

216-11736-812-2011

SCANNED BY
PLANNING

PUBLIC IMPROVEMENT PLANS FOR LADERA VISTA APARTMENTS ALBUQUERQUE, NEW MEXICO

MARCH 2007

PREPARED FOR:
HARRISON SMITH DEVELOPMENT, LLC
P.O. BOX 22100
ALBUQUERQUE, NM 87154

PREPARED BY:
ISAACSON & ARFMAN, P.A.
128 MONROE ST. NE
ALBUQUERQUE, NM 87108

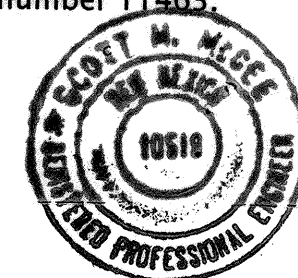
INDEX TO DRAWINGS

SHEET NO.	TITLE
1	COVER SHEET
2	PLAT
3-4	GRADING PLAN
5	LADERA IMPROVEMENTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Scott M. McGee of the firm of Isaacson & Arfman, P.A., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by Anthony L. Harris, NMPS number 11463.

Scott M. McGee 10/17/08
Scott M. McGee NMPE No. 10519

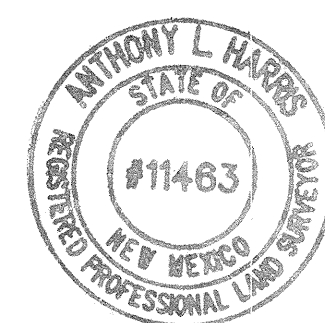


SURVEYOR'S CERTIFICATION

I, ANTHONY L. HARRIS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. HARRIS SURVEYING INC. IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING OR INTENT OF THE RECORD DRAWINGS.

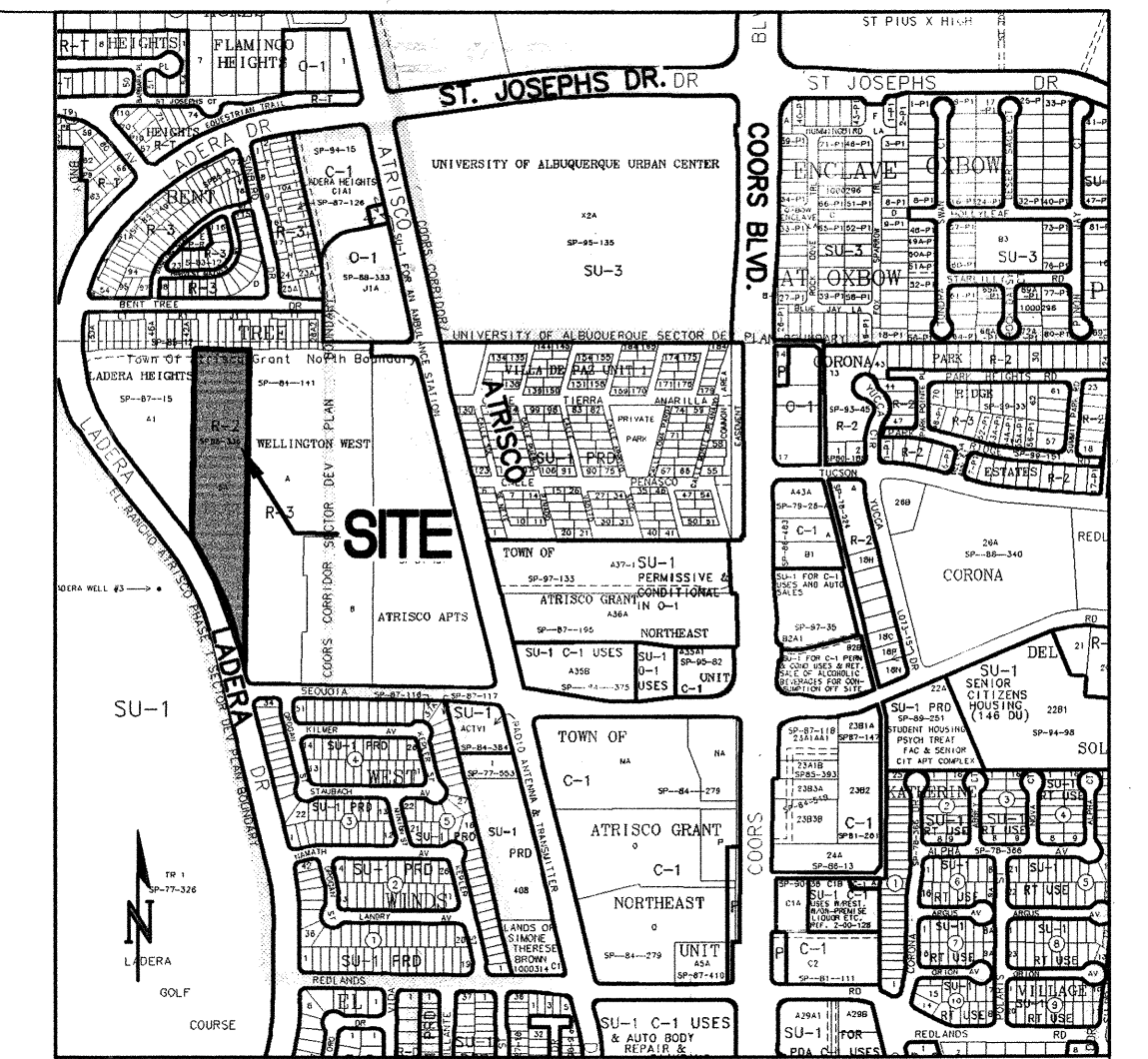
Anthony L. Harris
ANTHONY L. HARRIS, NMPS NO. 11463

9-28-07
DATE



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, CONSTRUCTION 1986 EDITION AS AMENDED WITH UPDATE NO. 7, INCLUDING AMENDMENT 1.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE & VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, NM ONE CALL SYSTEMS, INC. @ 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY, AND TO PROTECT THEM FROM DAMAGE, INJURY, OR LOSS. CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY THE CONDITIONS AND PROGRESS OF THE WORK, ALL NECESSARY SAFEGUARDS FOR SAFETY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADHERE TO SECTION 19 OF THE GENERAL CONDITIONS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE NO. 7.
- THE CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER & ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- TRAFFIC CONTROL: FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS SHOWN IN THIS PLAN SET.
- WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAWCUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED.
- EXISTING CURB AND GUTTER NOT TO BE REMOVED UNDER THE CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
- PROPOSED WATERLINE MATERIALS SHALL BE EITHER PVC PIPE MEETING AWWA C900 REQUIREMENTS (6"-12") OR DUCTILE IRON PIPE, THICKNESS CLASS 50 (6"-16").
- ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING.
- ALL FITTINGS ON WATERLINES SHALL HAVE RESTRAINED JOINTS AS NOTED ON THE PLANS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS UPDATE #7.
- PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
- WARNING--EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- ANY WORK OCCURRING WITHIN A FULLY DEVELOPED ARTERIAL ROADWAY REQUIRES 24 HR. CONSTRUCTION.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
- TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE ENGINEER.
- PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ELECTRONIC MARKER DISKS (EMD) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
- ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
- CONTRACTOR SHALL SUPPORT ALL EXISTING UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
- CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF RECORD DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE CITY.



