

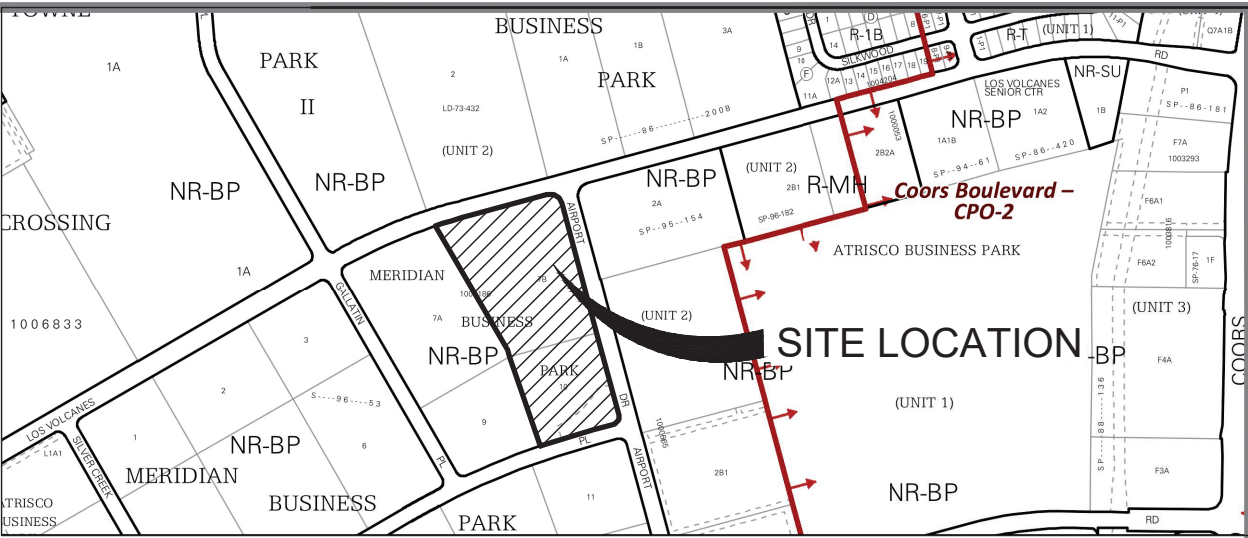


# CITY OF ALBUQUERQUE

## CONSTRUCTION PLANS FOR

# NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT

541 AIRPORT DR, NW  
ALBUQUERQUE, NM 87121  
CPN 777182



VICINITY MAP  
ZONE ATLAS MAP NO. J-10-Z

### NOTES

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION UPDATE 1.

THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE EXECUTION OF THE WATER VALVE SHUT-OFF PLAN WITH THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER UTILITIES. CONTRACTOR TO GO TO <https://www.abqwua.org/info-for-business-water-main-shutoff/> TO SCHEDULE WATER SHUTOFF.

TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALLS SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION COORDINATIONS DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.

CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED:

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☐ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.

I, JAMES E. LOPEZ, of WILSON & COMPANY, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED ON THE RECORD DRAWINGS. THIS CERTIFICATION IS BASED ON THE INSPECTIONS CONDUCTED AND AS-BUILT SURVEY PERFORMED BY CARTESIAN SURVEY INC., ON 9/19/23.

### SURVEYOR'S CERTIFICATION

I, BRIAN J. MARTINEZ, A DULY QUALIFIED, REGISTERED, PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. CARTESIAN SURVEYS IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORDED DRAWINGS.

Brian J. Martinez 9/19/23  
BRIAN J. MARTINEZ, NMLS 18374








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DRB PROJECT # PR-2022-007623

**WILSON  
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APPROVALS		ENGINEER	DATE	*****
DRC Chairman			2/15/2023	APPROVED FOR CONSTRUCTION
Transportation			2/13/2023	
Water/Wastewater			02/15/23	
Hydrology			02/13/23	
Parks				
Constr. Mngmt.				 2/15/2023
Constr. Coord.				City Engineer Date
City Project No.			777182	Sheet 1 Of 8



GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION UPDATE 1, AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. CONTRACTOR SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
4. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
5. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION ENGINEER (OR PROJECT MANAGER) NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE CITY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
6. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL THEN EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR SHALL THEN COORDINATE RELOCATION OF UTILITY LINES WITH UTILITY COMPANIES AS REQUIRED. ANY DAMAGE CAUSED BY FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY EXISTING UTILITIES IS THE FULL RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS BUILT" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
8. CONTRACTOR SHALL ASSUME FINANCIAL RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, SIGNAGE, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED ON THE PLANS, AND SHALL REPAIR OR REPLACE, PER THE STANDARD SPECIFICATIONS, ANY SUCH DAMAGE.
9. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
10. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY AND OTHER JURISDICTIONAL AUTHORITIES WHERE APPLICABLE.
11. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS SHOWN. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING ANY SUCH COSTS INCURRED.
12. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

## WATER & SEWER

13. ALL WORK REGARDING PUBLIC WATER AND PUBLIC SANITARY SEWER INFRASTRUCTURE DETAILED ON THESE PLANS IS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH WATER AUTHORITY STANDARD SPECIFICATIONS. PLANS SHALL FOLLOW THE MOST CURRENT UPDATE WHICH CAN BE FOUND ONLINE AT [http://www.abcwua.org/For\\_Builders.aspx](http://www.abcwua.org/For_Builders.aspx)
14. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING. EXISTING VALVES AND MANHOLES SHALL NOT BE BURIED OR PAVED OVER BUT RIMS SHALL BE ADJUSTED TO MATCH NEW GRADE PER COA STANDARD DRAWINGS 2460 AND 2461.
15. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE WATER AUTHORITY PRETREATMENT ENGINEER TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE DEVELOPMENT FOR DISCHARGE INTO THE PUBLIC SANITARY SEWER COLLECTION SYSTEM.
16. NON-RESIDENTIAL USERS SHALL COORDINATE WITH THE WATER AUTHORITY CROSS CONNECTION SECTION TO ENSURE THE PROPER IMPROVEMENTS ARE IN PLACE FOR THE TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE FOR THE WATER SYSTEM.
17. MANHOLE RIMS, FIRE HYDRANT ELEVATIONS, AND FLANGE ELEVATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT OR SURFACE GRADES.
18. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEDURES.ASPX](http://abcwua.org/water_shut_off_and_turn_on_procedures.aspx)
19. PROPOSED WATERLINE MATERIALS SHALL BE PVC PIPE MEETING AWWA C-900: DR18 REQUIREMENTS (6" – 12") OR DUCTILE IRON PIPE MEETING AWWA C-150 REQUIREMENTS (6" – 48").
20. ALL WATERLINE FITTINGS, VALVES, BENDS, TEES, CROSSES AND APPURTENANCES SHALL HAVE RESTRAINED JOINTS UNLESS OTHERWISE NOTED ON THE PLANS. THE JOINT RESTRAINT REQUIREMENTS SHOULD BE DELINEATED WITHIN A JOINT RESTRAINT TABLE.
21. ALL SANITARY SEWER LINE STATIONING REFERS TO SANITARY SEWER CENTERLINE STATIONING, EXCEPT WHEN PROFILED WITHIN A PROPOSED OR EXISTING STREET, WHERE STREET STATIONING SHALL GOVERN.
22. ALL PROPOSED SANITARY SEWER SLOPES SHALL BE VERIFIED DURING CONSTRUCTION TO MEET THE APPROVED DESIGN. AS-BUILT SLOPES SHALL BE RECORDED FOR EACH LINE SEGMENT.
23. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 95% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2465.

23. ELECTRIC MARKER SPHERES (EMS) WILL BE PLACED AT THE ABCWUA STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL INSTALL A 4" X 4" X5' POST AND EMS AT THE END OF EACH SANITARY SEWER SERVICE.
25. TRACER WIRE SHALL BE INCLUDED FOR ALL PUBLIC WATER AND SEWER MAINS AND FOR WATER SERVICES IN ACCORDANCE WITH WATER AUTHORITY DETAILS.
26. CONTRACTOR SHALL PROVIDE THE PROPOSED HYDRO TESTING PLANS TO THE WUA INSPECTORS FOR APPROVAL PRIOR TO BEGINNING TESTING OPERATIONS.
27. AT UTILITY CROSSINGS, WHERE LESS THAN 18" OF VERTICAL SEPARATION FROM STORM DRAIN PIPING OR STRUCTURES IS PROPOSED, LEAN FILL CONSTRUCTION (PER SECTION 207 OF THE STANDARD SPECIFICATIONS) SHALL BE USED TO PROTECT THE WATER OR SEWER LINE. LEAN FILL SHALL EXTEND A PERPENDICULAR DISTANCE OF 5 FEET ON EACH SIDE OF THE STORM PIPE OR STRUCTURE.
28. ALL DESIGNS AND CONSTRUCTION OF ANY UNDERGROUND UTILITIES SHALL COMPLY WITH ADMINISTRATIVE INSTRUCTION NO. 9 FOR WORK NEARBY OR AFFECTING SAN JUAN CHAMA TRANSMISSION LINES AND APPURTENANCES. INFORMATION SHALL BE PROVIDED TO THE WATER AUTHORITY ONE (1) MONTH IN ADVANCE OF THE CONSTRUCTION START DATE. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEdures.ASPX](http://www.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEdures.ASPX)
29. ALL WATER AND SANITARY SEWER INFRASTRUCTURE SHALL BE CONSTRUCTED UTILIZING MATERIALS LISTED IN THE APPROVED PRODUCTS LIST AND BE CONSTRUCTED PER THE MOST CURRENT WATER AUTHORITY STANDARD DETAILS AND SPECIFICATIONS. MATERIAL SUBMITTALS SHALL BE PROVIDED PRIOR TO CONSTRUCTION FOR THE WATER AUTHORITY ENGINEER TO REVIEW PRIOR TO THE START OF CONSTRUCTION. INFORMATION CAN BE FOUND AT [HTTP://WWW.ABCWUA.ORG/FOR\\_BUILDERS.ASPX](http://WWW.ABCWUA.ORG/FOR_BUILDERS.ASPX)

## TRANSPORTATION

30. ANY STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED WITH THERMO-PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
31. REMOVAL OF EXISTING CURB & GUTTER AND SIDEWALKS SHALL BE TO THE NEAREST JOINT.
32. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
33. CURB AND GUTTER, SIDEWALKS, AND DRIVE PADS SHALL MATCH THE LINE AND GRADE OF ABUTTING EXISTING AREAS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER.
34. THE SUBGRADE PREP SHALL EXTEND ONE FOOT BEYOND THE FREE EDGE OF NEW CURB AND GUTTER AND SIDEWALK.
35. CONTRACTOR TO TEST SUBGRADE R-VALUE PRIOR TO CONSTRUCTION. IN THE EVENT THE R-VALUE IS LESS THAN 50, REMOVE 2 FEET OF SUBGRADE MATERIAL AND IMPORT MATERIAL WITH R-VALUE GREATER THAN 50 OR CONTACT THE ENGINEER IMMEDIATELY SO THE PAVEMENT SECTION CAN BE MODIFIED.
36. AT ALL PAVEMENT REMOVAL AND REPLACEMENTS, SAW-CUT EDGES SHALL BE STRAIGHT AND CLEAN, AND LONGITUDINAL JOINTS SHALL NOT BE PLACED WITHIN WHEEL PATHS, PATCHES SHALL BE REGULAR AND SQUARE OR RECTANGULAR, WITH FOUR STRAIGHT SIDES. FINISHED PAVEMENT SURFACE SHALL BE FLUSH WITH EXISTING PAVEMENT SURFACE, WITH NO SPILLOVER OF ASPHALT OR TACK COAT. CARE MUST BE TAKEN TO AVOID DAMAGING THE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENTS; IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
37. CONTRACTOR WILL ENSURE THE ASPHALT HAS A SMOOTH, UNIFORM EDGE WHEN REMOVING AND REPLACING CURB AND GUTTER. IF THE ASPHALT EDGE IS NOT SMOOTH AND UNIFORM, CONTRACTOR WILL SAW CUT AND REPLACE A ONE-FOOT STRIP OF ASPHALT ALONG THE FULL SECTION BEING REPLACED; REFER TO C.O.A. STANDARD DRAWING # 2465 WITH THE APPROPRIATE PAVING SECTION BASED ON ROADWAY CLASSIFICATION.

## HYDROLOGY

38. ALL STORM DRAINS SHALL BE RCP CLASS III UNLESS OTHERWISE NOTED ON THE PLANS.
39. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATION. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AND WITH CITY APPROVAL.





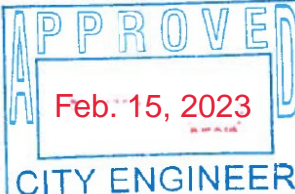
### OTHER COMMON NOTES

40. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
41. WHEN DISTURBING MORE THAN ¾ ACRES, CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
42. IN ADVANCE OF CONSTRUCTION, CONTRACTOR SHALL DETERMINE IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
43. PNM WILL PROVIDE AT NO COST TO THE CITY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM/S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
44. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
45. CONTRACTOR IS TO SUPPORT, PROTECT, AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM SPACING OF FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
46. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS TO PREVENT ANY EXCAVATED MATERIAL BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.

