

VICINITY MAP ZONE ATLAS MAP E-19-Z NTS

LEGAL DESCRIPTION

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 30, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF TRACT A-1-A, LANDS OF LUTHERAN CHURCH IN AMERICA, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2015 IN PLAT BOOK PAGE AND CONTAINING 2.1514 ACRES MORE OR LESS.

SUBDIVISION DATA

GROSS ACREAGE 2.1514 AC
NO. OF LOTS CREATED 21 LOTS
NO. OF TRACTS CREATED 0 TRACTS
AREA OF RESIDENTIAL 1.6299 AC
ZONE ATLAS NO. E-19-Z
DATE OF SURVEY JUNE, 2015
MILES OF FULL WIDTH STREETS CREATED 0.08 MILES
AREA OF PUBLIC RIGHT-OF-WAY DEDICATED 0.5215 AC

PURPOSE OF PLAT

- SUBDIVIDE TRACT A-1-A, LANDS OF LUTHERAN CHURCH IN AMERICA, INTO 21 RESIDENTIAL LOTS.
- DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON.
- GRANT NEW EASEMENTS AS SHOWN ON HEREON.

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ● SHALL BE A SET #4 REBAR WITH YELLOW PLASTIC CAP "N.M.P.S. 11993".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS, ▲ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
N.M.P.S.#11993
- FIELD SURVEY PERFORMED IN JUNE, 2015.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: SU-1
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, AS SHOWN ON PANEL 141, OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008.
- ADDRESS OF PROPERTY: 6901 WYOMING BOULEVARD NE, ALBUQUERQUE, NM 87109
- TITLE REPORT PROVIDED BY: STEWART TITLE OF ALBUQUERQUE, LLC, FILE NO.: 01147-19002 (EFFECTIVE DATE: MARCH 30, 2015).

BENCHMARK
AGRS MONUMENT "25-E18"
Elevation (in feet)=5339.186
(NAVD88)

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 96006
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

OWNERS

HOLY CROSS LUTHERAN CHURCH
6901 WYOMING BLVD NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 821-4676

Owner: Holy Cross Lutheran Church
Joseph A. Poppe Jr., President of Church Council
DATE 8-13-15
Soren M. Rasmussen, P.S. 9/17/15
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.
DATE

FOR INFORMATION ONLY

BENCHMARK
AGRS MONUMENT "25-E18"
Elevation (in feet)=5339.186
(NAVD88)

SCALE: 1" = 30'

- ### EASEMENTS
- EXISTING 7' UNDERGROUND TELEPHONE EASEMENT (12-21-1987, BOOK MISC 569, PAGE 980)
 - EXISTING 7' PUE (09-22-1976, D7-62)
 - EXISTING 10' PUE (09-22-1976, D7-62)

- EXISTING 20' COA WATERLINE EASEMENT (03-26-1985, C26-162)
- EXISTING 25' COA DRAINAGE EASEMENT (03-26-1985, C26-162)
- EXISTING 7' PUE (03-26-1985, C26-162)

PRELIMINARY PLAT FOR
TRACT A-1-A
LUTHERAN CHURCH IN AMERICA
WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 30
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2015

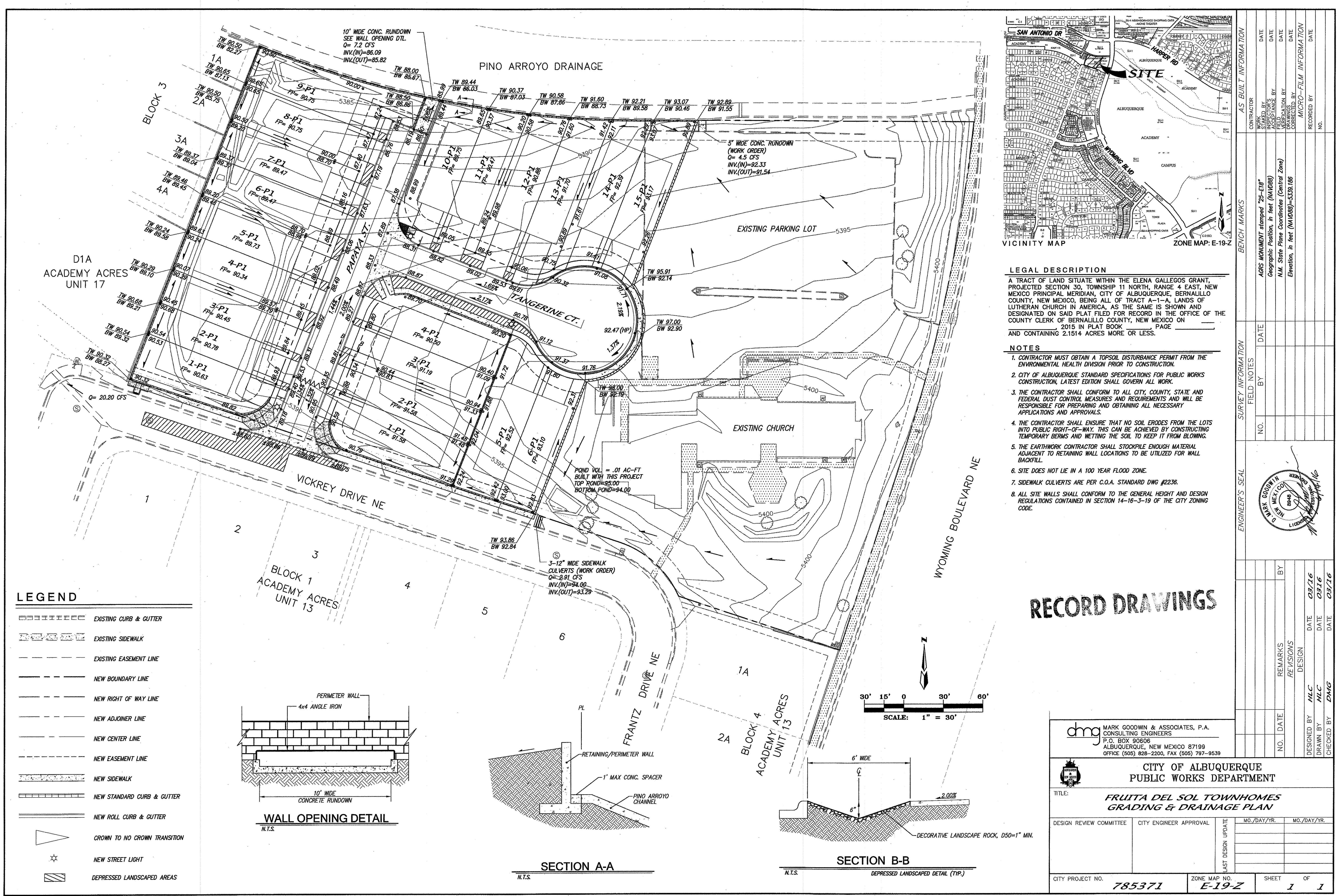
AGRS MONUMENT
"5-E19"
N=1513445.089
E=1550382.301
G=0.99965113
Az=0010724.61°
CENTRAL ZONE
(NAD83)

