CUT INSTALL CONCRETE CUT-OFF WALL INV. N = 97.27 INV. S = 96.75 PER COA STD DWG 2415B
- 6' WIDE ROCK LINED SWALE SEE DETAIL SHEET

LEGEND

- ARTERIAL PAVEMENT
- TEMPORARY PAVEMENT
- SAWCUT AND REMOVE AND DISPOSE PAVEMENT
- ROCK - LINED SWALE

STATION TABLE

PNT	STATION	OFFSET	FL ELEV.
1	33+81.00	55.55 LT	97.70 97.73
2	33+81.00	19.10 LT	98.42 98.36
3	33+81.00	0.00	98.02 98.30
4	33+32.98	50.91 RT	97.27 97.93
5	32+81.10	3+95' RT	98.40 98.10
6	32+56.15	19.55' LT	98.00 98.75
7	32+81.34	19.55' LT	98.94 98.68
8	33+31.22	19.55' LT	98.67 98.60
9	33+31.01	0.95' RT	98.27 98.45



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HAWKING DRIVE PAVING
PLAN AND PROFILE

DESIGN REVIEW COMMITTEE

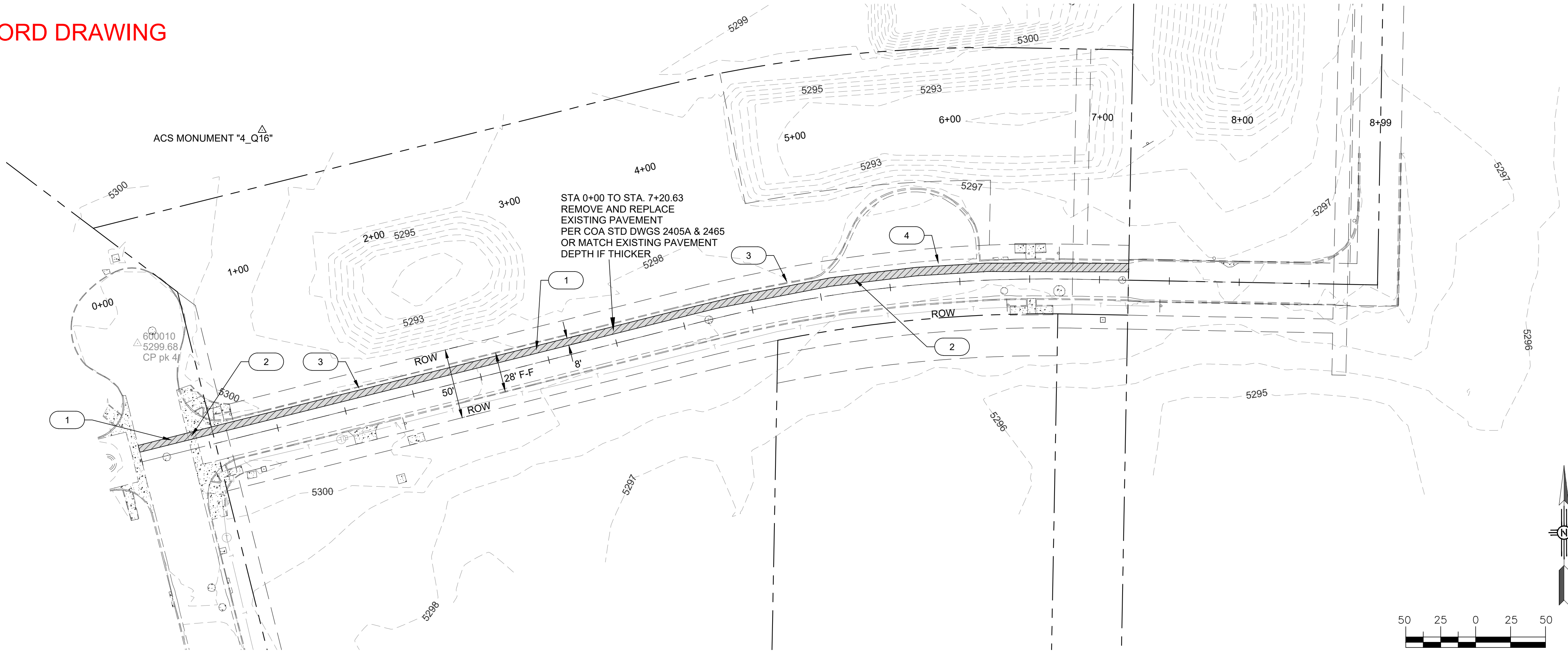
CITY ENGINEER APPROVAL

ZONE MAP NO.