47. CONTRACTOR SHALL CONDUCT ALL WORK IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.
48. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
49. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL SHALL BE ARRANGED BY THE CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE ENVIRONMENTAL REGULATIONS. NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR COSTS ASSOCIATED WITH OBTAINING A DISPOSAL SITE AND HAUL THERE TO.
50. IF CULTURAL RESOURCES, SUCH AS HISTORIC OR PREHISTORIC ARTIFACTS, OR HUMAN REMAINS ARE DISCOVERED DURING EXCAVATION OR CONSTRUCTION, WORK SHALL CEASE AND THE CONSTRUCTION ENGINEER SHALL NOTIFY THE COUNTY OFFICE OF THE MEDICAL EXAMINER AT (505) 272-3053. IF THE MEDICAL EXAMINER DETERMINES THAT HUMAN REMAINS ARE NOT PRESENT, THE CONSTRUCTION ENGINEER SHALL NOTIFY THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AT 827-6320.
51. IF DISTURBING PCC PAVEMENT FOR ART LANES: CONTRACTOR SHALL CONTACT ABQ TRANSIT DEPARTMENT AT LEAST TWO WEEKS PRIOR TO DISTURBING THE PCC PAVEMENT ASSOCIATED WITH THE ART LANES. CONTACT INFO: ROLANDO SUAREZ, PH. 505.205.3444 (RSUAREZ@CABQ.GOV) OR SHAUN GIBSON, PH. 505.250.5269 (SGIBSON@CABQ.GOV).

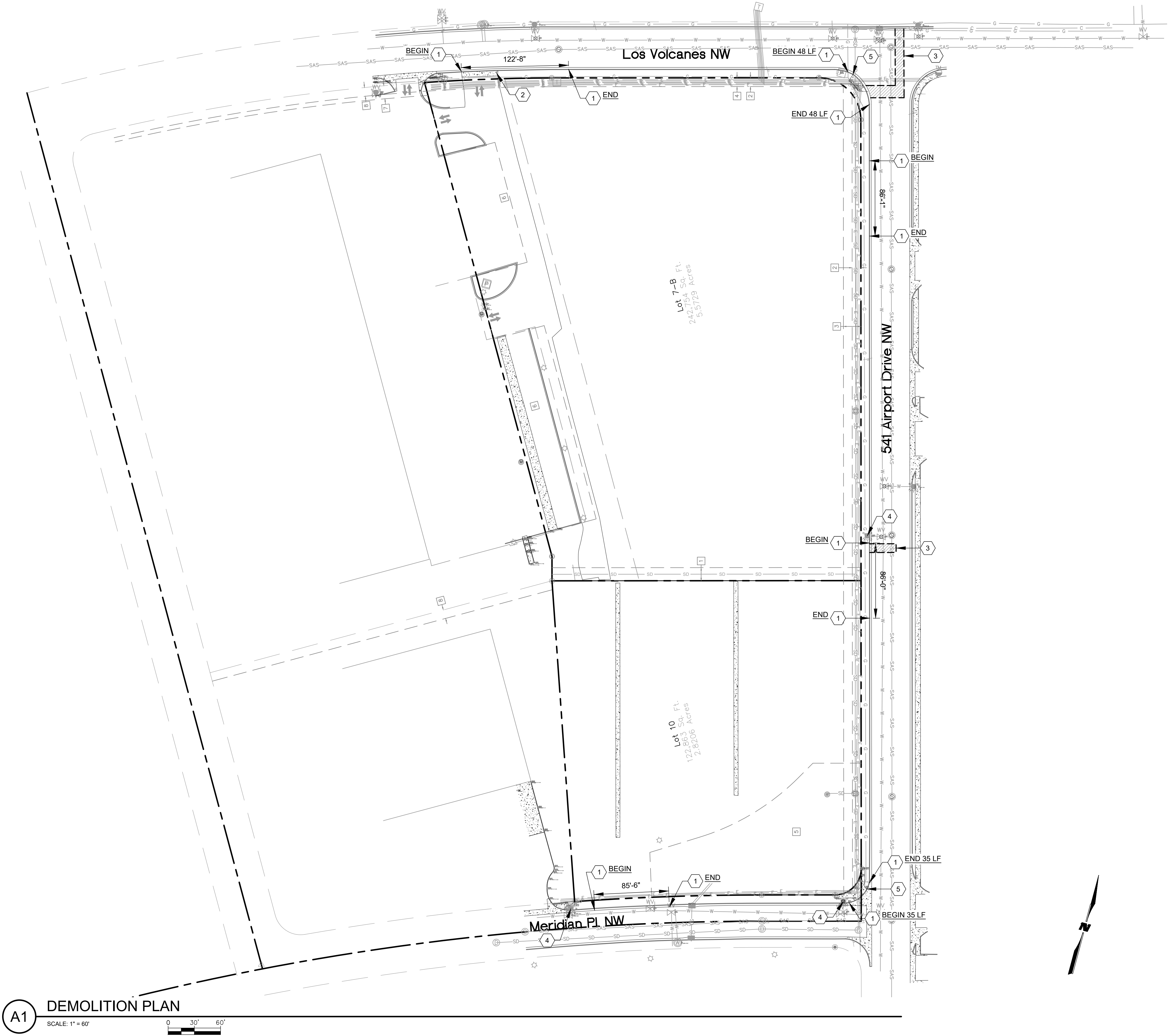
GENERAL NOTES USED SELECTIVELY, BASED ON SCOPE OF WORK:

52. WORK AFFECTING ARTERIAL ROADWAYS MAY REQUIRE TWENTY-FOUR-HOUR CONSTRUCTION.
53. TWO WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHOULD NOTIFY THE TRANSIT DEPARTMENT OF ANY IMPACT THE PROPOSED PROJECT WILL HAVE ON THE TRANSIT SYSTEM SUCH AS CAUSING A DETOUR, OR CAUSE THE CLOSING OR RELOCATION OF A BUS STOP. THE CONTACT PERSON IS DOUGLAS GOFF, OFFICE PHONE 505-724-3137, CELL PHONE 505-206-0151, AND E-MAIL DGOFF@CABQ.GOV .
54. STREET NAME SIGNS, REGULATORY SIGNAGE, AND ANY NECESSARY STRIPING ON PRIVATE STREETS ARE THE DEVELOPER'S RESPONSIBILITY.
55. IN ALL AREAS WHERE PUBLIC STREETS OR INFRASTRUCTURE ARE TO BE CONSTRUCTED OVER FILLS, THE GEOTECHNICAL ENGINEER SHALL CERTIFY THAT PLACEMENT, COMPACTION, AND ALL OTHER WORK HAS BEEN COMPLETED IN ACCORDANCE WITH COA SPECIFICATION SECTION 204. SAID CERTIFICATION, ALONG WITH SUPPORTING TESTING DOCUMENTATION, SHALL BE PROVIDED TO THE CONSTRUCTION ENGINEER PRIOR TO OR AT THE PRE-CONSTRUCTION CONFERENCE BEFORE WORK ORDER CONSTRUCTION.

		4401 MASTHEAD ST. NE, SUITE 150 ALBUQUERQUE, NM 87109 PHONE: 505-348-4000 FAX: 505-348-4072 www.wilsonco.com		NO.	DATE	DESIGNED BY: _____	DRAWN BY: _____	CHECKED BY: _____
		<b>CITY OF ALBUQUERQUE</b> <b>MUNICIPAL DEVELOPMENT DEPARTMENT</b> <b>ENGINEERING DEVELOPMENT DIVISION</b>						
TITLE: <b>NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT</b> <b>541 AIRPORT DRIVE, NW ALBUQUERQUE, NM 87121</b> <b>GENERAL NOTES</b>								
Design Review Committee 		City Engineer Approval 		Last Design Update	Mo./Day/Yr.		Mo./Day/Yr.	
				Last Design Update				
City Project No. <b>777182</b>		Zone Map No. <b>J-10-Z</b>		Sheet <b>2</b> of <b>8</b>				



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GENERAL NOTES

1. SIDEWALK AND CURB RAMPS SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE CONTRACTOR SHALL CONTACT THE CITY STAFF TO SCHEDULE INSPECTIONS.

KEYNOTES

1. REMOVE & DISPOSE EXISTING CURB & GUTTER.
2. REMOVE & DISPOSE EXISTING DRIVEPAD.
3. SAWCUT, REMOVE & REPLACE EXISTING ASPHALT IN KIND, PER COA STD DWG #2465
4. EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
5. REMOVE & DISPOSE EXISTING ADA RAMP.

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	DATE	NO.	CONTRACTOR	DATE
				WORK STAKED BY	DATE
				ACCEPTANCE BY	DATE
				FIELD VERIFICATION BY	DATE
				CORRECTED BY	DATE
				MICRO-FILM INFORMATION	DATE
				RECORDED BY	DATE
				NO.	DATE



**WILSON & COMPANY**  
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**CITY OF ALBUQUERQUE**  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DEVELOPMENT DIVISION

TITLE: **NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
**541 AIRPORT DRIVE, NW ALBUQUERQUE, NM 87121**  
**DEMOLITION PLAN**

Design Review Committee

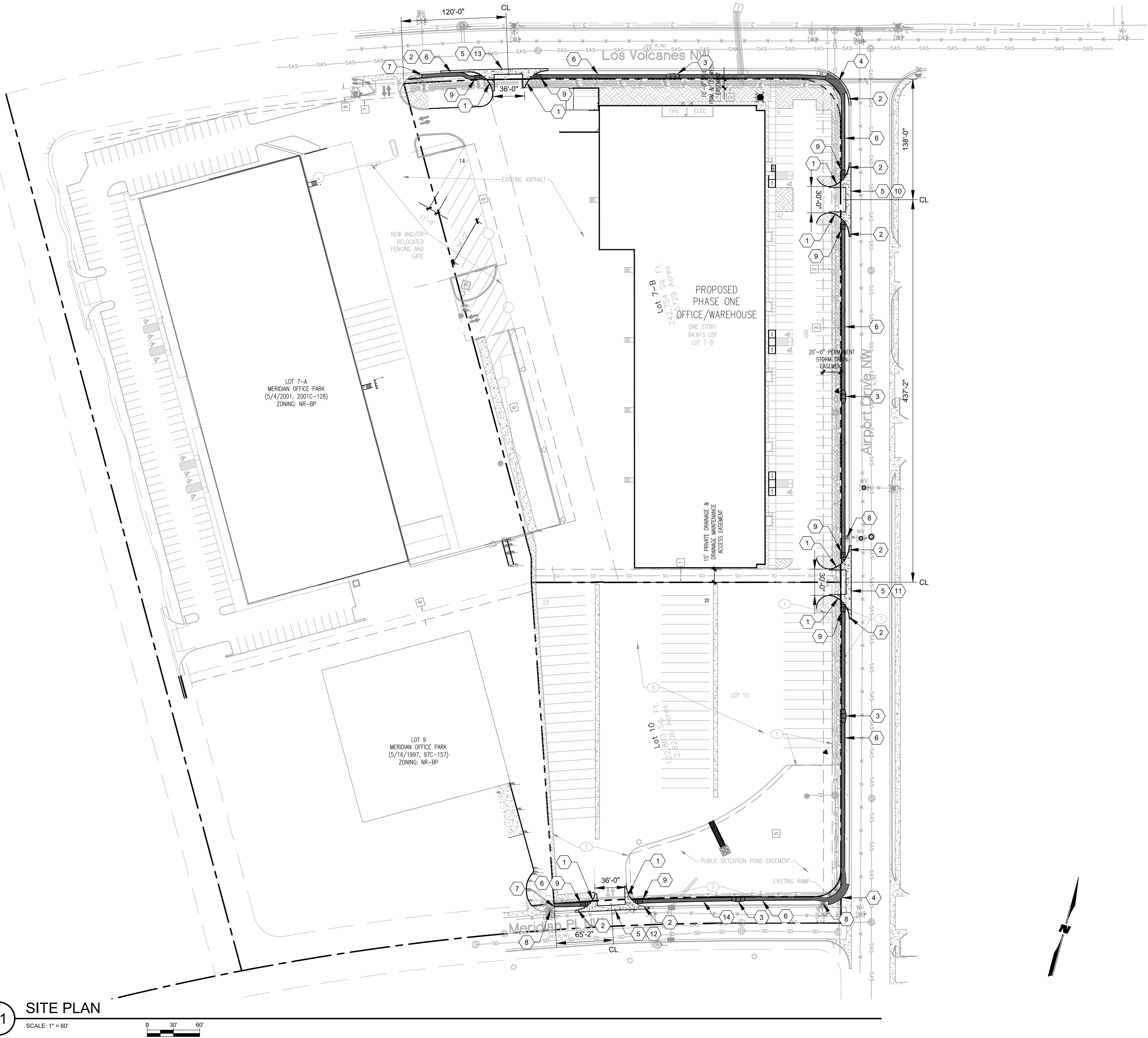
City Engineer Approval

City Project No. 777182

Zone Map No. J-10-Z

Sheet 3 Of 8





GENERAL NOTES

1. SIDEWALK AND CURB RAMPS SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE CONTRACTOR SHALL CONTACT THE CITY STAFF TO SCHEDULE INSPECTIONS.

KEYNOTES

1. CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
2. CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. 5' x 5' WIDENED AREA OF SIDEWALK FOR HC PASSING, REFER TO ARCHITECTURAL DETAIL.
4. CONSTRUCT (WHEELCHAIR) CURB ACCESS RAMP PER COA STD DWG #2441, SEE DETAILS ON SHEET 7.
5. 6-FT CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
6. CONSTRUCT NEW 4" PCC SIDEWALK PER DETAIL SHEET .
7. MATCH EXIST. SIDEWALK. SAWCUT TO NEAREST JOINT.
8. EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
9. CONSTRUCT ADA RAMP DETAIL "C" PER COA STD DWG #2443.
10. ENTRANCE "A" SEE SHEET 7.
11. ENTRANCE "B" SEE SHEET 7.
12. ENTRANCE "C" SEE SHEET 7.
13. ENTRANCE "D" SEE SHEET 7.
14. DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236.

