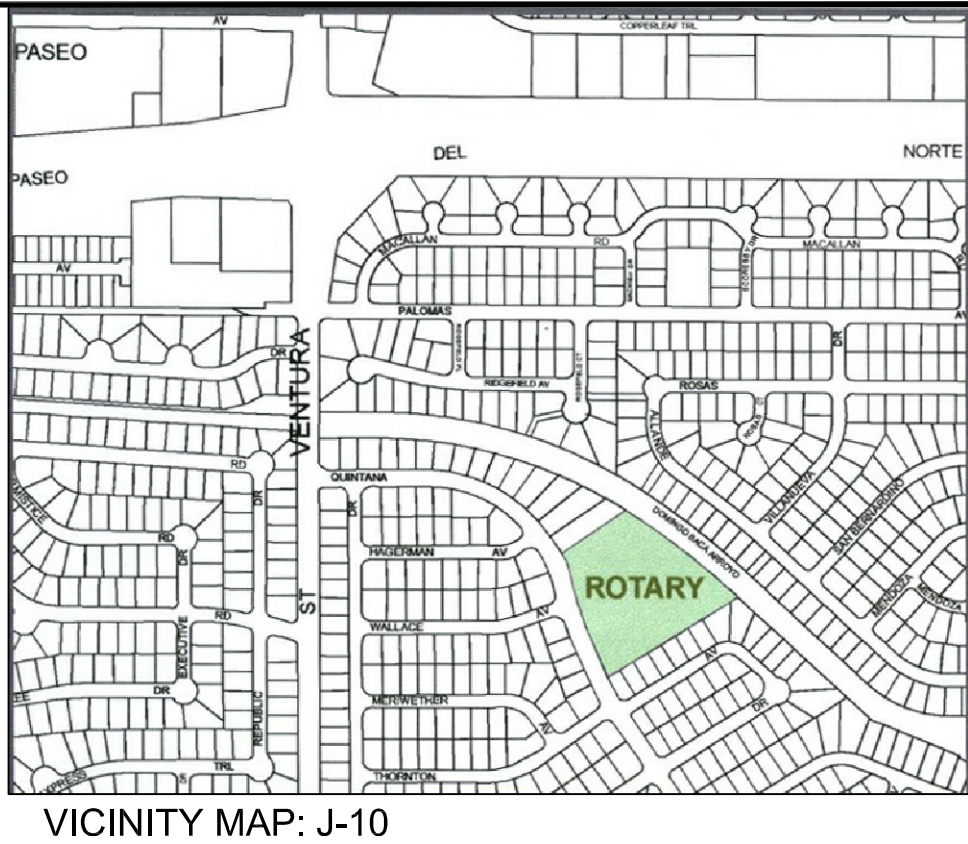


# Rotary Park

## Basketball Court Expansion & Shade Structure Addition



**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF MUNICIPAL DEVELOPMENT**  
Park Design & Construction Division

- Managing Department

May 01, 2008  
Parks & Recreation Department-Owner

### Property Information

Property Address: 7440 Quintana, NE  
Zone : R-D  
Park Acres: 4.789  
Total Turf Removed:  
Trees Added:

### Legal Description

Park Heritage East Unit 4A  
Replat of north. T. 4.7489 AC

### Index of Drawings

1. Cover Sheet
2. General Notes
3. Survey
4. Basketball Court Expansion - Demolition Plan
5. Shade Structure Construction and Demolition Plan
6. Basketball Court Expansion - Grading Plan
7. Basketball Court Expansion - Construction Plan-Basketball Court
8. Basketball Court Expansion - Irrigation Plan
9. Basketball Court Expansion - Planting Plan
10. Project Information Form

RECORD DRAWINGS JUNE, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.

