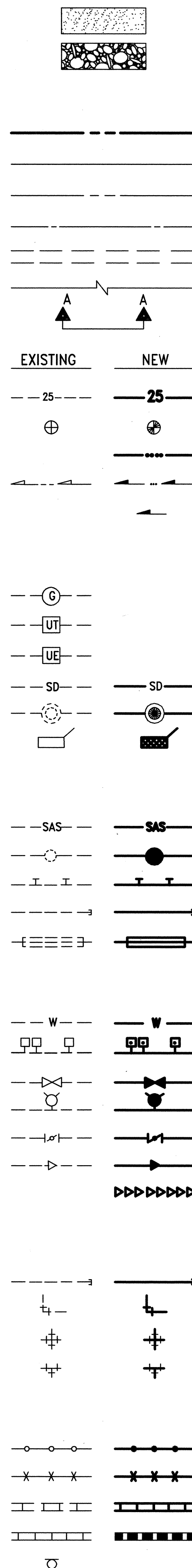
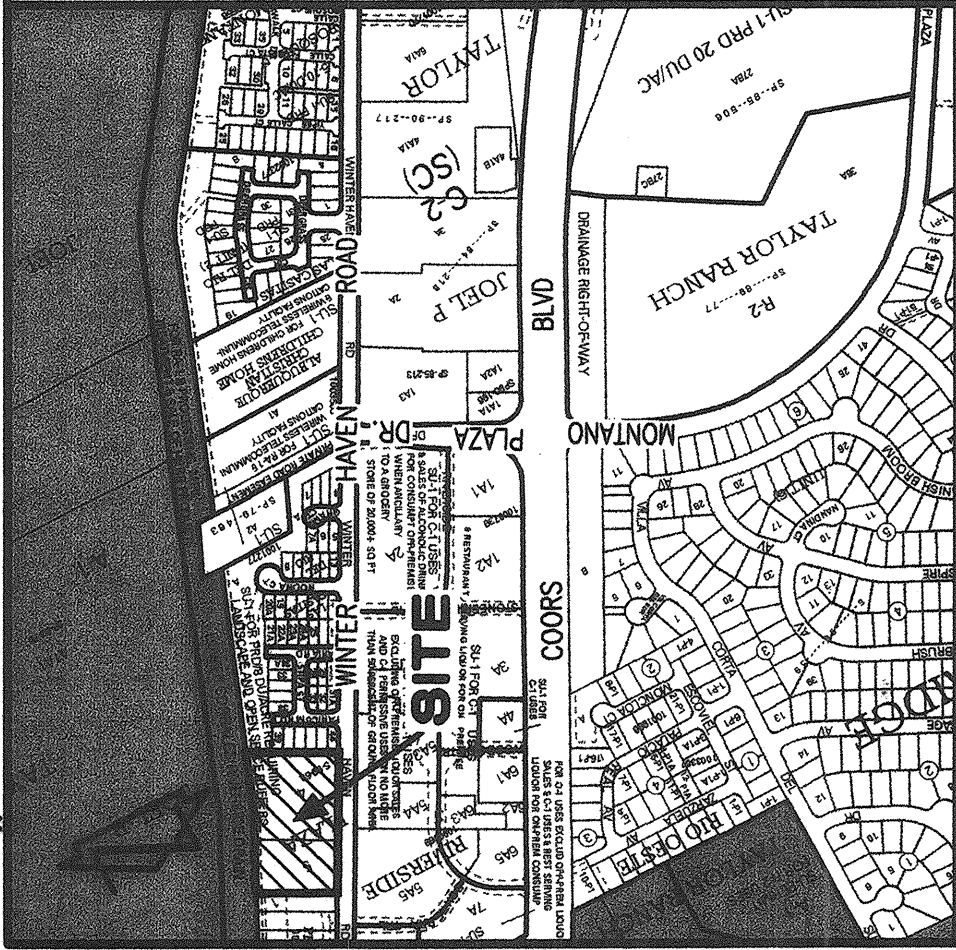


CHAINLINK FENCE
FIELD FENCE
COMMON YARD WALL
RETAINING WALL
POWER OR TELEPHONE POLE

[illegible]



VICINITY MAP
SCALE: 1" = 750'

E-12

DEDICATION AND FREE CONSENT
The subdivision hereon is with the free consent and in accordance with the laws and does hereby dedicate the easements with the following conditions: The easements are to be used for the purpose of the subdivision and the easements are to be used for the purpose of the subdivision in fee simple to the land subdivided, hereon.

William T. Brennan
William T. Brennan
25 May 07
Date

ACKNOWLEDGMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
This instrument was acknowledged before me on this 25th day of May, 2007, by William T. Brennan.

Debbie LeBlanc Trujillo
Debbie LeBlanc Trujillo
Notary Public

Benita Brennan
Benita Brennan
5/25/07
Date

ACKNOWLEDGMENT
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS
This instrument was acknowledged before me on this 25th day of May, 2007, by Benita Brennan.

Debbie LeBlanc Trujillo
Debbie LeBlanc Trujillo
Notary Public

KEYED NOTES

- EXISTING EASEMENTS
- ① 7' PNM AND M&T&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
 - ② 5' PNM AND M&T&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
 - ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1989, BOOK MISC. 151, PAGES 493-494
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 - ⑨ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-280
 - ⑩ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-280

- NEW EASEMENTS
- ③ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY THIS PLAT.
 - ④ A PORTION OF TRACT A GRANTED BY THIS PLAT AS A PRIVATE DRAINAGE EASEMENT, PRIVATE NON-VEHICULAR ACCESS EASEMENT AND PRIVATE LANDSCAPING EASEMENT SERVING LOTS 1-P1 THROUGH 10-P1, INCLUDING MAINTENANCE OF THESE EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PLAZA ESCONDIDO HOMEOWNER ASSOCIATION, INC. PURSUANT TO THE DECLARATION OF COVENANTS FOR PLAZA ESCONDIDO SUBDIVISION FILED ON 30th August-2007, BOOK NO. 2007126087, PAGES 1-13.
 - ⑤ 10' CITY OF ALBUQUERQUE PUBLIC ACCESS EASEMENT GRANTED BY THIS PLAT.
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 - ⑨ CITY OF ALBUQUERQUE PUBLIC ACCESS EASEMENT GRANTED BY THIS PLAT TO SERVE THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
 - ⑩ PUBLIC VEHICULAR TURN-AROUND EASEMENT GRANTED BY THIS PLAT. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE UNDERLYING HOMEOWNER.

- MONUMENTS
- ① #5 REBAR W/CAP STAMPED "111808 HUG6", TAGGED W/WASHER STAMPED "NMPS 11184"
 - ② #5 REBAR W/CAP STAMPED "HUG6 9750", TAGGED W/WASHER STAMPED "NMPS 11184"
 - ③ SET #5 REBAR W/CAP STAMPED "NEW MEXICO PS 11184"
 - ④ COULD NOT SET (ON MANHOLE COVER)
 - ⑤ SET CHISELED "+#" ON CONCRETE

RECORD DRAWING

SUBDIVISION PLAT OF
PLAZA ESCONDIDO

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007

LEGAL DESCRIPTION

Lots 4. and 5. Riverside Plaza, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 18, 1999, Book 99C, Page 121.

Public Utility easements shown on this plat are ten (10) feet wide and are granted for the common and joint use of:

- The P.N.M. Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and facilities reasonably necessary to provide electrical service.
- The P.N.M. Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest Corporation for the installation, maintenance, and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services including, but not limited to, above ground pedestals and closures.
- Comcast Cable Vision of New Mexico, Inc. for the installation, maintenance, and service of satellite television and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain, for the purpose of providing utility services, including with free access to from and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on the easement area shown on this plat. The easement is granted on the condition that the property owners shall be solely responsible for correcting any violations of the National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to within or near easements shown on this plat.