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		FIELD NOTES		NEW MEXICO STATE PLANE COORDINATES		CONTRACTOR	
		NO.	BY	DATE	DATE	WORK STAKED BY	DATE
		REMARKS		CENTRAL ZONE		ACCEPTANCE BY	
		DESIGN		ACS MONUMENT "g_K10"		FIELD VERIFICATION BY	
		DESIGNED BY: TGS		E=1498971.51		RECORDED BY	
		DRAWN BY: DY		N=1486094.19		MICRO-FILM INFORMATION	
		CHECKED BY: JEL		GRID TO GROUND: 0.99679308		RECORDED BY	
				ELEV=5117.72 (NAD 83)		NO.	





THE CHANGES SHOWN HEREON ARE BASED UPON  
A FIELD SURVEY CONDUCTED BY ME OR UNDER  
MY SUPERVISION AND REFLECT THE LOCATIONS  
(VERTICALLY AND HORIZONTALLY) TO THE BEST  
OF MY KNOWLEDGE AND BELIEF.

B-d Mg

NOTES:

1. ALL WORK PERFORMED ON PRIVATELY OWNED SEWER LINE AND SERVICE LINES MUST BE INSPECTED BY THE CITY OF ALBUQUERQUE'S CODE ADMINISTRATION DIVISION. IN ORDER THAT INSPECTION BY THE PLANNING DEPARTMENT, CODE ADMINISTRATION DIVISION, PLUMBING SECTION CAN BE EFFICIENTLY HANDLED, WITH A MINIMUM LOSS OF TIME TO CONTRACTOR, THE FOLLOWING SHALL BE NOTED:

INSPECTION ARRANGEMENTS FOR A SEWER SERVICE LINE SHALL BE MADE BY THE CONTRACTOR CALLING THE CITY OF ALBUQUERQUE, CODE ADMINISTRATION DIVISION, PLUMBING SECTION.

INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 8:00 A.M. AND 12:00 NOON WILL BE INSPECTED THE SAME AFTERNOON. INSPECTION REQUESTS CALLED IN BETWEEN THE HOURS OF 1:00 P.M. AND 5:00 P.M. WILL BE INSPECTED THE FOLLOWING MORNING, EXCEPT IN CASES OF EMERGENCY.

PRESSURE PIPE RESTRAINT JOINT LENGTH REQUIREMENTS  
 TEST PRESSURE @ 150 PSI  
 LENGTHS OF PIPE TO BE RESTRAINED (APPLIES TO UNWRAPPED DUCTILE IRON AND PVC ONLY)  
 LENGTHS SHOWN ARE IN FEET

FITTING TYPE							VERTICAL DOWNBEND						
PIPE SIZE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND	TEE (3)	FIRE HYDRANT TEE (4)	DEAD END OR VALVE (5)	45°		22 1/2°		11 1/4°	
					RESTRAINED LENGTH ALONG BRANCH	STD 6-IN BRANCH LINE		UPPER BEND	LOWER BEND	UPPER BEND	LOWER BEND	UPPER BEND	LOWER BEND
								RESTRAINT	RESTRAINT	RESTRAINT	RESTRAINT	RESTRAINT	RESTRAINT
10" (1)	30'	13'	6'	3'	1'		66'	28'	8'	14'	4'	7'	2'

- (1) ASSUMES MINIMUM DEPTH OF BURY = 4 FT
- (2) ASSUMES MINIMUM DEPTH OF BURY = 4 FT
- (3) ASSUMES MINIMUM FULL PIPE JOINT LENGTH ON EITHER SIDE OF TEE RUN (L<sub>T</sub>) IS 20 FT  
ASSUMES BRANCH AND RUN PIPE DIAMETERS ARE EQUAL
- (4) ASSUMES MINIMUM FULL PIPE JOINT LENGTH ON EITHER SIDE OF TEE RUN (L<sub>T</sub>) IS 20 FT  
ASSUMES TEE RUN PIPE DIAMETER IS EQUAL TO PIPE SIZE AND BRANCH PIPE DIAMETER IS 6 INCHES
- (5) RESTRAINED LENGTH FOR VALVES SHALL BE PROVIDED ON BOTH SIDES OF VALVE
- (6) WHERE POSSIBLE, CONTRACTOR SHALL INSTALL FULL 20-FT JOINT OF PIPE ON EITHER SIDE OF ALL MECHANICAL JOINT VALVES, FITTINGS, AND APPURTENANCES. FOR ALL CIRCUMSTANCES WHERE A 20-FT JOINT CAN BE UTILIZED AND THE CONTRACTOR ELECTS TO USE A SHORTER PIPE JOINT, CONTRACTOR SHALL PROVIDE, AT CONTRACTOR'S EXPENSE, ALL NECESSARY JOINT RESTRAINTS REQUIRED BY TABLE ABOVE

THRUST RESTRAINT NOTE:

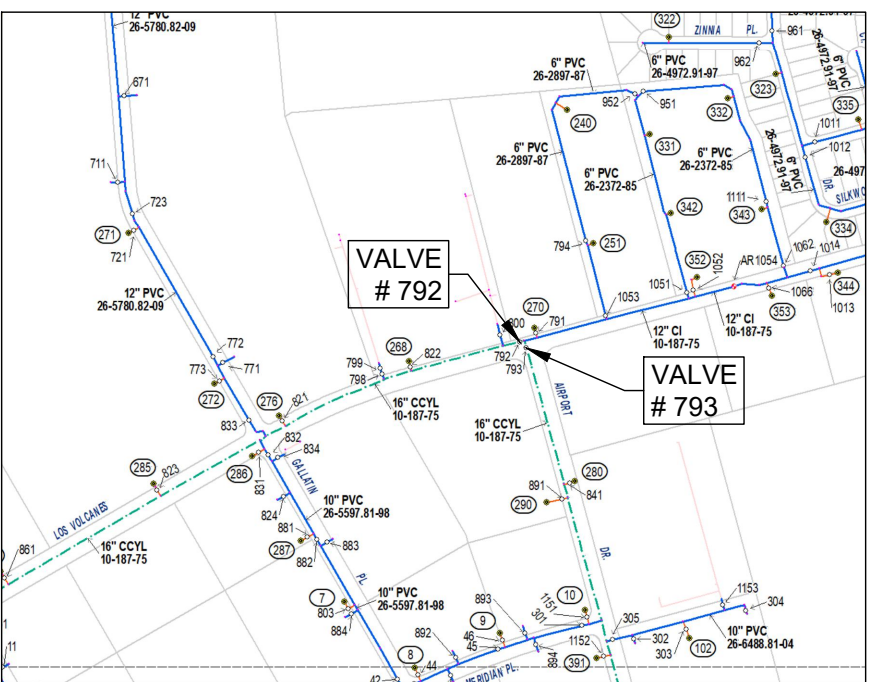
ALL BURIED VALVES, FITTINGS, AND APPURTENANCES SHALL BE MECHANICAL JOINT-TYPE UTILIZING "MEGA-LUG"® STYLE MECHANICAL JOINT RESTRAINTS IN CONJUNCTION WITH "MEGA-LUG"® PIPE BELL-HARNESSE RESTRAINTS WHEN ADEQUATE RESTRAINED LENGTH CAN BE OBTAINED. IN THE EVENT ADEQUATE RESTRAINED LENGTHS CANNOT BE OBTAINED, CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER FOR DETERMINATION OF APPROPRIATE ACTION TO BE TAKEN. THE EBAAI ION "RESTRAINED LENGTH CALCULATION" PROGRAM (VERSION 4.0) HAS BEEN USED TO DETERMINE MINIMUM RESTRAINED LENGTHS SHOWN IN TABLE ABOVE. THE FOLLOWING GENERAL ASSUMPTIONS APPLY TO ALL CALCULATIONS:

TRENCH TYPE:	3
SOIL TYPE:	SM (SILTY SANDS, SAND SILT MIXTURE)
SAFETY FACTOR:	1.5 TO 1

TYPICAL BURY DEPTH:	
4" THRU 12" DIA PIPE:	4 FT
14" THRU 24" DIA PIPE:	4 FT

TYPICAL BURY DEPTHS FOR VERTICAL OFFSETS:		
4" THRU 12" DIA PIPE:	4 FT TO TOP OF UPPER BRANCH	
	7 FT TO TOP OF LOWER BRANCH	
14" THRU 24" DIA PIPE:	4 FT TO TOP OF UPPER BRANCH	
	7 FT TO TOP OF LOWER BRANCH	

CONTRACTOR MAY SUBMIT SUBSTITUTE REDUCED RESTRAINED JOINT LENGTHS IF SOIL AND DEPTH OF BURY CONDITIONS WARRANT. CONTRACTOR SHALL PROVIDE SOIL TEST RESULTS AND APPROPRIATE CALCULATIONS TO SUPPORT THE LENGTH REDUCTION. SOIL TESTING AND CALCULATIONS SHALL BE PERFORMED AT CONTRACTOR'S SOLE EXPENSE.



## WATER SHUT-OFF PLAN

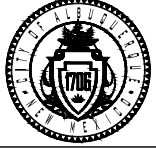
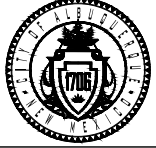


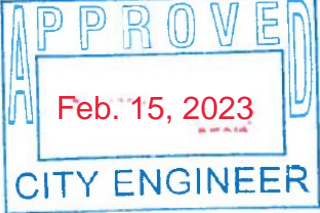
NOTES:

1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY ABCWUA, WATER SYSTEMS DIVISION (PHONE 857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN.
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.

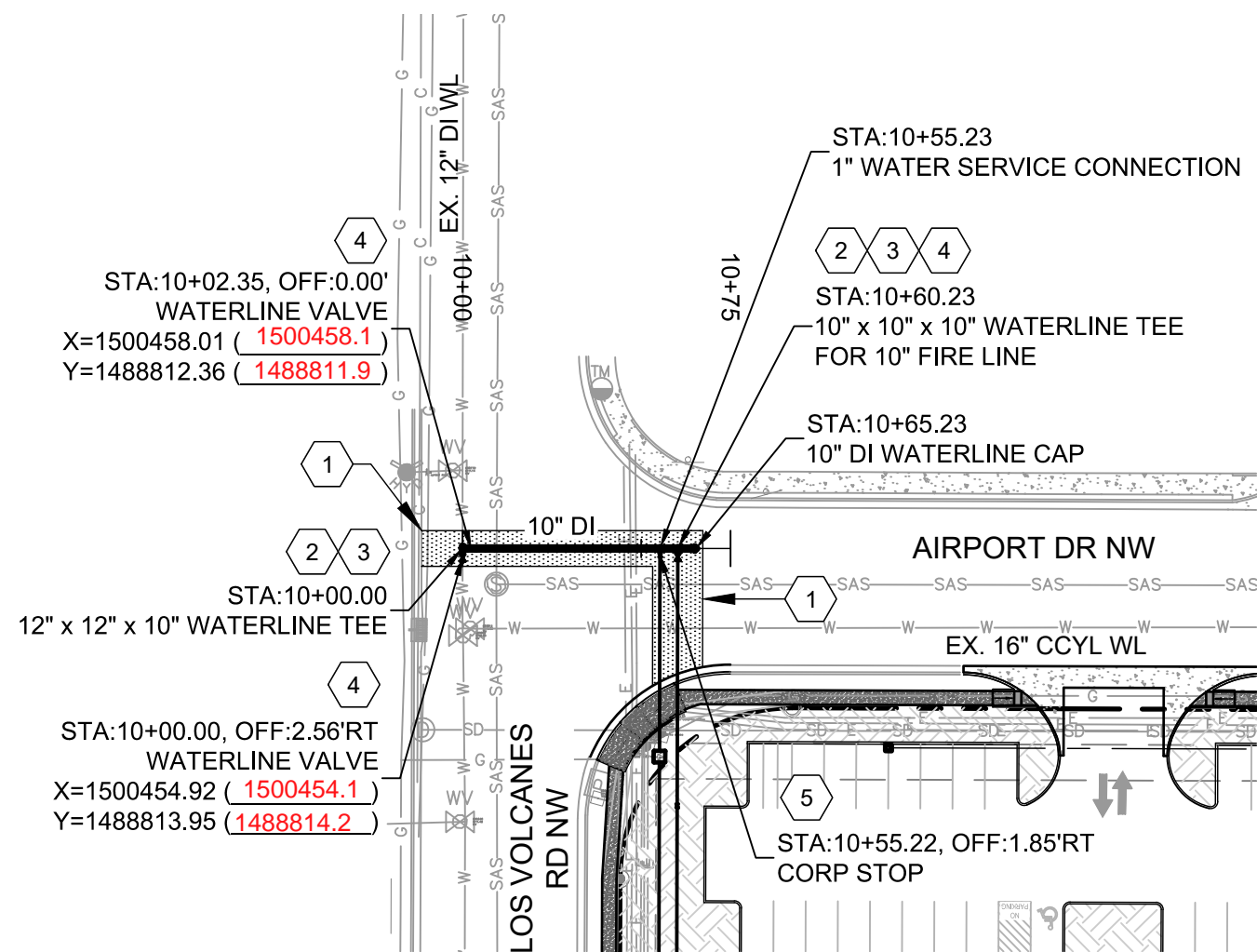
SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES	CONTRACTOR	DATE	WORK BY	DATE
		NEW MEXICO STATE PLANE COORDINATES		INSPECTOR'S ACCEPTANCE BY	DATE
		CENTRAL ZONE		INSPECTOR'S VERIFICATION BY	DATE
		ACS MONUMENT "9, K10"		DRAWINGS CORRECTED BY	DATE
		E5=1498911.51			
		N=1480094.19			
		GRID TO GROUND: 0.999879308		RECORDED BY	DATE
		ELEV=51177.72 (NAD 83)		NO.	