UTILITY COMPANY CONTACTS

**CITY OF ALBUQUERQUE**  
**UTILITY DEVELOPMENT**  
P.O. Box 1293  
Albuquerque, New Mexico 87103  
(505) 768-2719

**PNM-ELECTRIC**  
4201 Edith Boulevard NE  
Albuquerque, New Mexico 87107  
(505) 241-0525

**PNM-GAS**  
4625 Edith Boulevard NE  
Albuquerque, New Mexico 87107  
(505) 241-7745

**CALL BEFORE YOU DIG!**

**STATEWIDE**  
**1-800-321-ALERT**  
**ALBUQUERQUE**  
**260-1990**

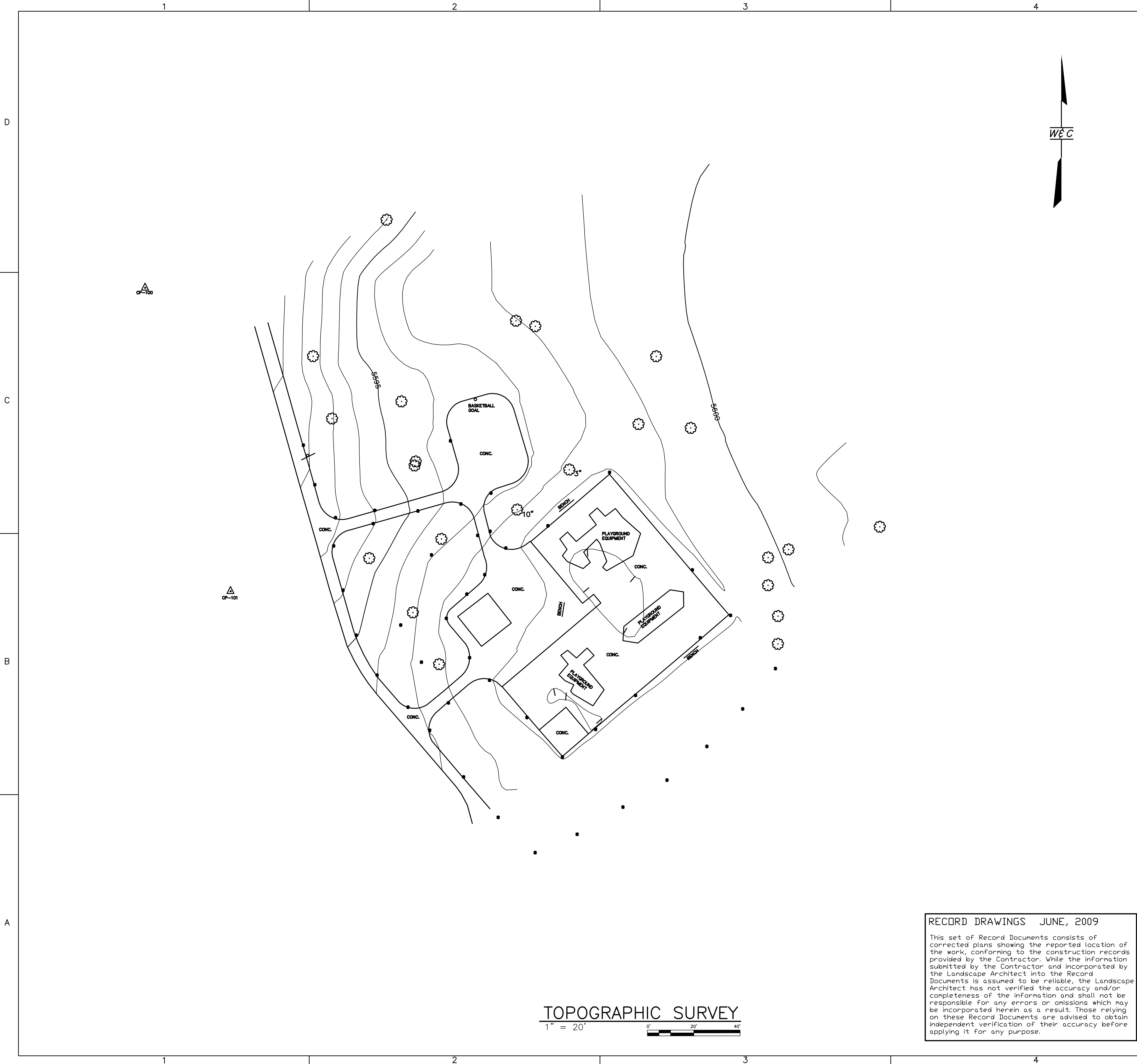
REV.	SHEETS	CITY ENGINEER	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVED	ENGINEER	DATE		
Date: May 01,2008		CITY PROJECT No. # 782192			SHEET 1 OF 10	



1. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.		2. THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE CITY SURVEY SECTION MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE FINISHED ELEV. OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, HAVE THE CITY SURVEY SECTION ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.	3. THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 7.	4. ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWG. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.	5. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.	6. ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.	7. SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER IS CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.	8. THE CONTRACTOR WILL REPLACE ANY STRIPING THAT HAS BEEN RUINED OR REMOVED IN THE COURSE OF CONSTRUCTION.	9. ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.	10. ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.	11. THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.	12. WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.	13. ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY.CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.	14. WHEN REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK IS REQUIRED, REMOVE BACK TO NEAREST SUITABLE JOINT UNLESS OTHERWISE DIRECTED BY THE CITY FIELD ENGINEER.	15. THE CONTRACTOR WILL NOTIFY THE NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.	16. CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.	17. CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.	18. ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.	19. CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.	20. CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.	21. ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.	22. MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.	23. MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.	24. THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.	25. ALL STRUCTURAL CONCRETE WILL BE 3000 PSI UNLESS OTHERWISE NOTED ON PLANS.	26. ALL REINFORCING STEEL WILL BE GRADE 60.	27. ALL EXPOSED EDGES ON CAST-IN-PLACE CONCRETE STRUCTURES WILL HAVE A 1" CHAMFER UNLESS OTHERWISE NOTED.	28. ALL SPLICES IN REINFORCING STEEL TO BE 2-FOOT 6-INCH MINIMUM UNLESS OTHERWISE NOTED.	29. PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.	30. THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.	31. TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.	32. THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 857-8025, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.	33. ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.	34. PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.	35. ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.	36. THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.	37. ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CITY OF ALBUQUERQUE PRIOR TO THE BEGINNING OF CONSTRUCTION.	38. EXISTING MEDIAN CURB AND GUTTER AND STANDARD CURB AND GUTTER, NOT DISTURBED BY CONTRACTOR, BUT OUT OF ALIGNMENT, DISPLACED VERTICALLY, BADLY BROKEN AND/OR DETERIORATED, WILL BE REPLACED AS DIRECTED BY THE FIELD ENGINEER AND PAID FOR AT CONTRACT UNIT PRICES.	39. ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DRIVEWAY CLOSURES, UTILITY CONSTRUCTION OR FOR OTHER REASONS AND NOT SHOWN ON THE SIGNING PLANS WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.	40. ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES AND THESE SHORING, SHEETING, AND SUPPORTS ARE CONSIDERED INCIDENTAL TO THIS PROJECT. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.	41. THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.	42. ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.	43. STATIONS OF STORM DRAIN INLETS ARE TO THE CENTER OF GRATE. ALL STORM DRAIN INLETS WILL BE TYPE "A" UNLESS OTHERWISE NOTED ON THE PLANS.	44. SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.	45. THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.	46. ALL STORM DRAIN AND CONNECTOR PIPE WILL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.	47. THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.	48. CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVED CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.	49. CONTRACTOR WILL CONSTRUCT TEMPORARY ASPHALT PAVEMENT AS DIRECTED BY THE FIELD ENGINEER TO PROVIDE ACCESS TO LOCAL BUSINESS, ETC. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF PRIOR TO PLACEMENT OF FULL WIDTH PAVEMENT SECTION. TEMPORARY PAVING SHALL BE PER COA STD. DWG. 2415 AND PAID FOR PER COA STD. SPECIFICATIONS.	50. ALL CLASSES OF SEEDING SHALL BE DRY LAND MIX PLACED AT 1.5 LBS/1000 S.F. WITH FERTILIZER 21-12-12 PLACED AT 5 LBS/1000 S.F.	51. ALL ASPHALTIC CONCRETE SHALL BE MINIMUM 1800 LB. STABILITY AND COMPACTED TO 95% MODIFIED MARSHALL DENSITY UNLESS OTHERWISE NOTED ON THE PLANS.	52. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.	53. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.	54. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN.	55. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.	56. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.	57. CONTRACTOR SHALL ERECT TEMPORARY CHAIN LINK CONSTRUCTION FENCE. SUCH FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD AND REMOVED ONLY UPON FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.	58. QUANTITIES PROVIDED ON THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE IN ALL CASES.	AS-BUILT INFORMATION	BENCH MARKS	SURVEY INFORMATION	ARCHITECTURAL SEAL	REVISIONS	REMARKS	NO.	DATE	BY	NO.	DATE	BY	DESIGNED BY	DRAWN BY	CHECKED BY	DATE	DATE	DATE	DATE	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	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GENERAL SURVEY NOTES