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PROPERTY OWNER OF RECORD
Debbie LeBlanc Trujillo
Bernalillo County Treasurer's Office
D. LeBlanc 6/49/07

SUBDIVISION PLAT OF

PLAZA ESCONDIDO

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007

BOUNDARY TABLES

LINE	DIRECTION	RADIUS	LENGTH	CHORD	BEARING	LINE	DIRECTION	LINE	DIRECTION	DISTANCE
C1	N 30.00°	47.12'	42.43'	N 73°21'59" E	DELTA					
C2	N 28.40°	33.03'	32.71'	S 75°29'48" E	27°43'34"					
C3	N 68.25'	39.28'	36.74'	N 74°09'10" E	32°58'31"					
C4	N 68.25'	37.31'	36.84'	N 42°00'21" E	31°19'07"					
C5	N 20.00'	6.47'	6.44'	N 24°08'46" E	18°32'17"					
C6	N 33.00'	50.85'	45.96'	N 10°45'33" W	88°16'55"					
C7	N 33.00'	30.85'	29.74'	N 81°41'03" W	53°34'05"					
C8	N 33.00'	24.86'	24.28'	S 49°56'49" W	43°10'11"					
C9	N 33.00'	24.86'	24.28'	S 08°46'37" W	43°10'11"					
C10	N 33.00'	17.68'	17.45'	S 30°08'16" E	30°39'36"					
C11	N 33.00'	21.05'	20.09'	S 15°16'43" E	60°16'47"					
C12	N 33.00'	21.05'	20.09'	S 24°37'02" W	04°07'33"					
C13	N 33.00'	21.05'	20.09'	S 24°37'02" W	92°01'11"					
C14	N 33.00'	21.05'	20.09'	S 24°37'02" W	92°01'11"					
C15	N 33.00'	21.05'	20.09'	S 24°37'02" W	92°01'11"					
C16	N 33.00'	21.05'	20.09'	S 24°37'02" W	92°01'11"					
C17	N 33.00'	21.05'	20.09'	S 24°37'02" W	92°01'11"					
C18	N 33.00'	21.05'	20.09'	S 24°37'02" W	92°01'11"					

LINE	DIRECTION	RADIUS	LENGTH	CHORD	BEARING	LINE	DIRECTION	LINE	DIRECTION	DISTANCE
E1	N 76°05'56" E	17.30'	E4	S 18°28'06" E	3.01'					
E2	S 76°05'56" W	17.30'	E5	S 28°21'59" W	51.78'					
E3	N 18°28'06" W	3.01'								

EASEMENT TABLES

LINE	DIRECTION	DISTANCE	LINE	DIRECTION	DISTANCE
E1	N 76°05'56" E	17.30'	E4	S 18°28'06" E	3.01'
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E3	N 18°28'06" W	3.01'			

CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
T1	33.00'	19.67'	19.38'	N 16°18'31" E	34°08'47"
E1	33.00'	15.06'	15.00'	N 13°54'04" E	17°15'14"
E2	33.00'	15.13'	15.00'	S 13°54'04" E	26°16'23"
E3	33.00'	3.00'	3.00'	N 74°08'23" E	05°12'58"
E4	36.00'	6.00'	6.00'	S 71°31'54" W	09°33'37"
E5	33.00'	3.00'	3.00'	N 68°55'26" E	05°12'57"
E6	30.00'	25.23'	24.50'	S 04°16'18" W	48°11'23"
E7	30.00'	25.23'	24.50'	S 52°27'41" W	48°11'23"

DRB PROJECT NUMBER: 1004161

APPLICATION NUMBERS: 05EPC-00740, 05DRB-01091, 01P65-70041

APPROVALS:

Charles G. Cala, Jr.
DRB CHAIRPERSON, PLANNING DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO
8/28/07
DATE

Roger A. Rios
WATER UTILITY DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO
6-22-07
DATE

W. A. Rios
CITY ENGINEER, CITY OF ALBUQUERQUE, NEW MEXICO
6/20/07
DATE

Buddy J. Bayham
A.M.A.F.C.A.
6/21/07
DATE

W. A. Rios
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO
6-22-07
DATE

Christina Sandoval
PARKS AND RECREATION DEPARTMENT, CITY OF ALBUQUERQUE, NEW MEXICO
6/20/07
DATE

W. A. Rios
CITY SURVEYOR, CITY OF ALBUQUERQUE, NEW MEXICO
5-29-07
DATE

N/A

REAL PROPERTY DIVISION, CITY OF ALBUQUERQUE, NEW MEXICO
DATE
6-21-07

P.N.M. ELECTRIC SERVICES
DATE
6/19/07

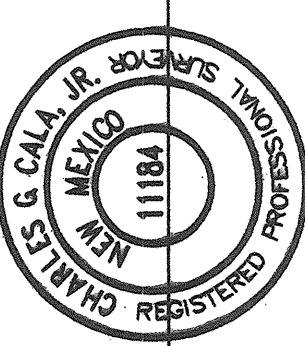
QWEST TELECOMMUNICATIONS
DATE
6-21-07

P.N.M. GAS SERVICES
DATE
6-19-07

COMCAST CABLE VISION OF NEW MEXICO, INC.
DATE
6-19-07

SURVEYORS CERTIFICATION

I, Charles G. Cala, Jr., New Mexico Professional Surveyor No. 11184, do hereby certify; that this plat and the actual survey on the ground upon which it is based were performed by me or under my direct supervision; that the survey shows all easements made known to me by this owner, utility companies, or other parties expressing an interest; that this survey complies with the minimum requirements for Monumentation and Surveys of the Albuquerque Subdivision Ordinance; that this survey meets the Minimum Standards for Surveying in New Mexico, and that it is true and correct to the best of my knowledge and belief.



Charles G. Cala, Jr.
Charles G. Cala, Jr., NMPS #1184



JEFF MORTENSEN & ASSOCIATES, INC.
600-B MIDWAY PARK BLVD., N.E.
ALBUQUERQUE, NM 87109
ENGINEERS (CNS) 345-4250
JOB #2005.008.8 5008final.DWG

COUNTY CLERK FILING DATA



KEYED NOTES

- EXISTING EASEMENTS
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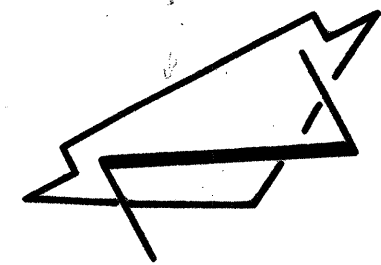
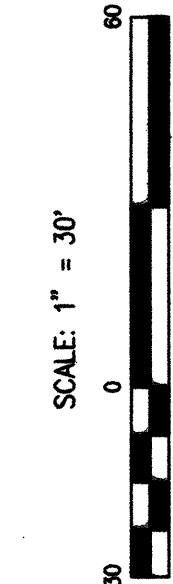
RECORD DRAWING



JEFF MORTENSEN & ASSOCIATES, INC.
600-B MIDWAY PARK BLVD., N.E.
ALBUQUERQUE, NM 87109
ENGINEERS (CNS) 345-4250
JOB #2005.008.8 5008final.DWG