A circular professional engineer seal for James E. Lopez, License No. 24897, State of New Mexico. The seal includes the text "JAMES E. LOPEZ", "NEW MEXICO", "24897", "REGISTERED PROFESSIONAL ENGINEER", and the date "11/03/22". A signature is written across the seal.

[illegible]

 <div> <p><b>WILSON &amp; COMPANY</b></p> <p>4401 MASTHEAD ST. NE, SUITE 150 ALBUQUERQUE, NM 87109</p> <p>PHONE: 505-348-4000 FAX: 505-348-4072 www.wilsonco.com</p> </div>		NO. DATE DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____	
<div>  <div> <p><b>CITY OF ALBUQUERQUE</b></p> <p><b>MUNICIPAL DEVELOPMENT DEPARTMENT</b></p> <p><b>ENGINEERING DEVELOPMENT DIVISION</b></p> </div>  </div>			
TITLE: <b>NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT</b> <b>541 AIRPORT DRIVE, NW ALBUQUERQUE, NM 87121</b> <b>UTILITY PLAN</b>			
Design Review Committee		City Engineer Approval	
			
City Project No. <b>777182</b>		Zone Map No. <b>J-10-Z</b>	
Sheet <b>5</b>		Of <b>8</b>	

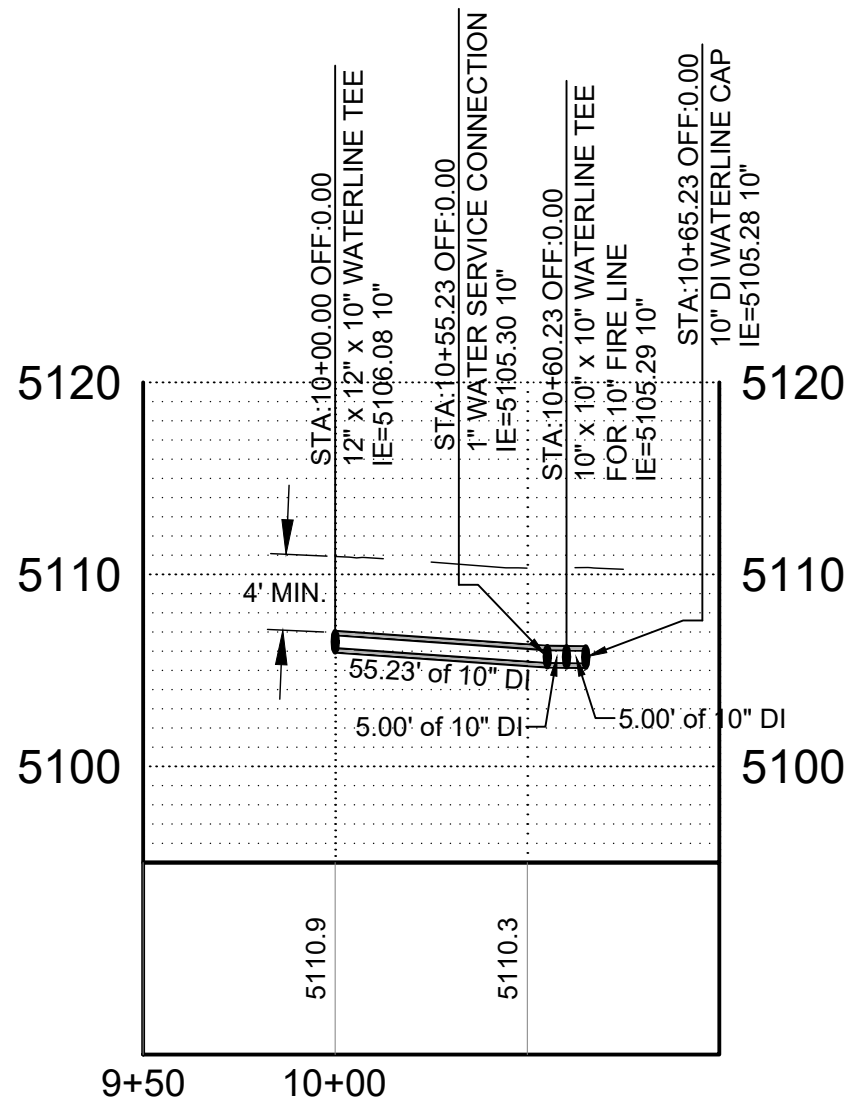




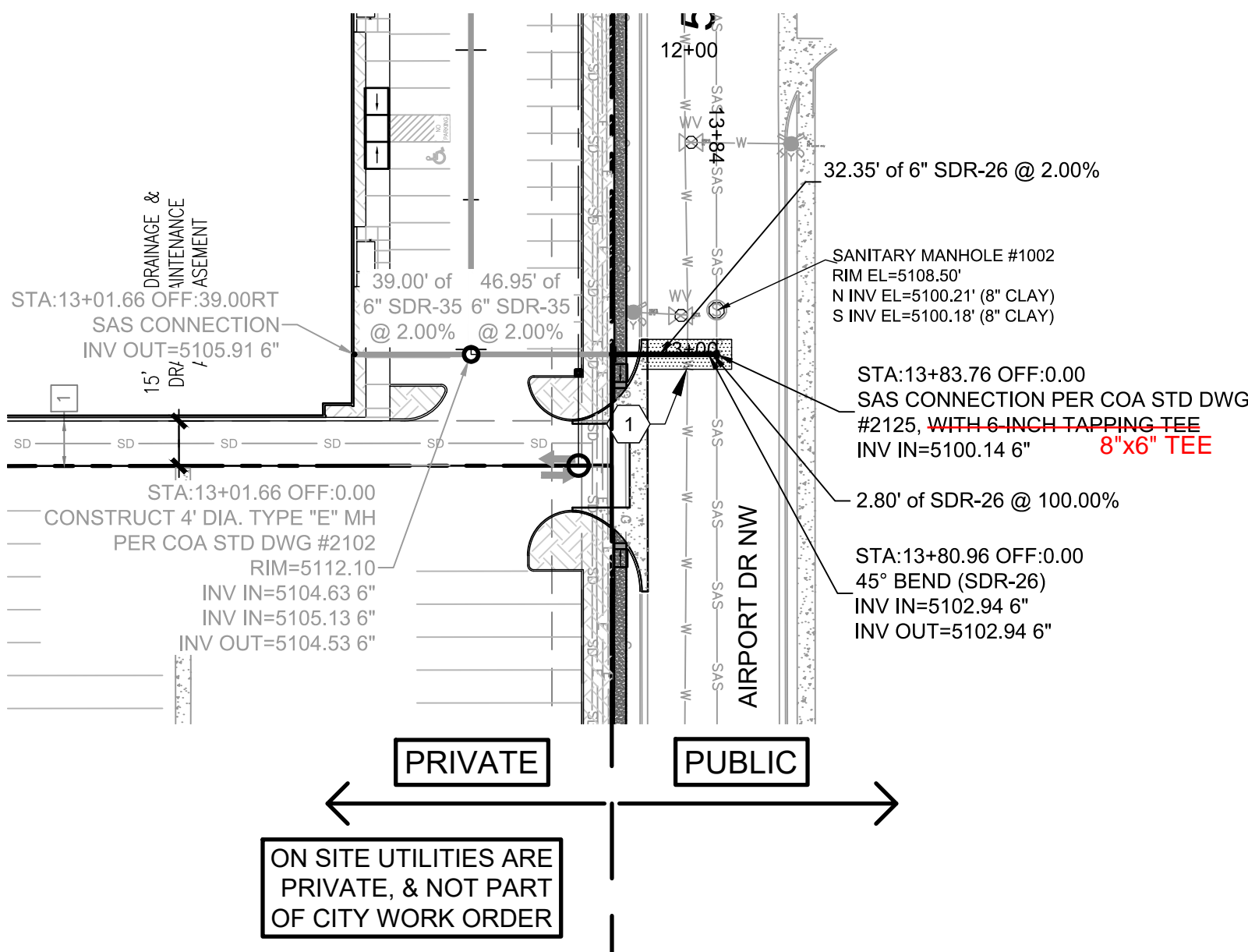
**Certification**  
THE CHANGES SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION AND REFLECT THE LOCATIONS (VERTICALLY AND HORIZONTALLY) TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*B. J. M.*  
**WATERLINE PLAN**

WATERLINE PROFILE

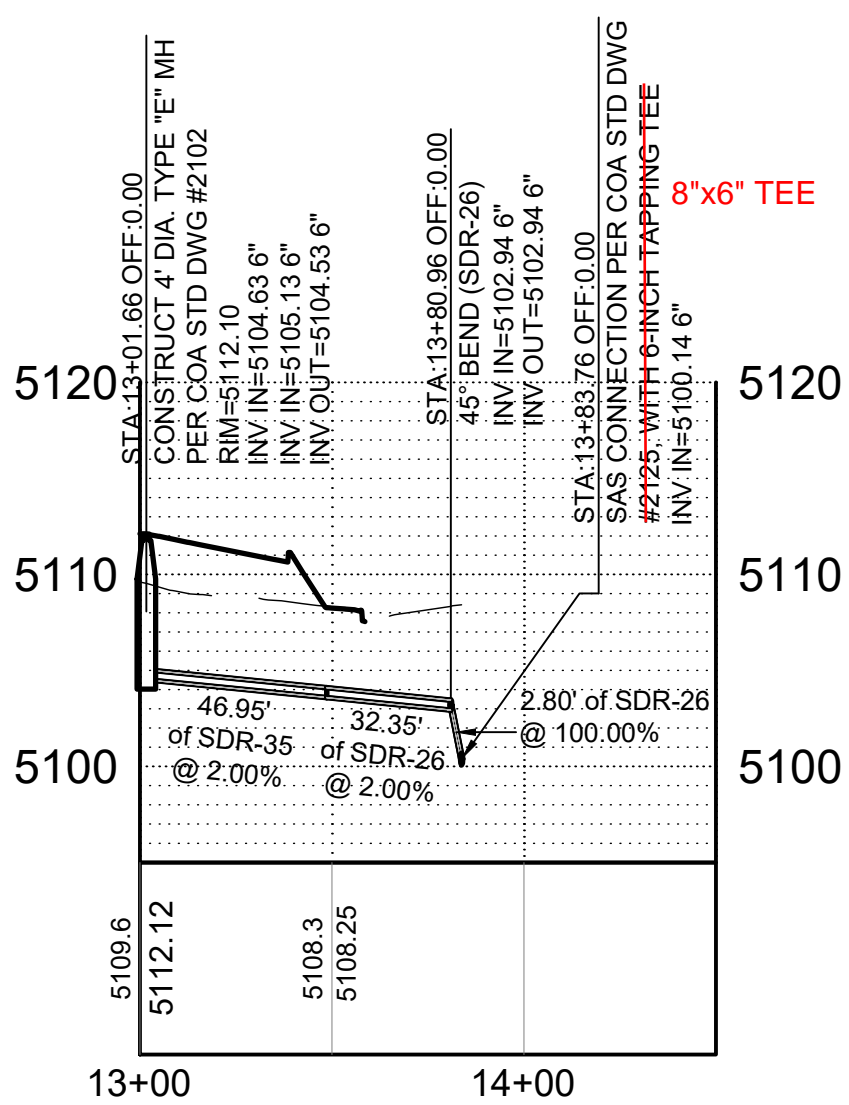


**A1** UTILITY PLAN & PROFILE  
SCALE: 1" = 50'

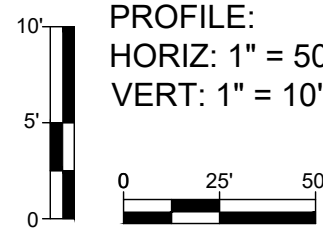


SAS PLAN

SAS PROFILE (PRIVATE)



SCALE:  
PLAN: 1" = 50'



**KEYNOTES**

1. REPLACE EXISTING ASPHALT IN KIND, PER COA STD DWG #2465.
2. INSTALL NON-PRESSURIZED CONNECTION TO EXISTING WATERLINE PER COA STD DWG #2301.
3. CONNECTION TO EXISTING WATERLINE PER COA STD DWG #2301.
4. INSTALL WATERLINE VALVE & BOX PER COA STD DWG #2326 & #2329.
5. CORP STOP.