1. FIELD SURVEY PERFORMED ON MARCH 2007.
2. HORIZONTAL DATUM:  
COORDINATES ARE MODIFIED GROUND COORDINATES  
BASED ON NAD27, NEW MEXICO CENTRAL ZONE.  
CGGf: 1.0003546174
3. VERTICAL DATUM:  
NGVD29

PRIMARY BENCHMARK:

Control Station "ACS 13-D21" data:  
A standard City of Albuquerque 3" brass tablet,  
stamped "ACS BM, 13-D21", SE corner of  
Barstow St. & San Francisco St.,  
(Central Zone)  
X=418,191.098  
Y=1,514,547.156  
ELEV=57170.08' (NAVD 29)  
GROUND-TO-GRID FACTOR=1.0003546174

CONTROL POINT DATA:  
CONTROL POINT 100:  
N: 1517806.252  
E: 513961.513  
ELEV: 5589.32  
DESCRIPTION: REBAR w/ALUM CAP

CONTROL POINT 101:  
N: 1517675.318  
E: 413998.367  
ELEV: 5591.459  
DESCRIPTION: REBAR w/ALUM CAP

SYMBOL LEGEND:

- |  |                      |
|--|----------------------|
|  | SIGN                 |
|  | TREE                 |
|  | SPRINKLER HEAD       |
|  | SPOT ELEVATION       |
|  | INDEX CONTOUR        |
|  | INTERMEDIATE CONTOUR |
|  | DEPRESSION CONTOUR   |
|  | LOCATED OBJECT       |
|  | CONTROL POINT        |

**WILSON  
& COMPANY**  
4900 Lang Avenue NE  
Albuquerque, NM 87109  
Phone: (505) 348-4000

CONSULTANTS

SEAL

PROJECT NAME  
ROTARY PARK  
CITY OF ALBUQUERQUE  
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NO:  
06-300-147-05  
DRAWN BY: AMT  
CHECKED BY: CSC  
SHEET TITLE

TOPOGRAPHIC  
SURVEY

V-101

SHEET 3 OF 10

RECORD DRAWINGS JUNE, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.

SURVEYOR'S CERTIFICATE:

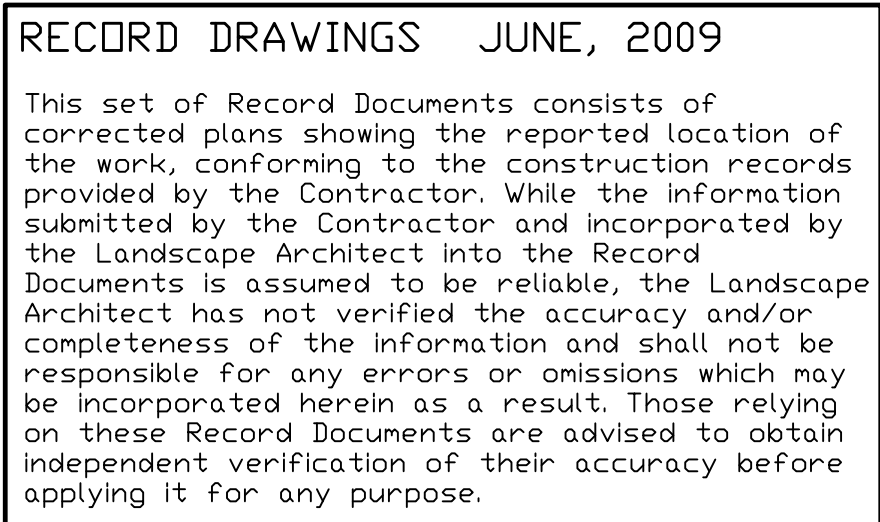
I, CHRISTOPHER S. CROSHAW, NEW MEXICO PROFESSIONAL SURVEYOR NO. 14733, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