SP #2005332769

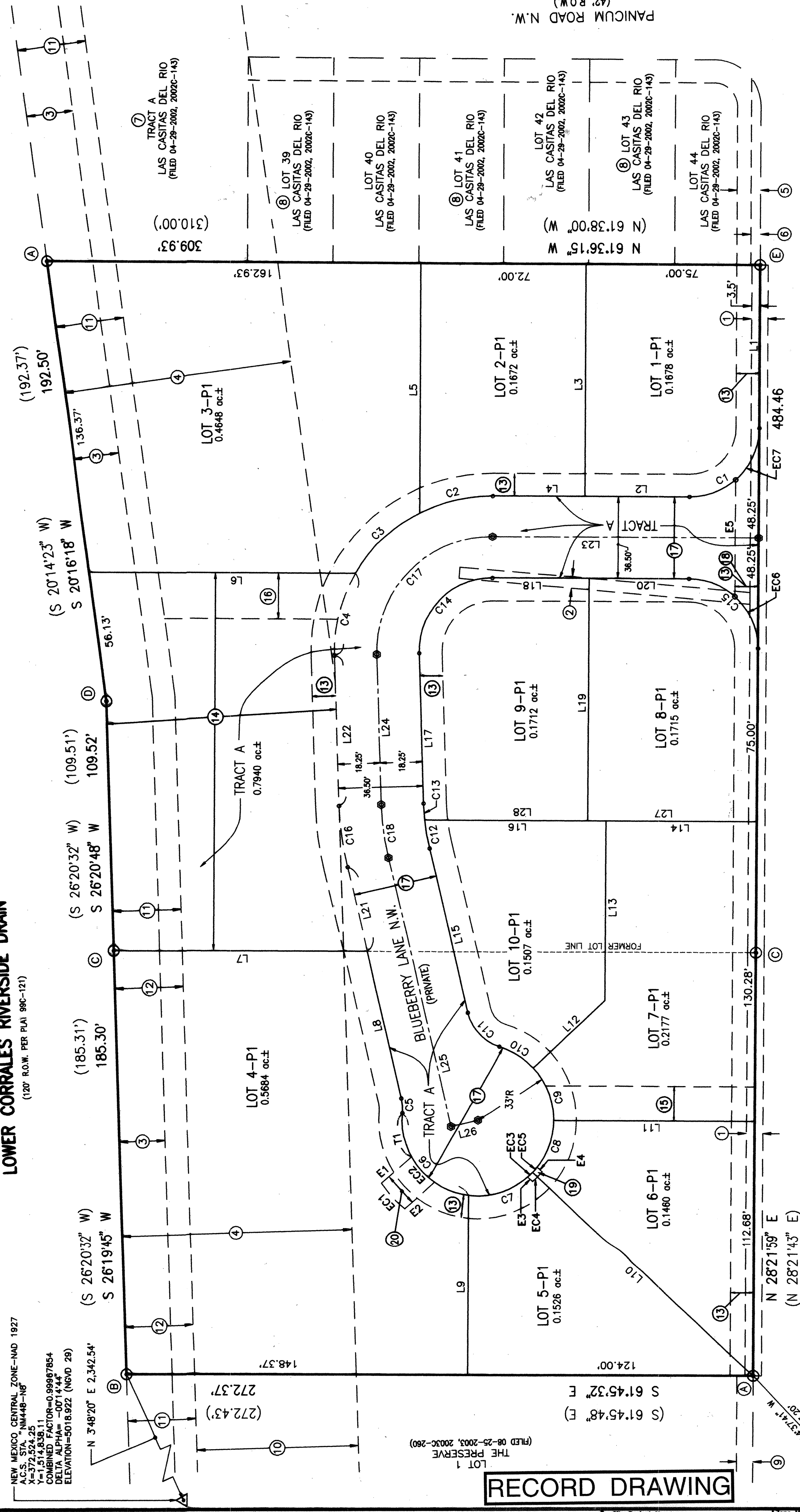
SUBMISSION PLAT OF
PLAZA ESCONDIDO
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY, 2007



COUNTY CLERK FILING DATA

DOC# 2007126088
FILED MAY 17 2007
COUNTY CLERK
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LOWER CORRALES RIVERSIDE DRAIN
(120' R.O.W. PER PLAT 98C-121)



RECORD DRAWING

WINTER HAVEN ROAD N.W.
(60' R.O.W. PER PLAT 98C-121)

NEW MEXICO, CENTRAL ZONE-IND 1927
X=371,888.59
Y=1,514,838.11
Z=1,514,838.11
DELTA ALPHA=-0074'50"
ELEVATION=5049.83 (NOVD 29)

TRACT 5-A5
RIVERSIDE PLAZA
(FILED 08-06-2000, 2000C-231)

TRACT 5-A3
RIVERSIDE PLAZA
(FILED 09-06-2000, 2000C-231)

JEFF MORTENSEN & ASSOCIATES, INC.
6000-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NM 87109
ENGINEERS & SURVEYORS (CNS) 345-4250
JOB #2005.008.6 50086ind.DWG



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- ⑩ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑪ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑫ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS

- ⑬ 10' PUBLIC UTILITY EASEMENT TO BE GRANTED BY FORTHCOMING ACTION PLAT 2007C-241
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION PLAT 2007C-241
- ⑮ 15' PUBLIC WATER LINE EASEMENT TO BE GRANTED BY FORTHCOMING ACTION PLAT 2007C-241
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT TO BE GRANTED BY FORTHCOMING ACTION PLAT 2007C-241
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS TO BE GRANTED ON A PORTION OF TRACT A BY FORTHCOMING ACTION PLAT 2007C-241

LEGAL DESCRIPTION

LOTS 4 & 5, RIVERSIDE PLAZA, FILED 5/18/1999, BOOK 99C, PAGE 121.

PROJECT BENCHMARK

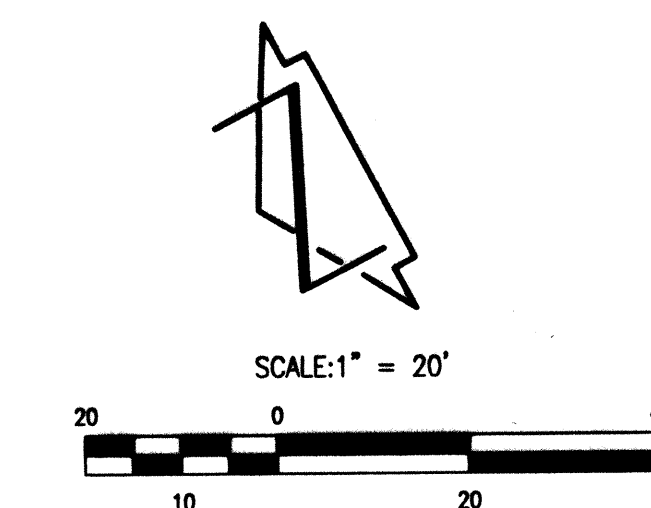
A STANDARD USCGS BRASS TABLET, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COORS RD. APPROXIMATELY 6.1 MILES NORTH OF THE INTERSECTION OF COORS AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)

T.B.M.

T.B.M. #1: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 240' SOUTH OF THE PL AND 16' (EAST) OF THE BACK OF THE CURB. ELEVATION = 4994.96 FEET

T.B.M. #2: A SPIKE WITH JMA CONTROL CAP LOCATED APPROXIMATELY 258' SOUTH OF THE PL AND 264' (EAST) OF THE EAST BACK OF CURB. ELEVATION = 4988.10 FEET

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



LEGEND

- BWF BARBED WIRE FENCE
- CATVR CABLE TELEVISION RISER
- CMU CONCRETE MASONRY UNIT
- CO SANITARY SEWER CLEANOUT
- CSW CONCRETE SIDEWALK
- EA EDGE OF ASPHALT
- FL FLOWLINE
- G BY PM GAS LINE BY PAINT MARK
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV INVERT
- OHE(2) OVERHEAD ELECTRIC (NO. OF LINES)
- OHM OVERHEAD ELECTRIC MAST
- PVC POLYVINYL CHLORIDE PIPE
- RRT RAILROAD TIE
- SAS MH SANITARY SEWER MANHOLE
- SAS MH/C SANITARY SEWER MANHOLE IN CONCRETE
- STD STANDARD
- T BY PM TELEPHONE LINE BY PAINT MARK
- TA TOP OF ASPHALT
- TCO TOP OF CONCRETE
- TC TOP OF CURB
- TR TELEPHONE RISER
- TYP TYPICAL
- W WATER LINE
- WM/C WATER METER IN CONCRETE
- WP WOOD POST
- WPP WOOD POWER POLE
- WPP/CD WOOD POWER POLE WITH CONDUIT
- WSDP WOOD SERVICE DROP POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE (CALIPER SIZE)
- EXISTING YUCCA
- SHRUB/TREE LINE
- PROPOSED SPOT ELEVATION
- FLOW LINE
- DIRECTION OF FLOW
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE
- RETAINING WALL

RECORD INFORMATION

- RECORD INFORMATION
- RECORD INFORMATION - AS-DRAWN
- RECORD INFORMATION

FOR INFORMATION ONLY

RECORD DRAWING
FOR CERTIFICATION, SEE SHEET 1



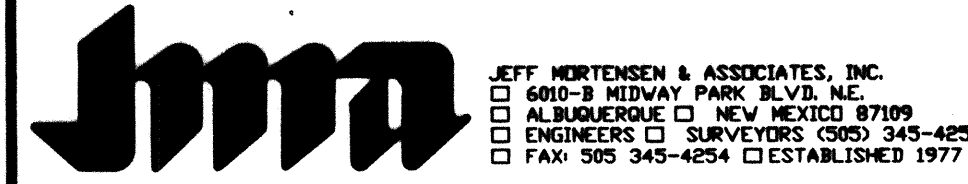
HYDROLOGY FILE E-12/D23
DRB PROJECT #1004161