G-11-Z VICINITY MAP 1"=750'±

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Date: 3-2-2011

DRB NO. N/A
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1579CVR.DWG 01.23.07

REV.	SHEETS	CITY ENGINEER	DATE	USER	DEPARTMENT	DATE	USER	DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	*****		
		DRG Chairman		[Signature]		5-2-07	APPROVED FOR CONSTRUCTION		
		Transportation		[Signature]		5-2-07			
		Water/Wastewater		[Signature]		4/11/07			
		Hydrology		[Signature]		4/11/07			
		Constr. Mngmt.		[Signature]					
Constr. Coord.									
City Project No.							775682		
							Sheet 1 of 5		

C31-125(C2)

SCANNED BY
PLANNING

REPLAT
OF
UNPLATTED TRACT 5
WITHIN THE TOWN OF ATRISCO GRANT
SITUATE IN PROJ. SECTION 2, T. 10N., R. 2E., N.M.P.M.,
TOGETHER WITH
TRACT C-1, WELLINGTON WEST
(NOW COMPRISING TRACTS 5-A, 5-B AND C-1-A)
TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
AUGUST, 1986

State of New Mexico
County of Bernalillo
This instrument was filed for record on
SEP 19 1986
10:35 a.m. clocked in
of records of said County Folio 125
Don E. Miller, Clerk & Recorder
Deputy Clerk

LEGAL DESCRIPTION
FOR
UNPLATTED TRACT 5
WITHIN THE
TOWN OF ATRISCO GRANT
TOGETHER WITH
AN EASTERLY PORTION
OF
TRACT C-1
WELLINGTON WEST

Being that certain tract of land situate in Section 2, as projected, Township 10 North, Range 2 East, New Mexico Principal Meridian, being also unplatted Tract 5 within the TOWN OF ATRISCO GRANT, together with an Easterly portion of Tract C-1, WELLINGTON WEST as said Tract C-1 is shown and designated on "A Plat of Lots 25A thru 53A and Tracts A-1, I-1, J-1, K-1 & L-1 of BENT TREE SUBDIVISION and Tracts C-1 & C-2 of WELLINGTON WEST Being a Replat of Lots 25 thru 53 and Tracts A, I, J, K, L & C-2 of BENT TREE SUBDIVISION and Tract C of WELLINGTON WEST, September 1984" plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on January 3, 1985 in Volume C26, Folio 17 (1-2); and being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at ACS Brass Cap "5-G11", having New Mexico State Plane Coordinate values (Central Zone) of Y = 1,501,984.32 and X = 363,586.13, whence the ACS Brass Cap "NM 448-N4A" having New Mexico State Plane Coordinate values (Central Zone) of Y = 1,499,735.31 and X = 363,586.13 bears S 34° 23' 07" E., 2,726.10 feet distance; thence,

S. 34° 23' 07" E., 1,106.61 feet distance to the Northwest corner and TRUE POINT OF BEGINNING of the tract of land herein described, being a point on the Southerly boundary of said BENT TREE SUBDIVISION; thence,

S. 89° 46' 57" E., (Record = S. 89° 46' 57" E.) 124.74 feet distance along the line common to the tract of land herein described and said BENT TREE SUBDIVISION to a Point; thence,

S. 89° 48' 39" E., 85.15 feet distance (Record = S. 89° 48' 39" E., 85.15 feet distance) to the Northeast corner of the tract of land herein described and being common to the Northwest corner of Tract A, WELLINGTON WEST, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on April 3, 1984, in Volume C23, Folio 146; thence,

S. 00° 11' 21" W., 30.40 feet distance (Record = S. 00° 11' 21" W., 30.40 feet distance) to a point on the line common to the Easterly line of the tract of land herein described and to the Westerly line of said Tract A, WELLINGTON WEST; thence,

S. 00° 36' 46" W., 1,144.82 feet distance (Record = S. 00° 37' 00" W., 1,144.82 feet distance) along the said common line to a point on the Easterly right-of-way line of Ladera Road, N.W.; continuing thence,

S. 00° 36' 46" W., 110.57 feet distance (Record = S. 00° 37' 00" W., 110.57 feet distance) continuing along said common line to the Southeast corner of the tract of land herein described and a point on the original Northerly right-of-way line of Sequoia Road, N.W.; thence,

N. 89° 22' 02" W., 174.87 feet distance to the Southwest corner of the tract of land herein described, a point on the Westerly right-of-way line of said Ladera Road, N.W.; thence,

N. 13° 38' 00" W., (Record = N. 13° 33' 00" W.), 174.87 feet distance along the Westerly right-of-way line of said Ladera Road N.W. to a Point of Curvature; thence,

Northwesterly, 256.94 feet distance along the Westerly right-of-way line of said Ladera Road, N.W. along the arc of a curve bearing to the left (said arc having a radius of 1145.92 feet (Record = 1,145.92 feet), a central angle of 129° 50' 49", and a chord which bears N. 20° 03' 35" W., 256.40 feet distance) to a Point on said Curve; thence,

N. 00° 33' 16" E., 193.60 feet distance (Record = N. 00° 33' 16" E., 193.60 feet distance) to a point on the Easterly right-of-way line of said Ladera Road, N.W. and a point on the Westerly line of the tract of land herein described which is common to the Southeast corner of said Tract A, LADERA HEIGHTS SUBDIVISION, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 30, 1978, in Volume D8, Folio 155; continuing thence,

N. 00° 33' 16" E., 651.29 feet distance (Record = N. 00° 33' 16" E., 651.29 feet distance) along the line common to the Westerly line of the tract of land herein described and the Easterly boundary of said Tract A, LADERA HEIGHTS SUBDIVISION to a point on the Southerly line of said Tract C-1; continuing thence,

N. 00° 33' 16" E., 30.40 feet distance to the Northwest corner and the TRUE POINT OF BEGINNING of the tract of land herein described, and containing 238,160 square feet (5.4674 acres), more or less.

Being that certain tract of land situate in Section 2, as projected, Township 10 North, Range 2 East, New Mexico Principal Meridian, being also a Westerly portion of Tract C-1, WELLINGTON WEST, as said Tract C-1 is shown and designated on "A Plat of Lots 25A thru 53A and Tracts A-1, I-1, J-1, K-1 & L-1 of BENT TREE SUBDIVISION and Tracts C-1 & C-2 of WELLINGTON WEST Being a Replat of Lots 25 thru 53 and Tracts A, I, J, K, L & C-2 of BENT TREE SUBDIVISION and Tract C of WELLINGTON WEST, September 1984" plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on January 3, 1985 in Volume C26, Folio 17 (1-2); and being more particularly described by metes and bounds survey as follows:

BEGINNING, FOR A TIE, at ACS Brass Cap "5-G11", having New Mexico State Plane Coordinate values (Central Zone) of Y = 1,501,984.32 and X = 363,586.13, whence the ACS Brass Cap "NM 448-N4A" having New Mexico State Plane Coordinate values (Central Zone) of Y = 1,499,735.31 and X = 363,586.13 bears S. 34° 23' 07" E., 2,726.10 feet distance; thence,

S. 34° 30' 04" W., 1,106.61 feet distance to the Northeast corner and TRUE POINT OF BEGINNING of the tract of land herein described, being a point on the Southerly boundary of said BENT TREE SUBDIVISION; thence,

S. 00° 33' 16" W., 30.00 feet distance to the Southeast corner of the tract of land herein described being common to the Northeast corner of Tract A, LADERA HEIGHTS SUBDIVISION, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 30, 1978, in Volume D8, Folio 155; thence,

N. 89° 46' 57" W., (Record = N. 89° 46' 57" W.) 257.00 feet distance along the Southerly line of the tract of land herein described being common with the Northerly line of said Tract A, LADERA HEIGHTS SUBDIVISION to a Point of Curvature; thence,

Southwesterly, 122.78 feet distance along said common line and along the arc of a curve bearing to the left (said arc having a radius of 970.00 feet, a central angle of 07° 15' 08" and a long chord which bears S. 86° 35' 29" W., 122.70 feet distance) to a point of Compound Curvature; thence,