CHRISTOPHER S CROSHAW NMPS 14733

DATE



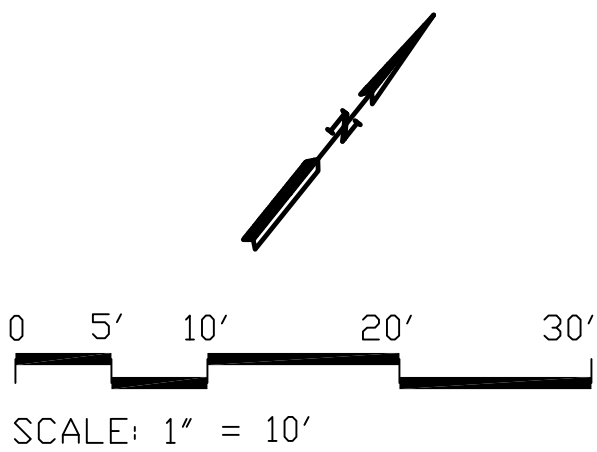





REPAIR TURF DAMAGED DURING CONSTRUCTION.  
TAKE CARE TO MINIMIZE IMPACT

1	INSTALL LITCHFIELD-GABLE METAL SHELTER 16X24X8H, HUNTER GREEN ROOF WITH BLACK FRAME 8316P	7	OMIT TREE CUT OUT AND REPLACE WITH NEW CONCRETE PAD. CAP IRRIGATION LINE OUTSIDE LIMITS OF PLAY AREA.
2	POUR NEW 4'x6' CONCRETE PAD AND INSTALL NEW SURFACE MOUNT BENCH LOCATE CONCRETE PAD ADJACENT TO CONCRETE EDGER AND BETWEEN SPRINKLER HEADS. BENCH TO BE DUMOR RECYCLED PLASTIC BENCH 6' SURFACE MOUNT. GRAY SLATS WITH BLACK FRAME 154-60PL..	8	REMOVE BENCH AND ADD LEG EXTENSIONS AND REINSTALL, SEE KEYED NOTE # 9.
3	INSTALL DUMOR RECYCLED PLASTIC TABLES 6' SURFACE MOUNT. GRAY SLATS WITH BLACK FRAME 100-60PL.	9	REINSTALL EXISTING BENCH AND ADD LEG EXTENSION.
4	REPLACE EXISTING 4'x4' TABLE. TABLE TO BE DUMOR RECYCLED PLASTIC TABLE 4'x4' SURFACE MOUNT. GRAY SLATS WITH BLACK FRAME 63-128-34.	10	REMOVE AND REPLACE EDGER WALL WITH TURNDOWN CITY STD. #2728
5	INSTALL MCCLINTOCK RSO-25, GREEN TRASH RECEPTACLE.	11	REMOVE AND DISPOSE OF WOOD BENCH AND CONCRETE PAD.
6	REMOVE AND REINSTALL EXISTING 16' X 16' SHADE STRUCTURE.	12	REINSTALL EXISTING TRASH RECEPTACLE.

Figure 1 is a plan view of a rectangular concrete slab. The slab is divided into four equal-width sections by three vertical expansion joints. Each section is 12'-6" wide. The joints are 1'-6" apart. The slab has three horizontal control joints. A central square area contains a column. A hatched rectangular area is labeled "BENCH". Dimensions are given for sections (12'-6") and joints (1'-6"). Labels indicate "REMOVE AND DISPOSE CONCRETE AT NEAREST CONTROL JOINT", "LIMITS OF CONSTRUCTION", "REMOVE AND REINSTALL CONCRETE PAD", "ADD EXPANSION JOINT", "ADD CONTROL JOINT", and "ADD CONTROL JOINT".