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/06	G.M.	REVISE GRADING IN SEWER EASEMENT TO PROVIDE ACCESS PER DRC REQUIREMENT	2005.088.6
DRAWN BY				DATE
SGH/GM/DMH				08-2005
APPROVED BY				SHEET
G.M.				4 OF 10

GRADING PLAN
PLAZA ESCONDIDO

APPROVED FOR ROUGH GRADING

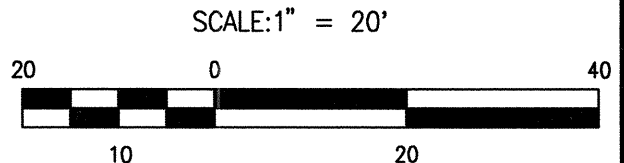
CITY HYDROLOGY DATE



PROPOSED EASEMENTS (SEE SUBDIVISION PLAT, SHEETS 2-3)

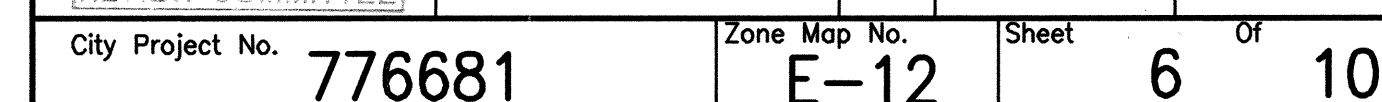
- (13) 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT ~~2006C-2007C-241~~
- (14) PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT GRANTED ON A PORTION OF TRACT A BY PLAT ~~2006C-2007C-241~~
- (15) 15' PUBLIC WATER LINE EASEMENT GRANTED BY PLAT ~~2006C-2007C-241~~
- (16) 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT ~~2006C-2007C-241~~
- (17) PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS GRANTED ON A PORTION OF TRACT A BY PLAT ~~2006C-2007C-241~~
- (18) CITY OF ALBUQUERQUE PUBLIC ACCESS EASEMENT GRANTED BY PLAT ~~2006C-2007C-241~~
- (19) PUBLIC WATER EASEMENT GRANTED BY PLAT ~~2006C-2007C-241~~
- (20) PUBLIC ACCESS EASEMENT FOR TURN-AROUND PURPOSES GRANTED BY PLAT ~~2006C-2007C-241~~

MENT
for 2/8/06



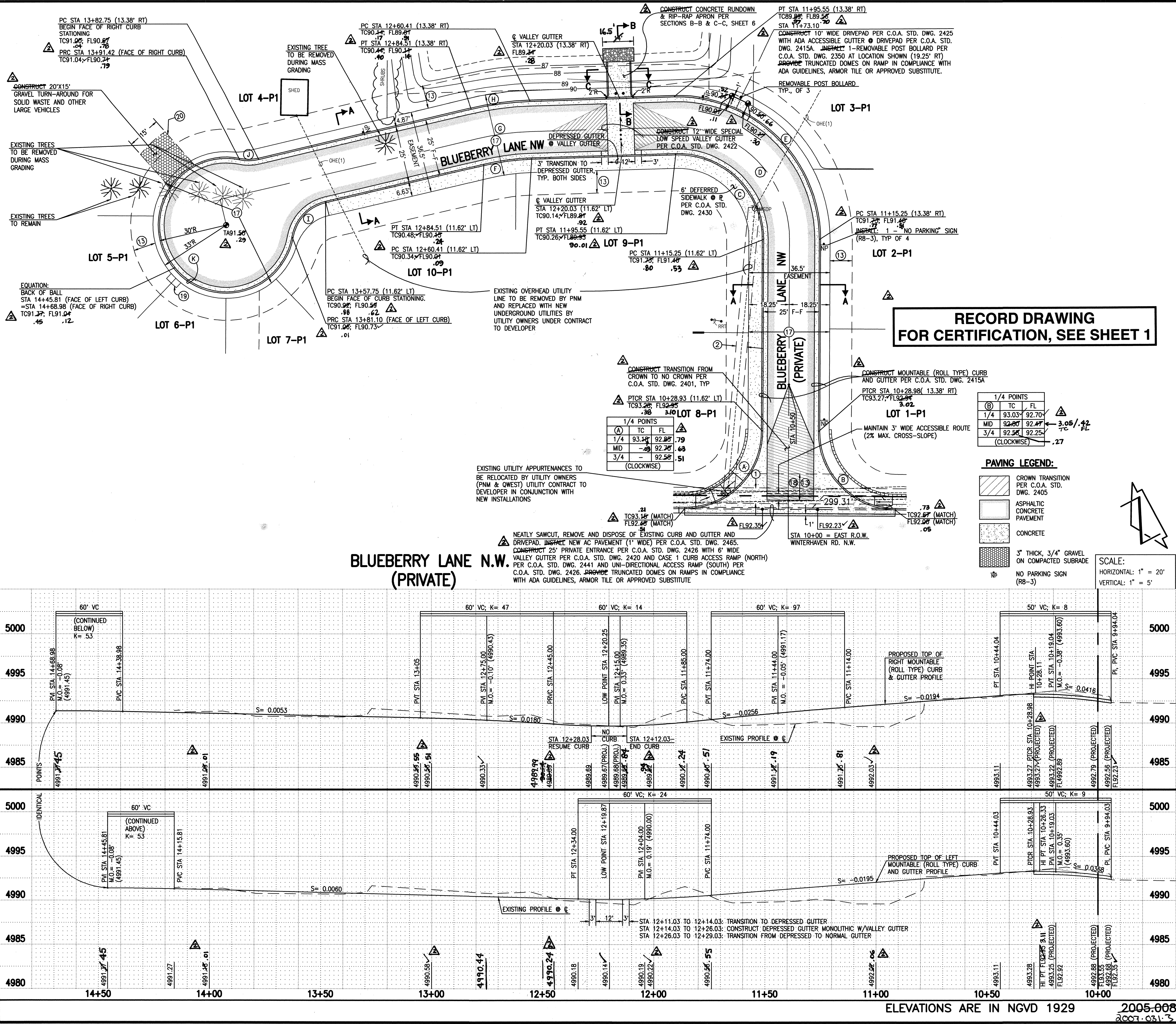
City Project No.	776681	Zone Map No.	E-12	Sheet	5	Of	10
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THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY
CORNERS ARE SHOWN HEREON FOR ORIENTATION
PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY
SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



SCANNED BY
PLANNING

File Path: E:\WORK\2006\02-01-2006
File Name: PPAVING.DWG
Plot Date: 02-01-2006
Plot Time: 1:46 pm



**RECORD DRAWING
FOR CERTIFICATION, SEE SHEET 1**

- STREET PAVING IMPROVEMENTS:**
- ALL SLOPES AS SHOWN ON PROFILES ARE BASED ON EASEMENT CENTERLINE STATIONING EXCEPT CUL-DE-SACS AND WHERE STATIONING IS ALONG FACE-OF-CURB.
 - WHERE REMOVAL OF EXISTING CURB AND GUTTER, SIDEWALK OR PAVEMENT IS REQUIRED, THE CONTRACTOR SHALL SAWCUT AND/OR REMOVE TO THE NEAREST JOINT, CURB AND GUTTER AND SIDEWALK SHOWN AS EXISTING AND NOT TO BE REMOVED UNDER THIS CONTRACT WHICH IS DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR PER C.O.A. STD. DWGS 2415A AND 2430, RESPECTIVELY, AT THE CONTRACTOR'S EXPENSE.
 - ALL DIMENSIONS OF CURB AND CURB RETURNS ARE SHOWN TO FACE-OF-CURB.
 - SIDEWALKS SHOWN HEREON AS "DEFERRED" SHALL BE CONSTRUCTED UNDER SEPARATE PERMIT.
 - ALL WHEELCHAIR RAMPS MUST BE CONSTRUCTED UNDER THIS WORK ORDER.
 - ALL CURB AND GUTTER SHOWN HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWING 2415A UNLESS OTHERWISE NOTED.
 - STRIPING AND SIGNAGE BY CONTRACTOR WILL BE REQUIRED PRIOR TO FINAL ACCEPTANCE.
 - SEE PLAT SHEETS 2-3 FOR KEYS EASEMENT NOTES.
 - SEE SITE PLAN, SHEET 5 FOR CONSTRUCTION OF SIDEWALK AND SIDEWALK CULVERTS ON WINTERHAVEN RD. N.W.
 - SEE SHEET 6 FOR PAVING AND STORM DRAINAGE SECTIONS AND DETAILS.
 - PRIVATE STREET SIGNS AND STRIPING SHALL BE INSTALLED UNDER THIS CONTRACT AND SHALL BE MAINTAINED BY THE OWNER.