**WILSON & COMPANY**  
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ALBUQUERQUE, NM 87109  
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**CITY OF ALBUQUERQUE**  
MUNICIPAL DEVELOPMENT DEPARTMENT  
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TITLE: **NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
**541 AIRPORT DRIVE, NW ALBUQUERQUE, NM 87121**  
**UTILITY PLAN & PROFILE**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Least Design Update			



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	38.88	28.00	79.55	N67° 28' 33"W	35.83
C2	35.78	28.00	73.22	S38° 17' 04"W	33.40
C3	33.33	28.00	68.20	N18° 59' 50"E	31.40
C4	5.71	15.00	21.82	N64° 00' 28"E	5.68
C5	5.72	15.00	21.84	S85° 50' 06"W	5.68

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C6	33.37	28.00	68.29	N49° 06' 00"W	31.43
C7	33.13	28.00	67.80	N18° 49' 14"E	31.23
C8	5.81	15.00	22.21	N63° 49' 28"E	5.78
C9	5.78	15.00	22.07	S85° 56' 18"W	5.74
C10	33.21	28.00	67.96	N49° 02' 47"W	31.30

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C11	39.09	25.00	89.60	S62° 15' 47"E	35.23
C12	31.39	25.00	71.93	N36° 08' 26"E	29.36
C13	47.32	40.50	66.95	N48° 34' 44"W	44.68
C14	34.30	29.50	66.62	N30° 05' 36"E	32.40

Parcel Line Table		
Line #	Length	Direction
L1	30.79	N72° 44' 48.67"E

GENERAL NOTES

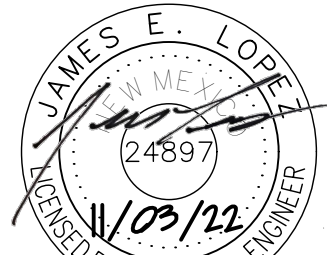
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KEYNOTES

1. CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
2. CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. CONSTRUCT ADA RAMP DETAIL "C" PER COA STD DWG #2443.
4. DETECTABLE WARNING SURFACE PER DETAIL D1 / 8.
5. 6-FT CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
6. CONSTRUCT NEW 4" PCC SIDEWALK PER DETAIL F4 / 8.
7. MATCH EXIST. SIDEWALK. SAWCUT TO NEAREST JOINT.
8. EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
9. CONSTRUCT (WHEELCHAIR) CURB ACCESS RAMP PER COA STD DWG #2441.

CURVE DATA

C1	TC	FL	C2	TC	FL
1	5116.14	5115.47	1	5115.62	5115.12
2	5115.48	5115.48	2	5114.94	5114.94
3	5116.06	5115.56	3	5115.41	5114.74
C3	TC	FL	C4	TC	FL
1	5110.38	5109.71	1	5110.93	5110.43
2	5109.74	5109.74	2	5111.02	5110.52
3	5110.38	5109.88	3	5111.10	5110.60
C5	TC	FL	C6	TC	FL
1	5110.81	5110.31	1	5110.17	5109.67
2	5110.74	5110.24	2	5109.48	5109.48
3	5110.66	5110.16	3	5110.04	5109.37
C7	TC	FL	C8	TC	FL
1	5108.27	5107.60	1	5109.02	5108.52
2	5107.64	5107.64	2	5109.13	5108.63
3	5108.18	5107.68	3	5109.23	5108.73
C9	TC	FL	C10	TC	FL
1	5109.10	5108.60	1	5108.06	5107.56
2	5108.99	5108.49	2	5107.48	5107.48
3	5108.89	5108.39	3	5108.06	5107.39
C11	TC	FL	C12	TC	FL
1	5106.90	5106.23	1	5107.24	5106.74
2	5106.37	5106.37	2	5106.72	5106.72
3	5106.90	5106.40	3	5107.37	5106.70



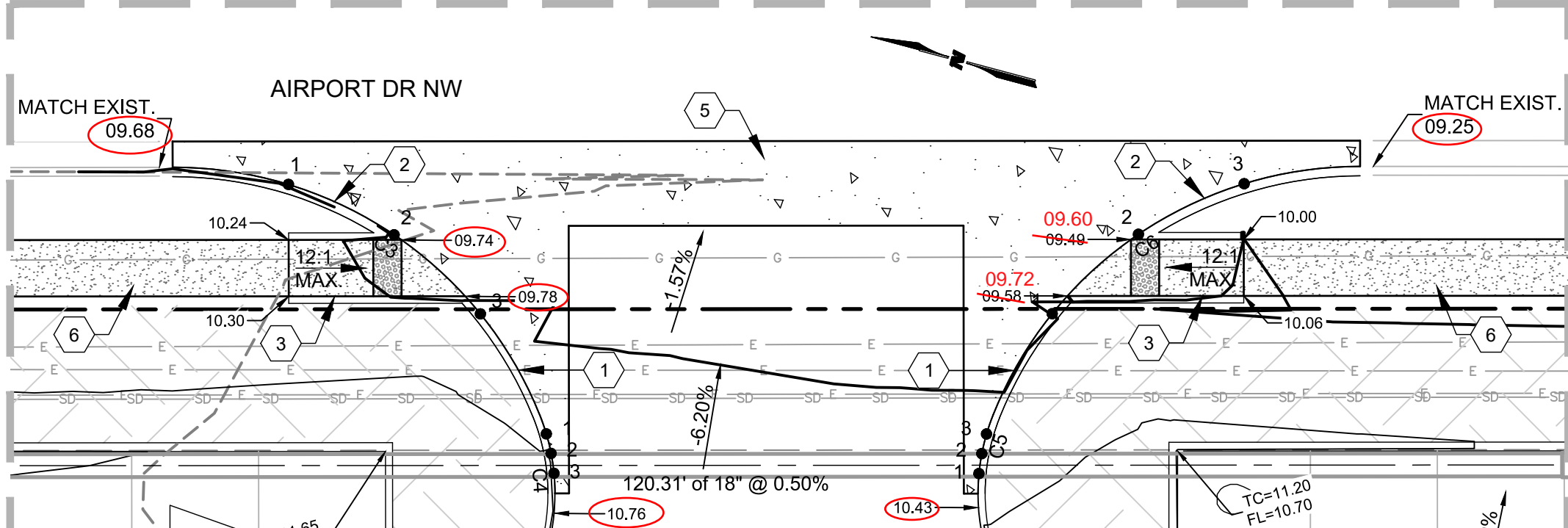
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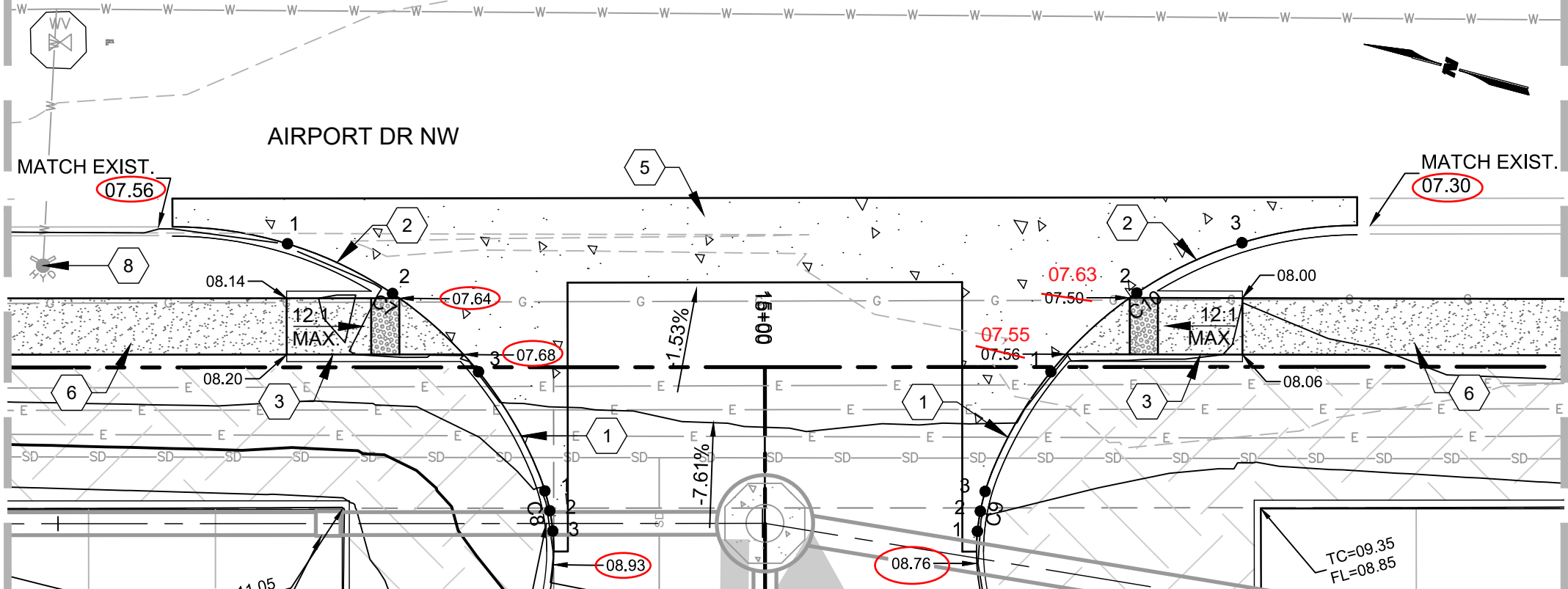
TITLE: **NEW OFFICE/WAREHOUSE FOR BRUNACINI DEVELOPMENT**  
**541 AIRPORT DRIVE, NW ALBUQUERQUE, NM 87121**

ENTRANCE DETAILS

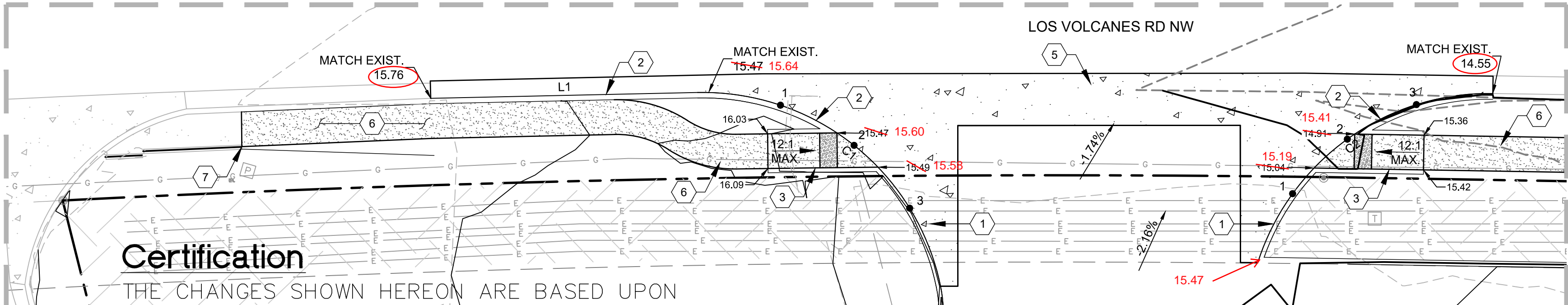
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			



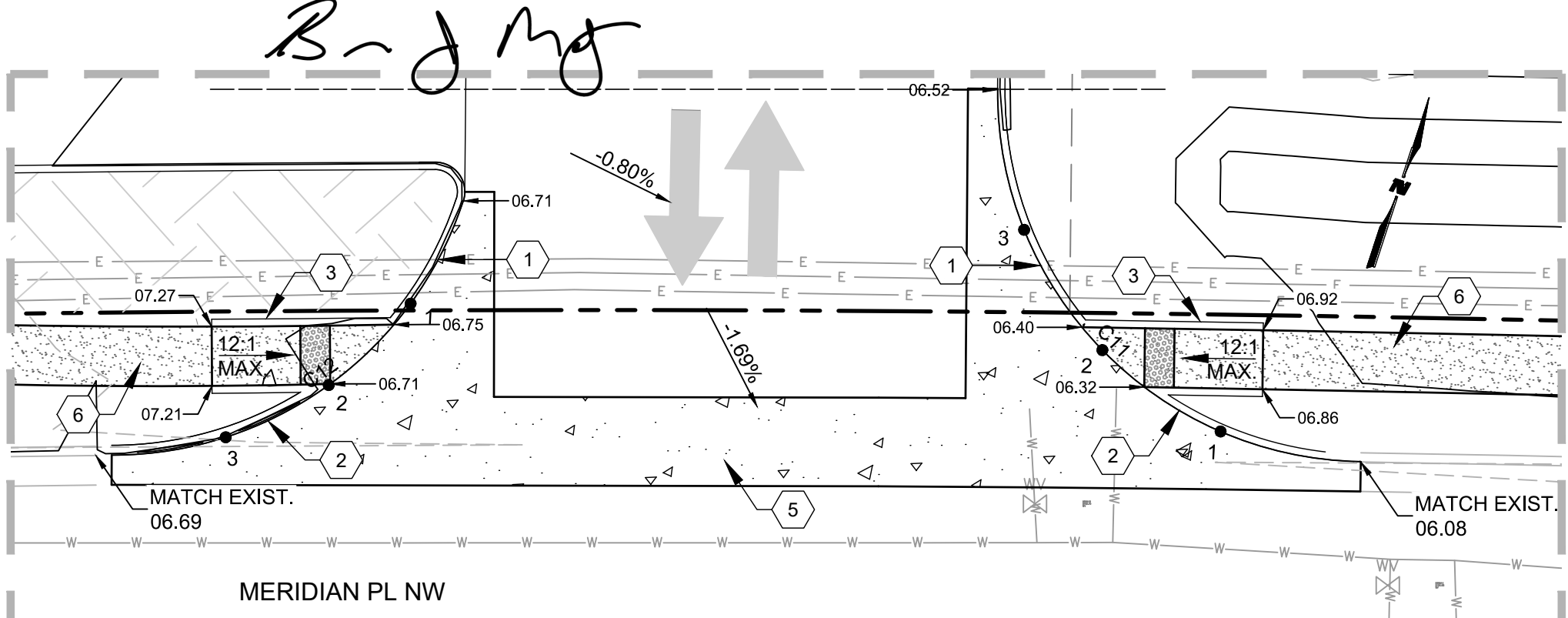
ENTRANCE "A" ELEVATIONS  
SCALE: 1" = 10'