**CITY OF ALBUQUERQUE**

**PARK DESIGN AND CONSTRUCTION DIVISION**

**DEPARTMENT OF MUNICIPAL DEVELOPMENT**

**ROTARY PARK**

**Shade Structure Addition**

**Construction and Demolition Plan**

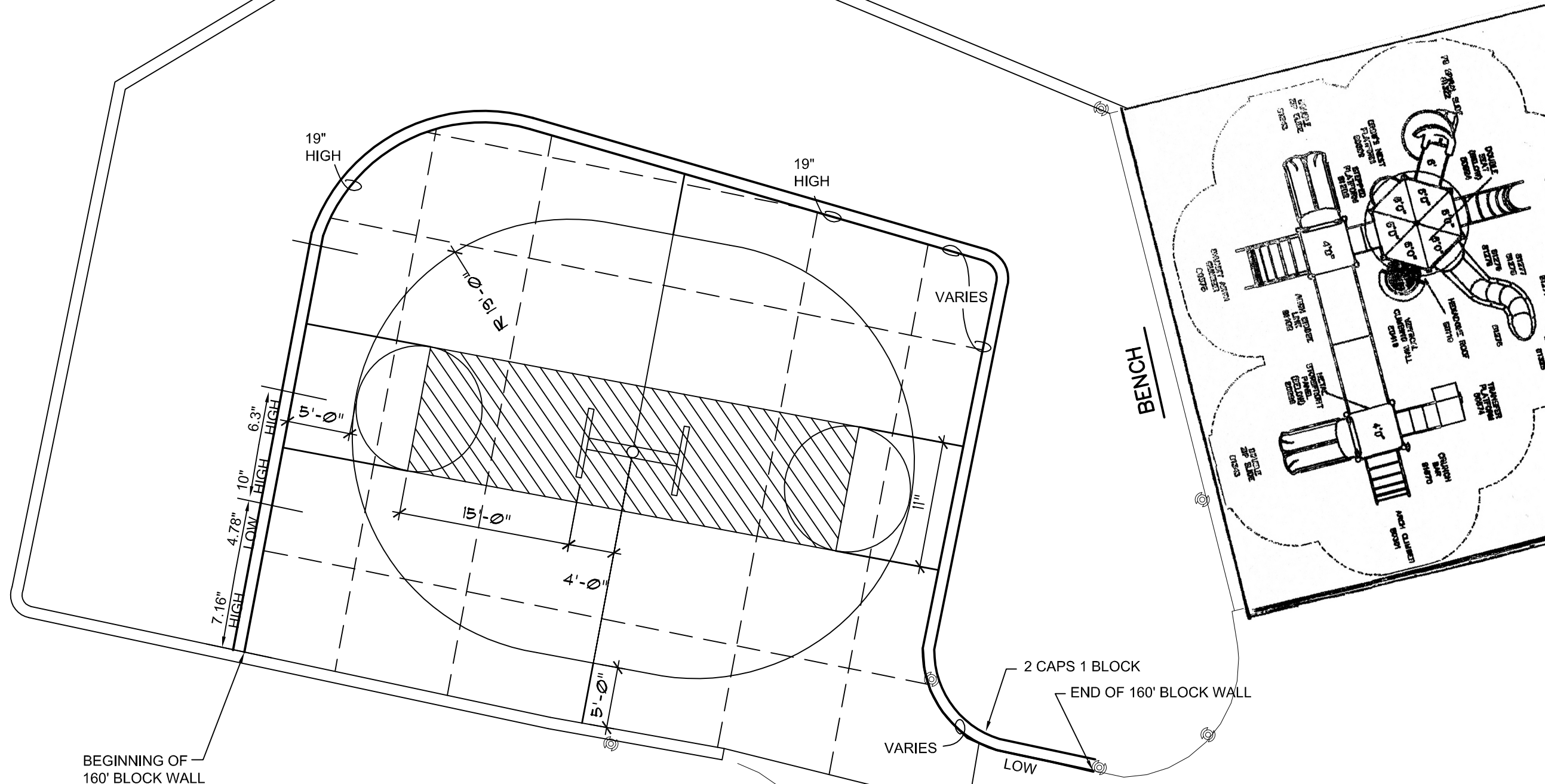
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet		
782192	D-20	5	OF 10	




