

2 3 4 5 6 7 8 9 10 11 12 13 14 15
26-17820.81-07

SCANNED BY
PLANNING

PLANS FOR CONSTRUCTION OF LANDS OF KAY BEASON

VILLAGE OF LOS RANCHOS, NEW MEXICO

APRIL 2006

INDEX TO DRAWINGS

SHEET	TITLE
1.	TITLE SHEET
2.	SUBDIVISION PLAT
3.	GRADING AND DRAINAGE PLAN
4.	WATER AND SEWER LAYOUT
5.	STREET PLAN AND PROFILE - PRIVATE RD
6.	WATER AND SEWER PLAN AND PROFILE - PRIVATE RD

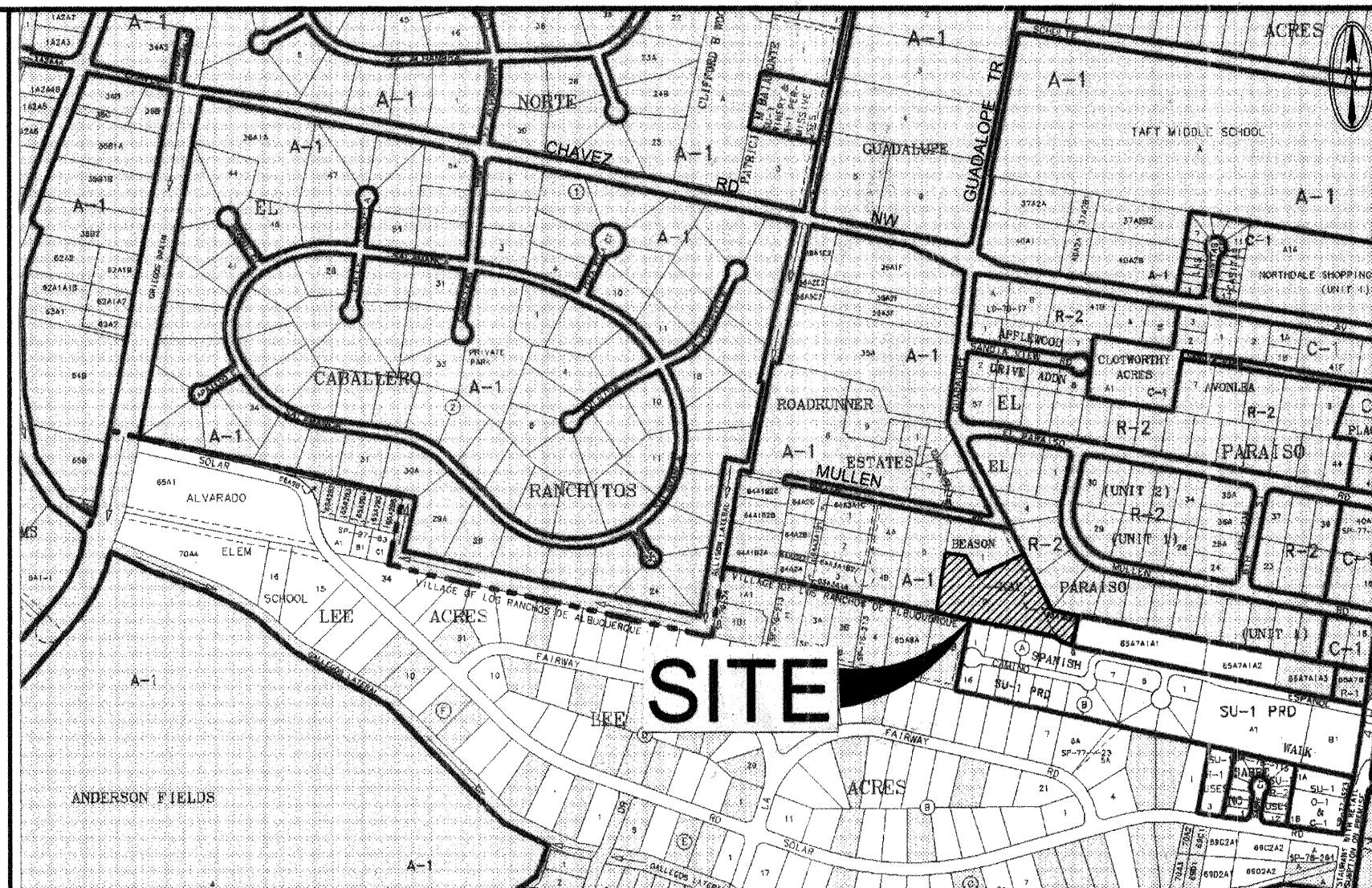
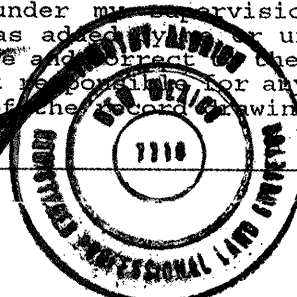
NO WORK ORDER WILL BE ISSUED
ON THIS PROJECT, LANDS OF KAY
BEASON, UNTIL ROAD RUNNER
ESTATES OBTAINS WORK ORDER.

(Project # 775581)

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
William J. Balch
DATE: 11/08/07

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was as shown under my supervision, and that this 'as-built' information is the best of my knowledge and belief." (Aldrich and Surveying as not shown on these drawings, calculations, measurements or intent of the drawings.)
Timothy Aldrich
Timothy Aldrich, P.S. No. 7719
5-8-07
Date



VICINITY MAP: E-14

SCALE: NTS

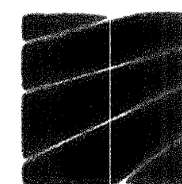
GENERAL NOTES:

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 7, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS
2. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
7. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
8. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
9. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
10. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEELCHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
11. EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
12. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
13. THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
14. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
15. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
17. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
19. THE CONTRACTOR SHALL COORDINATE WITH WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS PRIOR TO ANY WORK WHICH MAY AFFECT THE EXISTING CITY PUBLIC WATER OR SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. EXISTING CITY VALVES TO BE OPERATOR BY CITY PERSONNEL ONLY. REFER TO SECTION 18 OF THE STANDARD SPECIFICATIONS.
20. ELECTRONIC MARKER DISKS (EMD) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
21. PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

22. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
23. TRENCHING AND PIPE LAYING OPERATIONS MAY ENCOUNTER GROUND WATER WHICH COULD PRECLUDE PROPER PIPE PLACEMENT AND BACKFILLING. ALL DEWATERING OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH SECTION 701.7 OF THE STANDARD SPECIFICATIONS.