Q-16-Z
CITY PROJECT NO.
775580
SHEET NO. OF
12R 14

RECORD DRAWING



TRACT D ENTRANCE ROAD

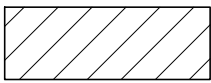


SCALE
1" = 50' (HOR)
1" = 5' (VER)

GENERAL NOTES:

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LEGEND

 SAWCUT, REMOVE AND REPLACE PAVEMENT

KEYED NOTES:

- 1 REMOVE AND REPLACE PAVEMENT PER COA STD DWG 2465
- 2 REMOVE AND REPLACE EXISTING VALLEY GUTTER WITH DOWELED CONNECTIONS REMOVE TO NEAREST EXISTING JOINT PER COA STD DWG 2420
- 3 EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED
- 4 EXISTING VALLEY GUTTER TO REMAIN AND BE PROTECTED

CONSULTANTS

Thompson Engineering Consultants, Inc.

15000 N. 10th St. Suite 100
Phoenix, AZ 85020
Phone: (602) 271-2199
Fax: (602) 650-9546
tmc@thompsoneng.com

ACS MONUMENT "4_Q16"
NAD 1983 CENTRAL ZONE
X= 1531376.793"
Y= 1457837.32"
Z= 5298.643' (NAVD 1988)
G-G= 0.9996640961
MAP ANGLE= -0°12'32.02"