[illegible]



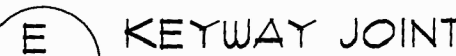




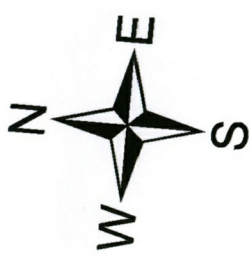


 SAW CUT JOINT  
 KEY KOLD JOINT  
 GREEN STAIN CONCRETE

1. WHITE LINES @ 2 1/4" WIDTH
2. CAPS - 3 5/8"
3. 3000 PSI CONCRETE



This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information contained herein is believed to be incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on the information herein are advised to obtain independent verification of their accuracy before applying it for any purpose.

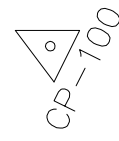
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PROJECT# 782192

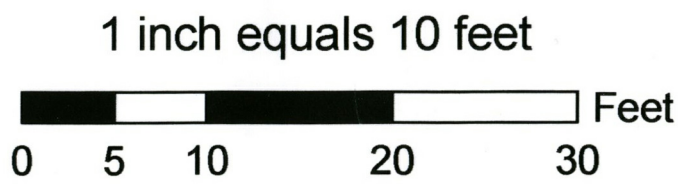
# Rotary Park Basketball Court Expansion

FINAL FOR CONSTRUCTION





This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect in the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be made or omissions which may be made in relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.



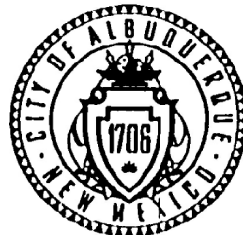
Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE









City of Albuquerque  
Martin J. Chavez, Mayor

Department of Municipal Development  
John R. Castillo, P.E., Director

### Project Information Form

Date:   
To: Jeff Hart, Superintendent, Park Management, Parks & Recreation Department (PRD)  
From: John Casados, Construction Manager, Park Design & Construction, DMD  
Subject: Rotary Park Shade Structure - Substantial Completion -  
PRD, Park Management Division Accepts Maintenance Responsibility

As of (date):   
Project ID#: 78219-2  
Name of Facility: Rotary Park Shade Structure  
Address: 7725 Quintana NE CD: 4  
Albuquerque, NM Park Zoning: R-D

... is officially assigned to the Park Management Division, Parks & Recreation Department, City of Albuquerque for maintenance. Outlined below is a description of work completed:

► Renovation      Developed

#### Detailed Park Summary Information:

Total Park Acreage: 4.789 acres  
Acres Developed or Renovated: 10,800 sf approximately

#### Description of Project:

Rotary Park Shade Structure

Effective date:   
NO MORE CHARGES for new water, electric and gas  
...will be accepted by the contractor: City of Albuquerque, DMD, Class II City Crews  
...are to occur against activity numbers: 7294140

Water Meter Reading: n/a Electric Meter Reading: n/a Gas Meter Reading: n/a  
Water Meter Number: n/a Electric Meter Number: n/a Gas Meter Number: n/a

#### Warranty and Vendor Information:

The following is a listing of all labor, vendors and product warranties pertaining to project: **Rotary Park/Shade Structure and Basketball Addition.**

During the first year all calls regarding warranty information will go to the contractor. After one year calls regarding warranty go directly to the vendor.