Southwesterly, 41.60 feet distance continuing along said common line and along the arc of a curve bearing to the left (said arc having a radius of 25.00 feet, a central angle of 95° 20' 17" and a long chord which bears S. 35° 17' 47" W., 36.96 feet distance) to a point on a curve, being the Southwest corner of the tract of land herein described said point also being a point on the Easterly right-of-way line of Ladera Road N.W.; thence,

Northwesterly, 57.03 feet distance along the Easterly right-of-way line of Ladera Road N.W. and along the arc of a curve bearing to the right (said arc having a radius of 616.20 feet, a central angle of 05° 18' 10" and a chord which bears N. 09° 43' 16" W., 57.01 feet distance) to a point of Compound Curvature and the Northwest corner of the tract of land herein described; thence,

Northeasterly, 154.14 feet distance along the line common to the Southerly line of said BENT TREE SUBDIVISION and the Northerly line of the tract of land herein described and along the arc of a curve bearing to the right (said arc having a radius of 1,000.00 feet, a central angle of 08° 49' 55" and a long chord which bears N. 85° 48' 06" E. 153.99 feet distance) to a Point of Tangency; thence,

S. 89° 46' 57" E. (Record = S. 89° 46' 57" E.) 257.17 feet distance continuing along said common line to the Northeast corner and the TRUE POINT OF BEGINNING of the tract of land herein described, containing 12,430 square feet (0.2853 acres), more or less.

NOTE:

- All bearings are New Mexico State Plane Grid bearings (Central Zone).
- Distances are ground distances.
- Ground-to-grid = 0.9996765.

SP. 86-338
Subdivision Plat No.
Richard D. Brown
City Planning Director
Date: 9-11-86
Terry D. Brown
Traffic Engineer
Date: 9-9-86
Jan E. Estgaard
Water Resources
Date: 9-9-86
Al Monteblanco
City Surveyor
Date: 9/6/86

86-298
DRB Case No.
9-11-86
Frank J. Leguin
A.M.A.F.C.
Date: 9-9-86
Frank J. Leguin
City Engineer
Date: 9-9-86
Janet Sifers
Parks & Recreation
Date: 9-9-86
O. Valverde
Property Management
Date: 9/29/86

Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

C31-125(C1)

REPLAT
OF
UNPLATTED TRACT 5
WITHIN THE TOWN OF ATRISCO GRANT
SITUATE IN PROJ. SECTION 2, T. 10N., R. 2E., N.M.P.M.,
TOGETHER WITH
TRACT C-1, WELLINGTON WEST
(NOW COMPRISING TRACTS 5-A, 5-B AND C-1-A)
TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
AUGUST, 1986

SEP 19 1986
10:35 a.m. clocked in
of records of said County Folio 125
Don E. Miller, Clerk & Recorder
Deputy Clerk

DEDICATION AND CONSENT STATEMENT

The undersigned owner(s) of the tract of land hereon shown: Unplatted Tract 5 within the Town of Atrisco Grant, situate in Section 2 as projected, Township 10 North, Range 2 East, New Mexico Principal Meridian together with Tract C-1 WELLINGTON WEST as said Tract C-1 is shown and designated on "A Plat of Lots 25A thru 53A and Tracts A-1, I-1, J-1, K-1, & L-1 of BENT TREE SUBDIVISION and Tracts C-1 & C-2 of WELLINGTON WEST being a Replat of Lots 25 thru 53 and Tracts A, I, J, K, L, & C-2 of BENT TREE SUBDIVISION and Tract C of WELLINGTON WEST, September 1984" plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico on January 3, 1985 in Volume C26, Folio 17 (1-2); do hereby consent to the redimension shown in the manner hereon shown; and hereby certify that this redimension is their free act and deed.

FOR TRACTS 5-A AND 5-B

Tonia Lucero Angel
P.O. Box 188
Montezuma, New Mexico 87731

Joe Angel
Notary Public

NOTARY:

STATE OF New Mexico }
COUNTY OF Santa Fe }

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 19th day of August, 1986.

My Commission Expires: 10/14/1986

FOR TRACT C-1-A

Gene R. Roms
Chief Administrative Officer
City of Albuquerque

NOTARY:

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO }

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 19th day of SEPT., 1986.

My Commission Expires: 6/2/89

SURVEYOR'S CERTIFICATE

I, FRED SANCHEZ, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

FRED SANCHEZ, N.M. L.S. NO. 4078
Notary Public

NOTARY:

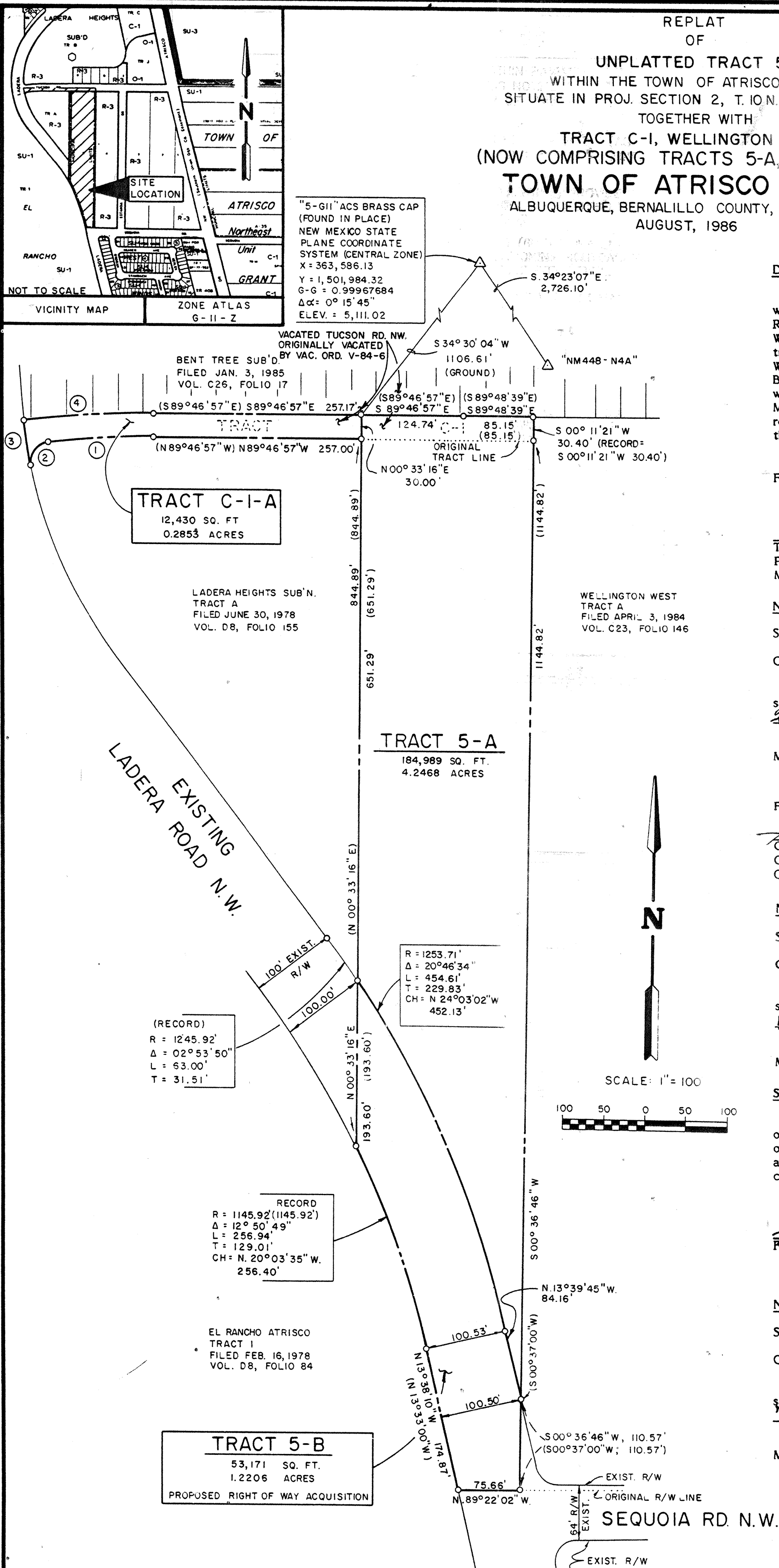
STATE OF New Mexico }
COUNTY OF Bernalillo }

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 19th day of August, 1986.