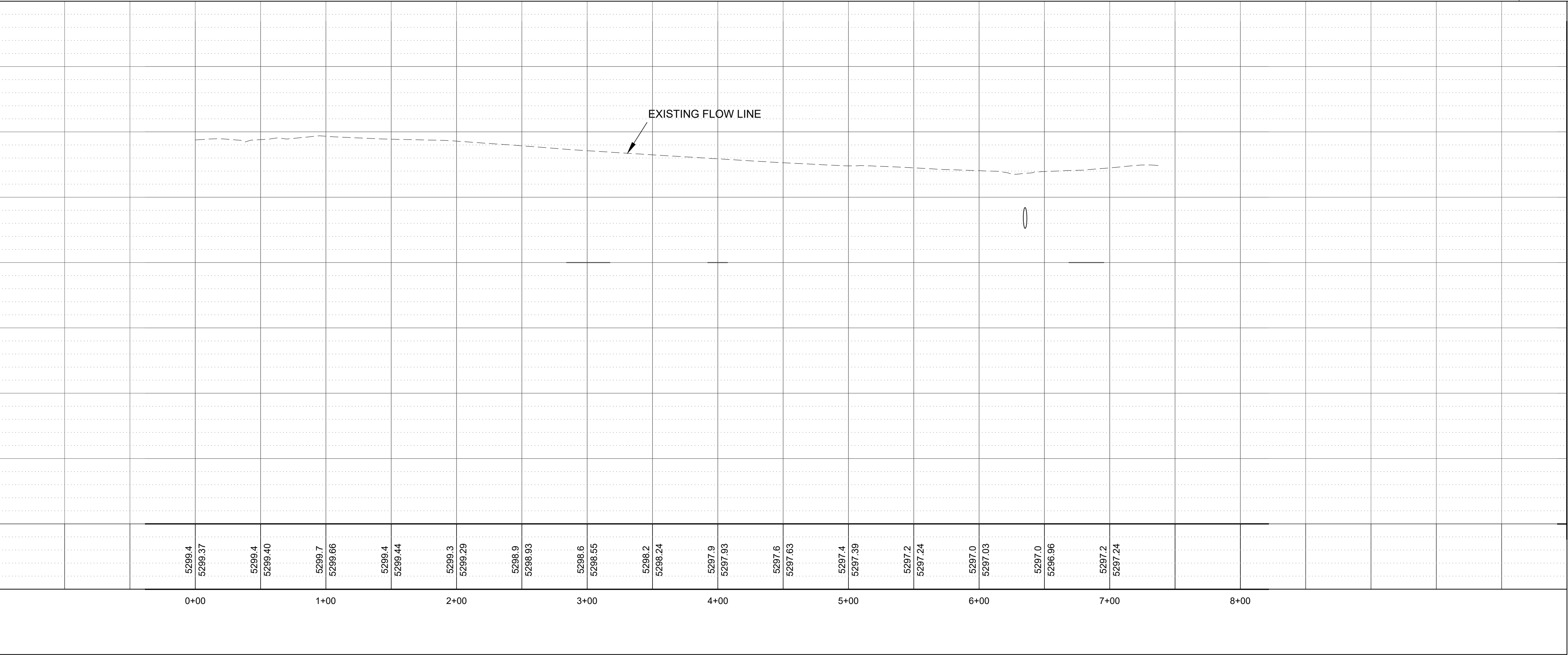
SEAL

BENCH MARKS

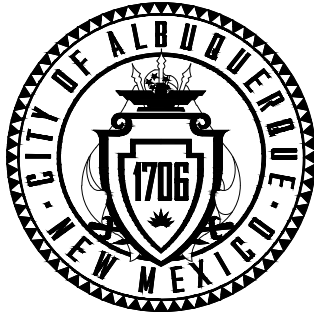
PROFESSIONAL ENGINEER

4-28-21

9677



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MESA DEL SOL, INNOVATION PARK II
PAVING AND UTILITY IMPROVEMENTS
TRACT D ENTRANCE ROAD
PAVING PLAN AND PROFILE

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.



Q-16-Z

CITY PROJECT NO.

775580

SHEET NO. OF

13R 14

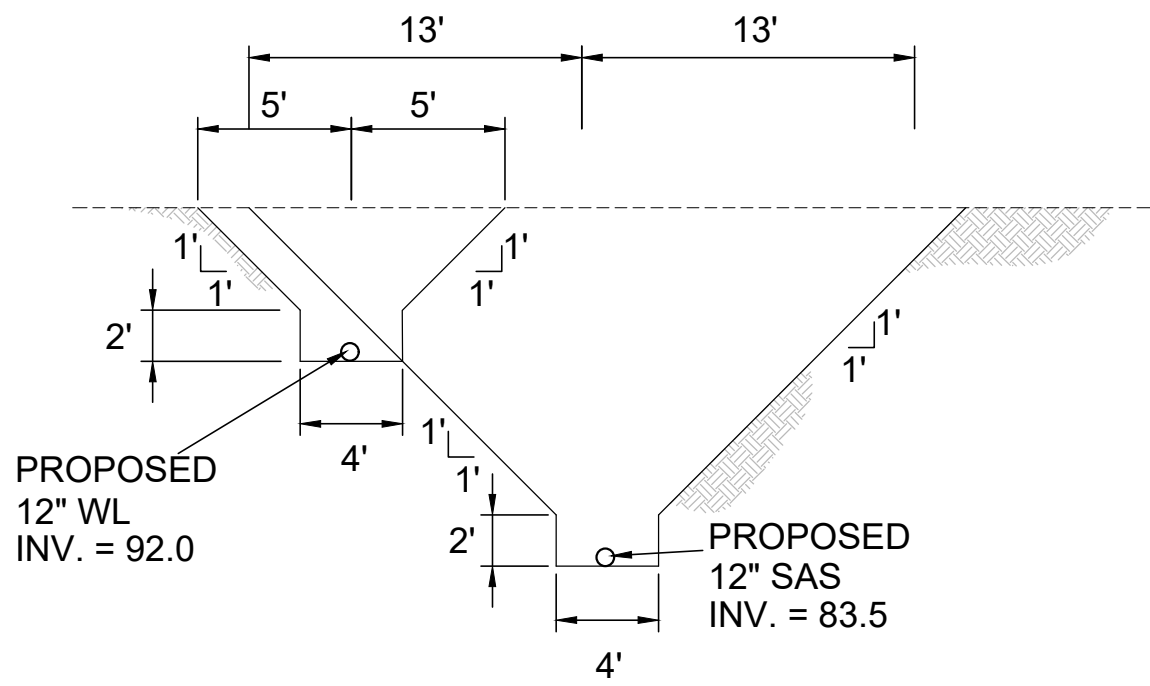
RECORD DRAWING

RESTRAINED JOINTS LENGTHS, L _{RT} FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT)				
VERT. BENDS				
SIZE	HIGH END	LOW END	HIGH END	LOW END
8"	27	5	10	1