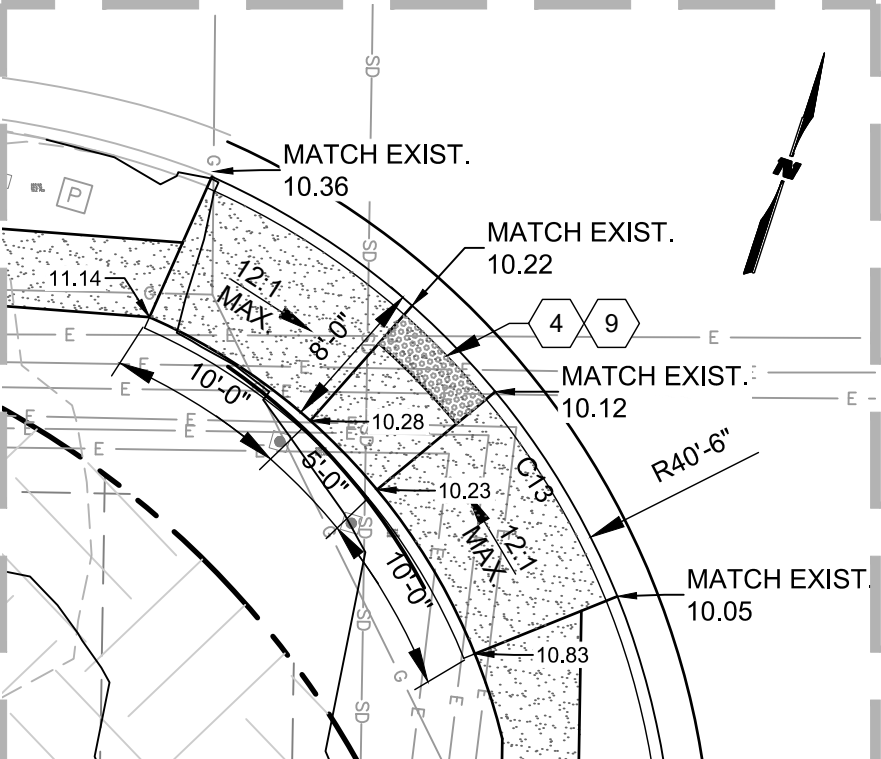
ENTRANCE "B" ELEVATIONS  
SCALE: 1" = 10'



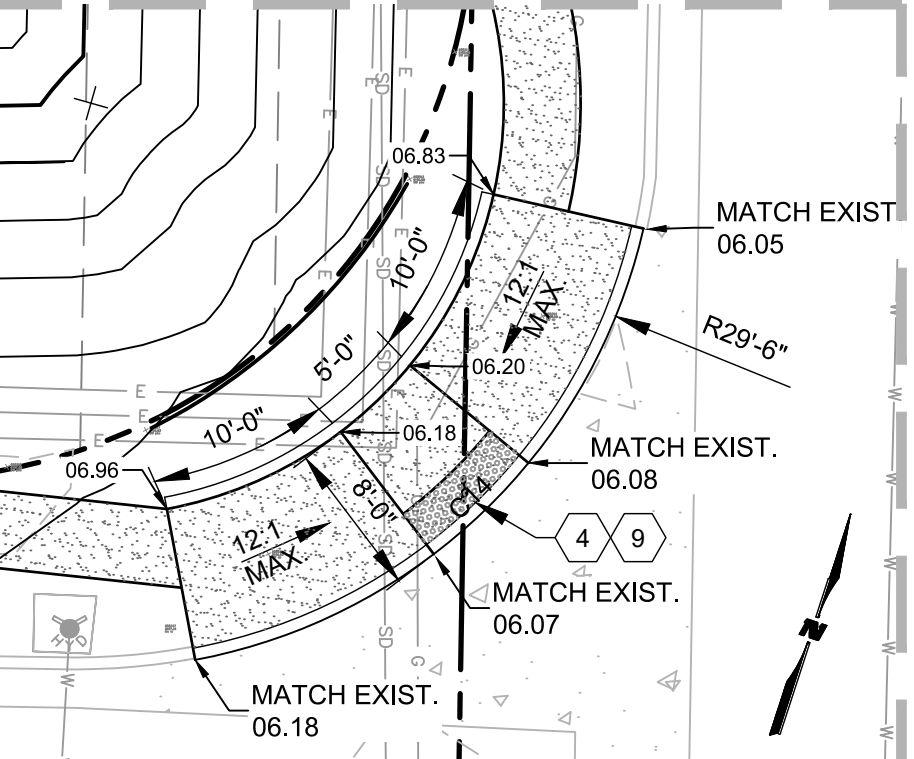
ENTRANCE "D" ELEVATIONS  
SCALE: 1" = 10'



ENTRANCE "C" ELEVATIONS  
SCALE: 1" = 10'



ADA RAMP @ LOS VOLCANES RD & AIRPORT DR  
SCALE: 1" = 10'

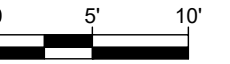


ADA RAMP @ MERIDIAN PL & AIRPORT DR  
SCALE: 1" = 10'

A1

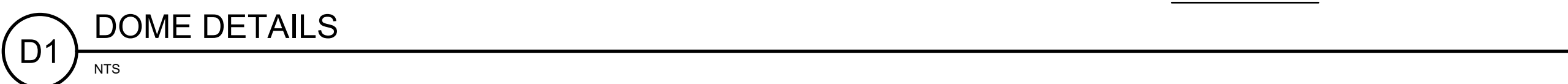
ENTRANCE DETAILS

SCALE: 1" = 10'

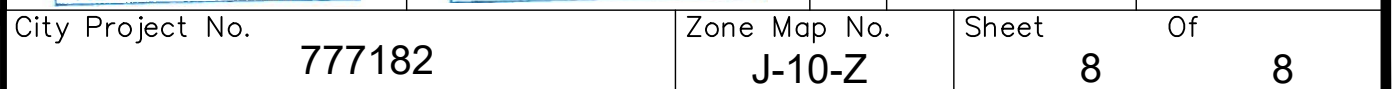


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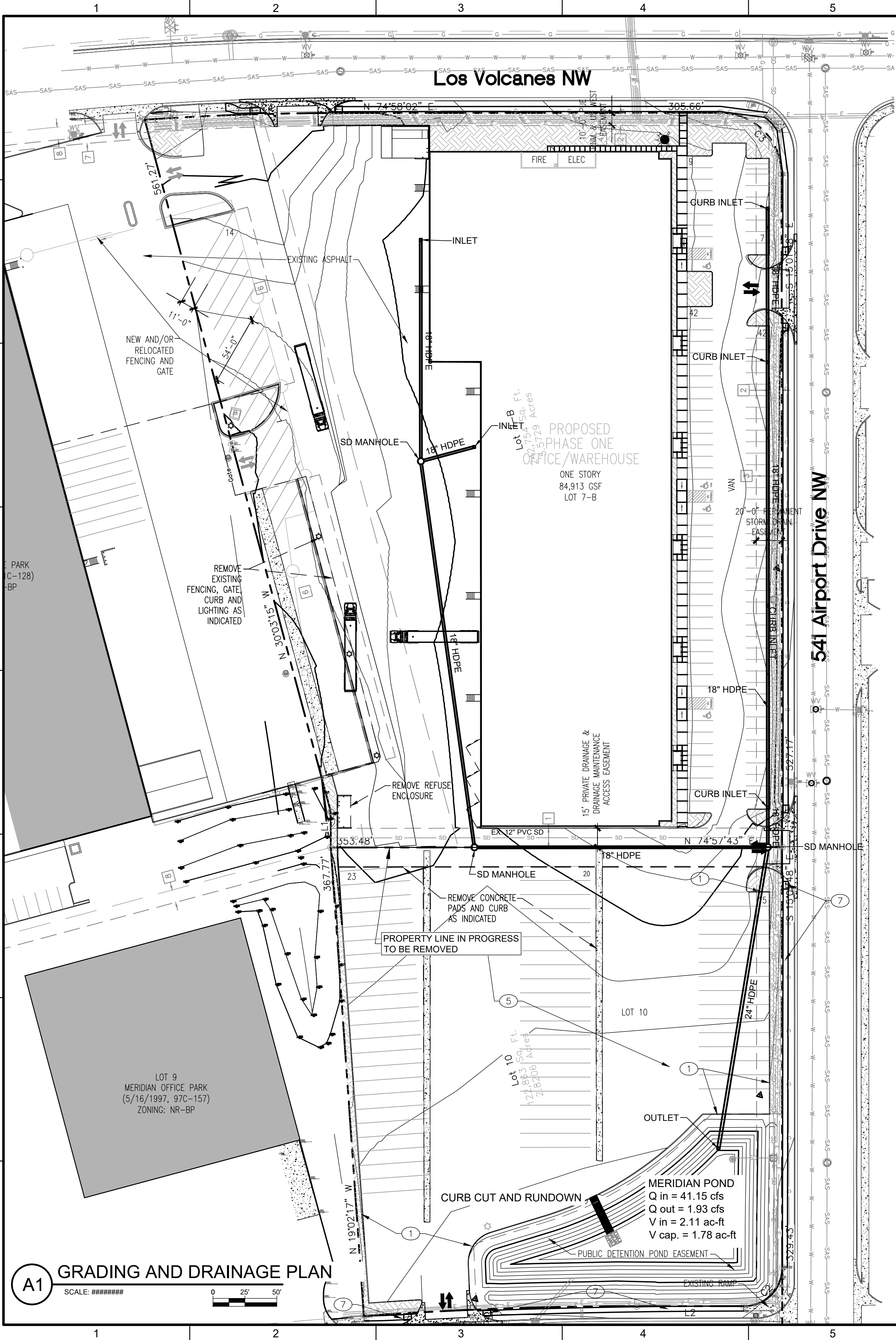


SOURCE: MUTCD, 2009 EDITION





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Drainage Narrative

Introduction

The project site is located at 541 Airport Dr. NW. The site is bounded by Airport Drive NW to the east, Los Volcanes Road NW to the north, Gallatin Place NW to the west, and Meridian Pl. NW to the south. The existing site and proposed improvements are generally contained within Lots 7-B and 10 of Tract M as identified in the Conceptual Master Grading and Drainage Plan prepared for Lots 1-23 of the Meridian Business Park by Easterling & Associates, Inc. in August 1996. The site is not located within a designated FEMA flood plain map, see firm map 35001C0328J.

Existing Conditions

The existing site topography in Lot 7-B generally drains from northwest to southeast in the conceptual plans prepared by Easterling and was confirmed on a site visit. A berm has been constructed on the eastern edge of the lot that appears to block water from exiting the site in this direction, and instead forces water to flow south into Lot 10 and inevitably into the existing public drainage pond on the southern edge of the lot. The Easterling plans suggested that there be an inlet to receive flow on the southeastern corner of this lot, though no such drainage infrastructure was observed on the site. The site includes a portion of Lot 7-A that is currently developed and includes parking and an access road to the trailer parking in Lot 10. Flow in this segment tends to drain southwest and is seemingly directed toward the existing drainage pond that has been constructed for the development in Lot 7-A west of the site.

Lot 10 drains from north to south (and into the proposed rectangular drainage pond) in the Easterling plan, and this was observed to be generally true by a preliminary site visit. A large majority of Lot 10 consists of compacted dirt and gravel. The remainder is undisturbed aside from a large drainage pond. Currently, the pond discharges to the east toward an existing storm drain system adjacent to Airport Dr. NW via a standpipe with circular 3 in. diameter inlet orifices set at varying elevations and a 5" diameter plate orifice on the outlet pipe. The downstream connection point is an existing storm drain line adjacent to Airport Dr. NW. Some sediment and debris have accrued on the bottom of the pond and the lowermost tiers of orifices on the standpipe have been blocked. According to the Easterling plan, the pond has a design capacity of 1.0404 ac-ft, though topography data of the area shows the current capacity to be 0.8563 ac-ft. There is also an existing offsite basin identified in the Easterling Plan as Basin E1 that drains to the pond via 2 combination inlets in the flowlines of Meridian Pl. Data for this basin was pulled from the Easterling Plan and utilized in the design considerations for the pond.

In its current condition, the on-site basin contributing flow to the pond is delivering up to 17.3 cfs for the 100-year 24-hour event to the pond. This corresponds to a volume of 0.5205 ac-ft prior to development.

Interim Conditions (Phase 1)

The proposed site will maintain the general flow from northwest to southeast toward the detention pond in Lot 10. The boundaries of construction in phase 1 are primarily limited to the undeveloped area that comprises Lot 7-B. The existing developed area on the western side of Lot 7-B will be improved in Phase 2. A 73,969 square-foot tenant space is to be constructed, with paved parking, sidewalk, and desert-landscaped median features constructed on the eastern and northern faces of the spaces. On the western face of the building, an asphalt swale will be constructed with slopes less than or equal to 2% up to 50 feet away from the edge of the truck bay. Area inlets and pipe connections will be installed in the swale to collect and distribute flows to the existing detention pond in Lot 10. The parking lot on the eastern face of the building will be super-elevated to drain east toward a series of inlets along the eastern curb line. These inlets and the corresponding pipe connections will send the flows south toward the detention pond. The pipe networks on the western and eastern faces of the building will meet at a junction in Lot 10 north of the pond before discharging to the pond via an opening mitered to slope. Most of the vacant lot will become paved and impervious. As mentioned before, the area west of the fence line is not to be disturbed during construction of Phase 1 to maintain the access road.