YVONNE M. VILLESAS
Notary Public

NOTES:

- Unless otherwise indicated, all corners are marked with an iron stake surmounted with a cap marked "LS 4078".
- Bearings shown are New Mexico State Plane Grid Bearings (Central Zone) also shown on "LADERA HEIGHTS SUBDIVISION being a replat of College Park Addition - Unit 2, Summary Replat of College Park - Unit 1, and College Park South" plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on June 30, 1978, in Volume D8, Folio 155.
- Bearings and distances shown are field and record data. Bearings and distances shown in parentheses are record data.
- Distances are ground distances.
- Total Area = 252,825 square feet (5.8041 acres).
- Ground to grid = 0.9996765



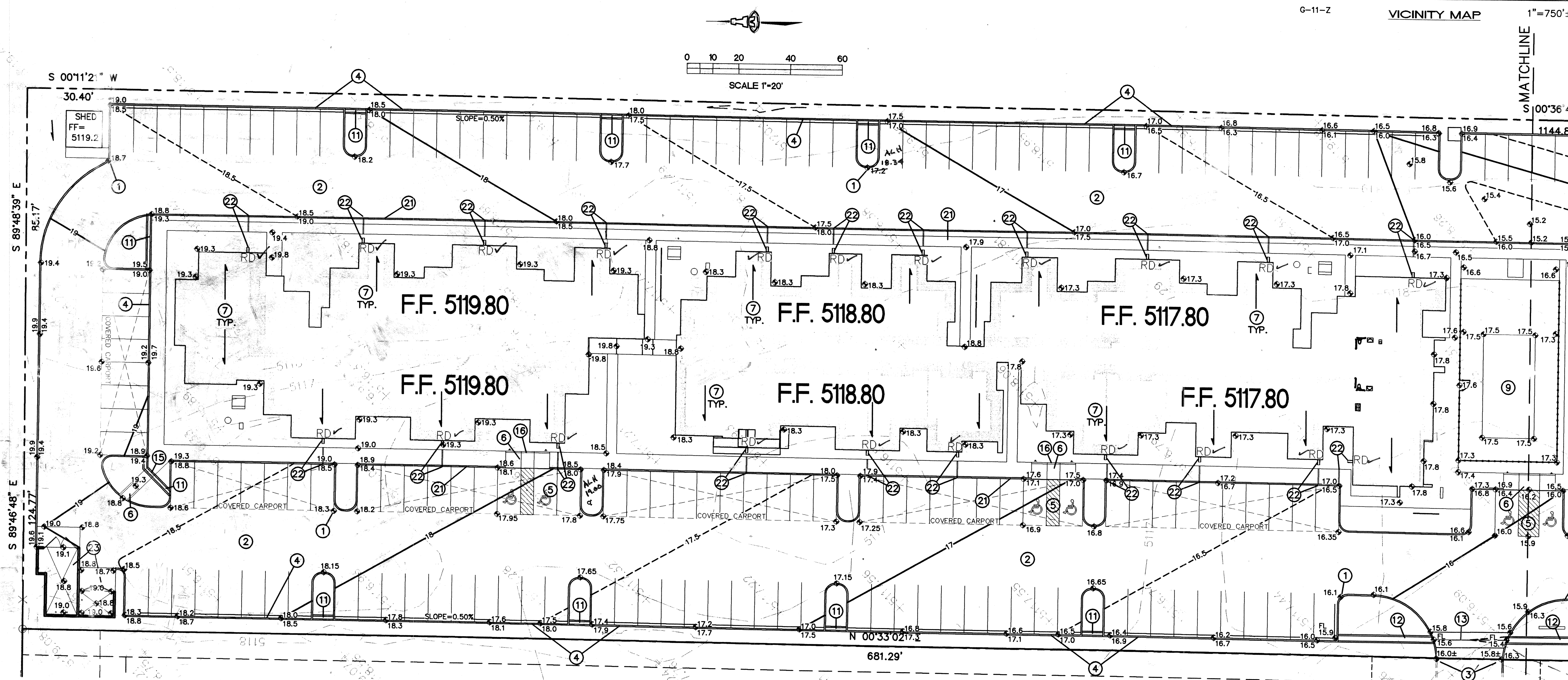
Plat & Survey By:
ALBUQUERQUE SURVEYING CO. INC., 2119 Menaul Blvd. N.E., Albuquerque, New Mexico 87107 Ph. (505) 884-2036

C31-125(C2)

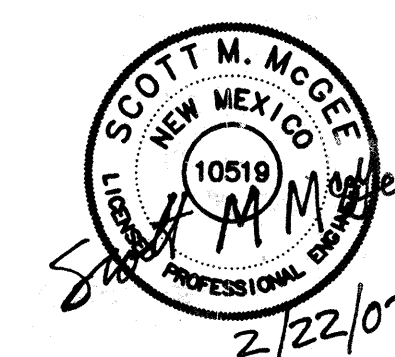
C31-125(C2)