RECORD INFORMATION
4.78
RECORD INFORMATION = AS-DESIGNED
28-60
9.16 RECORD INFORMATION

CURVE TABLE

CURVE	RADIUS	ARC	DELTA
(A)	35.00'	54.96'	89°57'58"
(B)	35.00'	54.72'	89°34'31"
(C)	38.38'	61.64'	92°01'11"
(D)	50.00'	80.30'	92°01'11"
(E)	63.38'	101.79'	92°01'11"
(F)	108.38'	21.76'	11°30'10"
(G)	120.00'	24.09'	11°30'10"
(H)	133.38'	26.78'	11°30'10"
(I)	20.00'	23.35'	66°53'46"
(J)	30.00'	142.27'	271°43'13"
(K)	20.00'	8.67'	24°49'27"

JMA JEFF MORTESEN & ASSOCIATES, INC.
6000-S MIDWAY PARK BLVD. N.E.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (SOS) 345-4250
FAX: 505 345-4254 © ESTABLISHED 1977

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**TITLE: BLUEBERRY LANE NW
PAVING AND STORM DRAINAGE IMPROVEMENTS
PLAZA ESCONDIDO**

Design Review Committee: **APPROVED** SEP 06 2007
City Engineer: **APPROVED** SEP 18 2007
City Engineer: [Signature]

City Project No. **776681** Zone Map No. **E-12** Sheet **7** Of **10**

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	Sundance Mechanical	DATE	01/07/08	DATE	04/05	NO.	50081
INSPECTOR	HMC9	DATE	08/08	BY	JMA	REMARKS	
ACCEPTANCE BY	HMC9	DATE	07/08	NO.		DESIGN	
VERIFICATION BY	HMC9	DATE	08/08	NO.		REVISIONS	
DRAWINGS	HMC9	DATE	08/08	NO.		DATE	
CHECKED BY	HMC9	DATE	08/08	NO.		DESIGNED BY	
RECORDED BY		DATE		NO.		DRAWN BY	
		DATE		NO.		CHECKED BY	

RECORD INFORMATION: 4.78, 28-60, 9.16

ENGINEER'S SEAL: [Signature] 02/01/2006

KEYED NOTES

EXISTING EASEMENTS

- ① 7' PNM AND MST&T EASEMENT GRANTED BY DOCUMENT FILED 07-15-1982, BOOK MISC. 944, PAGE 357
- ② 5' PNM AND MST&T OVERHEAD EASEMENT GRANTED BY DOCUMENT FILED 12-13-1989, BOOK MISC. 878A, PAGES 434-435
- ③ 20' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 09-29-1969, BOOK MISC. 151, PAGES 493-494
- ④ 100' BUFFER AS PER COORS CORRIDOR PLAN GRANTED BY PLAT 99C-121
- ⑤ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9278, DOC. #91014985
- ⑥ 30' SANITARY SEWER EASEMENT GRANTED BY DOCUMENT FILED 03-04-1991, BOOK BCR 91-3, PAGE 9267, DOC. #91014982

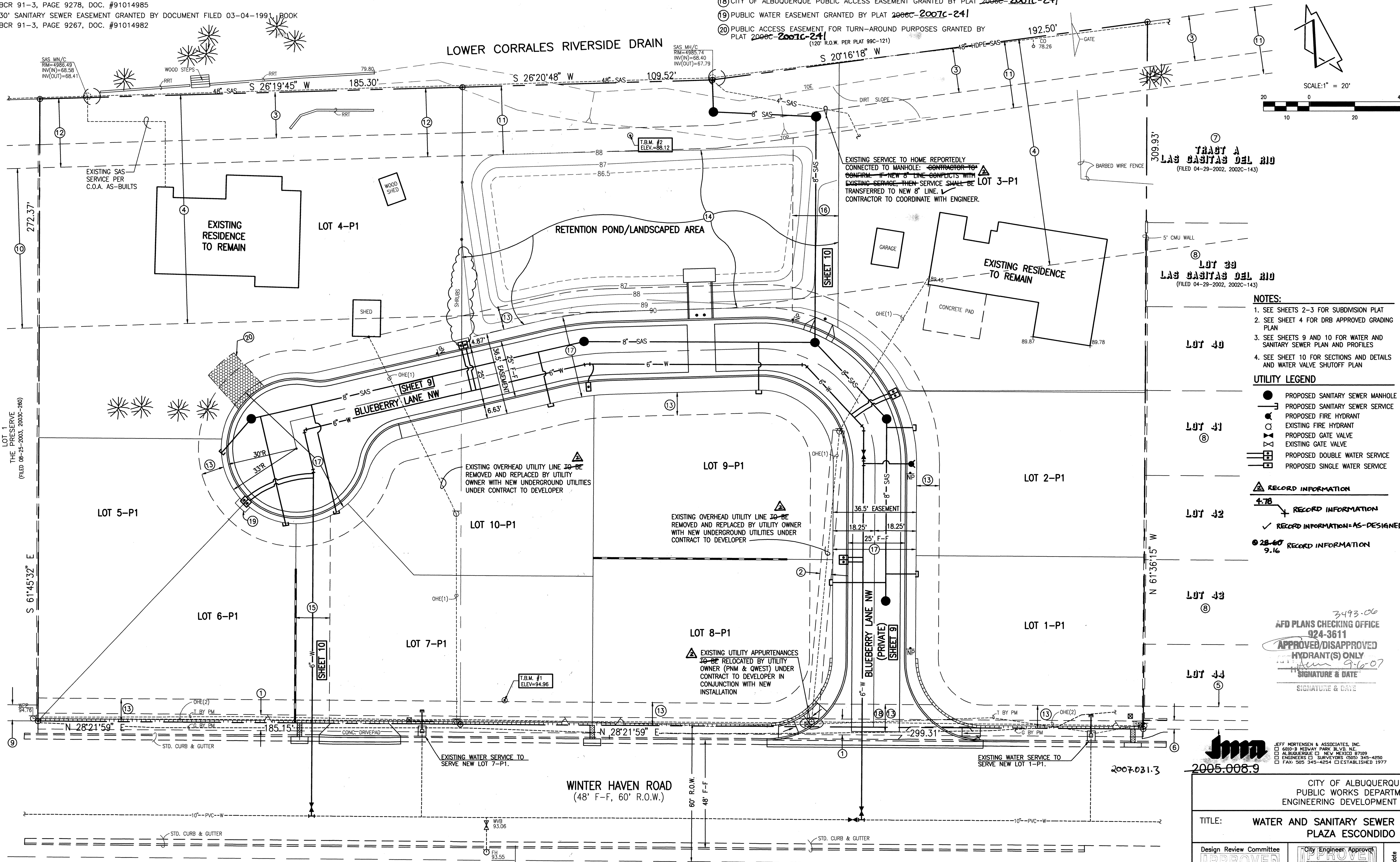
EXISTING EASEMENTS - OFFSITE

- ⑦ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2002C-143
- ⑧ 4' CITY OF ALBUQUERQUE CLEAR SIGHT AND LANDSCAPING EASEMENT GRANTED BY PLAT 2002C-143
- ⑨ CITY OF ALBUQUERQUE BLANKET PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑩ NONSPECIFIC CROSS LOT DRAINAGE EASEMENT GRANTED BY PLAT 2002C-143
- ⑪ 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2003C-260
- ⑫ PRIVATE DRAINAGE EASEMENT GRANTED BY PLAT 2003C-260

PROPOSED EASEMENTS (SEE SUBDIVISION PLAT, SHEETS 2-3)