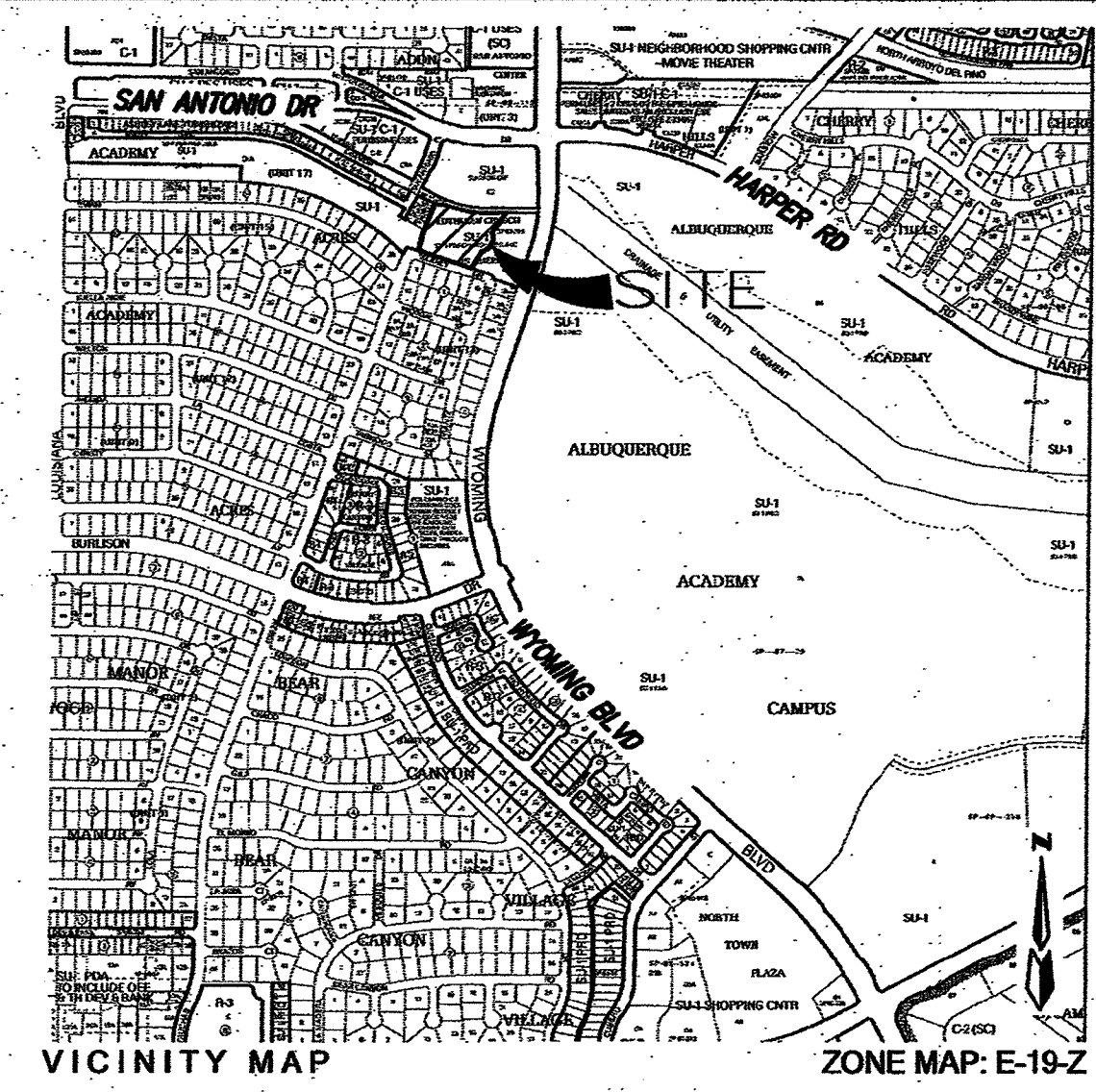
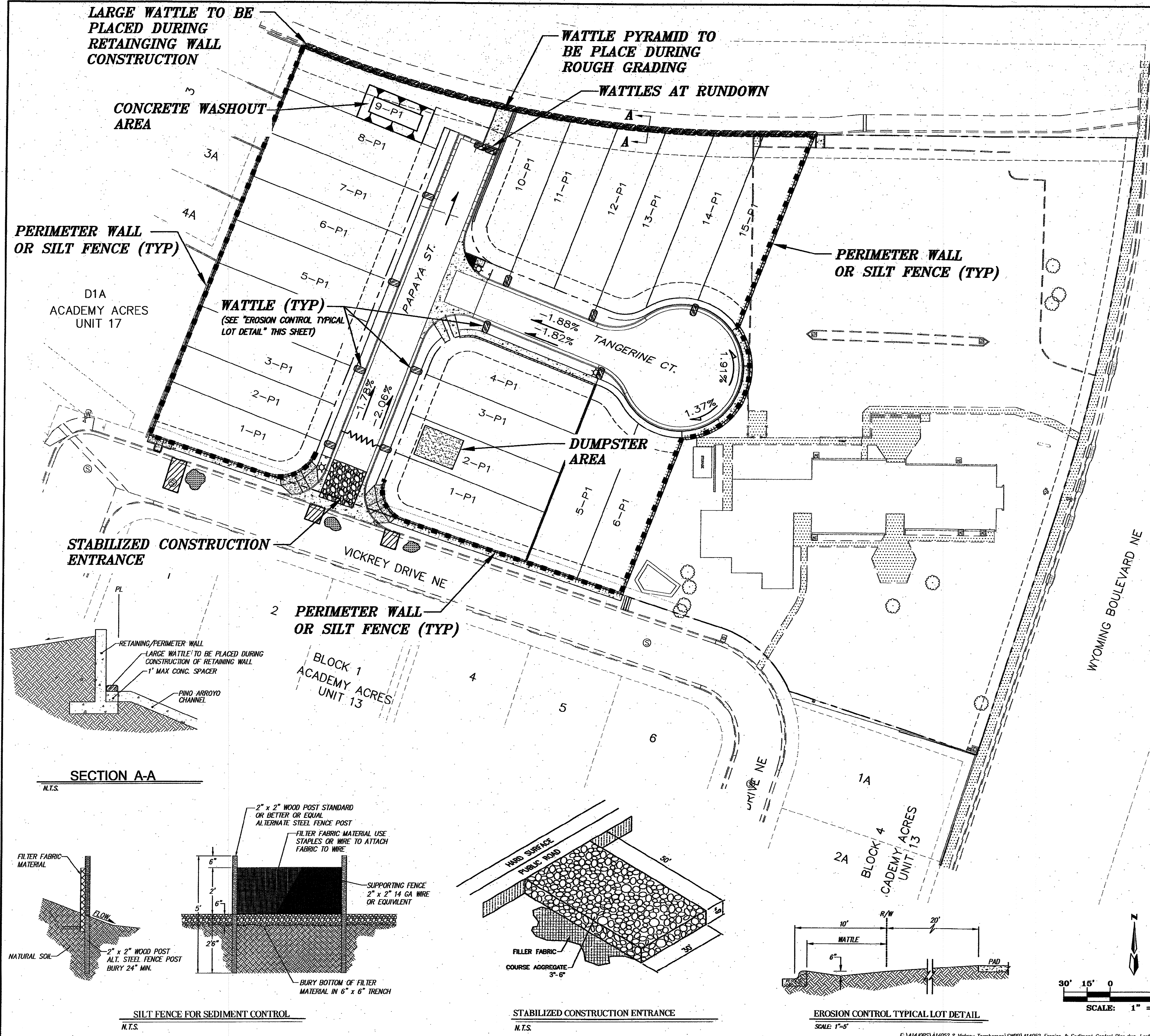
Curve Table				
Curve #	Length	Radius	Delta	Chord B.
C1	295.95'	797.16'	21°16'18"	579°08'34"E
C2	32.51'	20.00'	93°08'45"	S25°12'34"E
C3	37.90'	25.00'	86°51'15"	N84°47'26"E
C4	38.27'	25.00'	90°00'00"	S23°38'12"E
C5	23.24'	25.00'	53°15'46"	N84°43'56"E
C6	35.51'	45.00'	45°12'32"	N81°30'06"E
C7	16.80'	25.00'	38°02'29"	N48°38'58"W
C8	30.64'	45.00'	38°00'47"	N72°00'55"W
C9	295.95'	797.16'	21°16'18"	N79°08'34"E
C10	39.27'	25.00'	90°00'00"	S66°21'48"W
C11	20.81'	797.16'	128°46'	N89°01'50"W
C12	17.21'	45.00'	21°54'48"	N41°33'07"W
C14	36.56'	797.16'	23°7'41"	N80°13'33"W
C15	30.92'	797.16'	21°3'21"	N82°38'04"W
C16	31.25'	797.16'	21°4'46"	N84°53'07"W
C17	31.84'	797.16'	21°6'28"	N87°08'44"W
C18	31.39'	45.00'	38°57'51"	S55°54'43"E
C19	35.51'	45.00'	45°12'32"	N81°30'06"E
C20	97.71'	45.00'	124°24'29"	S26°16'27"W
C21	212.46'	45.00'	270°30'27"	S14°09'03"W

AGRS MONUMENT
"13-E20"
N=1511612.268
E=1550598.401
G=0.999650558
Az=0010722.86°
CENTRAL ZONE
(NAD83)

1-A
BLOCK 4
ACADEMY ACRES UNIT 13
(07-07-1977, D7-186)

FILED 10/25/16 10:05 AM - Vickrey Townhomes (GRADE & DRAINAGE) GSD 03.dwg 6/14/2016 10:07:41 AM hnam
\\sinc-srv02\csc\p\dwg\200 - 1000



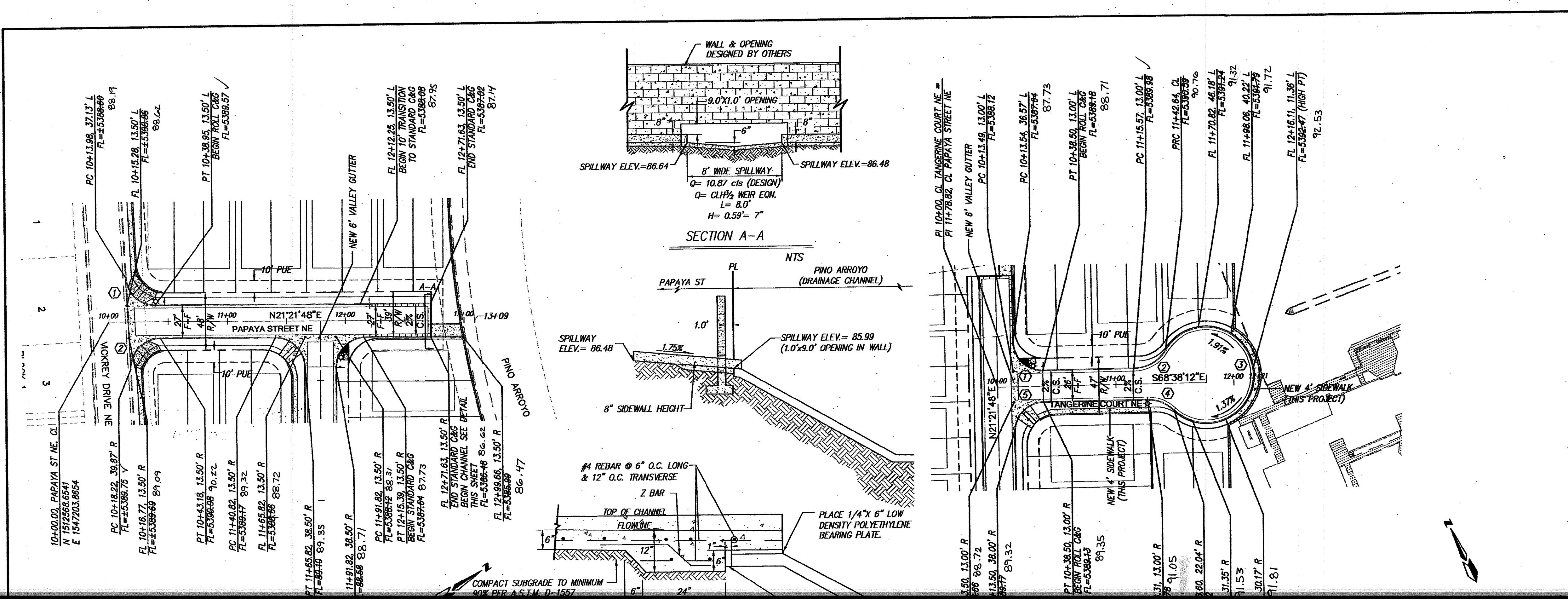


- LEGEND**
- PERIMETER WALL OR SILT FENCE (TYPICAL)
 - CONCRETE WASHOUT AREA
 - COMPACTED CONSTRUCTION ENTRANCE
 - DUMPSTER AREA
 - WATTLES (AROUND SD INLETS TYPICAL)
 - WATER BLOCK (HIGH POINT)
 - REMOVE & REPLACEMENT OF ASPHALT PAVEMENT FOR UTILITY CONNECTIONS
 - EXCAVATED DIRT-TEMPORARY PILE LOCATION

- CONSTRUCTION NOTES**
1. AVOID DIRT FROM GETTING INTO THE STREET, WHEN DOING ALL WORK WITHIN THE CITY ROW.
 2. FOR ALL UTILITY CONNECTIONS, DIRT PILE TO BE PLACED ON UPHILL SIDE OF THE CUT AND STREET TO BE SWEEPED WHEN WORK IS COMPLETE.