KEYED NOTES	KEYED NOTES	KEYED NOTES	KEYED NOTES
<p>23 CONSTRUCT CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. INSTALL 8" DIA. AREA DRAIN AT LOWPOINT OF DUMPSTER PADS. MAKE CONNECTIONS TO SANITARY SEWER LINE.</p> <p>24 INSTALL ADS 12" DIA. END SECTION AT PIPE OPENING.</p>	<p>16 PROVIDE 2' WIDE OPENING IN CURB AT FLOWLINE ELEVATION SHOWN TO PASS LANDSCAPE FLOW TO PAVEMENT.</p> <p>17 CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN (MIN. SLOPE = 0.5%). SEE SHEET C002 FOR DETAIL.</p> <p>18 CONSTRUCT SITE PRIVACY WALL ALONG SOUTHWEST PROPERTY BOUNDARY. PROVIDE TURNED CMU BLOCKS IN WALL AT 4' O.C. AT GRADE TO PASS SHEETFLOW.</p> <p>19 INSTALL ADS 8" INLINE DRAIN WITH 18" DOMED GRATE AT LOW POINT. EXTEND 8" DRAINLINE TO NEW MANHOLE. PROVIDE 4' DIA. X 12" DEEP COBBLE PAD AROUND INLET FOR EROSION PROTECTION. SEE SHEET C002 FOR ADDITIONAL INFORMATION.</p> <p>20 12" DIA. SCH. 40 PVC STORM DRAIN CONNECTION FROM PRIVATE MANHOLE TO EXISTING LADERA ROAD PUBLIC STORM DRAIN INLET PER C.O.A. STD. DWG. 2237 BY SEPARATE WORK ORDER (#775682).</p> <p>21 CONSTRUCT CONCRETE WALK WITH TURNED-DOWN EDGE ADJACENT TO ASPHALT PAVEMENT UNLESS NOTED #4.</p> <p>22 PROVIDE PRECAST CONCRETE SPLASHBLOCK AT ROOF DRAIN SURFACE OUTLETS. GRADE TO DIRECT ROOF DRAINAGE AWAY FROM BUILDING. INSTALL ACO-DRAIN SIDEWALK TRENCH DRAIN WITH PEDESTRIAN GRATE AT EACH ROOF DRAIN OUTLET. SEE DETAIL ON SHEET C002.</p>	<p>9 SWIMMING POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.</p> <p>10 CONSTRUCT LANDSCAPED STILLING BASIN AT GRADES SHOWN TO ACCEPT SITE DRAINAGE. FLOW IN EXCESS OF BASIN CAPACITY WILL DISCHARGE TO LADERA ROAD AT OVERFLOW.</p> <p>11 PROVIDE 1' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS FLOW. MIN. SLOPE = 0.5%.</p> <p>12 CONSTRUCT 2' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL AT ELEVATIONS SHOWN THROUGH MAIN ENTRANCE ISLAND TO PASS FLOW.</p> <p>13 CONSTRUCT 6' WIDE X 6" THICK X 3" DEPRESSED CONCRETE DIP SECTION ACROSS ACCESS DRIVE AT ELEVATIONS SHOWN (FULL LENGTH) TO PASS CONCENTRATED DRAINAGE FROM CHANNEL SOUTH AS SHOWN.</p> <p>14 TWO 24" WIDE (BOTTOM WIDTH) X 8" DEEP COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 BY SEPARATE WORK ORDER (#775682).</p> <p>15 CONSTRUCT 12" WIDE (BOTTOM WIDTH) X 6" DEEP COVERED SIDEWALK CULVERT TO PASS DISCHARGE.</p>	<p>1 ALL ON-SITE SPOT ELEVATIONS WITHIN PAVEMENT AREAS REPRESENT TOP OF PAVING UNLESS NOTED. ADD 6" TYPICAL FOR TOP OF CURB / TOP OF WALK ELEVATIONS UNLESS NOTED.</p> <p>2 INSTALL ASPHALT PAVING WITH 1% MINIMUM SLOPE (AS SHOWN) TO PREVENT BIRDBATHS AND MAINTAIN POSITIVE DRAINAGE.</p> <p>3 SAWCUT EXISTING ASPHALT AS REQUIRED. PROVIDE CLEAN BONDING EDGE. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.</p> <p>4 CONSTRUCT CONCRETE MEDIAN CURB (6" HIGH) AND GUTTER TYPICAL AT ALL CURB LOCATIONS WHICH CARRY CONCENTRATED FLOW. SEE SHEET C002 FOR DETAIL.</p> <p>5 CONSTRUCT HANDICAP PARKING SPACES WITH 2% MAX. SLOPE ALL DIRECTIONS.</p> <p>6 CONSTRUCT HANDICAP ACCESS RAMP - SEE ARCHITECTURAL FOR DETAILS.</p> <p>7 ROOF DRAINAGE DIRECTION. SEE ARCHITECTURAL FOR SPECIFIC RELEASE POINTS.</p> <p>8 CONSTRUCT 24" WIDE (BOTTOM WIDTH) X 8" DEEP COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS DISCHARGE TO LANDSCAPED STILLING BASIN.</p>

G-11-Z VICINITY MAP 1"=750'±



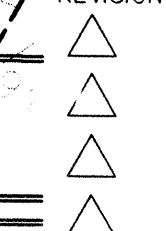
ENGINEER



PROJECT

Ladera Vista Apartments
Harrison Smith Development
3608 Ladera Drive
Albuquerque, NM

REVISIONS



DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

DRAWING NAME

GRADING AND DRAINAGE PLAN

1 of 2

SHEET NO.

3 OF 5

C001

CPN 775682

PROJECT DATA

LEGAL DESC.: LOT 5-A TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S. #11463 HARRIS
SURVEYING, INC. 2412-D MONROE STREET NE,
ALBUQUERQUE, NEW MEXICO 87110 TELEPHONE
(505) 889-8056

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF
ALBUQUERQUE STATION NO. "10-G11", HAVING
AN ELEVATION OF 5114.459

*SEE SHEET C002 FOR LEGEND

FOR INFORMATION ONLY

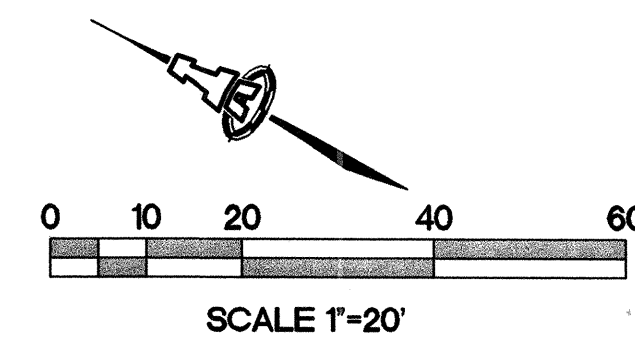
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632

1579CRD.dwg Feb. 22, 2007

SCANNED BY
PLANNING

35'x35' WATER METER EASEMENT
BOOK A134, PAGE 832,
RECORDED 03/16/07



KEYED NOTES

- A. 12"x10" TAPPING SLEEVE
10" TAPPING VALVE & VALVE BOX
PRESSURE CONNECTION
60 LF 10" WATERLINE
RESTRAIN ALL WATERLINE JOINTS
WITHIN RIGHT-OF-WAY.
- B. REMOVE & REPLACE 20 SY ASPHALT
PAVING PER COA STD DWG #2465
(ARTERIAL).
REMOVE & REPLACE 8 LF MEDIAN
CURB & 8 LF STD CURB AND GUTTER
PER COA STD DWG #2415.
- C. BUILD WATER METER VAULT (8'x9'4")
PER COA STD DWG #2370. INSTALL
10"x3" FIRE ASSEMBLY METER.
- D. 35'x35' PUBLIC WATER METER
EASEMENT.
- E. INSTALL ~~42~~ ^{20" PRIVATE} LF 12" STORM DRAIN
(PVC SCH. 40) LINE CONNECTION TO
EXISTING INLET PER COA STD DWG
#2237.
IN=11.30 (AT INLET)
IN=11.50 (AT ~~MANHOLE~~ ^{MANHOLE} ~~ON SITE~~ ^{ON SITE})
ENTIRE PUBLIC PORTION OF STORM DRAIN IS
FROM EXISTING INLET TO ~~NEW LINE~~ ^{ON SITE}.
- F. BUILD 4' DIA. PUBLIC SANITARY
SEWER MANHOLE PER COA STD DWG
#2102.
RIM ELEVATION= 14.20
8" INVERT IN= 05.30
- G. BUILD TWO 24" WIDE SIDEWALK
CULVERTS AS SHOWN PER COA STD
DWG #2236.
- H. REMOVE AND REPLACE TRAFFIC SIGN
BEHIND CURB AND OUTSIDE OF NEW
SIDEWALK.