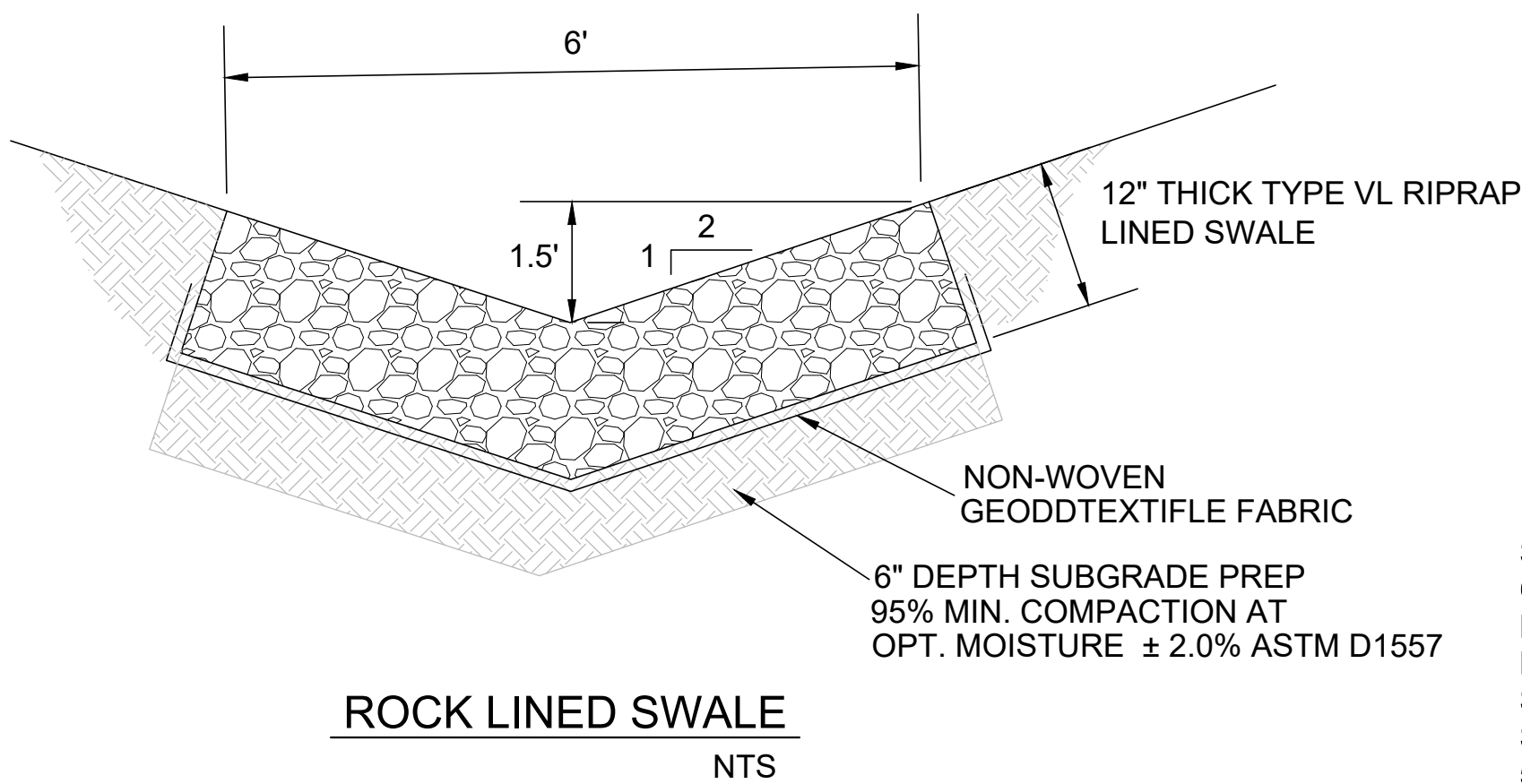
RESTRAINED JOINTS LENGTHS, L _{RT} FOR HORIZONTAL BENDS, VALVES, AND DEAD ENDS, (FT)				
HORZ. BENDS				
SIZE	90°	45°	22 1/2°	11 1/4°
12	30	12	6	3
10	26	11	5	3
8	22	9	4	2