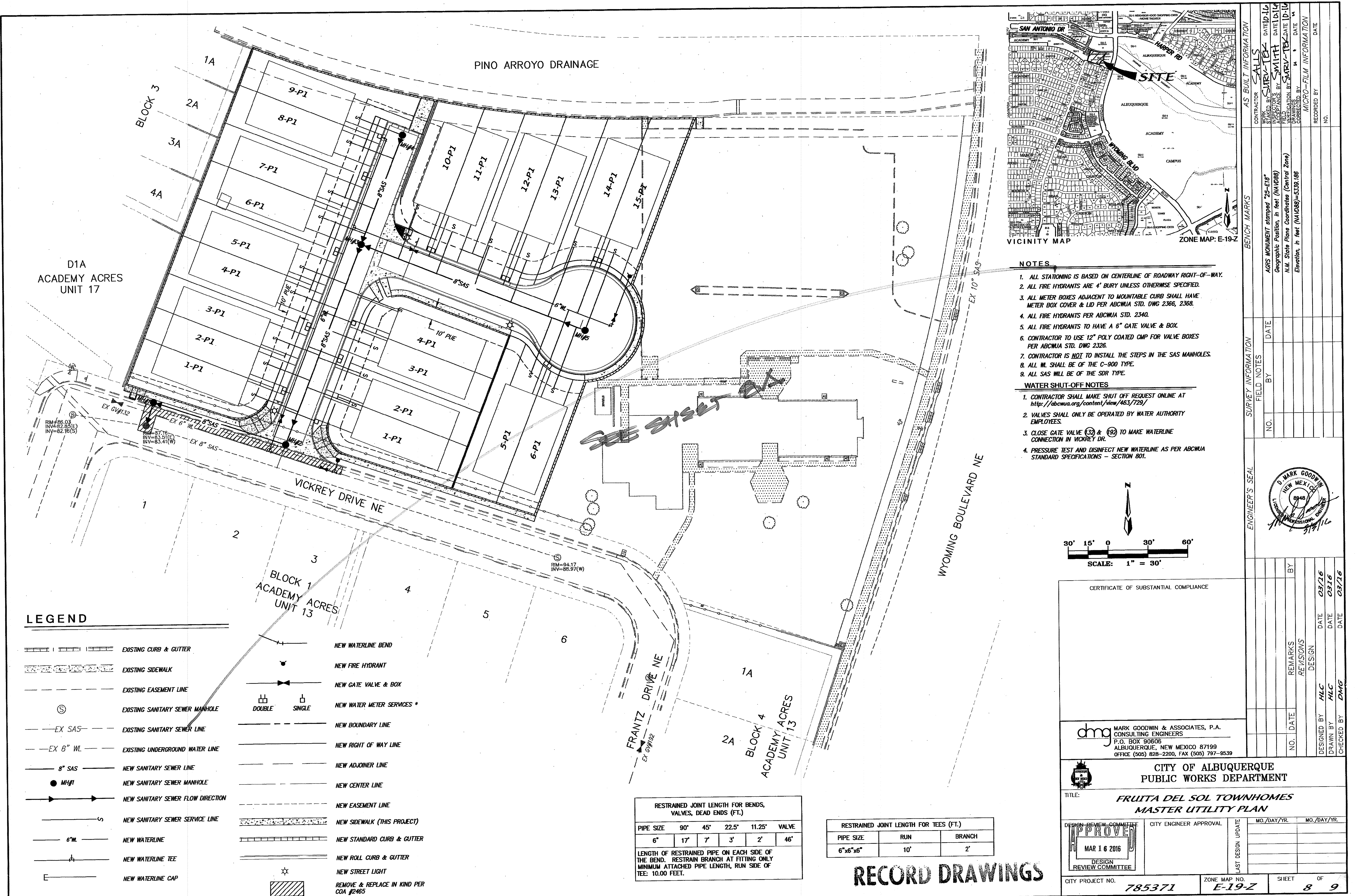
RECORD DRAWINGS

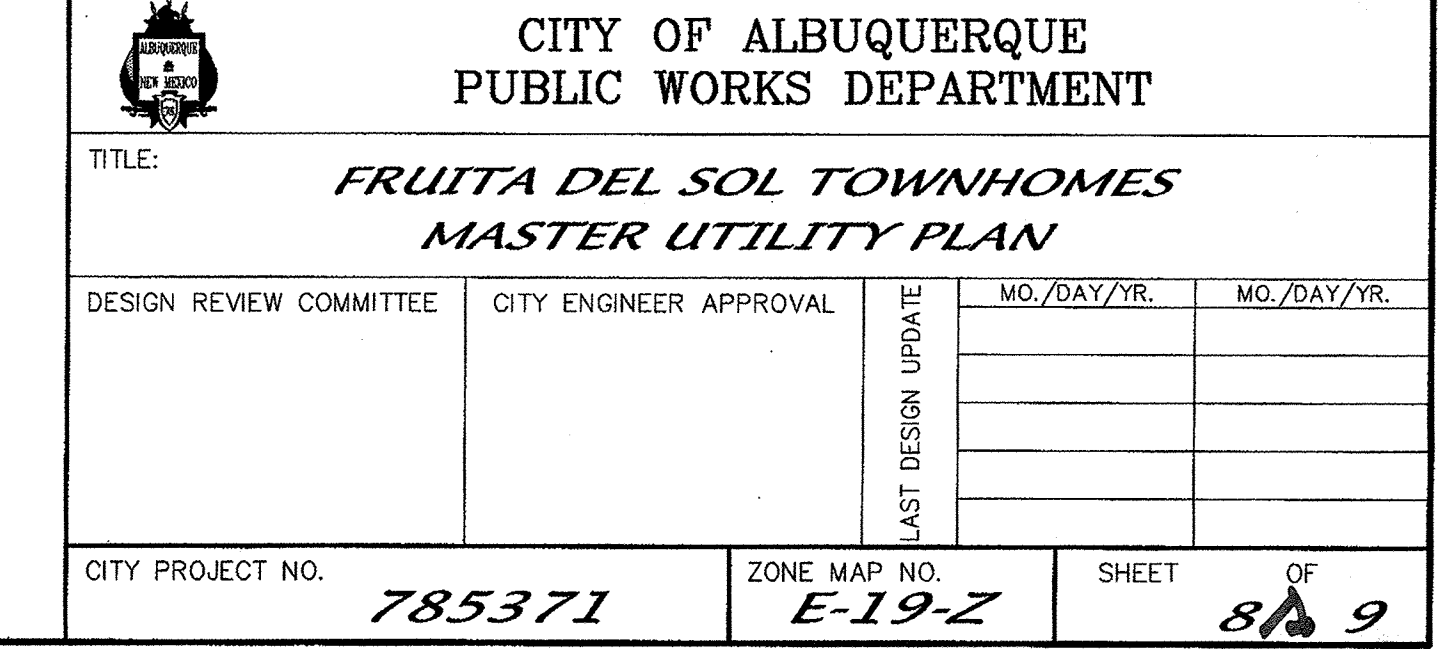
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
FRUITA DEL SOL TOWNHOMES EROSION & SEDIMENT CONTROL PLAN	
CITY PROJECT NO. 785371	ZONE MAP NO. E-19-Z
SHEET 4 OF 9	DATE 02/16
DESIGNED BY HLC	CHECKED BY DMG
DRAWN BY HLC	DATE 02/16
REVISIONS	NO. DATE
REMARKS	BY
NO. DATE	DATE
CITY ENGINEER APPROVAL	MO./DAY/YR.
LAST DESIGN UPDATE	MO./DAY/YR.
DESIGN REVIEW COMMITTEE	DATE
APPROVE	DATE
MAR 16 2016	DATE



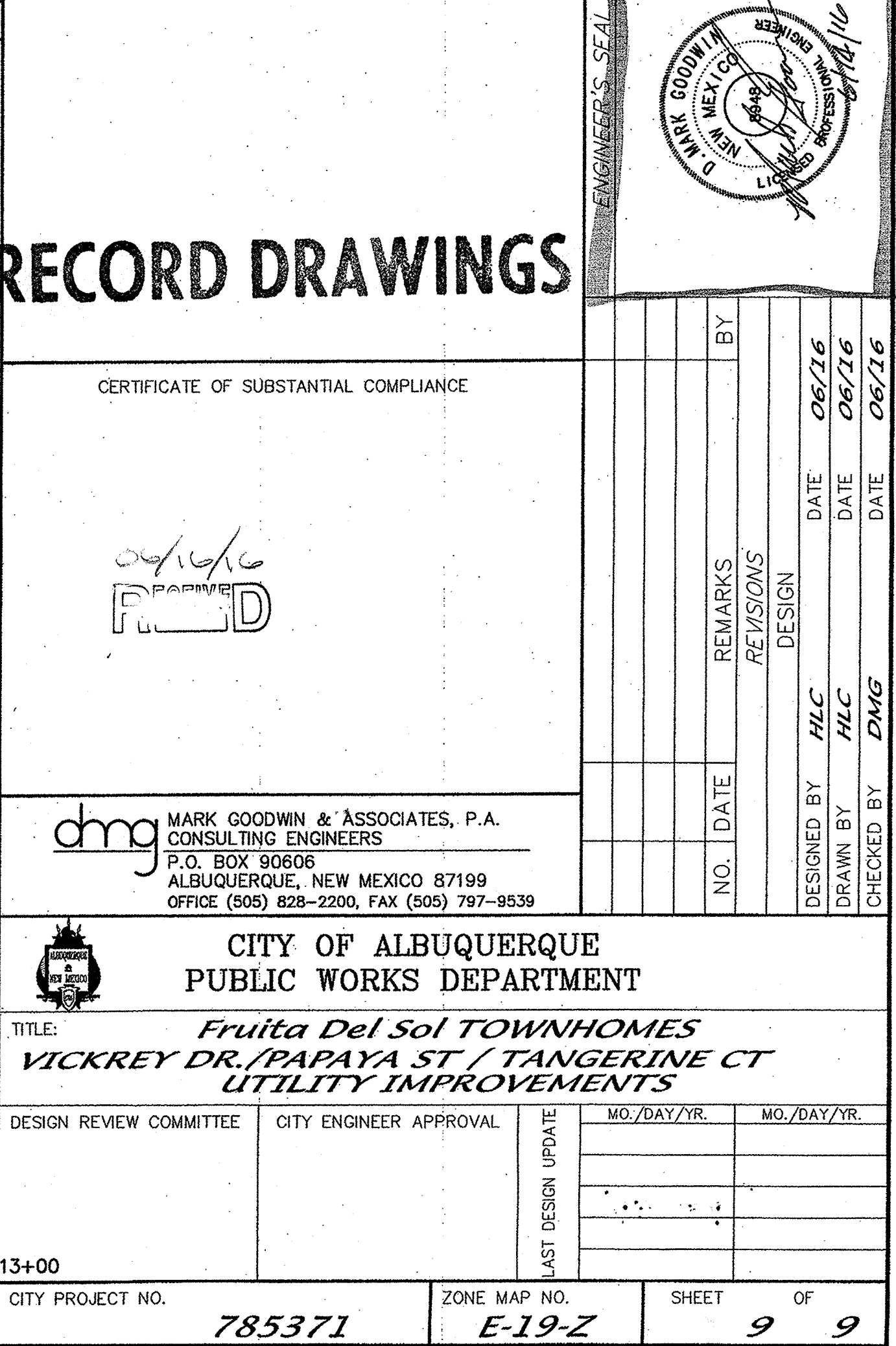
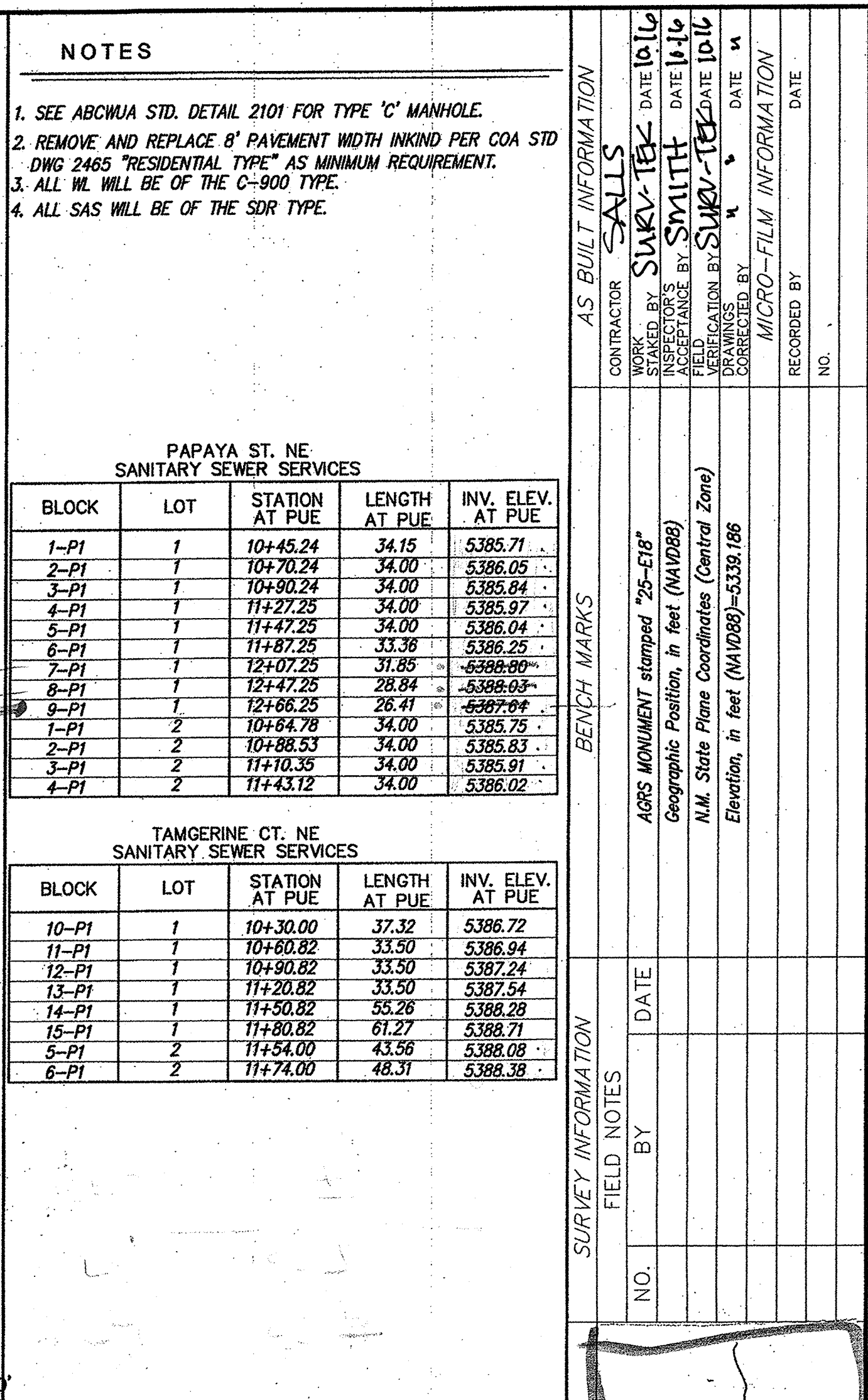
NOTES	
1. ALL STATIONING IS CENTERLINE STATIONING OF ROAD RIGHT-OF-WAY.	
PAPAYA STREET NE CURVE DATA - DESCRIBES FLOWLINE	
① A=86°51'15" L=37.90 R=25.00 Tan=23.66	② A=93°08'45" L=40.64 R=25.00 Tan=26.41
TANGERINE COURT NE CURVE DATA - DESCRIBES FLOWLINE	
① A=86°43'45" L=37.84 R=25.00 Tan=23.61	② A=57°40'41" L=32.21 R=32.00 Tan=17.62
④ A=44°09'35" L=24.66 R=32.00 Tan=12.98	⑤ A=90°00'01" L=39.27 R=25.00 Tan=25.00
③ A=281°55'38" L=196.61 R=39.96 Tan=32.40	
KEY INFORMATION	
FIELD NOTES	DATE
BY	
BENCH MARKS	
AS BUILT INFORMATION	
CONTRACTOR	SALLS
DESIGNED BY	SMITH
DATE	
INSPECTOR'S	DATE
FIELD	DATE
STATIONING BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