The existing detention pond in Lot 10 will need to be improved such that it can accommodate the increase in flow from both Phase 1 and 2 during Phase 1. This includes laying the pipe that discharges flow from Phase 1 through Lot 10 prior to Phase 2.

The discharge from the site will increase to 25.4 cfs after development, which corresponds to a difference of 8.1 cfs. The discharge from the site corresponds to a volume of 1.1333 ac-ft for the 100-year 24-hour event after the construction of Phase 1, with a difference in volume of 0.6128 ac-ft between existing and interim conditions. This volume is already higher than the current capacity of the pond in both the conceptual Easterling staging, as well as the staging developed from current topography. The pond will be regraded with 3:1 side slope to maximize the capacity of the pond without expanding the footprint beyond the boundary of the public detention pond easement. The base pond elevation will also be dropped, and the standpipe reconstructed to accommodate the updated allowable discharge for the site. In the drainage master plan, the pond shows a maximum allowable discharge of 1.47 cfs to the storm drain, while Lot 8 (Lot 7B in current platting) was intended to discharge 0.47 cfs to the storm drain further upstream. The owners of the site are in the process of getting Lots 7B and Lots 10 replatted into one parcel. This will correspond to a maximum allowable discharge of 1.94 cfs from the pond for the combined lots. A sidewalk culvert will be constructed on the southern face of the pond to serve as an emergency spillway that drains to Meridian Pl. A berm will be constructed to approximately 1 foot above the back of sidewalk elevation to accommodate the spillway and maintain freeboard. Approximately 0.25 ac-ft of runoff needs to be retained to meet MS4 requirements, and the pond will retain approximately 0.41 ac-ft.

The edge of the pond will also have a berm constructed to 1 ft above the invert of the emergency spillway in order to increase freeboard.

Final Conditions (Phase 2)

The proposed site will maintain the general flow from northeast to southwest toward the detention pond in Lot 10. A large portion of Lot 10, minus the ponding area and landscaping, will be paved and the grading and drainage scheme developed in Phase 1 will be maintained to deliver flows to the existing detention pond. Curb-cuts and a concrete rundown will be installed on the perimeter of the pond to deliver overland flows from the area in Phase 2 and reduce erosion of the pond side slopes. In the previously developed area on the western edge of Lot 7-B, work will be done to expand the northernmost column of parking, including the removal of some previous landscaping. The western edge of Lot 7-B currently drains to the off-site detention pond on the southeast corner of Lot 7-A, and it is recommended that this grading be maintained if repaving occurs.

The improvements in Lot 10 will increase the discharge from the site to 28.4 cfs. This corresponds to a total volume of 1.4298 ac-ft for the 100-year 24-hour event, with a difference in volume of 0.2957 ac-ft between interim and final conditions, and a difference in discharge of 3 cfs between interim and final conditions.

Conclusion

In summary, inlets and storm drain will be installed to capture on-site flows from Phase 1 and deliver the water to the detention pond in Lot 10. The pond will be regraded to accommodate the increase in discharge from Phase 1 and Phase 2 at this time, and the pipe network constructed in Phase 1 will be taken to the pond at this time. The area in Phase 2 will be paved and a concrete rundown and curb cut constructed at the pond to receive the overland flow from the site. A series of sidewalk culverts will also be constructed at this time to serve as an emergency spillway for the pond. The standpipe outlet structure will be reconstructed to retain the MS4 volume for the site and limit the discharge from the site to 1.94 cfs per the drainage master plan and proposed parceling. Lots 7B and 10 will be replatted as one parcel in order to permit Lot 7B to discharge through Meridian Pond.

Meridian Pond - Proposed Staging

Stage	Area	Storage	Cumulative Storage	Cumulative Storage
Elev. (ft)	ft <sup>2</sup>	ft <sup>3</sup>	ft <sup>3</sup>	Ac-ft
5099	5730	0.000	0	
5100	7112	6420.939	6421	
5101	8576	7843.891	14265	
5102	10110	9343.263	23608	
5103	11712	10911.349	34519	
5104	13383	12547.585	47067	
5105	15121	14251.868	61319	
5106	16928	16024.379	77343	1.7756

MS4 Calculations

Basin	Area	Volume	Volume
	ft <sup>2</sup>	ft <sup>3</sup>	Ac-ft
101	310698.37	10874.44	0.25
		Total	0.25

Existing Conditions (Pre PH1)

Basin	Total Area (sq ft)	Total Area (Ac)	A		B		C		D		Peak Discharge, Q	Excess Precip. (Weighted)	Volume		Volume	
			%	Ac	%	Ac	%	Ac	%	Ac			(6 <sub>hr</sub> , acre-ft)	(24 <sub>hr</sub> , acre-ft)	(10 <sub>day</sub> , acre-ft)	
101	310698	7.133	0	0	71.1	5.07	23.8	1.70	5.1	0.36	17.3	0.86	0.5108	0.5205	0.5632	
*E1	226512	5.200	0	0	9	0.47	9	0.47	82	4.26	19.9	1.99	0.8615	0.9752	1.4762	

\* Basin E1 from the Easterling Report Dated 08/96

Interim Conditions (Post PH1 / Pre PH2)

Basin	Total Area (sq ft)	Total Area	A		B		C		D		Peak Discharge, Q	Excess Precip. (Weighted)	Volume (6hr, acre-ft)		Volume (24hr, acre-ft)		Volume (10day, acre-ft)	
			%	Ac	%	Ac	%	Ac	%	Ac								
101	310698	7.133	0	0.00	10.8	0.77	28.3	2.02	60.9	4.34	25.4	1.71	1.0175	1.1333	1.6437			
E1	226512	5.200	0	0.0	9	0.47	9	0.47	82	4.26	19.9	1.99	0.8615	0.9752	1.4762			

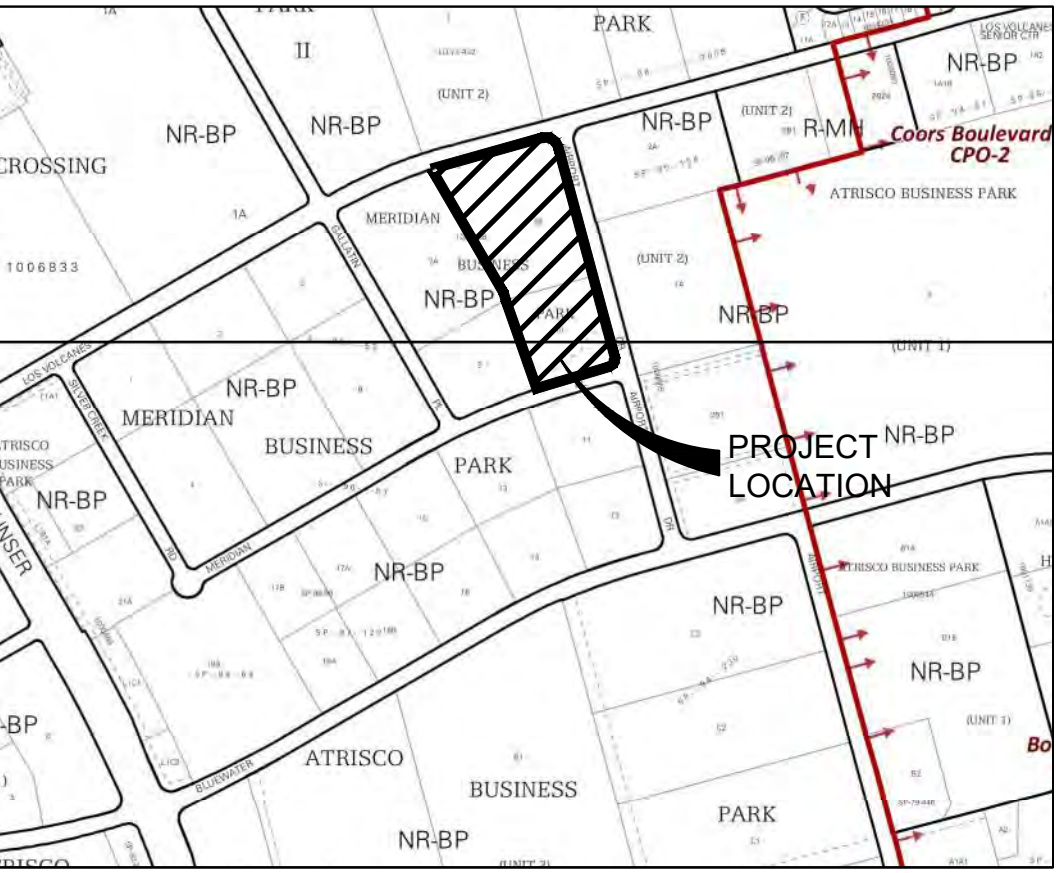
\* Basin E1 from the Easterling Report Dated 08/96

Final Conditions (Post PH2)

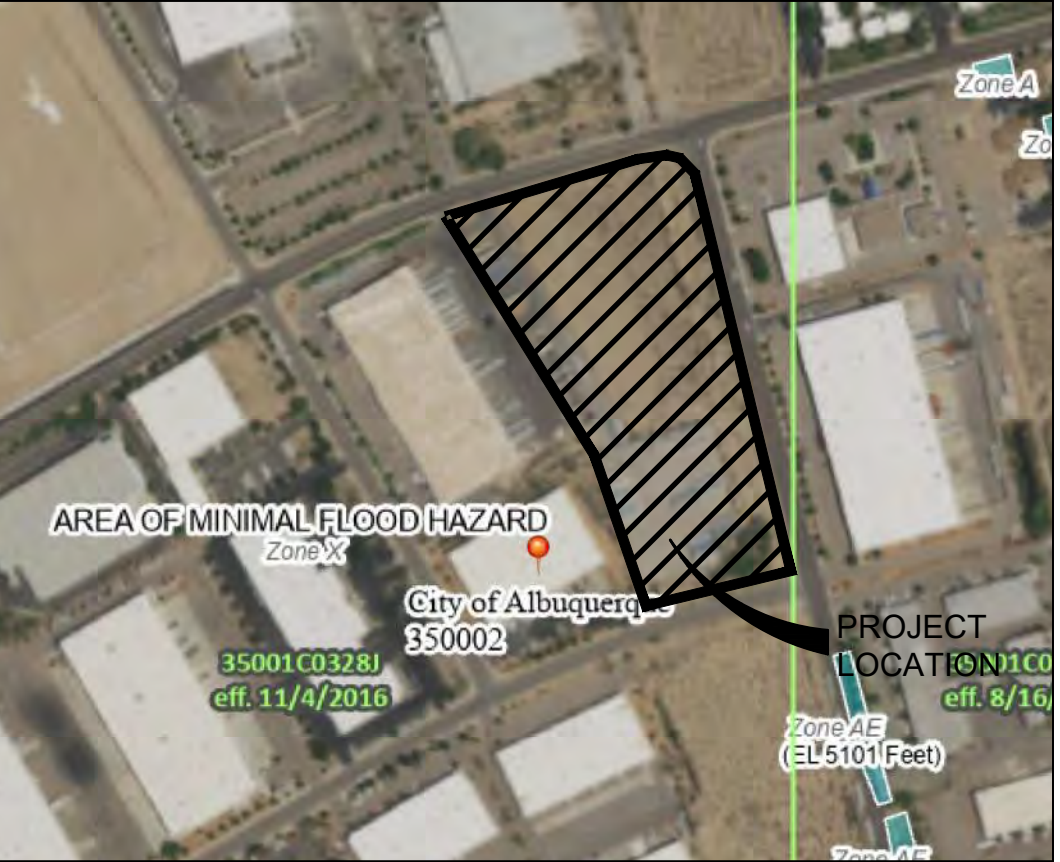
Basin	Total Area (sq ft)	Total Area	A		B		C		D		Peak Discharge, Q	Excess Precip. (Weighted)	Volume		Volume	
			%	Ac	%	Ac	%	Ac	%	Ac			(6 <sub>hr</sub> , acre-ft)	(24 <sub>hr</sub> , acre-ft)	(10 <sub>day</sub> , acre-ft)	
101	310698	7.133	0	0.00	3.2	0.23	6%	0.41	91%	6.48	28.4	2.11	1.2569	1.4298	2.1916	
E1	226512	5.200	0	0	9	0.47	9	0.47	82	4.26	19.9	1.99	0.8615	0.9752	1.4762	

\* Basin E1 from the Easterling Report Dated 08/96

MAPS



LOCATION MAP  
ZONE ATLAS MAPS J-10-Z & K-10-Z



FLOOD INSURANCE MAP  
REFERENCE: PANEL NO. 35001C0328J



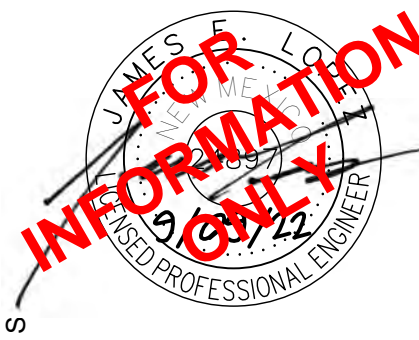
SOILS MAP  
REFERENCE: NRCS SOILS DATA



**WILSON & COMPANY**

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CONSULTANTS



PROJECT NAME  
**NEW OFFICE/WAREHOUSE  
FOR BRUNACINI DEVELOPMENT  
541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NM 87121**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 22-600-175-00  
DESIGNED BY: JEL  
DRAWN BY: DY  
CHECKED BY: JEL  
DATE: JUNE 2022  
SHEET TITLE