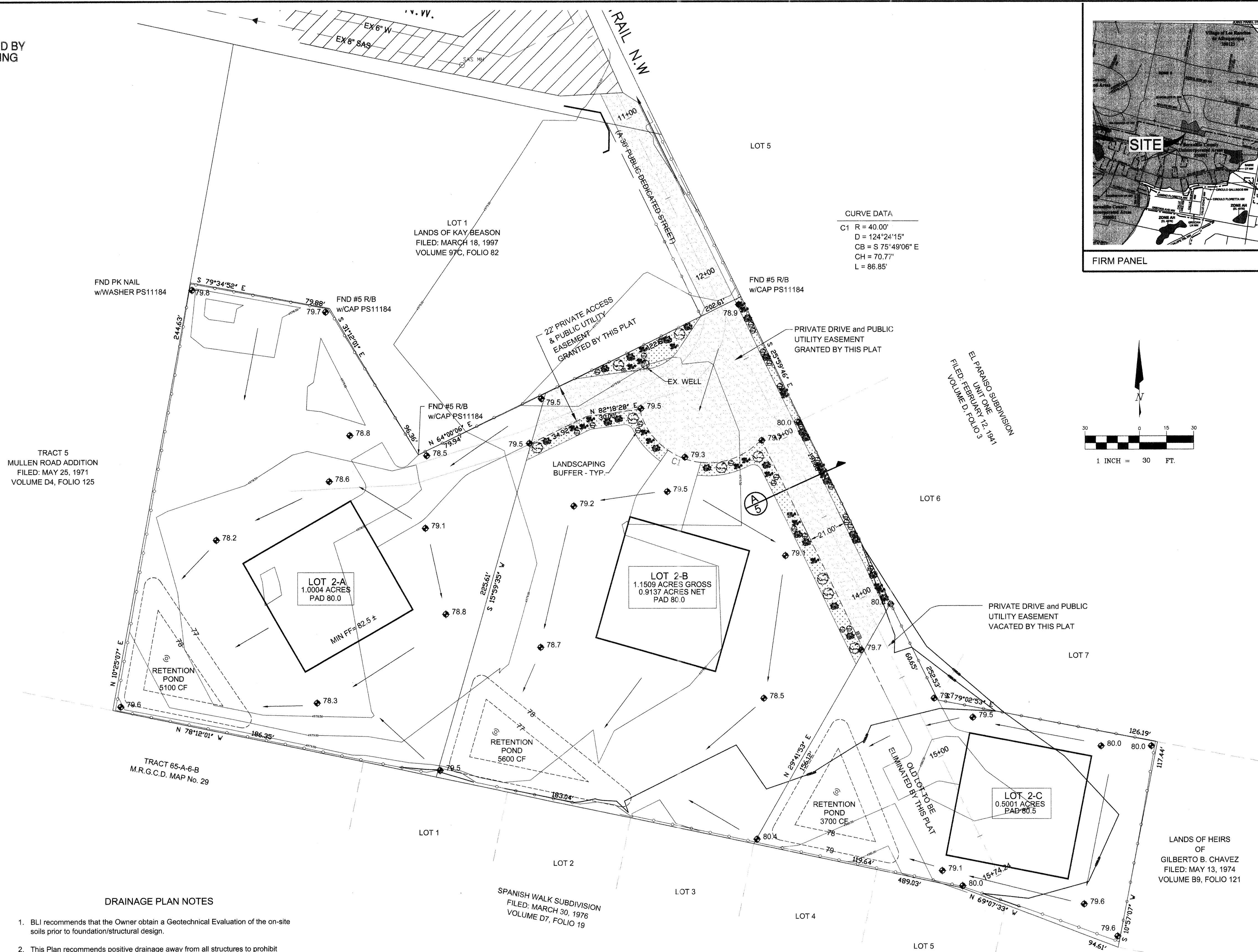
APPROVED:

ERRY MIGHREAS
VILLAGE OF LOS RANCHOS
DATE: 6-23-2006



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-6368 Fax: (505) 888-6186

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	APPROVED FOR CONSTRUCTION		
		DRC Chair	<i>William J. Balch</i>	11/8/2006	<i>Buddy L. Biffin</i> 11/9/07 City Engineer Date		
		Transportation	NA				
		Water/Wastewater	NA	6-5-06			
		Hydrology	NA				
		CIP					
		Const. Mgmt.					
		Const. Coord.					
		City Project No.	782081		Zone Map No. Sheet of E-14 1 6		



DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
- Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- The building pads shown on the plan are conceptual in geometry. Final site plans will be submitted at Building Permit application. Provided the Home Builder complies with the Grading and Drainage management criteria outlined on this plan a Drainage Plan Update will not be required as a condition of Building Permit approval.