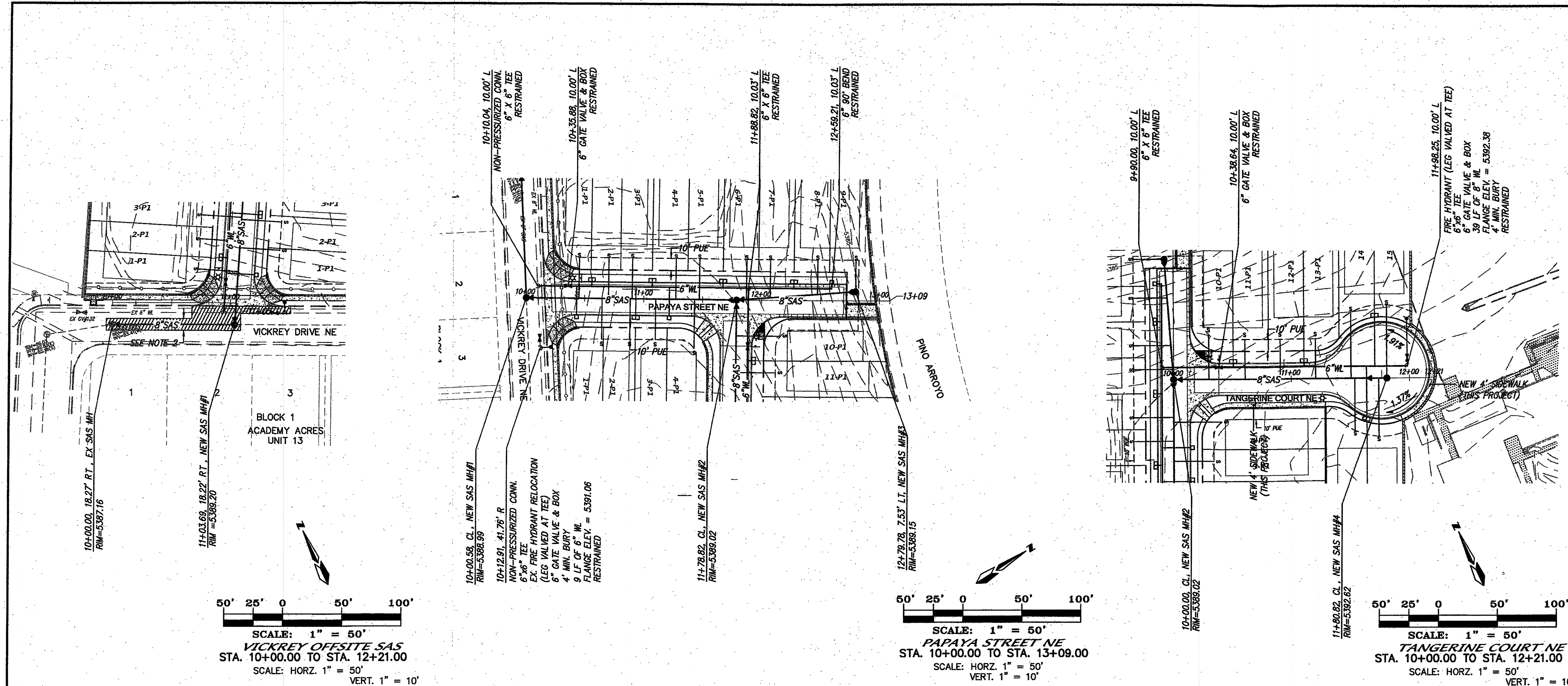
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\\DMG-SV02C01\dwg\035\A14052 M-UTL.dwg





RESTRAINED JOINT LENGTH FOR TEES (FT.)		
PIPE SIZE	RUN	BRANCH
6"x6"x6"	10'	2'





NOTES

1. SEE ABCWJA STD. DETAIL 2101 FOR TYPE 'C' MANHOLE.

2. REMOVE AND REPLACE 8" PAVEMENT WIDTH INKIND PER COA STD DWG 245 "RESIDENTIAL TYPE" AS MINIMUM REQUIREMENT.

3. ALL M. WILL BE OF THE C-900 TYPE.

4. ALL SAS WILL BE OF THE SDR TYPE.

PAPAYA ST. NE
SANITARY SEWER SERVICES

BLOCK	LOT	STATION AT PUE	LENGTH AT PUE	INV. ELEV. AT PUE
1-P1	1	10+45.24	34.15	5385.71
2-P1	1	10+70.24	34.00	5386.05
3-P1	1	10+90.24	34.00	5385.84
4-P1	1	11+27.25	34.00	5385.87
5-P1	1	11+47.25	34.00	5386.04
6-P1	1	11+87.25	33.36	5386.25
7-P1	1	12+07.25	31.85	5388.80
8-P1	1	12+47.25	28.84	5388.03
9-P1	1	12+66.25	26.41	5387.64
1-P1	2	10+64.78	34.00	5385.75
2-P1	2	10+88.53	34.00	5385.83
3-P1	2	11+10.35	34.00	5385.81
4-P1	2	11+43.12	34.00	5386.02

TANGERINE CT. NE
SANITARY SEWER SERVICES

BLOCK	LOT	STATION AT PUE	LENGTH AT PUE	INV. ELEV. AT PUE
10-P1	1	10+30.00	37.32	5386.72
11-P1	1	10+60.82	33.50	5386.84
12-P1	1	10+90.82	33.50	5387.24
13-P1	1	11+20.82	33.50	5387.54
14-P1	1	11+50.82	55.26	5388.28
15-P1	1	11+80.82	61.27	5388.71
5-P1	2	11+54.00	43.56	5388.08
6-P1	2	11+74.00	48.31	5388.38

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

dmg

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
OFFICE (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **Fruita Del Sol TOWNHOMES
VICKREY DR./PAPAYA ST / TANGERINE CT
UTILITY IMPROVEMENTS**

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL

LAST DESIGN UPDATE: MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. **785371** ZONE MAP NO. **E-19-Z** SHEET **9** OF **9**

AS BUILT INFORMATION

CONTRACTOR: **DMG**
WORKED BY: **DMG**
INSPECTED BY: **DMG**
AGREEMENT BY: **DMG**
VERIFICATION BY: **DMG**
MICRO-FILM INFORMATION: **DMG**

BEACH MARKS

AGRS MOVEMENT stamped "25-E18"
Geographic Position, in feet (NAVD83)
N.M. State Plane Coordinates (Central Zone)
Elevation, in feet (NAVD83)=5339.186