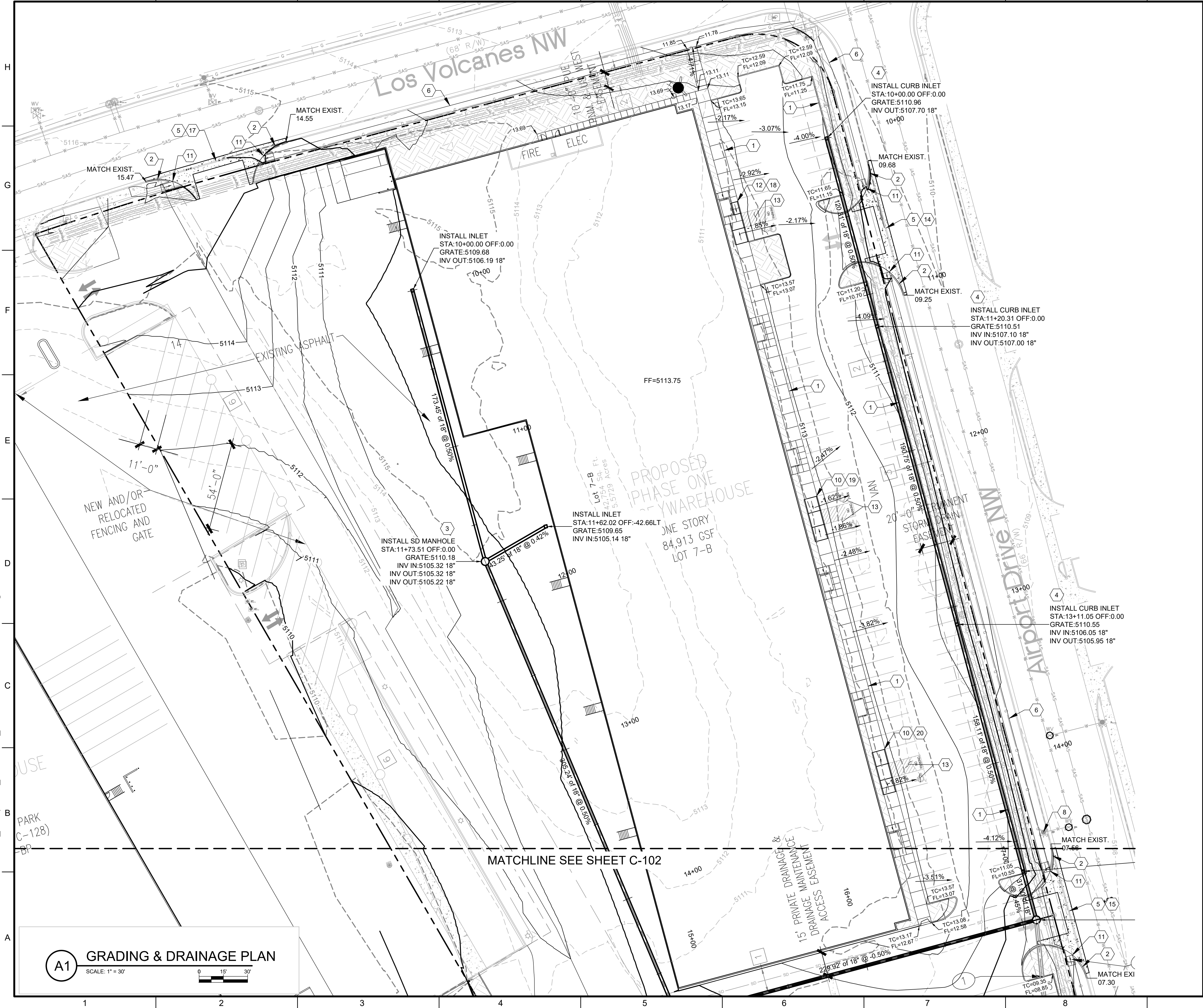
**GRADING AND  
DRAINAGE PLAN**

SHEET NO:



M:\MSD\22-600-175-00\2\_Disciplines\_SHEETS\2\_Sheets - civil\2260175-GD02.dwg

9/29/2022



**A1** GRADING & DRAINAGE PLAN  
SCALE: 1" = 30'



GENERAL NOTES

1. SIDEWALK AND CURB RAMPS SHALL COMPLY WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE CONTRACTOR SHALL CONTACT THE CITY STAFF TO SCHEDULE INSPECTIONS.

KEYNOTES

1. CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
2. CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
3. CONSTRUCT 6" DIA. TYPE "C" MH PER COA STD DWG #2101.
4. INSTALL CURB INLET TYPE "C" PER COA STD DWG #2205.
5. CONSTRUCT DRIVE PAD PER COA STD DWG #2425.
6. CONSTRUCT NEW 4" PCC SIDEWALK PER DETAIL SHEET C-103.
7. MATCH EXIST. SIDEWALK. SAWCUT TO NEAREST JOINT.
8. EXISTING FIRE HYDRANT TO REMAIN. PROTECT IN PLACE.
9. 10'x10' RIP-RAP PAD.
10. CONSTRUCT ADA RAMP DETAIL "A" PER COA STD DWG #2443.
11. CONSTRUCT ADA RAMP DETAIL "C" PER COA STD DWG #2443.
12. CONSTRUCT MODIFIED ADA RAMP DETAIL "A" PER COA STD DWG #2443.
13. SLOPE NOT TO EXCEED 2% IN ANY DIRECTION.
14. ENTRANCE "A" ELEVATIONS PER SHEET C-103.
15. ENTRANCE "B" ELEVATIONS PER SHEET C-103.
16. ENTRANCE "C" ELEVATIONS PER SHEET C-103.
17. ENTRANCE "D" ELEVATIONS PER SHEET C-103.
18. ADA RAMP "E" ELEVATIONS PER SHEET C-103.
19. ADA RAMP "F" ELEVATIONS PER SHEET C-103.
20. ADA RAMP "G" ELEVATIONS PER SHEET C-103.
21. 5-FOOT CONCRETE RUNDOWN.
22. DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236.



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CONSULTANTS



PROJECT NAME  
**NEW OFFICE/WAREHOUSE  
FOR BRUNACINI DEVELOPMENT  
541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NM 87121**

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 22-600-175-00  
DESIGNED BY: JEL  
DRAWN BY: DY  
CHECKED BY: JEL  
DATE: JUNE 2022  
SHEET TITLE

**GRADING &  
DRAINAGE PLAN**

SHEET NO:

**C-101**





## KEYNOTES

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18. ADA RAMP "E" ELEVATIONS PER SHEET C-103.
19. ADA RAMP "F" ELEVATIONS PER SHEET C-103.
20. ADA RAMP "G" ELEVATIONS PER SHEET C-103.
21. 5-FOOT CONCRETE RUNDOWN.
22. DRAINAGE SIDEWALK CULVERT WITH STEEL PLATE TOP PER COA STD DWG #2236.

Private Drainage Facilities with City Right-of-Way  
Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236. Work is permitted and inspected by DMD Construction Services Division.
2. An Excavation permit will be required before beginning any work with City Right-Of-Way.
3. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
4. Prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" for (505) 260-1990 for the location of existing utilities.
5. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
6. Backfill compaction shall be 95%.
7. Maintenance of the facility shall be the responsibility of the owner of the property being served.
8. Work on arterial streets may be required on a 24-hour basis.
9. For excavation or barricading inspections, contact DMD Construction Services Division.

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## CONSULTANTS



PROJECT NAME  
NEW OFFICE/WAREHOUSE  
FOR BRUNACINI DEVELOPMENT  
541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NM 87121

[illegible]

PROJECT NO: 22-600-175-00

DESIGNED BY: JEL

DRAWN BY: DY

CHECKED BY: JEL

DATE: JUNE 2022

SHEET TITLE

1. *Journal of Management Studies*, 1996, 33, 1, 1-14.

## GRADING 8

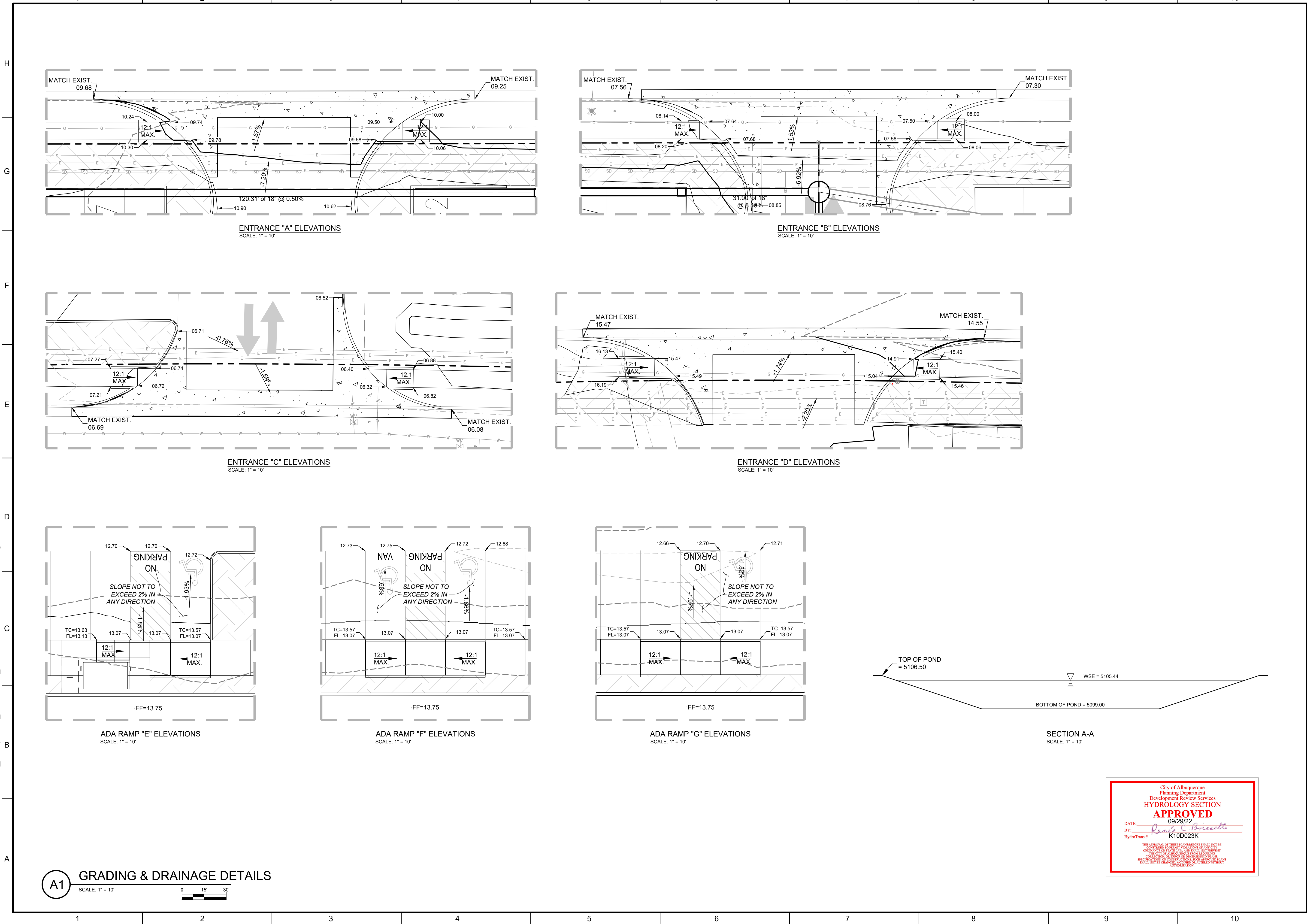
## GRADING & DRAINAGE PLAN

SHEET NO:

C-102



9/29/2022 M:\MSD\22-600-175-002\_Disciplines\_SHEETS2\_Sheets - civil\2260175-GD02.dwg



**A1** GRADING & DRAINAGE DETAILS  
SCALE: 1" = 10'



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CONSULTANTS



**PROJECT NAME**  
NEW OFFICE/WAREHOUSE  
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541 AIRPORT DRIVE, NW  
ALBUQUERQUE, NM 87121

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 22-600-175-00  
DESIGNED BY: JEL  
DRAWN BY: DY  
CHECKED BY: JEL  
DATE: JUNE 2022  
SHEET TITLE

**GRADING &  
DRAINAGE DETAILS**

SHEET NO:  
**C-103**

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 09/29/22  
BY: *Rebecca Brissette*  
HydroTrans #: K10D023K  
THE APPROVAL OF THESE PLANS SHALL NOT BE  
CONSIDERED TO BE A GUARANTEE OF ANY CITY  
ENGINEER OR SPECIALIST, AND SHALL NOT PREVENT  
THE CITY OF ALBUQUERQUE FROM ADDING  
CORRECTIONS OR CHANGES TO ANY PLANS,  
SPECIFICATIONS OR CONSTRUCTION. SUCH APPROVED PLANS  
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT  
AUTHORIZATION.