LEGEND

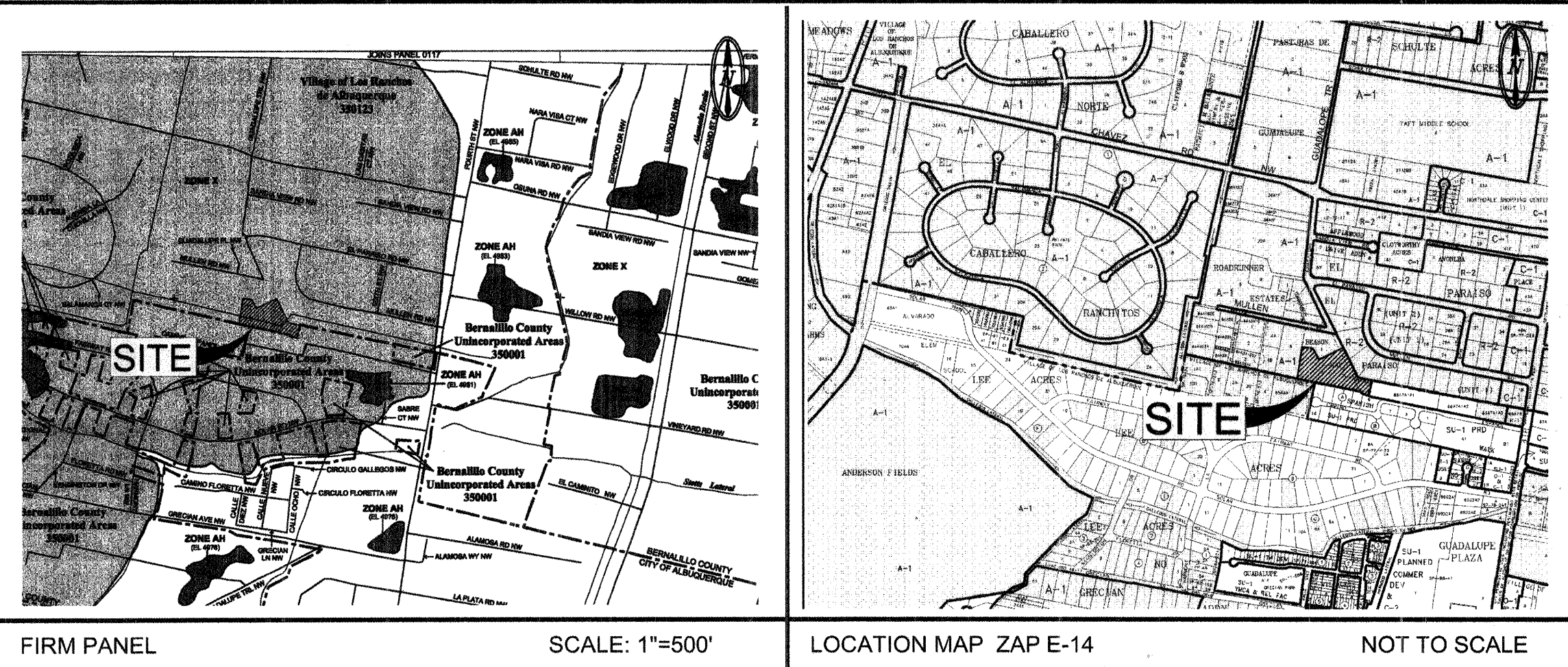
- 6001 — EXISTING CONTOUR ELEVATION
- 02.5 x — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- — — — — PROPERTY LINE
- 01.5 ♦ — PROPOSED SPOT ELEVATION
- — — — — DRAINAGE SWALE
- ✱ — NEW FIRE HYDRANT
- — — — — NEW WATERLINE
- — — — — NEW SEWER LINE
- — — — — NEW LANDSCAPING
- — — — — NEW GRAVEL PAVING

PROJECT DATA

PROPERTY ADDRESS
MULLEN ROAD NW

LEGAL DESCRIPTION
LOT 2, LANDS OF KAY BEASON
LOT 65-A-7-A-2-A
LANDS OF HEIRS OF GILBERTO CHAVEZ

MAPPING
SUBDIVISION BOUNDARY BY
HARRIS SURVEYING
DECEMBER 2005



GRADING & DRAINAGE PLAN

PURPOSE AND SCOPE

IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE FOR THE VILLAGE OF LOS RANCHOS, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DEVELOPED RUNOFF FROM THE PROJECT SITE. THE PROJECT CONSISTS OF THE SUBDIVISION OF THE PROPERTY INTO 3 RESIDENTIAL LOTS FROM 2 EXISTING PARCELS. PROPOSED SITE IMPROVEMENTS TO SUPPORT THE SUBDIVISION INCLUDE PAVING, UTILITY, LANDSCAPING, GRADING AND DRAINAGE IMPROVEMENTS.

EXISTING CONDITIONS

THE PROJECT SITE CONTAINS APPROXIMATELY 2.65-ACRES AND IS LOCATED AT THE SOUTH END OF GUADALUPE TRAIL NW, SOUTH FROM MULLEN ROAD NW. THE PROJECT SITE IS DESCRIBED AS LOTS 2 AND 3, LANDS OF KAY BEASON. THE SITE IS BOUNDED ON ALL SIDES BY DEVELOPED RESIDENTIAL PROPERTIES. THE SITE IS PRESENTLY UNDEVELOPED. AN EXISTING MOBILE HOME IS LOCATED ON THE WESTERN PORTION OF THE PROPERTY, AS ALLOWED BY A CONDITIONAL USE PERMIT. DUE TO THE EXTREMELY FLAT GRADIENTS, ALL ON-SITE RUNOFF PONDS ON-SITE IN A NATURAL DEPRESSION. NO OFF-SITE RUNOFF IMPACTS THE PROPERTY.

AS SHOWN BY THE FIRM PANEL FOR THIS AREA, THIS PROPERTY IS LOCATED WITHIN A DESIGNATED ZONE 'X' (500 YEAR) FLOOD HAZARD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE PLAN, THE PROPERTY IS TO BE SUBDIVIDED INTO 3 RESIDENTIAL LOTS FROM 2 EXISTING PARCELS. THE EXISTING MOBILE HOME LOCATED ON THE WEST PORTION OF THE PROPERTY WILL BE REMOVED PRIOR TO CONSTRUCTION ON LOT 2-A. ALL DRAINAGE FLOWS WILL BE MANAGED BY ON-SITE SWALES, CONVEYING RUNOFF TO ON-SITE RETENTION PONDS, SIZED TO RETAIN THE 100 YEAR, 10 DAY STORM. EACH POND WILL BE EQUIPPED WITH A FRENCH DRAIN TO ENCOURAGE PERCOLATION TO THE WATER TABLE.