Contractor: City of Albuquerque, DMD, Class II City Crew  
Contact Name: John Casados, Park Design and Construction  
Phone: (505) 857-8664  
Warranty: 1 yr  
One (1) year labor and materials  
Consultant: n/a  
Contact Name: n/a  
City of Albuquerque Project Manager: CKF, Park Design and Construction  
Phone: (505) 768-3815  
There's no warranty with consultant  
Play Equipment Inspection and Audit Information:  
Vendor:  
Inspector:  
Inspector Date:  
Phone:

Vendor: Triple M Recreation  
Phone: (505) 899-6892  
Application: Litchfield Site Furnishings  
Product: Shade Structure Pittsburgh Cable 16"x24"  
Model#: 8316s  
Manufacture structural warranty: 10 yrs.  
Vendor: Exerplay Inc.  
Phone: 281-0151  
Application: DuMor Site Furnishings  
Product: Picnic Table - 2 table, 1 ADA  
Model#: 100-60pl and 100-68-1PL  
Manufacture structural warranty: 1 yr  
Vendor: Bearsaver Inc.  
Phone:  
Application: Trash Receptacles  
Product: McClintock  
Model#: RSO 25  
Manufacture structural warranty: 1 yr  
Vendor: Exerplay Inc.  
Phone: 281-0151  
Application: DuMor Site Furnishings  
Product: 6' Benches - 2  
Model#: 154-60  
Manufacture structural warranty: 1 yr.

Other amenities  
Retaining Wall at basketball court

The DMD, Project Manager from Park Design and Construction Division for this Capitol Project, **Rotary Park / Shade Structure Addition**, Colleen K. Frenz

Colleen Frenz

#### Other Documents

##### Punchlist Complete Data:

- ☐ Water bill showing paid
- ☐ Electric bill showing paid
- ☐ Irrigation water audit
- ☐ Backflow Prevention audit/test
- ☐ Playground audit
- ☐ Record Drawings
  - Red Line markups
  - CD (3 copies)
- ☐ 11'x17' laminated irrigation layout plan and irrigation schedule
- ☐ Manuals/maintenance documents
  - Lights
  - Play equipment
  - Site Furnishings
- ☐ Shade Structure engineered drawings
- ☐ Maintenance kits
  - Keys (gates, trash receptacles, information boards, electrical boxes, controllers, hotheboxes, mutt mits)
  - Tools
  - Touch up paint
- ☐ Assembly instructions
  - Benches
  - Tables
  - Play instructions
  - Shade Structures

Park Design and Construction Date

Park Design and Construction Date

Email copies to:  
jvhart@caba.gov, szuschlag@caba.gov, yvonne@caba.gov, cfrenz@caba.gov, jcasados@caba.gov,  
rlstrem@caba.gov, jeffhart@caba.gov, Rcabaldon@caba.gov, DFlores@caba.gov, cmsamdoval@caba.gov

Project Name: Rotary Park				
Amenities	Total Existing	# Removed	#Added	Current Total
Backstops				
Baseball Fields (Lit)				
Basketball Courts (Full)				
Basketball Courts (Half)	1	1	1	1
BBQ Grills				
Benches	3	3	3	3
Bike Racks	0	0	1	1
Bleachers				
Concrete Sidewalks				
Crusher Fines/Trail/Distance				
Diggers				
Exercise Stations				
Fence (LF/Height)				
Chain Link Fence				
Modular Skate Facility				
Mutt Mitt Box				
Parking Spaces				
Parking Spaces (ADA)				
Pedestrian Bridge				
Picnic Tables	1	1	3	(2) 6' and (1) 4'x4'
Play Areas	1	0	0	1
Play Structures (2 to 5 yrs)	1	0	0	1
Play Structures (5 to 12 yrs)	1	0	0	1
Pools (Indoor)				
Pools (Outdoor)				
Recreation Facilities				
Shade Structures	1	0	1	2
Tennis Courts (Lit)				
Tennis Courts (Unlit)				
Trash Receptacles	2	2	1	3
Turf Acres				
Visitor Center				
Volleyball Courts				
Walking Paths (LF)				
Youth Baseball Fields				
Stone Paving				



CITY OF ALBUQUERQUE  
PARK DESIGN AND CONSTRUCTION DIVISION  
DEPARTMENT OF MUNICIPAL DEVELOPMENT

### ROTARY PARK Basketball Court Expansion Final Acceptance Form

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 782192		Zone Map No. D-20		Sheet 10 OF 10

RECORD DRAWINGS  
May 01, 2008

Rotary Park  
Basketball Court Expansion

PROJECT# 782192

FINAL FOR CONSTRUCTION