- ⑬ 10' PUBLIC UTILITY EASEMENT GRANTED BY PLAT 2006C-2007C-241
- ⑭ PRIVATE DRAINAGE, PRIVATE NON-VEHICULAR ACCESS AND PRIVATE LANDSCAPING EASEMENT GRANTED ON A PORTION OF TRACT A BY PLAT 2006C-2007C-241
- ⑮ 15' PUBLIC WATER LINE EASEMENT GRANTED BY PLAT 2006C-2007C-241
- ⑯ 20' PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2006C-2007C-241
- ⑰ PRIVATE ACCESS, PRIVATE DRAINAGE, PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENTS GRANTED ON A PORTION OF TRACT A BY PLAT 2006C-2007C-241
- ⑱ CITY OF ALBUQUERQUE PUBLIC ACCESS EASEMENT GRANTED BY PLAT 2006C-2007C-241
- ⑲ PUBLIC WATER EASEMENT GRANTED BY PLAT 2006C-2007C-241
- ⑳ PUBLIC ACCESS EASEMENT FOR TURN-AROUND PURPOSES GRANTED BY PLAT 2006C-2007C-241

**RECORD DRAWING
FOR CERTIFICATION, SEE SHEET 1**



- NOTES:**
1. SEE SHEETS 2-3 FOR SUBDIVISION PLAT
 2. SEE SHEET 4 FOR DRB APPROVED GRADING PLAN
 3. SEE SHEETS 9 AND 10 FOR WATER AND SANITARY SEWER PLAN AND PROFILES
 4. SEE SHEET 10 FOR SECTIONS AND DETAILS AND WATER VALVE SHUTOFF PLAN

UTILITY LEGEND

- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER SERVICE
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED GATE VALVE
- EXISTING GATE VALVE
- PROPOSED DOUBLE WATER SERVICE
- PROPOSED SINGLE WATER SERVICE

RECORD INFORMATION

- 4.78 RECORD INFORMATION
- ✓ RECORD INFORMATION-AS-DESIGNED
- 28-40 RECORD INFORMATION
- 9.16 RECORD INFORMATION

AFD PLANS CHECKING OFFICE

924-3611

APPROVED/DISAPPROVED

HYDRANT(S) ONLY

SIGNATURE & DATE

SIGNATURE & DATE



JEFF MORTENSEN & ASSOCIATES, INC.
6810-3 MIDWAY PARK BLVD. NE.
ALBUQUERQUE, N.M. 87109
ENGINEERS & SURVEYORS (505) 343-4250
FAX (505) 343-4254 (ESTABLISHED 1977)

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **WATER AND SANITARY SEWER SITE PLAN
PLAZA ESCONDIDO**

Design Review Committee

APPROVED

SEP 18 2007

DESIGN REVIEW COMMITTEE

City Project No.

City Engineer Approval

APPROVED

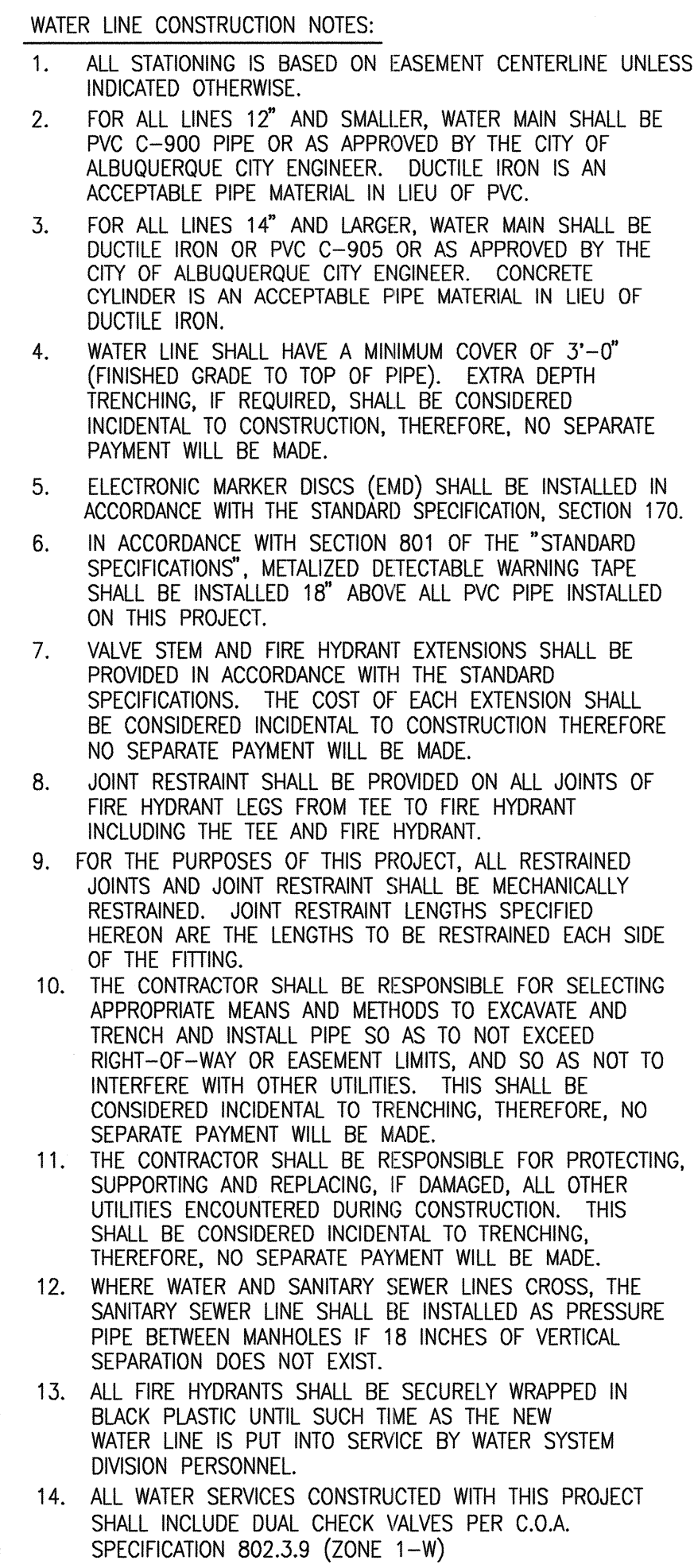
SEP 18 2007

CITY ENGINEER

Zone Map No.

Sheet 8 of 10

THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN HEREON FOR ORIENTATION PURPOSES ONLY. BOUNDARY DATA IS FROM A BOUNDARY SURVEY CONDUCTED BY THIS OFFICE IN APRIL OF 2005.



NOTE: LOTS 1 AND 7 SHALL USE EXISTING WATER SERVICES ON WINTERHAVEN RD. NW. SEE SITE PLAN, SHEET 8 FOR LOCATION

NOTE: LOTS 3 & 4 ALREADY HAVE CITY CONSTRUCTED SERVICES TO REMAIN. THIS MUST BE VERIFIED BY THE CONTRACTOR. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THIS PROJECT AND NO SEPARATE PAYMENT WILL BE MADE. THE LOT 3 SERVICE MAY CONFLICT WITH THE NEW 8" LINE. IF SO, THE SERVICE LINE SHALL BE TRANSFERRED TO THE NEW 8" MAIN WITH A STANDARD NEW SERVICE PER C.O.A. STD. DWG. 2125

STA 9+60 ± (5.00' LT)

NON-PRESSURE CONNECTION

INSET:

- 1 - 10" X10" X6" RESTRAINED TEE (LR=20' EAST)
- 1 - 10" RESTRAINED SOLID SLEEVE
- 1 - 10" RESTRAINED GATE VALVE (N)
- 1 - 6" RESTRAINED GATE VALVE (C) LR=55 FT
- 2 - VALVE BOXES PER C.O.A. STD. DWG. 2326

CONCRETE BLOCKING

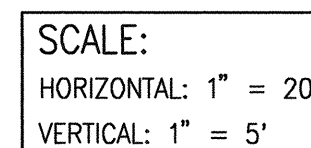
WINTER HAVEN RD NW

60' R.O.W.

10" PVC

NEATLY SAWCUT, REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT PAVEMENT PER C.O.A. STD DWG 2465

STA 10+40 ± EAST R.O.W.