WATER AND SEWER WILL BE EXTENDED TO THE PROPERTY FROM EXISTING LINES LOCATED IN GUADALUPE TRAIL AND MULLEN ROAD. THE PRIVATE ACCESS ROAD WILL BE PAVED WITH GRAVEL SURFACING.

THE PLAN SHOWS THE CONTOURS AND ELEVATIONS REQUIRED TO PROPERLY GRADE AND CONSTRUCT THE RECOMMENDED IMPROVEMENTS. FLOW ARROWS ARE GIVEN TO DEMONSTRATE THE DIRECTION OF DRAINAGE FLOWS, AND PROJECT HYDROLOGY IS GIVEN FOR BOTH EXISTING AND DEVELOPED CONDITIONS. THE BUILDING PAD ENVELOPES AND DRIVEWAY CONFIGURATION ARE CONCEPTUAL IN GEOMETRY. FINAL SITE PLANNING WILL BE SUBMITTED AT BUILDING PERMIT APPLICATION. PROVIDED THE HOME BUILDER COMPLIES WITH THE DRAINAGE MANAGEMENT CRITERIA OUTLINED ON THIS PLAN, A DRAINAGE PLAN UPDATE WILL NOT BE REQUIRED.

TEMPORARY EROSION CONTROL

TEMPORARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING CONSTRUCTION TO LIMIT THE DISCHARGE OF SEDIMENT FROM THE SITE TO ADJACENT PROPERTIES. THE CONTRACTOR(S) SHALL CONSTRUCT THE RETENTION POND(S) DURING THE INITIAL CONSTRUCTION PHASE TO PROVIDE STORAGE FOR EXCESS RUNOFF DURING CONSTRUCTION. SILT FENCING IS RECOMMENDED ALONG THE CONSTRUCTION BOUNDARIES. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES UNTIL COMPLETION OF ALL SITE PAVING, GRADING, DRAINAGE AND LANDSCAPING IMPROVEMENTS. PROJECTS DISTURBING MORE THAN 1.0 ACRES MUST COMPLY WITH THE EPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM REQUIREMENTS.

CALCULATIONS

THE CALCULATIONS SHOWN HEREON DEFINE THE 100-YEAR/6 HOUR DESIGN STORM IMPACTING THE SITE AND CONTRIBUTING OFF-SITE DRAINAGE BASINS UNDER EXISTING AND DEVELOPED CONDITIONS. THE AHYMO METHOD OF ESTIMATING PEAK RUNOFF IS PRESENTED AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, PART 'A', UPDATED JULY 1997.

PROJECT HYDROLOGY									
LANDS OF KAY BEASON									
AHYMO									
ZONE:	2								
P ₂₄ HOUR:	2.35								
P ₁₀ DAY:	3.95								
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
SITE	2.65	2.65	0.00	0.00	0.00	0.53	4.1	0.117	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
LOT 2A	1.00	0.00	0.80	0.20	0.14	1.06	2.8	0.088	
LOT 2B	1.15	0.00	0.58	0.44	0.13	1.07	3.3	0.103	
LOT 2C	0.50	0.00	0.23	0.13	0.14	1.25	1.6	0.052	
BASIN	VOL 10 DAY (ac-ft)	REQ. VOL (ac ft)	H (ft)	ACTUAL VOL (ac ft)					
LOT 2A	0.107	4661	1.50	5100					
LOT 2B	0.121	5271	1.50	5600					
LOT 2C	0.071	3093	1.50	3700					

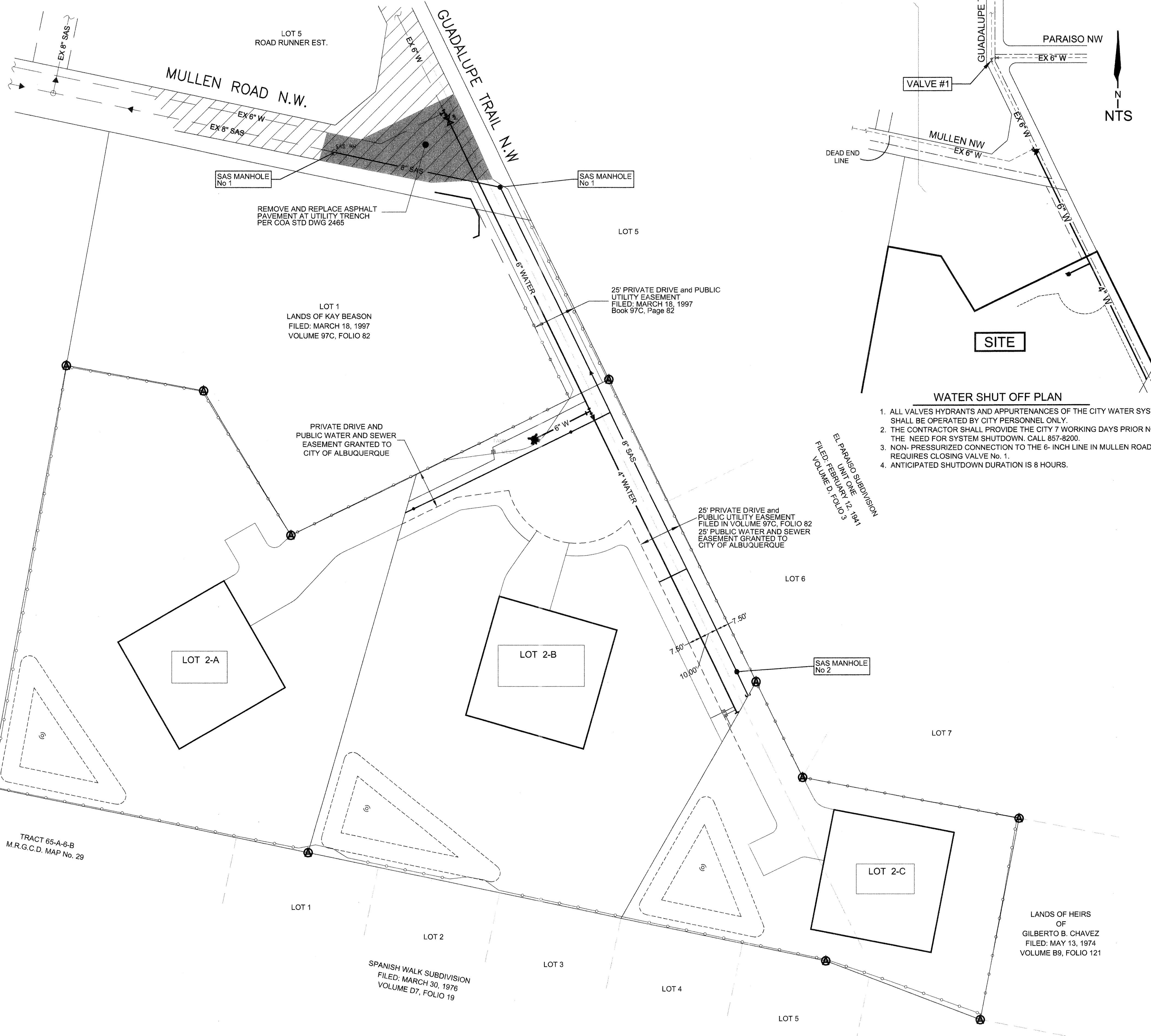
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 SAN PEDRO NE, BLDG 1, SUITE 1200
ALBUQUERQUE, NEW MEXICO 87110
PH: 505-888-6088 FAX: 505-888-6188