ENTIRE PUBLIC PORTION OF STORM DRAIN IS FROM EXISTING INLET TO R/W LINE. ~~ON-SITE.~~

CURVE DATA
R= 1253.71'
Δ= 20°46'20"
T= 229.79'

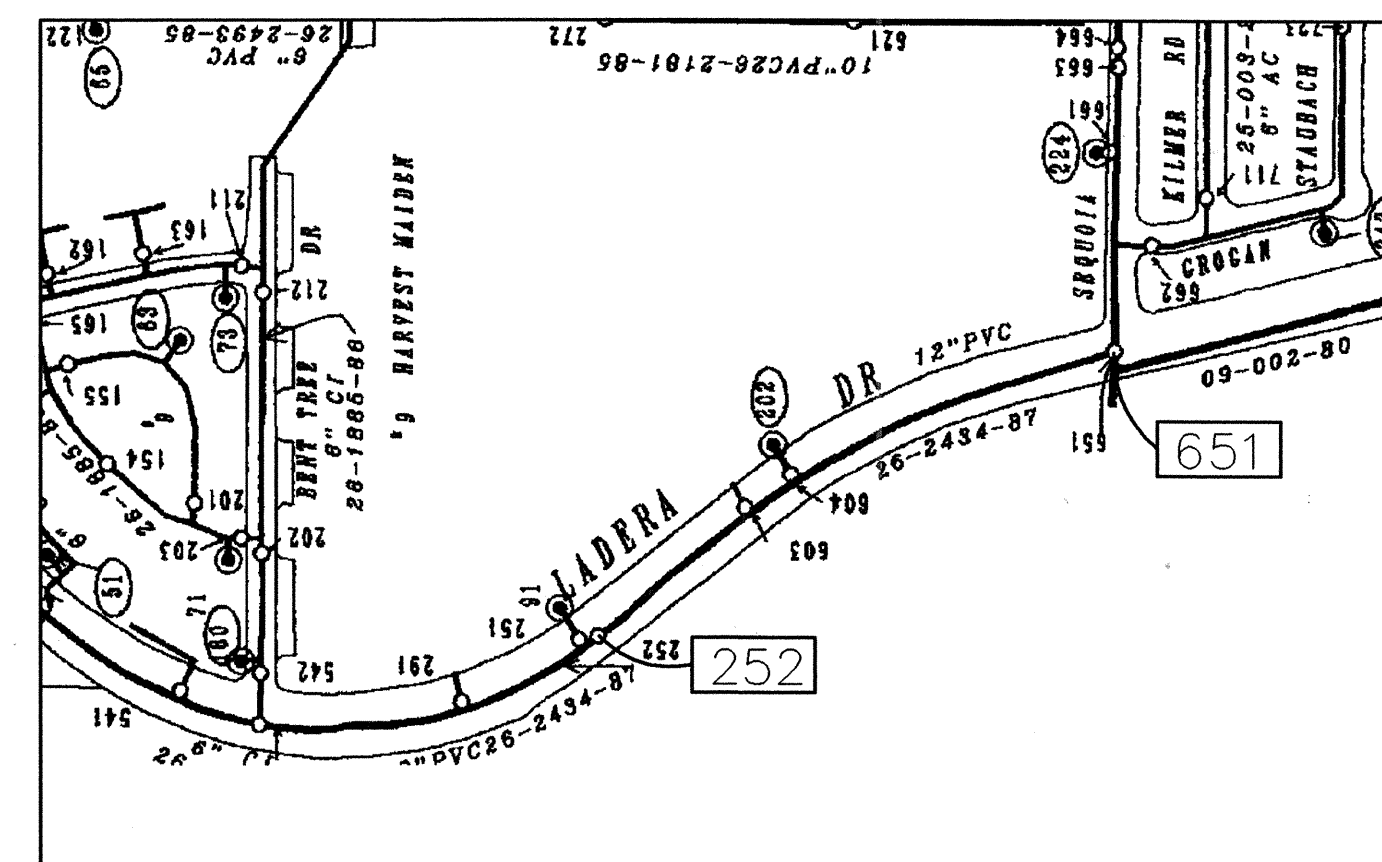
FOR INFORMATION ONLY
6' PUBLIC SIDEWALK BY
BUILDING PERMIT

Alt
Built
PRIVATE 8" SANITARY
SEWER

LADERA DRIVE N.W.

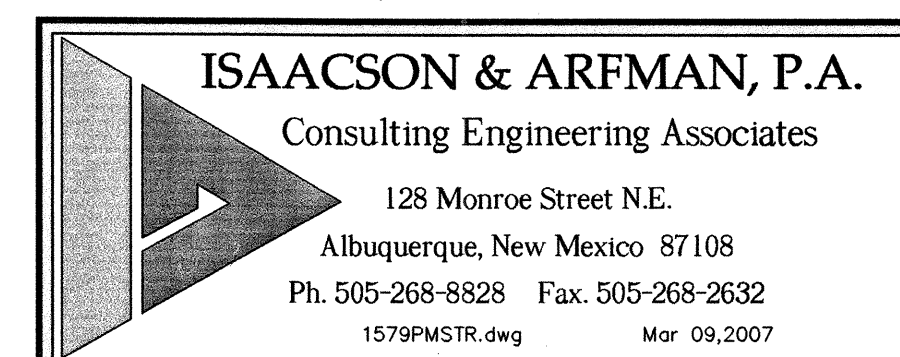
GENERAL NOTES:

1. CONTRACTOR SHALL REPLACE ANY LADERA DRIVE PAVEMENT STRIPING THAT IS DAMAGED.
2. 6' CONCRETE SIDEWALK SHOWN ALONG LADERA DRIVE TO BE BUILT BY BUILDING PERMIT AND IS SHOWN FOR INFORMATION ONLY -- NOT A PART OF THIS WORK ORDER.



WATER SHUT-OFF PLAN

SHUT-OFF VALVES [252] & [651] TO PROVIDE
NON-PRESSURE CONNECTION. THE CONTRACTOR SHALL
CONTACT WATER SYSTEMS DIVISION (857-8200) 7
WORKING DAYS PRIOR TO SHUT-OFF OR TURN-ON AT
VALVES. ONLY CITY PERSONNEL ARE ALLOWED TO OPERATE
VALVES.



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

TITLE: **LADERA DRIVE IMPROVEMENTS**

Design Review Committee

City Engineer Approval

Mo./Day/Yr.

Mo./Day/Yr.

APPROVED
JUL 03 2007
CITY ENGINEER

Last Design Update

City Project No.

Zone Map No.

Sheet 1 Of

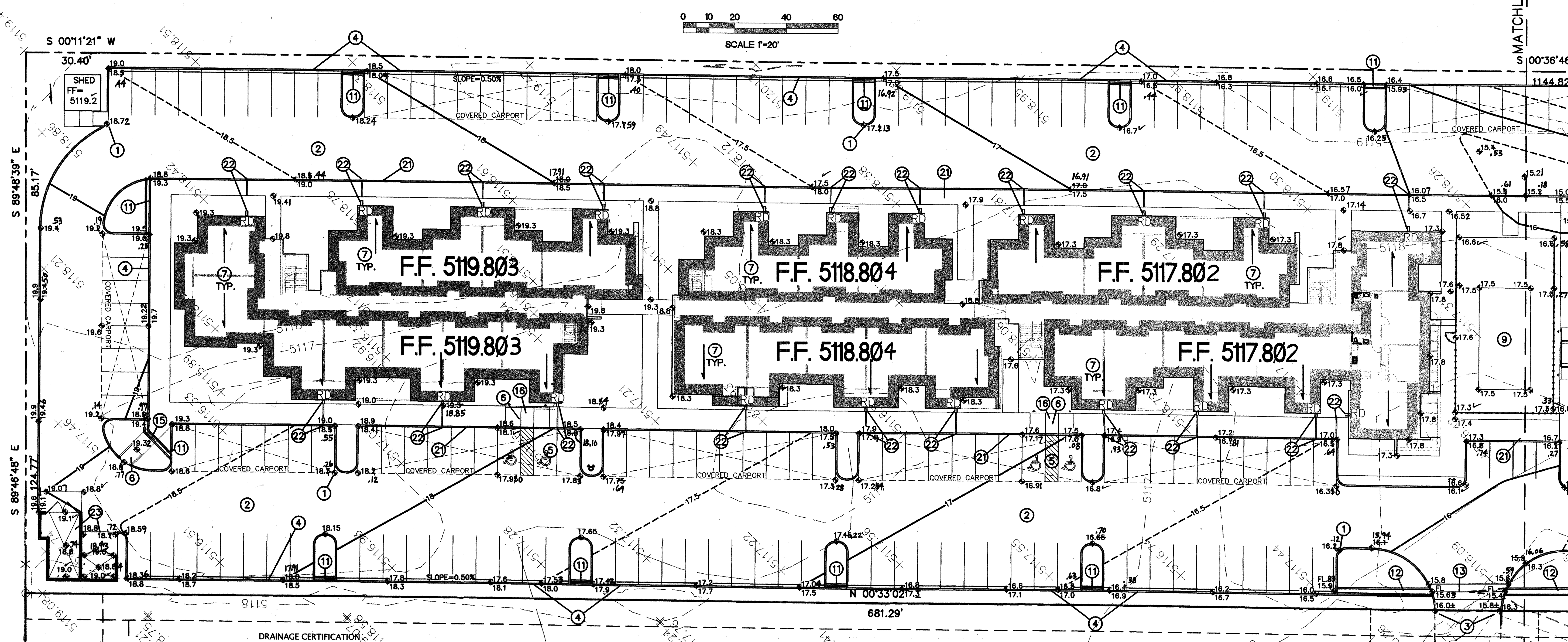
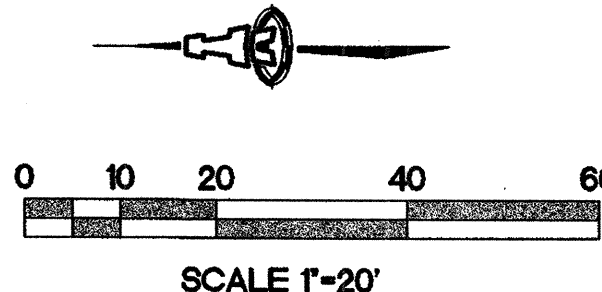
775682