RESTRAINED JOINTS LENGTHS, L _{RT} FOR TEES, (FT.) ALL JOINTS AT THE TEE MUST BE RESTRAINED.		
SIZE	RUN	BRANCH
18x18x12	19	21
12x12x12	15	17
12x12x10	10	18
12x12x8	6	19
12x12x6	3	19
10x10x10	12	18
10x10x8	8	15
10x10x6	4	16
8x8x8	9	20
8x8x6	5	17
8x8x4	2	15
6x6x6	6	20

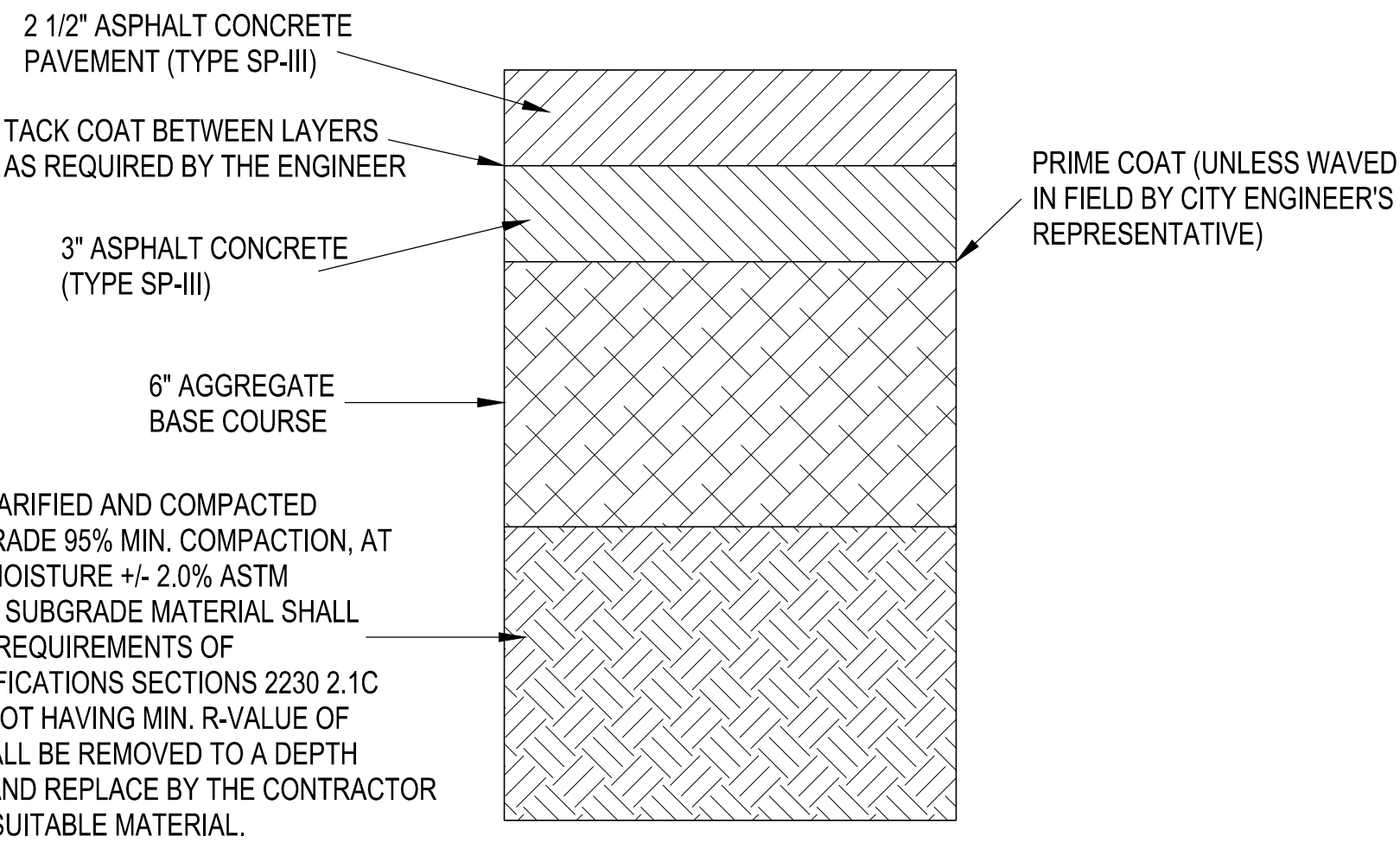
RESTRAINED JOINTS LENGTHS, L _{RT} FOR REDUCERS, (FT.) MINIMUM UNOBSTRUCTED, STRAIGHT-RUN LENGTH: RESTRAIN EITHER LARGE PIPE, OR SMALL PIPE					
SIZE	LARGE SIDE	SMALL SIDE	SIZE	LARGE SIDE	SMALL SIDE
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
12x4	74	213	8x4	43	83
10x8	24	30	6x4	24	35