SURVEY INFORMATION

FIELD NOTES

NO. BY DATE

ENGINEER'S SEAL

MARK GOODWIN
P.E.
NEW MEXICO
11/11/10

REVISIONS

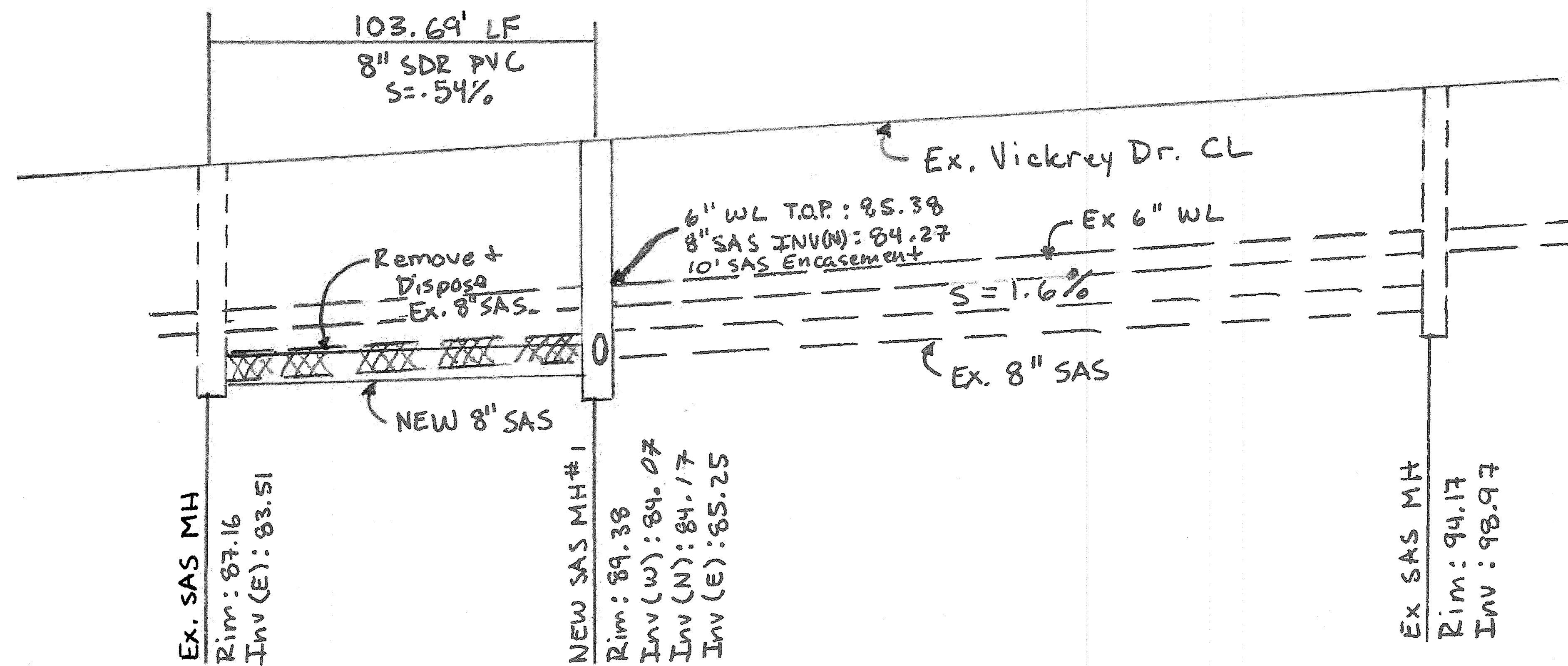
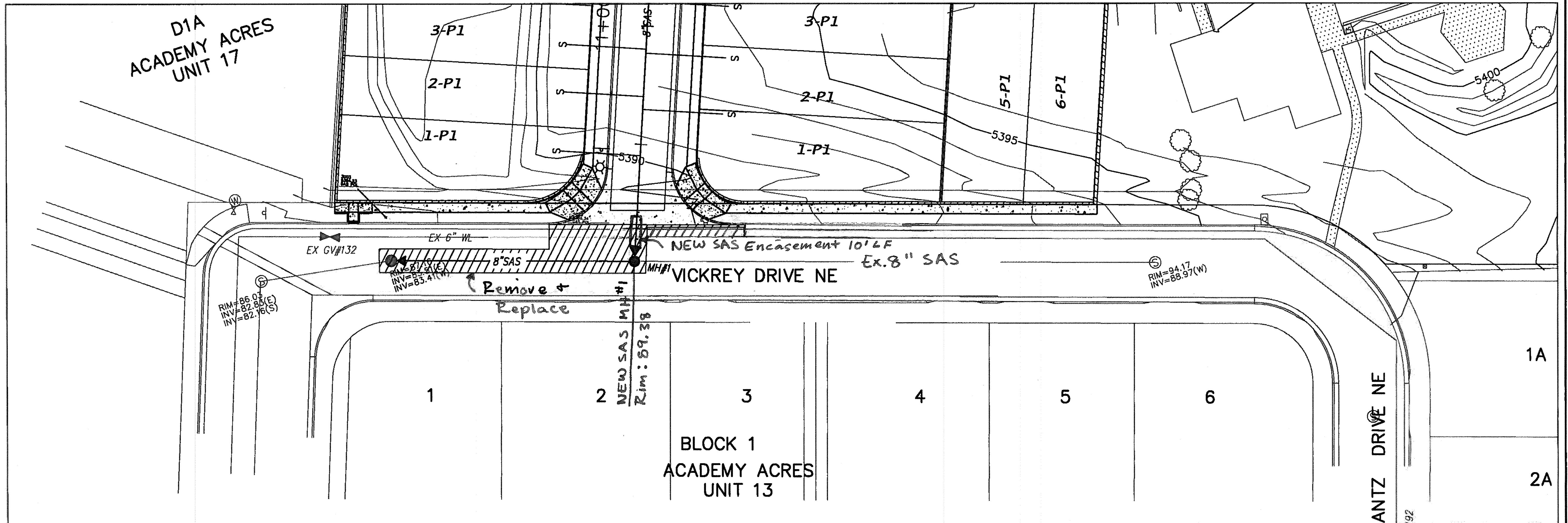
NO. DATE REMARKS

DESIGNED BY: **HLC** DATE: **06/16**

DRAWN BY: **HLC** DATE: **06/16**

CHECKED BY: **DMG** DATE: **06/16**

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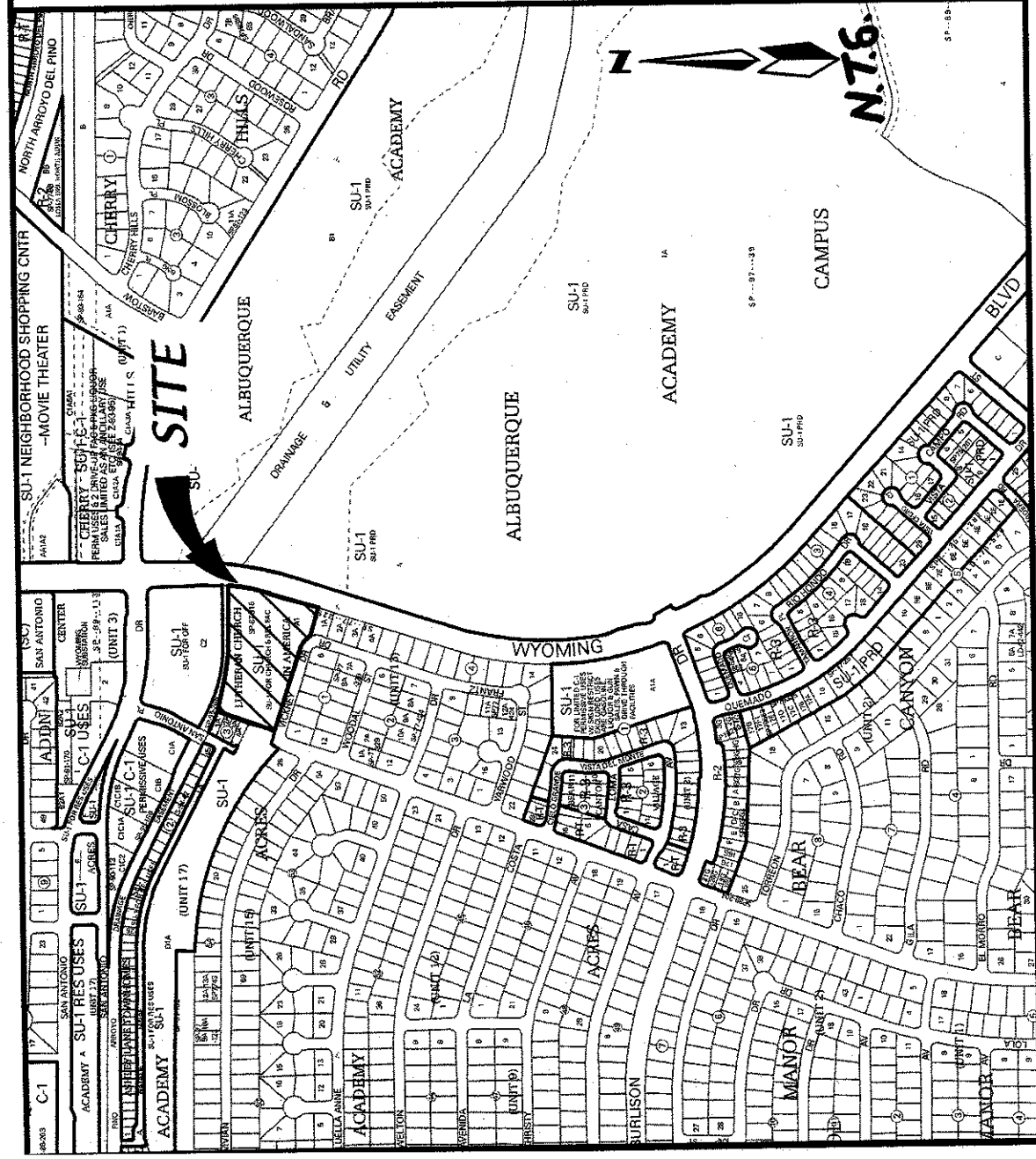
RECORD DRAWINGS



SCALE: NTS

FIGURE 1

FRUITA DEL SOL TOWNHOMES			
SAS CONNECTION REDESIGN			
			
MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS			
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: HLC	Drawn: HLC	Checked: DMG	Sheet 7 of 7
Scale: NTS	Date: 6/02/2016	Job: A14035	9B OF 9



VICINITY MAP NO SCALE ZONE ATLAS: E-19-Z

SUBDIVISION DATA

GROSS ACRES	4.1078 Acres
ZONE ATLAS NO.	E-19-Z
NO. OF EXISTING LOTS/TRACTS	1 TRACT
NO. OF LOTS/TRACTS CREATED	2 TRACT
NO. OF LOTS/TRACTS ELIMINATED	1 TRACT
NO. OF LOTS/TRACTS ELIMINATED	0.0 Miles
MILES OF FULL WIDTH STREETS CREATED	0.0 Miles
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0 Acres
DATE OF SURVEY	MAY, 2015

FREE CONSENT :

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO THE CREATION OF TRACTS AS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO THE VACATION OF EASEMENT AS SHOWN HEREON AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT: ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER, WATER, SEWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS AS SHOWN HEREON AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

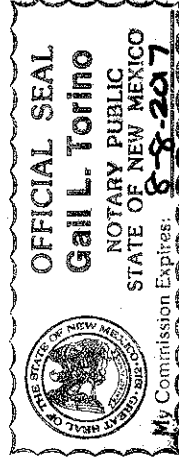
Owner: Holy Cross Lutheran Church
Darryl Demolikos, President of Church Council
Date: 3-23-16

OWNER'S ACKNOWLEDGMENT:

STATE OF NEW MEXICO)
BERNALILLO COUNTY)

ON THIS 23rd DAY OF March, 2016 THIS INSTRUMENT WAS
ACKNOWLEDGED BEFORE ME BY DARRYL DEMOLIKOS, PRESIDENT OF CHURCH COUNCIL,
HOLY CROSS LUTHERAN CHURCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

Notary Public
Gail L. Torino
MY COMMISSION EXPIRES 8-8-2017



LEGAL DESCRIPTION:

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 30, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF TRACT A-1, LANDS OF LUTHERAN CHURCH IN AMERICA, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON SEPTEMBER 11, 1987 IN PLAT BOOK C34, PAGE 138, AND CONTAINING 4.1078 ACRES MORE OR LESS.