G-11

5	5
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6-11-Z VICINITY MAP 1"=750'±



TEMPORARY C.O.

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 05/02/07. The concrete drainage channels shown either side of the entry have been built too narrow and will need to be re-built. The concrete alley gutters shown at the entry and SE of the pool will also need to be installed. The record information edited onto the original design document has been obtained by, Anthony Harris, NMPS 11463, of the firm Harris Surveying, Inc.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee
Scott M. McGee NMPE 10519
5/22/08
Date



DRAINAGE CERTIFICATION

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Scott M. McGee
Scott M. McGee NMPE 10519
8/22/08
Date



PROJECT DATA

LEGAL DESC.: LOT 5-A TOWN OF ATRISCO GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

SURVEYOR: ANTHONY L. HARRIS, N.M.P.S.#11463 HARRIS
SURVEYING, INC. 2412-D MONROE STREET NE,
ALBUQUERQUE, NEW MEXICO 87110 TELEPHONE
(505) 889-8056

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF
ALBUQUERQUE STATION NO. "10-G11", HAVING
AN ELEVATION OF 5114.459

*SEE SHEET C002 FOR LEGEND

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1579GRD.dwg May 02, 2007

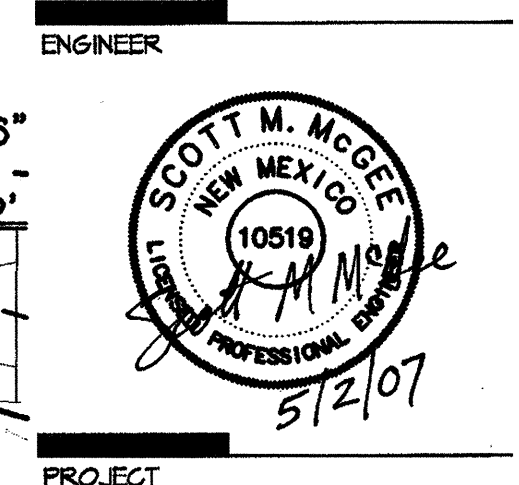
REVISIONS
04/21/07 PERMIT COMMENTS AND FINAL COORDINATION

DRAWN BY: MP
REVIEWED BY:
DATE: 02.09.07
PROJECT NO.: 060712
DRAWING NAME:

GRADING AND
DRAINAGE PLAN
1 of 2

SHEET NO.
C001
OF

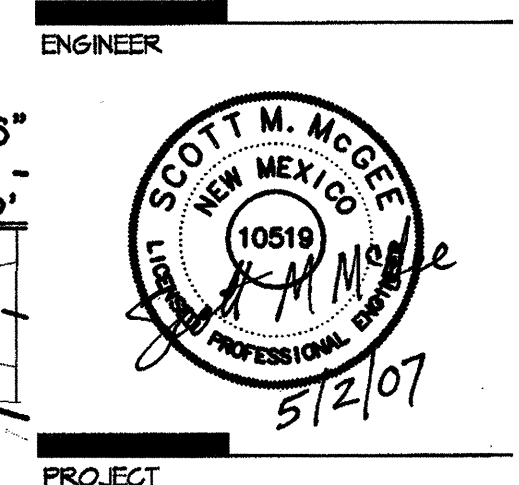
Ladera Vista Apartments
Harrison Smith Development
3608 Ladera Drive
Albuquerque, NM



ENGINEER

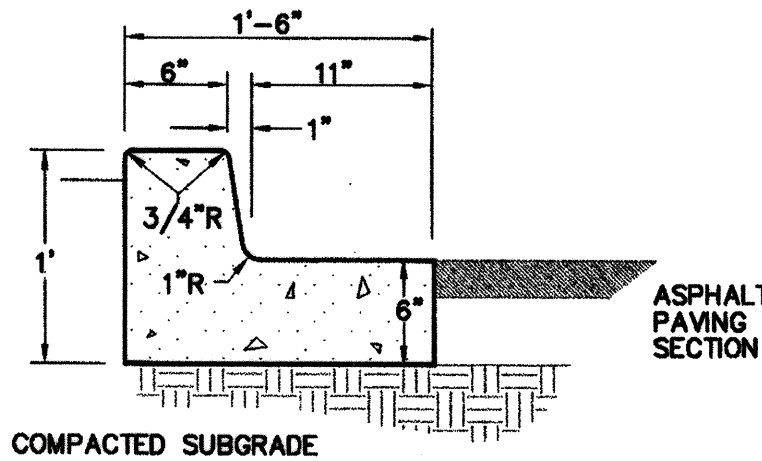
PROJECT

Ladera Vista Apartments
Harrison Smith Development
3608 Ladera Drive
Albuquerque, NM



ENGINEER

PROJECT

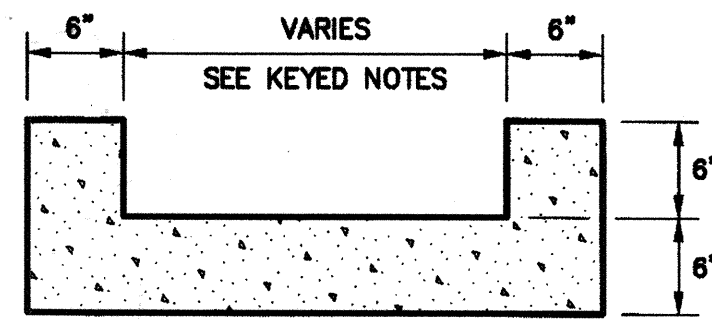


GENERAL NOTES

1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
3. MEDIAN C & G REQUIRE FULL FORM ON ALL FACES

MEDIAN CURB AND GUTTER

N.T.S.