SANITARY SEWER CONSTRUCTION NOTES:

1. ALL STATIONING IS BASED ON EASEMENT CENTERLINE UNLESS INDICATED OTHERWISE.
2. ALL SEWER PIPE SHALL BE PVC (SDR-35).
3. SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCE.
4. SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125. EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION, SECTION 170.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
7. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER SHALL BE INSTALLED AS PRESSURE PIPE. GREEN MANHOLES 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
8. ALL SANITARY SEWER MANHOLES SHALL BE 4' DIAMETER TYPE "C" MANHOLES PER C.O.A. STD. DWG. 2101 UNLESS OTHERWISE NOTED.

$\frac{\Delta}{4.78}$ RECORD INFORMATION

 $\frac{+}{4.78}$ RECORD INFORMATION
 ✓ RECORD INFORMATION = AS-DESIGNED
 • 28-60 RECORD INFORMATION



JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6010-B MIDWAY PARK BLVD. N.E.
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 345-4250
☐ FAX: 505 345-4254 ☐ ESTABLISHED 1977

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: BLUEBERRY LANE NW
WATER AND SANITARY SEWER IMPROVEMENTS
PLAZA ESCONDIDO

Design Review Committee

APPROVED

SEP 06 2007

DESIGN REVIEW COMMITTEE

City Engineer Approval

APPROVED

SEP 18 2007

CITY ENGINEER

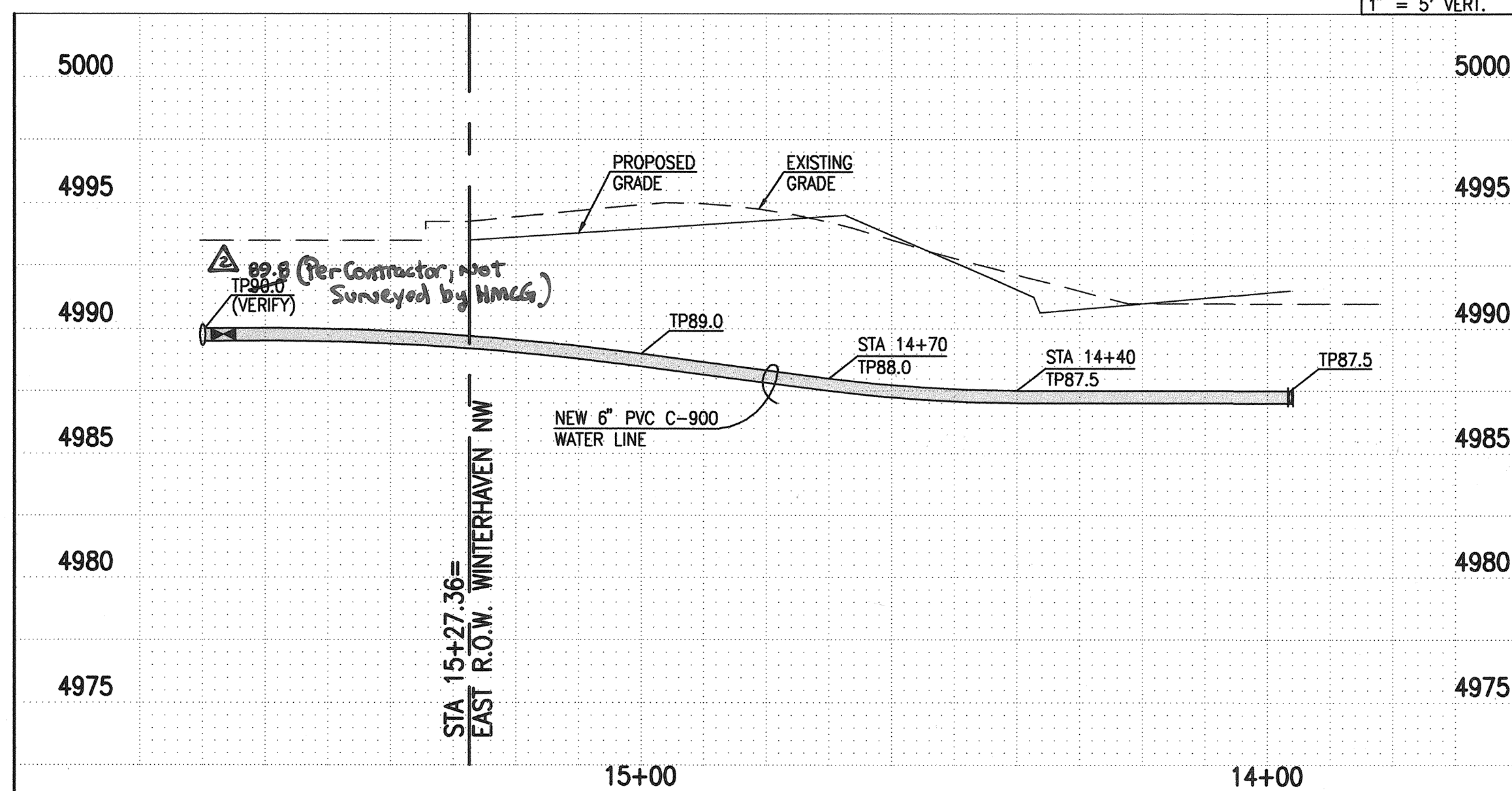
City Project No.	776681	Zone Map No.	E-12	Sheet	9	Of	10
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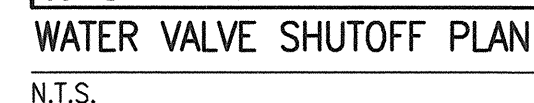


LOT 7-P1 WATER LINE EASEMENT



SCALE:
1" = 20' HORIZ.
1" = 5' VERT.