PURPOSE OF PLAT:

1. TO CREATE TRACT A-1-A AND A-1-B AS SHOWN HEREON.
2. TO VACATE EASEMENT AS SHOWN HEREON.

TABLE OF CONTENTS:

- SHEET 1 COVER SHEET
- SHEET 2 EXISTING CONDITIONS
- SHEET 3 FINAL PLAT GEOMETRY

NOTES:

1. BEARINGS ARE GRID BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE)
2. DISTANCES ARE GROUND DISTANCES.
3. BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
4. BASIS OF BOUNDARY ARE THE FOLLOWING PLATS OF RECORD ENTITLED:
"LANDS OF LUTHERAN CHURCH IN AMERICA", (09-11-1987, C34-138)
"ACADEMY ACRES UNIT 13", (09-22-1976, D7-62)
"ACADEMY ACRES UNIT 13", (07-09-1977, D7-186)
"ACADEMY ACRES UNIT 17", (03-26-1985, C26-162)
"ACADEMY ACRES UNIT 17", (12-20-1991, 91C-284)
"ASHLEY LANE TOWNHOMES", (11-22-1985, 95C-425)
ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

5. FIELD SURVEY PERFORMED IN JUNE, 2015.

6. 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, AS SHOWN ON PANEL 141, OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008.

7. ADDRESS OF PROPERTY: 6801 WYOMING BOULEVARD NE, ALBUQUERQUE, NM 87109

8. TITLE REPORT PROVIDED BY: STEWART TITLE OF ALBUQUERQUE, LLC. FILE NO.: 01147-19002 (EFFECTIVE DATE: MARCH 30, 2015).

9. SOLAR NOTE: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

PLAT FOR
TRACT A-1-A & A-1-B
LUTHERAN CHURCH IN AMERICA
WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 30
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2016

Project Number: 1006844
Application Number: 15DRB-70241

PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico
Date: 4/19/16
New Mexico Gas Company
Date: 4/19/2016
Qwest Corporation
Date: 4/15/16
Comcast D/B/A Xfinity
Date: 4/19/16

City Approvals:

Steven M. Reinboer
City Surveyor
Date: 4/19/16

Real Property Division

Rachel M. Miel
Traffic Engineering, Transportation Division
Date: 5/4/16

Albuquerque Bernalillo County Water Utility Authority
Date: 5/4/16

Carol S. Dumont
Parks and Recreation Department
Date: 5-4-16

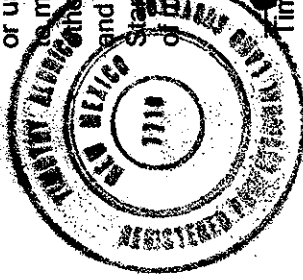
Lynne M. Mayan
AMAC
Date: 5/4/16

City Engineer
Date: 5-4-16

DRP Chairperson, Planning Department

SURVEYOR'S CERTIFICATION:

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich P.S. No. 19
Date: 04/07/16



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

BULK PLAT.dwg	Drawn: SPS	Checked: TA	Sheet 1 of 3
Scale: AS SHOWN	Date: 3/21/2016	Job: A14052	

EASEMENTS

- ① EXISTING 15' STORMWATER DIVERSION EASEMENT
(03-04-1976, BOOK MISC 466, PAGE 83)
(03-11-1976, BOOK MISC 467, PAGE 167)
TO BE VACATED (BOCP TYPE) V-_____
- ② EXISTING 7' UNDERGROUND PUE
(06-21-1972, BOOK MISC 265, PAGE 572)
(08-08-1972, BOOK MISC 272, PAGE 133)
- ③ EXISTING 7' UNDERGROUND TELEPHONE EASEMENT
(12-21-1987, BOOK MISC 569, PAGE 960)
- ④ EXISTING 7' PUE
(09-22-1976, D7-62)

C2

PINO ARROYO DRAINAGE (60' R/W)

(N89°54'00"E)
S 89°46'43" E

(256.06')
254.67

N 77°35'44" E
2699.78

AGRS MONUMENT
"S-E19"
N=1513445.089
E=1550362.301
G-G=0.99965113
Δα=-00°10'24.61"
CENTRAL ZONE
(NAD83)

AGRS MONUMENT
"13-E20"
N=1511612.268
E=1550598.401
G-G=0.999650558
Δα=-00°10'22.86"
CENTRAL ZONE
(NAD83)

TRACT A-1
LUTHERAN CHURCH IN AMERICA
4.1078 AC.

VICKREY DRIVE NE (50' R/W)

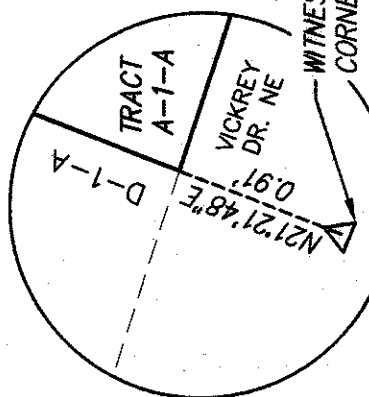
FRANTZ DRIVE NE (50' R/W)

WYOMING BOULEVARD NE (106' R/W)

TRUCHAS DRIVE NE (64' R/W)

PROPERTY CORNERS

- FOUND 1/2" REBAR
- SET 5/8" REBAR W/CAP "LS 7719"
- FOUND 1/2" REBAR W/CAP "LS 7264"
- △ FOUND 5/8" REBAR W/CAP "LS 6544" (WITNESS)



DETAIL: 1"=1'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	62.62'	75.00'	47°50'31"	N 47°51'42" W	60.82'
(C1)	(63.12')	(75.00')	(48°13'22")		
C2	295.95'	797.16'	21°16'18"	S 79°08'34" E	294.26'
(C2)	(295.96')	(797.16')	(21°16'18")		
C3	262.17'	1247.00'	12°02'46"	S 12°05'49" W	261.69'
(C3)	(261.17')	(1247.00')			



40' 20' 0' 40' 80'

SCALE: 1" = 40'

1-A
BLOCK 4
ACADEMY ACRES UNIT 13
(07-07-1977, D7-186)

2-A

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EASEMENTS

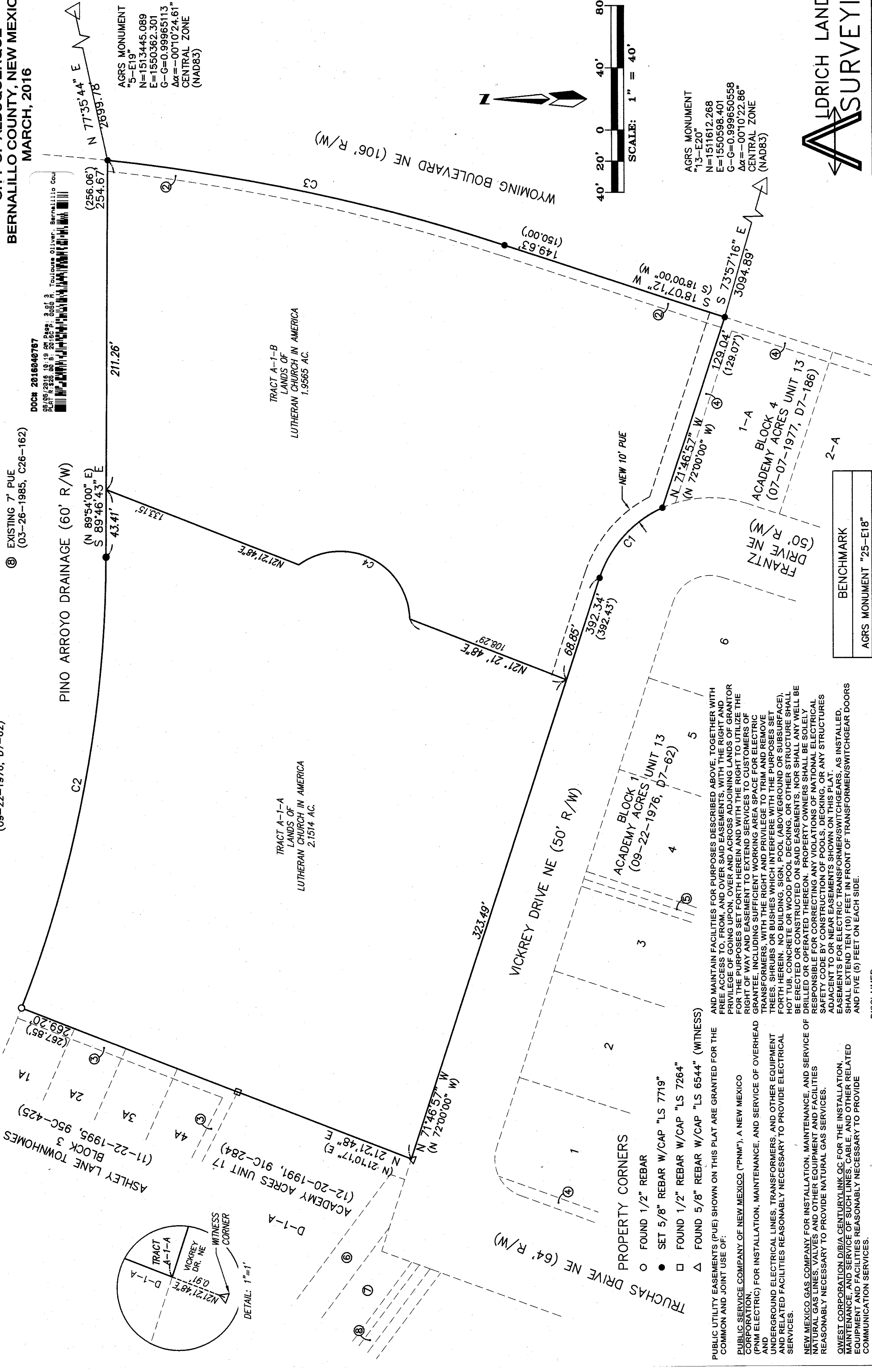
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	62.62'	75.00'	47°50'31"	N 47°51'42" W	60.82'
(C1)	(63.12')	(75.00')	(48°13'22")		
C2	295.95'	797.16'	21°16'18"	S 79°08'34" E	294.26'
(C2)	(295.96')	(797.16')	(21°16'18")		
C3	262.17'	1247.00'	12°02'46"	S 12°05'49" W	261.69'
(C3)	(261.17')	(1247.00')			
C4	97.71'	45.00'	124°24'29"	N 26°16'27" E	79.62'

- ⑤ EXISTING 10' PUE
(09-22-1976, D7-62)
- ⑥ EXISTING 20' COA WATERLINE EASEMENT
(03-26-1985, C26-162)
- ⑦ EXISTING 25' COA DRAINAGE EASEMENT
(03-26-1985, C26-162)
- ⑧ EXISTING 7' PUE
(03-26-1985, C26-162)

- ② EXISTING 7' UNDERGROUND PUE
(06-21-1972, BOOK MISC 265, PAGE 572)
(08-08-1972, BOOK MISC 272, PAGE 133)
- ③ EXISTING 7' UNDERGROUND TELEPHONE EASE
(12-21-1987, BOOK MISC 569, PAGE 960)
- ④ EXISTING 7' PUE
(09-22-1976, D7-62)

PLAT FOR
TRACT A-1-A & A-1-B
LUTHERAN CHURCH IN AMERICA
WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 30
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2016

DOC# 2016040767
05/05/2016 10:19 AM Page: 3 of 3
PLAT R: \$25.00 B: 2016C P: 0050 M. Toulouse Oliver, Bernalillo County



△ FOUND 5/8" REBAR W/CAP "LS 6544" (WITNESS)
PUBLIC UTILITY EASEMENTS (PUE) SHOWN ON THIS PLAT ARE GRANTED FOR THE
COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO
CORPORATION,
UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT
(PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD
AND
RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL
SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF
NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES
REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QUEST CORPORATION D/B/A CENTURYLINK CO. FOR THE INSTALLATION,
MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED
EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE
COMMUNICATION SERVICES.