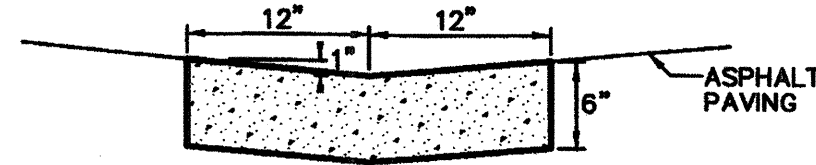


GENERAL NOTES

1. PROVIDE CONST. CONTROL JOINTS @ 7' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

'U' SHAPED CONC. CHANNEL

N.T.S.

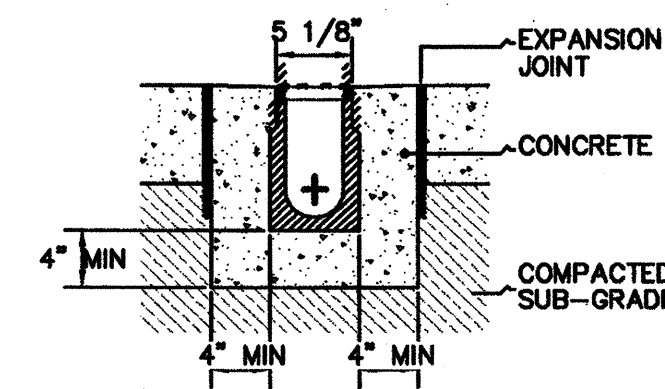


GENERAL NOTES

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2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.

CONCRETE ALLEY GUTTER

N.T.S.



ACO-DRAIN K100S SIDEWALK TRENCH DRAIN (O.A.E.) WITH PEDESTRIAN GRATE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

SIDEWALK TRENCH DRAIN

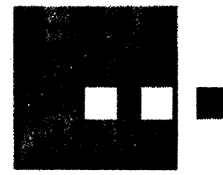
N.T.S.

GENERAL NOTES

- A. COORDINATE WORK WITH ARCHITECTURAL PLANS
- B. DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- C. WHERE PROPOSED GRADES ARE SHOWN AS '±', TRANSITION TO EXISTING SHALL BE SMOOTH AND LEVEL.
- D. GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- E. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- 17.5 PROPOSED SPOT ELEVATION
- FF = 5117.00 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- 18.0 TOP OF CURB ELEVATION
- 17.5 FLOWLINE
- 2 AREA DRAIN
- INV=13.4 INVERT ELEVATION
- RD ROOF DRAIN
- STORM DRAIN LINE



**Dekker
Perich
Sabatini**

7601 Jefferson NE Suite 100
Albuquerque, NM 87109
505 761-9700
fax 761-4222
dps@dpsdesign.org

ARCHITECT

ENGINEER



PROJECT

Ladera Vista Apartments
Harrison Smith Development
3608 Ladera Drive
Albuquerque, NM

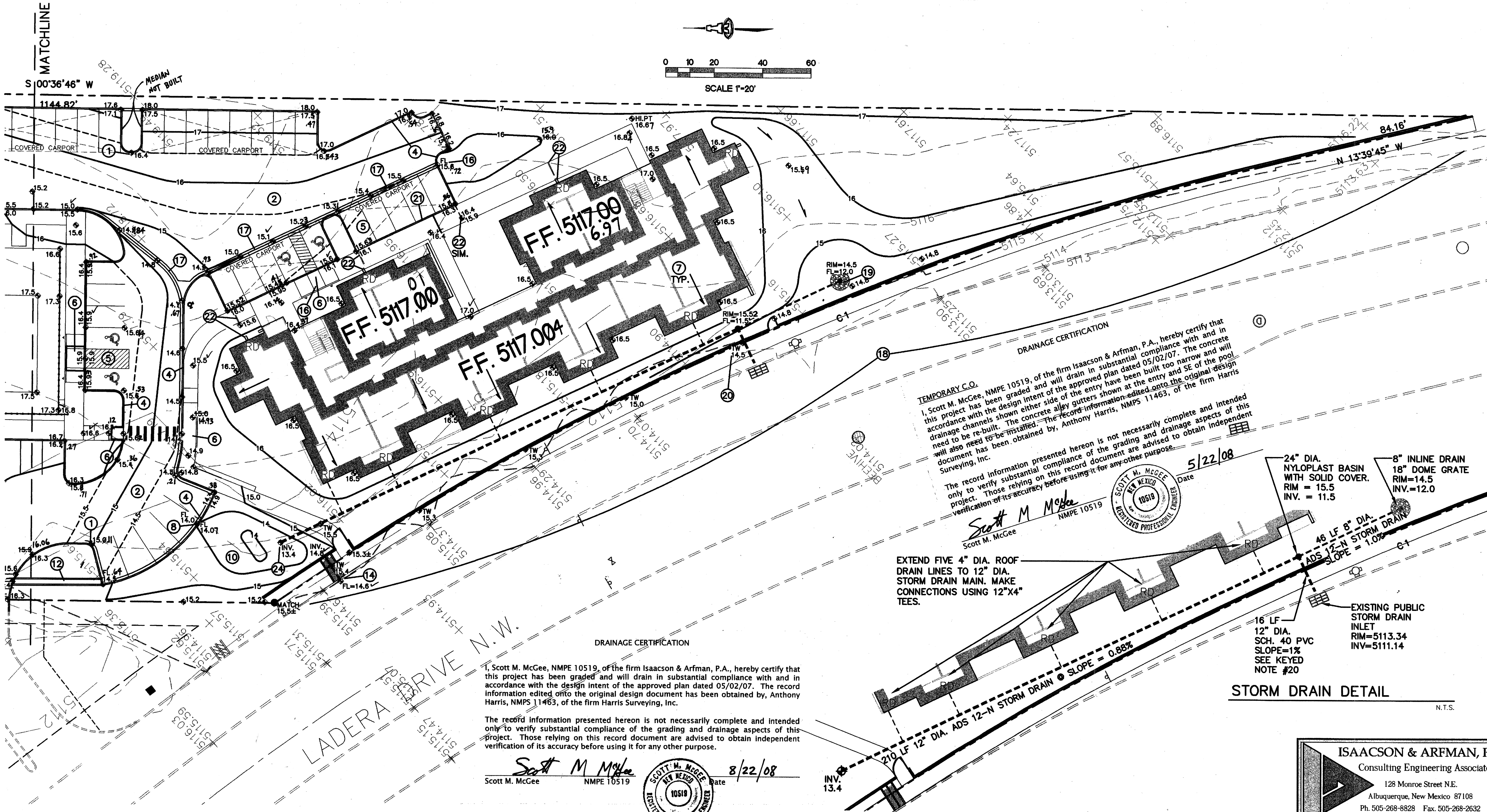
REVISIONS	
1	04.21.07 PERMIT COMMENTS AND FINAL COORDINATION
2	
3	
4	

DRAWN BY: MP
REVIEWED BY:
DATE: 02.09.07
PROJECT NO.: 06072
DRAWING NAME:

GRADING AND
DRAINAGE PLAN
2 of 2

SHEET NO.

0002
OF



DRAINAGE CERTIFICATION
I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 05/02/07. The concrete drainage channels shown either side of the entry have been built too narrow and will need to be re-built. The concrete alley gutters shown at the entry and SE of the pool will also need to be installed. The record information edited onto the original design document has been obtained by, Anthony Harris, NMPS 11463, of the firm Harris Surveying, Inc.

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Scott M. McGee
Scott M. McGee
NMPE 10519
Date 5/22/08

EXTEND FIVE 4" DIA. ROOF DRAIN LINES TO 12" DIA. STORM DRAIN MAIN. MAKE CONNECTIONS USING 12"x4" TEES.

STORM DRAIN DETAIL

N.T.S.

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1579GRD.dwg May 02, 2007