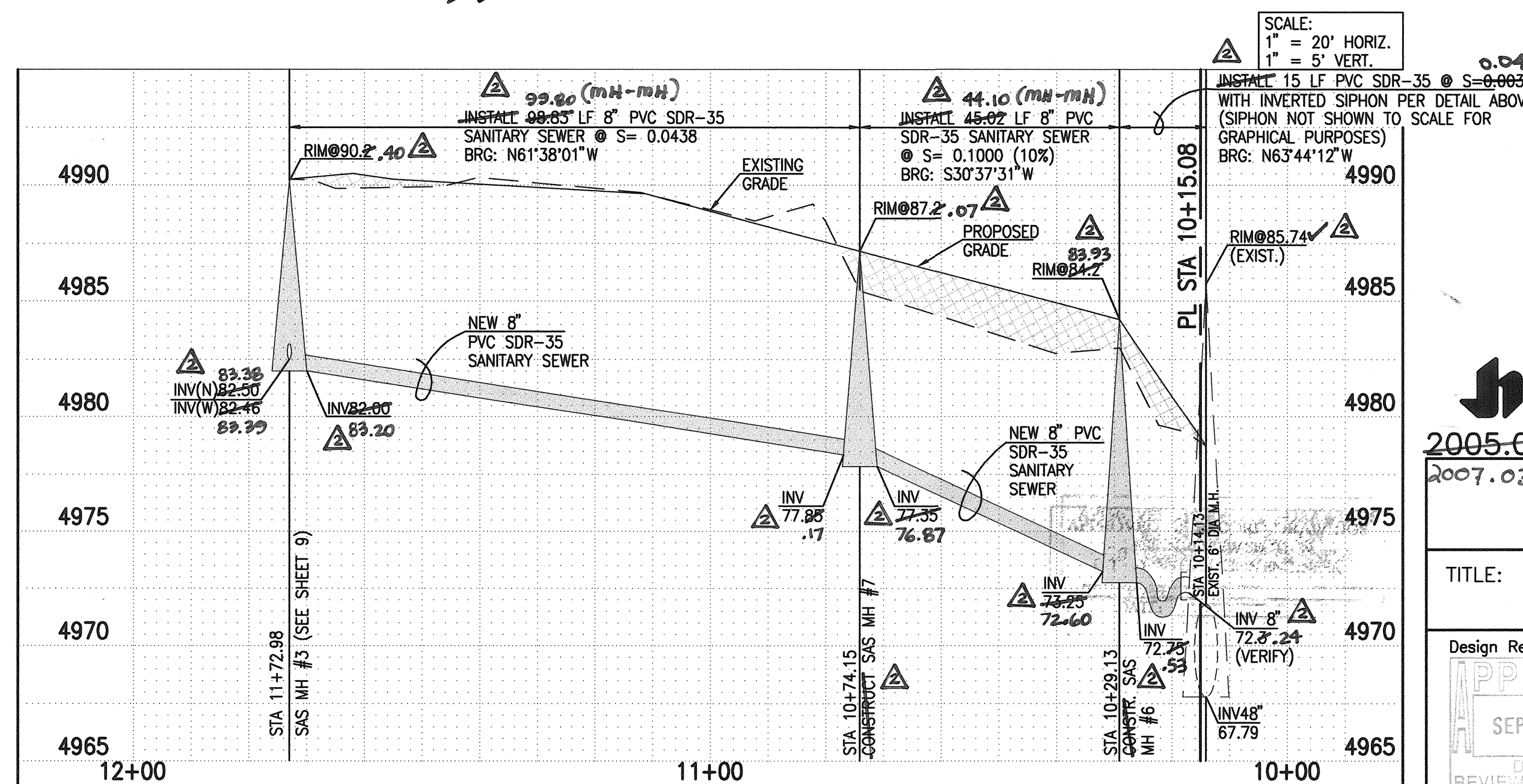
- 1 THE FOLLOWING VALVES MUST BE CLOSED TO FACILITATE THE SHUTOFF: 438, 437, 521, A
- 2 A CO PERSONNEL SHALL PERFORM ALL SHUTOFFS. THE CONTRACTOR SHALL NOT OPERATE ANY VALVES THAT MAY AFFECT SYSTEM OPERATIONS.
- 3 THE CONTRACTOR SHALL REQUEST A WATER SHUTOFF IN WRITING, A MINIMUM OF SEVEN (7) DAYS IN ADVANCE.
- 4 THE CONTRACTOR SHALL HAVE ALL FITTINGS, MATERIALS AND EQUIPMENT ON SITE PRIOR TO VALVE SHUTOFF. ALL EXCAVATION SHALL BE COMPLETE EXCEPT AS NECESSARY TO MAINTAIN SAFE SYSTEM OPERATION WHILE UNDER PRESSURE.
- 5 THE CONTRACTOR SHALL PROVIDE ALL RESTRAINTS AND THRUST BLOCKS NECESSARY TO EFFECT ALL NECESSARY SHUTOFFS AND CONNECTIONS.
- 6 EXISTING WATER VALVE AND WATER LINE INFORMATION OBTAINED FROM CITY OF ALBUQUERQUE AUTOMATED WATER DISTRIBUTION SYSTEM SECTIONAL MAP E-12.
- 7 AT THE TIME OF WATER SHUTOFF APPLICATION, THE CONTRACTOR SHALL REQUEST THAT CO NOTIFY ALL AFFECTED PROPERTY OWNERS AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE SHUTOFF.



E-12



TRACT A SANITARY SEWER EASEMENT

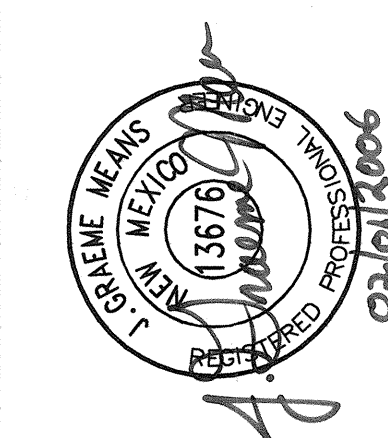


ELEVATIONS ARE IN NGVD 1929

1. ALL STATIONING IS BASED ON EASEMENT CENTERLINE UNLESS INDICATED OTHERWISE.
2. FOR ALL LINES 12" AND SMALLER, WATER MAIN SHALL BE PVC C-900 PIPE OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. DUCTILE IRON IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF PVC.
3. FOR ALL LINES 14" AND LARGER, WATER MAIN SHALL BE DUCTILE IRON OR PVC C-905 OR AS APPROVED BY THE CITY OF ALBUQUERQUE CITY ENGINEER. CONCRETE CYLINDER IS AN ACCEPTABLE PIPE MATERIAL IN LIEU OF DUCTILE IRON.
4. WATER LINE SHALL HAVE A MINIMUM COVER OF 3'-0" (FINISHED GRADE TO TOP OF PIPE). EXTRA DEPTH TRENCHING, IF REQUIRED, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
5. ELECTRONIC MARKER DISCS (EMD) SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION, SECTION 170.
6. IN ACCORDANCE WITH SECTION 801 OF THE "STANDARD SPECIFICATIONS", METALIZED DETECTABLE WARNING TAPE SHALL BE INSTALLED 18" ABOVE ALL PVC PIPE INSTALLED ON THIS PROJECT.
7. VALVE STEM AND FIRE HYDRANT EXTENSIONS SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. THE COST OF EACH EXTENSION SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION THEREFORE NO SEPARATE PAYMENT WILL BE MADE.
8. JOINT RESTRAINT SHALL BE PROVIDED ON ALL JOINTS OF FIRE HYDRANT LEGS FROM TEE TO FIRE HYDRANT INCLUDING THE TEE AND FIRE HYDRANT.
9. FOR THE PURPOSES OF THIS PROJECT, ALL RESTRAINED JOINTS AND JOINT RESTRAINTS SHALL BE MECHANICALLY RESTRAINED. JOINT RESTRAINT LENGTHS SPECIFIED HEREON ARE THE LENGTHS TO BE RESTRAINED EACH SIDE OF THE FITTING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH ADJACENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING. THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
12. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
13. ALL FIRE HYDRANTS SHALL BE SECURELY WRAPPED IN BLACK PLASTIC UNTIL SUCH TIME AS THE NEW WATER LINE IS PUT INTO SERVICE BY WATER SYSTEM DIVISION PERSONNEL.
14. ALL WATER SERVICES CONSTRUCTED WITH THIS PROJECT SHALL INCLUDE DUAL CHECK VALVES PER C.O.A. SPECIFICATION 802.3-9 (ZONE 1-W)

1. ALL STATIONING IS BASED ON EASEMENT CENTERLINE UNLESS INDICATED OTHERWISE.
2. ALL SEWER PIPE SHALL BE PVC (SDR-35).
3. SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES.
4. SEWER SERVICE LATERALS AND MAINS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125. EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION, SECTION 170.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
7. WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES BE 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.
8. ALL SANITARY SEWER MANHOLES SHALL BE 4' DIAMETER TYPE "C" MANHOLES PER C.O.A. STD. DWG. 2101 UNLESS OTHERWISE NOTED.

SEAL



08/08 RECORD DRAWINGS		A.P.	ENGINEER'S SEAL	SURVEY INFORMATION		BENCH MARKS	AS BUILT INFORMATION
				FIELD NOTES		A STANDARD USC&GS BRASS TABLET, STAMPED "HUGHES, 1954", SET IN TOP OF A CONCRETE POST LOCATED WEST OF COOPS RD. APPROXIMATELY 6.1 MILES NORTH OF THE INTERSECTION OF COOPS. AND CENTRAL AVENUE. ELEVATION = 5049.93 FEET (NGVD 1929)	CONTRACTOR <u>Sundance Mechanical</u> WORK STARTED BY <u>HMC</u> ACCEPTANCE BY <u>HMC</u> FIELD LOCATION BY <u>HMC</u> DRAWINGS CORRECTED BY <u>HMC</u>
NO.	DATE	BY		DATE			
50081		JMA		04/05			
REMARKS		BY					
Revisions							
DESIGN							
Designed By	G.M.	Date	12/05	RECORDED BY			
Drawn By	ACAD	Date	12/05	NO.			
Checked By	G.M.	Date	01/06				

Jma
2005.008.9
2007.031.3

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: WATER AND SANITARY SEWER SECTIONS AND DETAILS;
WATER VALVE SHUTOFF PLAN
PLAZA ESCONDIDO

Design Review Committee

City Engineer Approval

	Mo./Day/Yr.	
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APPROVED

SEP 06 2007

DESIGN
REVIEW COMMITTEE

SEP 18 2007
CITY ENGINEER

Last Design Update		

City Project No. 776681

Zone Map No. E-12

Sheet	10	Of	10
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