LANDS OF KAY BEASON GRADING & DRAINAGE PLAN

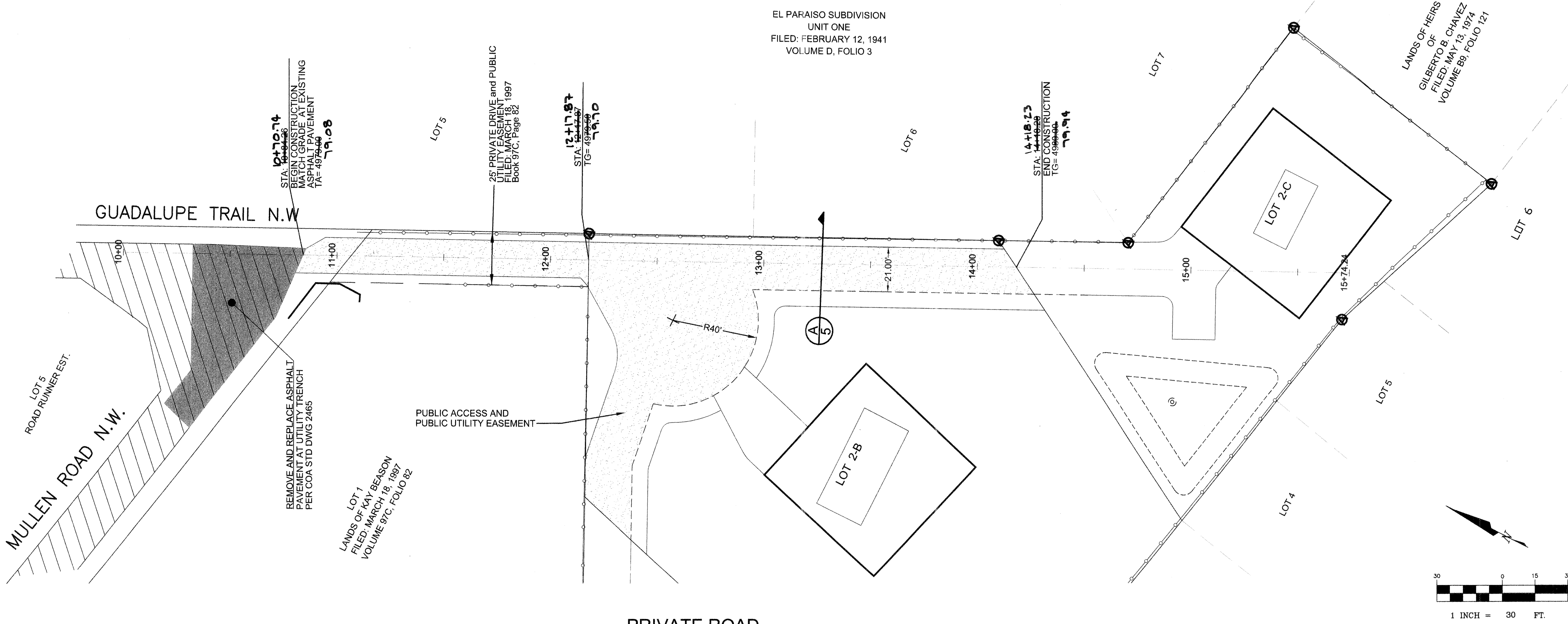
DRW: FG	TR:	01-09-2006
CKD: DAL	OK:	SCALE: 1"=30'
APP:	ACAD FILE:	
REV. NO.	05522.BASE.DWG	3-6