COMCAST DBIA XFINITY FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PSNM), NEW MEXICO GAS COMPANY (NMGCO) AND QWEST CORPORATION (D/B/A CENTURYLINK QC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PSNM AND NMGCO DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

BENCHMARK
AGRS MONUMENT "25-E1"
Elevation (in feet)=5339.1
(NAVD88)

Elevation (in feet)=5339.186
(NAVD88)

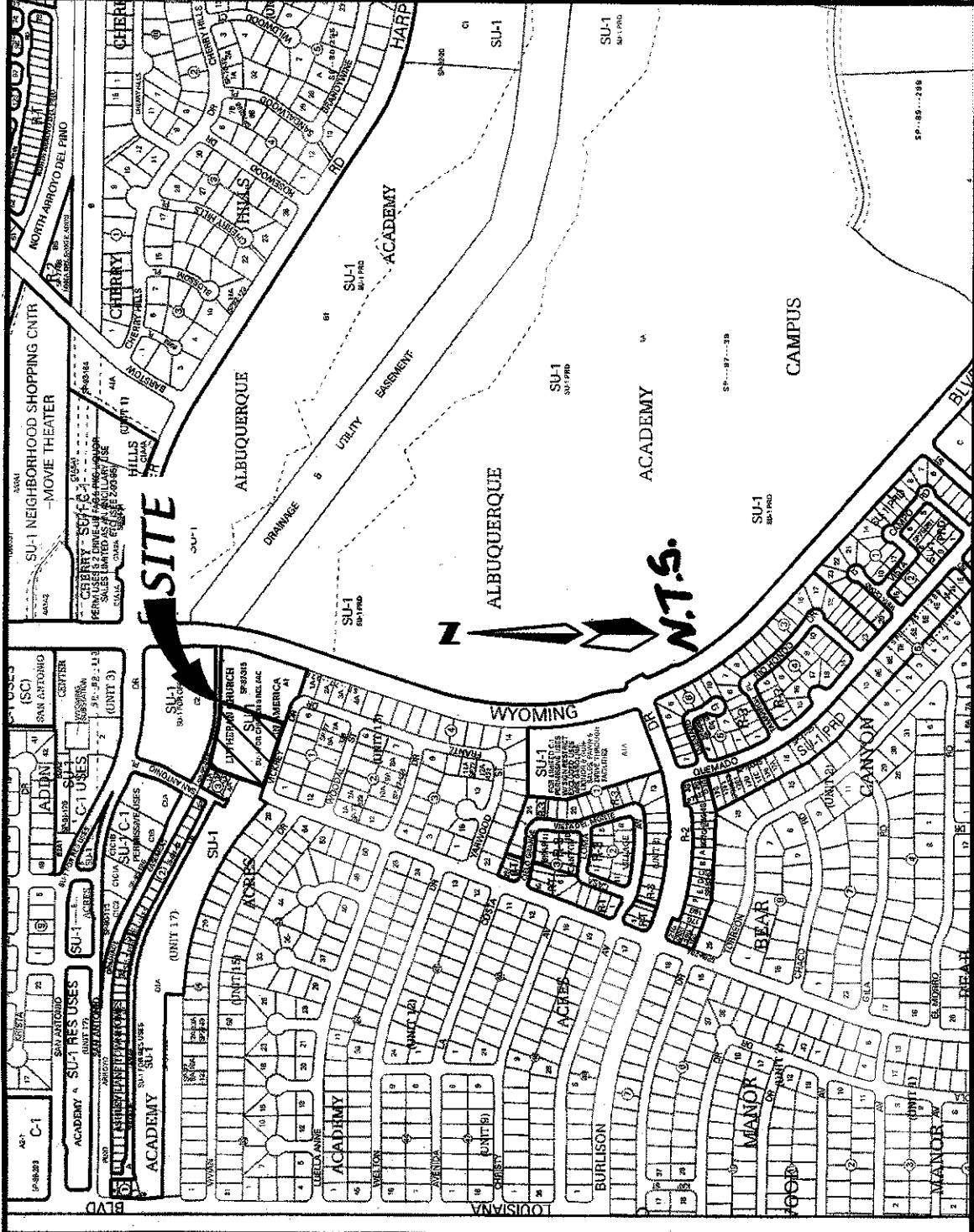
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Scale: AS SHOWN	Date: 3/21/2016

Checked:	TA
Job:	A14052

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Sheet **3** of **3**

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



LOCATION MAP

E-19-Z

SUBDIVISION DATA

GROSS ACREAGE	2.1514 AC
NO. OF LOTS CREATED	21 LOTS
NO. OF TRACTS CREATED	0 TRACTS
AREA OF RESIDENTIAL	1.6299 AC
ZONE ATLAS NO.	E-19-Z
DATE OF SURVEY	JUNE, 2015
MILES OF FULL WIDTH STREETS CREATED	0.08 MILES
AREA OF PUBLIC RIGHT-OF-WAY DEDICATED	0.5215 AC

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER, WATER, SEWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER: HOLY CROSS LUTHERAN CHURCH

DARRYL DEMONKOS, PRESIDENT OF CHURCH COUNCIL

3-23-16
DATE

OWNER'S ACKNOWLEDGMENT:

STATE OF NEW MEXICO)
BERNALILLO COUNTY)

ON THIS 23rd DAY OF March, 2016, THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY DARRYL DEMONKOS, PRESIDENT OF CHURCH COUNCIL, HOLY CROSS LUTHERAN CHURCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

NOTARY PUBLIC

8-8-2017

MY COMMISSION EXPIRES

LEGAL DESCRIPTION

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 30, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF TRACT A-1-A, LANDS OF LUTHERAN CHURCH IN AMERICA, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 5, 2016 IN PLAT BOOK 2016C, PAGE 50, AND CONTAINING 2.1514 ACRES MORE OR LESS.

PURPOSE OF PLAT

- SUBDIVIDE TRACT A-1-A, LANDS OF LUTHERAN CHURCH IN AMERICA, INTO 21 RESIDENTIAL LOTS.
- DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN HEREON.
- GRANT NEW EASEMENTS AS SHOWN ON HEREON.

NOTES

- BEARINGS ARE GRID BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY ARE THE FOLLOWING PLATS OF RECORD ENTITLED:
"TRACT A-1-A, LANDS OF LUTHERAN CHURCH IN AMERICA"
(S-2016, 2016C-50)
"LANDS OF LUTHERAN CHURCH IN AMERICA", (09-11-1987, C34-138)
"ACADEMY ACRES UNIT 13", (09-22-1976, D7-62)
"ACADEMY ACRES UNIT 13", (07-09-1977, D7-186)
"ACADEMY ACRES UNIT 17", (03-26-1985, C26-162)
"ACADEMY ACRES UNIT 17", (12-20-1991, 91C-284)
"ASHLEY LANE TOWNHOMES", (11-22-1995, 95C-425)
ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
- FIELD SURVEY PERFORMED IN JUNE, 2015.
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, AS SHOWN ON PANEL 141, OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED SEPTEMBER 26, 2008.
- ADDRESS OF PROPERTY: 6901 WYOMING BOULEVARD NE, ALBUQUERQUE, NM 87109
- TITLE REPORT PROVIDED BY: STEWART TITLE OF ALBUQUERQUE, LLC. FILE NO.: 01147-19002 (EFFECTIVE DATE: MARCH 30, 2015).
- SOLAR NOTE: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

PLAT FOR
FRUITA DEL SOL TOWNHOMES
SUBDIVISION

WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 30
TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2016

PROJECT NUMBER: 1006844
APPLICATION NUMBER: 16DRB-70150

PLAT APPROVAL

UTILITY APPROVALS:

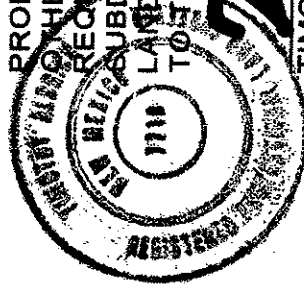
Gerardo Vigil 4-19-16
PUBLIC SERVICE COMPANY OF NEW MEXICO
Date
4/19/16
NEW MEXICO GAS COMPANY
Date
4/19/2016
QWEST CORPORATION DATA CENTURYLINK QC
Date
4/15/16
COMCAST DIGITAL XFINITY
Date

CITY APPROVALS:

Soren Y. Reinhardt 4/19/16
CITY SURVEYOR P.S.
Date
5-4-16
REAL PROPERTY DIVISION
Date
5/4/16
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION
Date
5/4/16
ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY
Date
5/4/16
PARKS AND RECREATION DEPARTMENT
Date
5-4-16
AMATEUR
Date
5/4/16
CITY ENGINEER
Date
5-4-16
DEPUTY CHAIRPERSON, PLANNING DEPARTMENT
Date

SURVEYOR'S CERTIFICATION

"I, TIMOTHY ALDRICH, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."