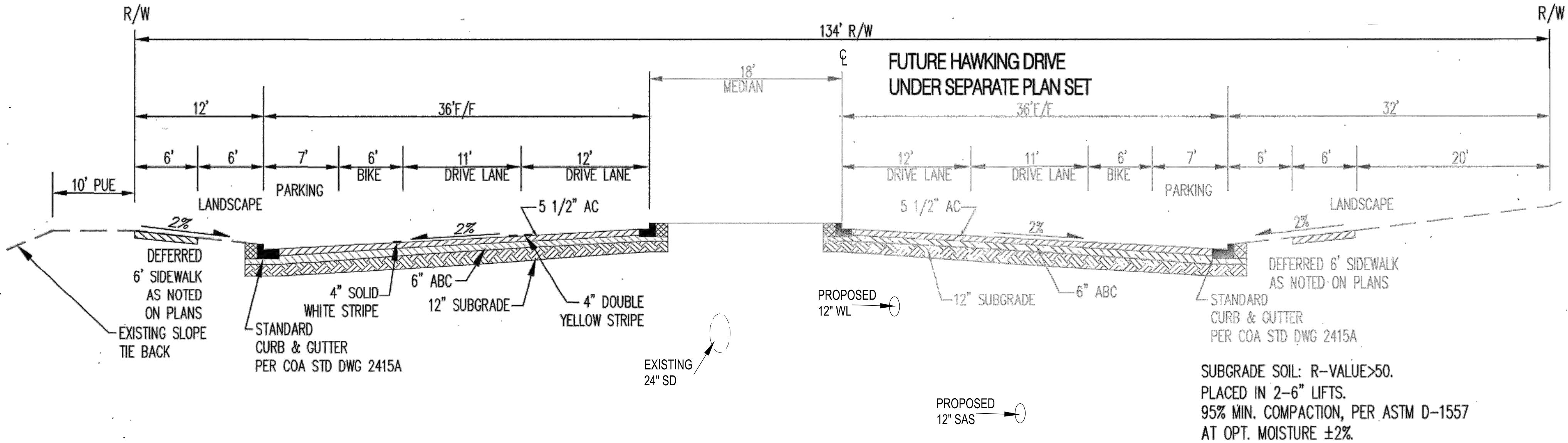
WATER AND SEWER TRENCH PRISM
NTS



ROCK LINED SWALE
NTS



ARTERIAL PAVEMENT SECTION
(HAWKING DRIVE AND TRACT D ENTRANCE ROAD) PER COA STD DWG 2407



TYPICAL STREET SECTION (HAWKING DR)

N.T.S.
**SEE TYPICAL PAVEMENT SECTION (NEXT SHEET)



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ENGINEERING DIVISION

MESA DEL SOL, INNOVATION PARK II
PAVING AND UTILITY IMPROVEMENTS

DETAILS

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

ZONE MAP NO.

Q-16-Z



CITY PROJECT NO.

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SHEET NO. OF

14R 14