SCANNED BY
PLANNING

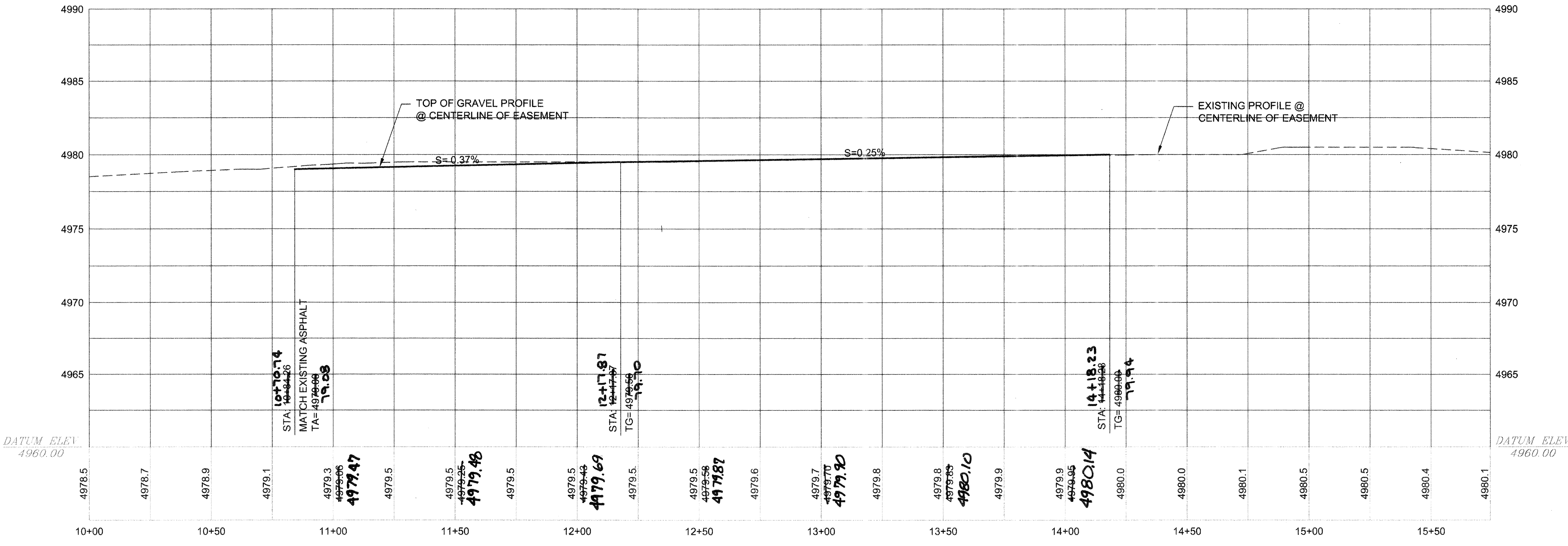
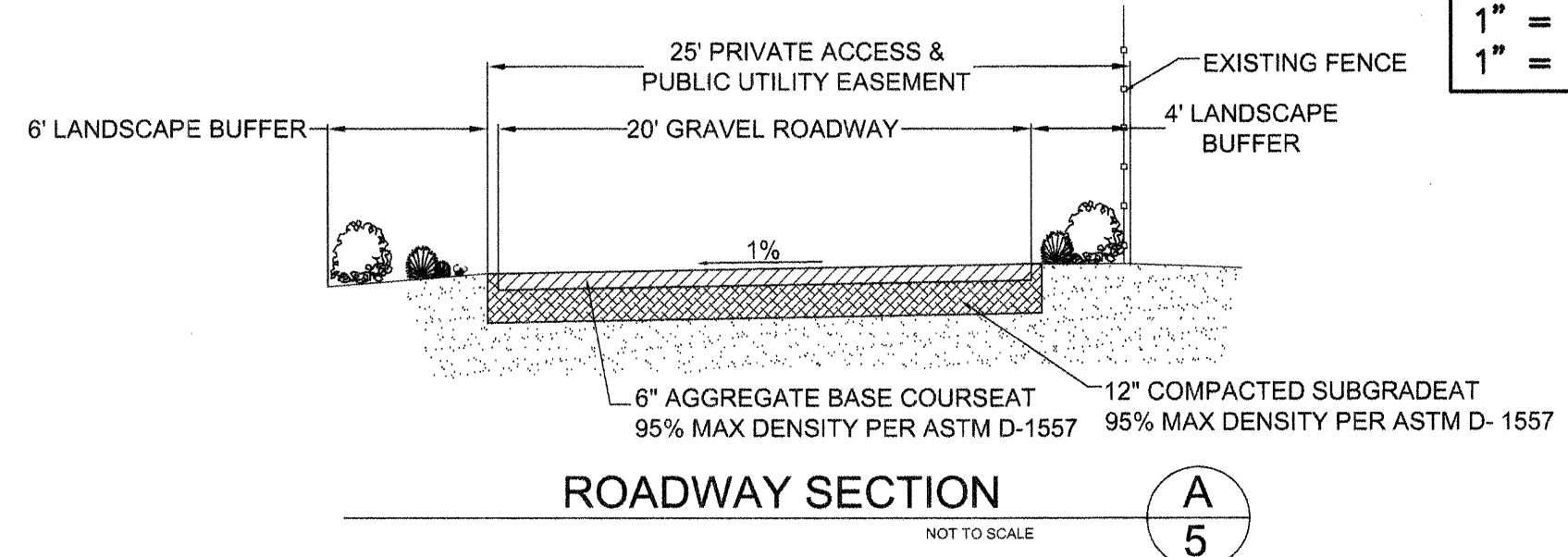


LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
AIR RELEASE		
FIRE HYDRANT		
VALVE		
3/4" METERED WATER SERVICE (SINGLE)		
3/4" METERED WATER SERVICE (DOUBLE)		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE		
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	× 16.7	16.7
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)		
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
RETAINING WALL		
FLOWLINE ELEV	EX FL 16.2	FL 16.2
FUTURE FLOWLINE ELEV (N.I.C)		FUT FL 16.2
FUTURE CURB AND GUTTER (N.I.C.)		
NEW GRAVEL PAVING		
ASPHALT REMOVE & REPLACE AT UTILITY TRENCH		

[illegible]



PRIVATE ROAD
STA 10+00 TO 15+74.24



LEGEND		
ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
AIR RELEASE		
FIRE HYDRANT		
VALVE		
3/4" METERED WATER SERVICE (SINGLE)		
3/4" METERED WATER SERVICE (DOUBLE)		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	x 16.7	16.7
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
RETAINING WALL		
FLOWLINE ELEV	EX FL 16.2	FL 16.2
EXISTING ASPHALT		
NEW GRAVEL PAVING		
ASPHALT REMOVE & REPLACE AT UTILITY TRENCH		