Timothy Aldrich 04/07/16
TIMOTHY ALDRICH, S. NO. 7719
DATE

ALDRICH LAND
SURVEYING

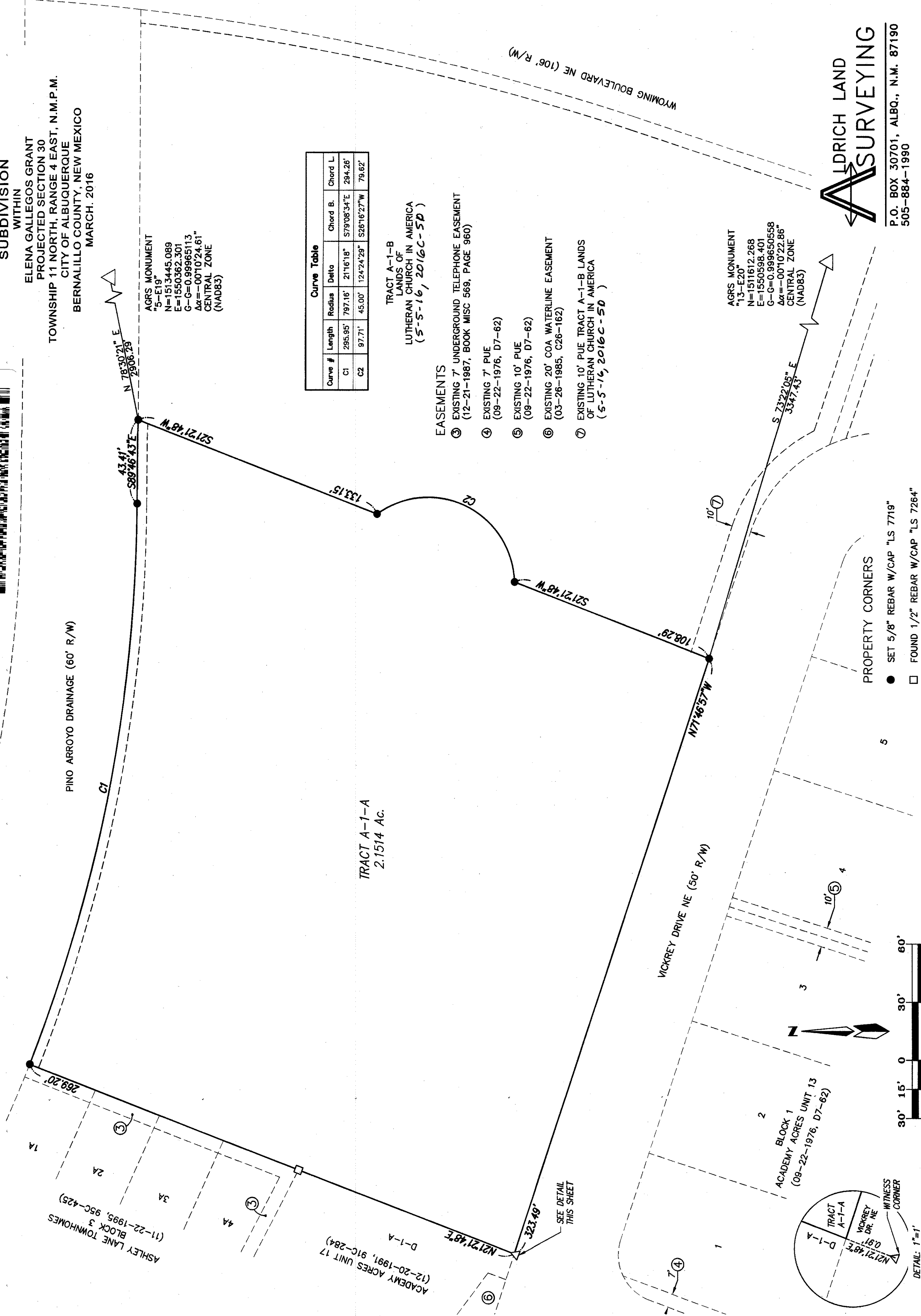
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

PLAT FOR
FRUITA DEL SOL TOWNHOMES
SUBDIVISION

WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 30
TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2016

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PLAT R 526.00 B 2016C P 0651 R
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ALDRICH LAND
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

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Date: 3/17/2016

Checked: TA
Job: A14052

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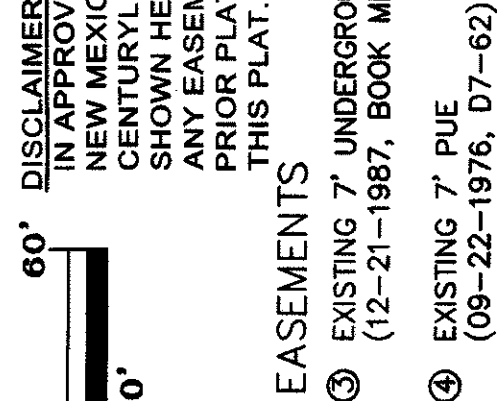
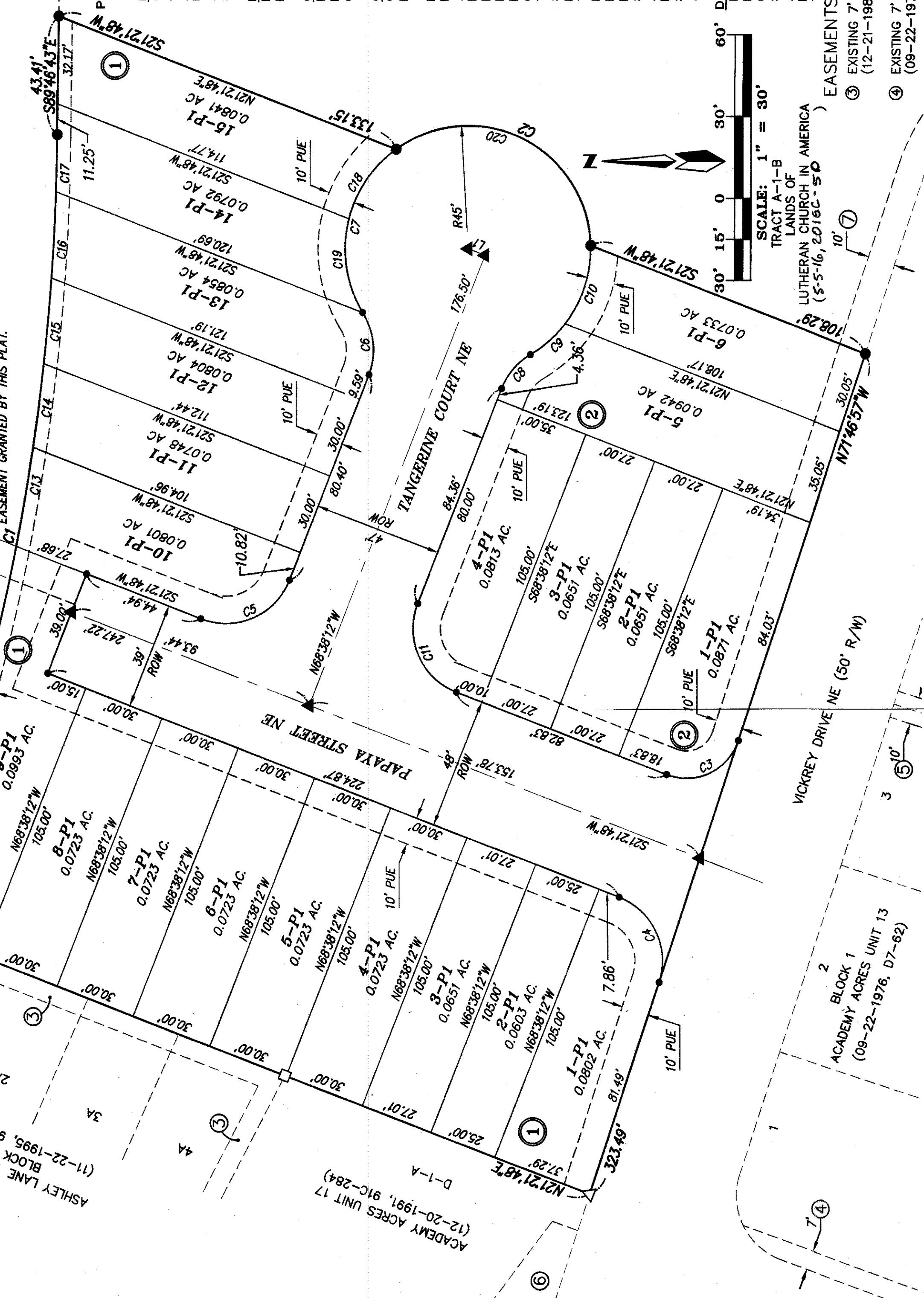
NOTE: CENTERLINE (IN PLACE OF ROW) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

PLAT FOR
FRUITA DEL SOL TOWNHOMES
SUBDIVISION
WITHIN
ELENA GALLEGOS GRANT
PROJECTED SECTION 30
TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2016

ASHLEY LANE TOWNHOMES
BLOCK 3
(11-22-1995, 95C-425)

PINO ARROYO DRAINAGE (60' R/W)

NEW 12' RUNDOWN PUBLIC DRAINAGE
C1 EASEMENT GRANTED BY THIS PLAT.



Curve Table				Curve Table				Curve Table			
Curve	Length	Radius	Delta	BEARING	Chord L.	Curve	Length	Radius	Delta	BEARING	Chord L.
C1	295.95'	797.16'	21°16'18"	S79°08'34"E	294.26'	C9	17.21'	45.00'	21°54'48"	N41°33'07"W	17.11'
C2	97.71'	45.00'	124°24'29"	S26°16'27"W	79.62'	C10	30.64'	45.00'	39°00'47"	N72°00'55"W	30.05'
C3	32.51'	20.00'	93°08'45"	S25°12'34"E	29.05'	C11	39.27'	25.00'	90°00'00"	S66°21'48"W	35.36'
C4	37.90'	25.00'	86°51'15"	N64°47'26"E	34.37'	C12	295.95'	797.16'	21°16'18"	N79°08'34"W	294.26'
C5	39.27'	25.00'	90°00'00"	S23°38'12"E	35.36'	C13	36.56'	797.16'	2°37'41"	N80°13'33"W	36.56'
C6	23.24'	25.00'	53°15'46"	N84°43'55"E	22.41'	C14	30.92'	797.16'	21°3'21"	N82°39'04"W	30.92'
C7	35.51'	45.00'	45°12'32"	N81°30'06"E	34.59'	C15	31.25'	797.16'	21°4'46"	N84°53'07"W	31.25'
C8	16.60'	25.00'	38°02'29"	N49°36'58"W	16.30'	C16	31.64'	797.16'	21°6'26"	N87°08'44"W	31.64'

PROPERTY CORNERS

- SET 5/8" REBAR W/CAP "LS 7719"
- FOUND 1/2" REBAR W/CAP "LS 7264"
- △ FOUND 5/8" REBAR W/CAP "LS 6544" (WITNESS)

PUBLIC UTILITY EASEMENTS (PUE) SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST D/B/A XFINITY FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTOR, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT. EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), NEW MEXICO GAS COMPANY (NMGC) AND QWEST CORPORATION D/B/A CENTURYLINK QC DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

- EASEMENTS
- ③ EXISTING 7' UNDERGROUND TELEPHONE EASEMENT (12-21-1987, BOOK MISC 569, PAGE 960)
 - ④ EXISTING 7' PUE (09-22-1976, D7-62)
 - ⑤ EXISTING 10' PUE (09-22-1976, D7-62)
 - ⑥ EXISTING 20' COA WATERLINE EASEMENT (03-26-1985, C26-162)
 - ⑦ EXISTING 10' PUE TRACT A-1-B LANDS OF LUTHERAN CHURCH IN AMERICA (S-5-16, 2016C-50)



P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990