CONTRACTOR
Sundance
WORK
STARTED BY
DATE
ACCEPTANCE BY
DATE
FIELD CHECKED BY
DATE
DRAWINGS
CORRECTED BY
DATE
MICRO-FILM INFORMATION

STATION ACS 12-EIS
NM STATE PLANE COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927
ELEVATION = 4982.517 FEET (SLD 1929)

ENGINEER'S SEAL
A. LORENZ
REGISTERED PROFESSIONAL ENGINEER
NO. 10000
EXPIRATION DATE 12/31/2006

NOTES
1. ALL STATIONING IS BASED ON CENTERLINE OF EASEMENT UNLESS NOTED OTHERWISE

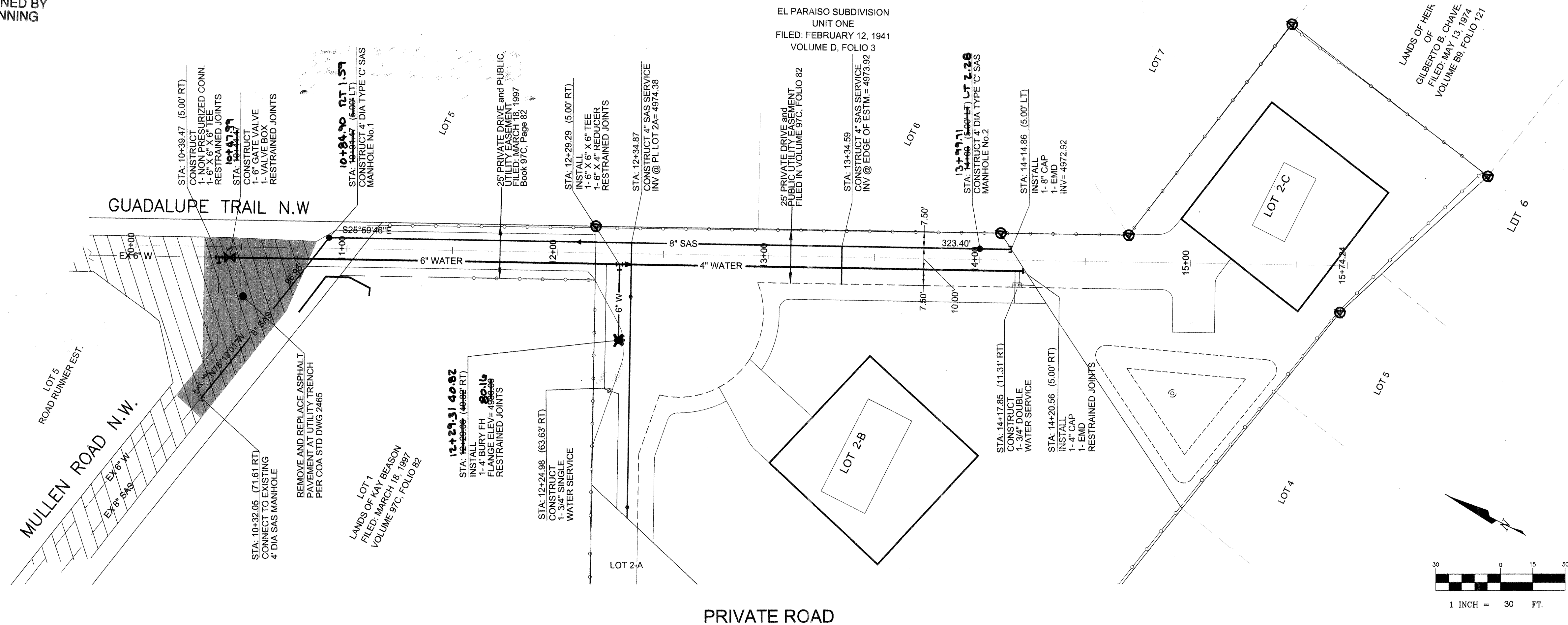
DATUM NGVD 1929
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-0088 Fax: (505) 888-6188

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
LANDS OF KAY BEASON
PRIVATE ROAD
STREET PLAN & PROFILE

Design Review Committee
APPROVED
AUG 8 2006
DESIGN REVIEW COMMITTEE

City Engineer Approval
APPROVED
JAN 19 2007
CITY ENGINEER

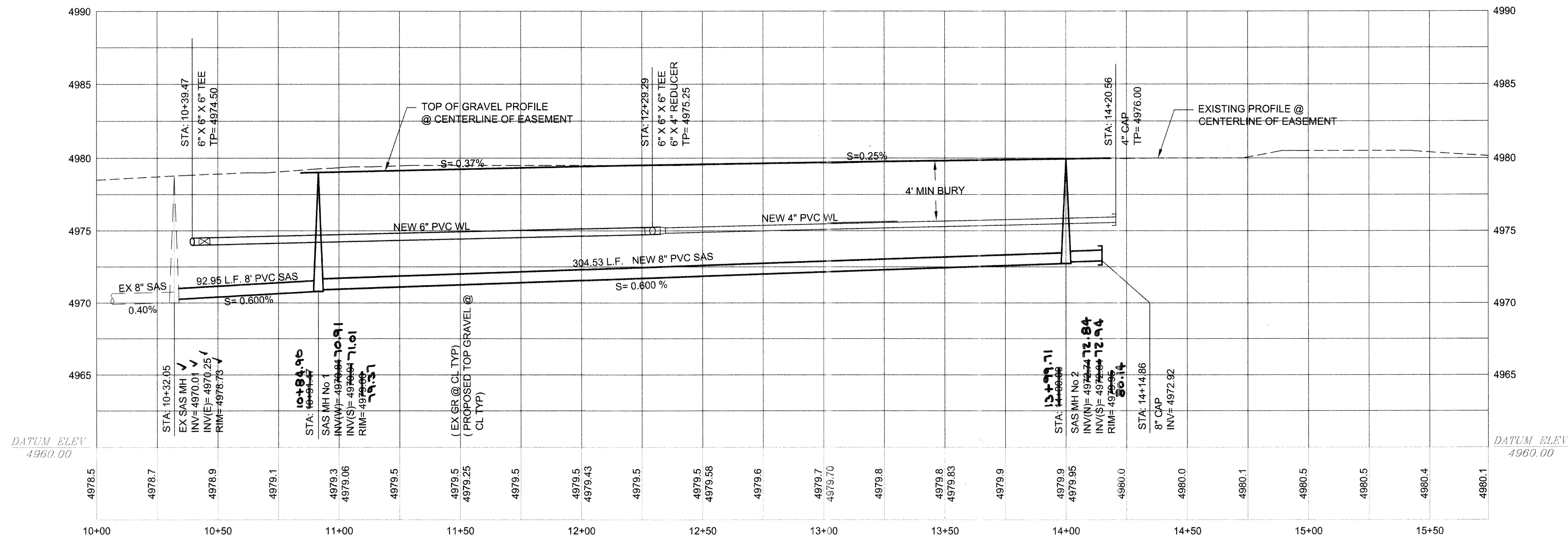
Mo./Day/Yr.
Mo./Day/Yr.
Last Design Update



PRIVATE ROAD

STA 10+00 TO 15+74.24

1" = 30' (H)
1" = 5' (V)



LEGEND

ITEM	EXISTING	PROPOSED
WATERLINE	6" W	6" W
SANITARY SEWER	8" SAS	8" SAS
STORM SEWER	36" STS	36" STS
FIRE HYDRANT		
AIR RELEASE		
FIRE HYDRANT		
VALVE		
3/4" METERED WATER SERVICE (SINGLE)		
3/4" METERED WATER SERVICE (DOUBLE)		
MANHOLE		
CURB AND GUTTER		
HEADER CURB		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE	OHE	OHE
UNDERGROUND ELEC, GAS, TEL, TV	UGT	UGT
CURB ELEVATIONS		
SPOT ELEV.	x 16.7	16.7
SEWER SERVICE		
RIGHT OF WAY		
EASEMENT		
POWER POLE (GUYED)	PP	PP
CENTERLINE		
TOP OF ASPHALT ELEV.	TA 16.2	TA 16.2
RETAINING WALL		
FLOWLINE ELEV	EX FL 16.2	FL 16.2
EXISTING ASPHALT		
NEW GRAVEL PAVING		
ASPHALT REMOVE & REPLACE AT UTILITY TRENCH		

AS-BUILT INFORMATION

CONTRACTOR	Sundance
WORK	AS-BUILT
STAMPED BY	AS
DATE	5/07
FIELD	AS
DATE	5/07
IN	AS
DATE	5/07
DRAWINGS	AS
CORRECTED BY	AS
DATE	5/07

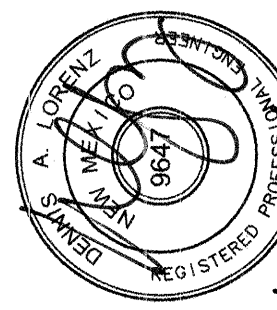
BENCHMARKS

STATION ACS 12- EIS	5/07
NM STATE PLANE COORDINATE SYSTEM	5/07
CENTRAL ZONE	5/07
NAD 1927	5/07
ELEVATION = 4982.517 FEET (SLD 1929)	5/07

SURVEY INFORMATION

FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL



NOTES

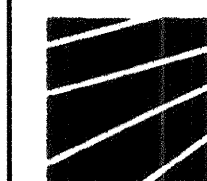
- ALL STATIONING IS BASED ON CENTERLINE OF EASEMENT UNLESS NOTED OTHERWISE
- CONTRACTOR SHALL INSTALL DUAL CHECK VALVES ON ALL WATER SERVICES PER SECTION 802-3-9
- PRIOR TO CONNECTING TO CITY WATER, ALL ON-SITE WELLS MUST BE DISCONNECTED FROM DOMESTIC SERVICE TO PREVENT CONTAMINATION OF THE CITY'S WATER SYSTEM
- ALL WATER SERVICES SHALL BE 3/4" PER COA STD DWG 2361 & 2362. ALL METER BOXES SHALL HAVE HEAVY DUTY BOXES AND LIDS PER COA STD DWG 2369.

RESTRAINED JOINTS LENGTH

- TEE BRANCH - EACH RUN PIPE SHALL BE MINIMUM 10" W/O JOINTS
- DISTANCE SHOWN IS IN EACH DIRECTION FOR VALVES AND BENDS
- ALL DEAD END CAPS SHALL BE BLOCKED

SIZE	90°	45°	22-1/2°	11 1/4°	TEE	VALVE
4"	21'	9'	5'	3'	21'	52'
6"	26'	11'	6'	3'	37'	74'
8"	31'	13'	7'	4'	54'	97'
10"	34'	15'	7'	4'	69'	107'
12"	54'	23'	11'	6'	85'	120'

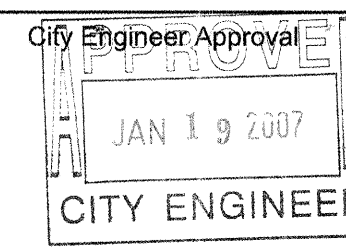
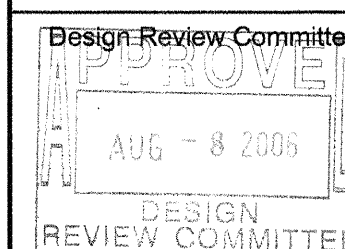
DATUM NGVD 1929



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 888-6088 Fax: (505) 888-6188

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **LANDS OF KAY BEASON**
PRIVATE ROAD
WATER AND SEWER PLAN AND PROFILE



Mo./Day/Yr.	
Mo./Day/Yr.	

City Project No. 782081

Zone Map No. E-14
Sheet 6 of 6