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24-7855-82-2012

SCANNED BY
PLANNING

CONSTRUCTION PLANS FOR LA VIDA LLENA PUBLIC INFRASTRUCTURE ALBUQUERQUE, NEW MEXICO

INDEX

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	DRB SITE PLAN (FOR INFORMATION ONLY)
3	DEMOLITION & PAVING PLAN
4	WATER LINE PLAN & PROFILE
5	DETAILS

NOTES

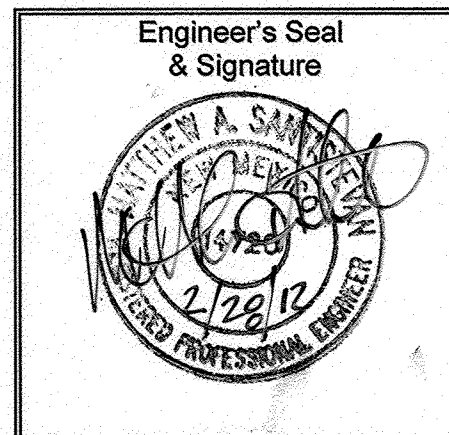
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL CURVE DATA AND DIMENSIONS REFER TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
3. ANY ADDITIONAL GRADING REQUIRED TO MATCH PROPOSED STREET GRADES SHALL BE INCIDENTAL TO PAVING ITEMS.
4. CONTRACTOR SHALL PROVIDE THE INSPECTORS, (CITY AND PRIVATE) WITH THE PROPOSED HYDROSTATIC TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
5. REMOVAL OF THE EXISTING CURB & GUTTER SHALL BE AS PER COA STD. DWG. 2415 (SAWCUT ONLY), REMOVE CURB TO NEAREST JOINT.
6. ELECTRONIC MARKER SPHERES (EMS) WILL BE PLACED ACCORDING TO SECTION 170 OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7.
7. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
3. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION ENGINEER.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
6. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
7. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE).

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Matthew A. Santistevan of the firm of Bohannon Huston, Inc., a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as shown on these drawings (La Vida Llena Public Infrastructure) has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on site inspections by me or personnel under my direction and survey information provided by the contractor, Tuit Construction and their surveyor, Anthony L. Harris, NMPS 11463.



SURVEYOR'S CERTIFICATION

"I ANTHONY L. HARRIS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION, THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF." SURVEYS SOUTHWEST LTD. IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

Anthony L. Harris
ANTHONY L. HARRIS, NMPS 11463
2-27-12
DATE

RECORD DRAWING

12. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.

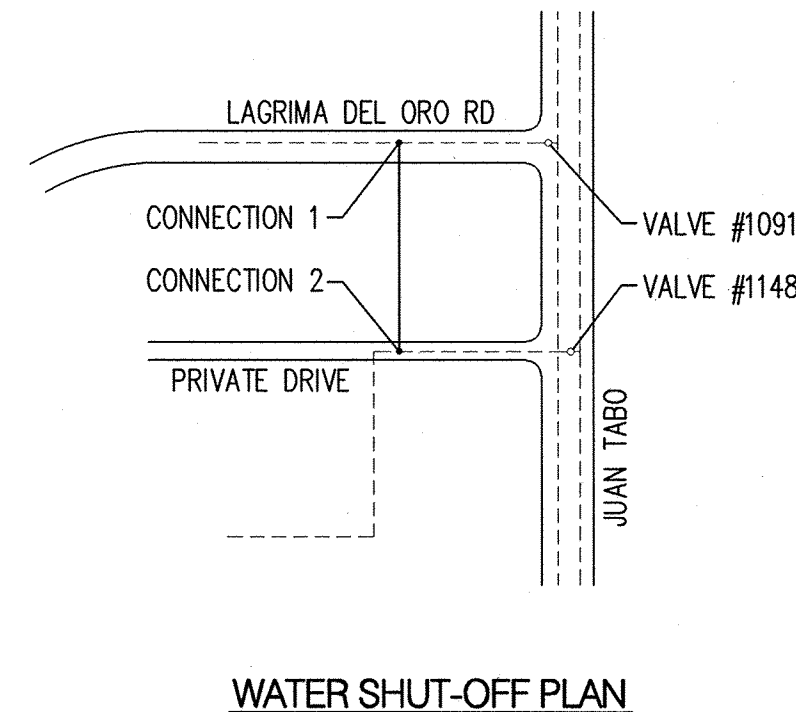
13. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.652.

14. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.

15. ALL SWPPP EROSION CONTROL MEASURES MUST BE REMOVED FROM THE RIGHT OF WAY PRIOR TO FINAL ACCEPTANCE.

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY ENGINEER
DATE: 07/03/12

Bohannon Huston
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



CONNECTION #1
FOR CONNECTION OF NEW 10" WATERLINE TO EXISTING 8" WATERLINE IN LAGRIMA DEL ORO RD, CLOSE VALVE #1091 AS SHOWN ON THE COA AUTOMATED WATER DISTRIBUTION SYSTEM SECTIONAL MAP NO. F-21.

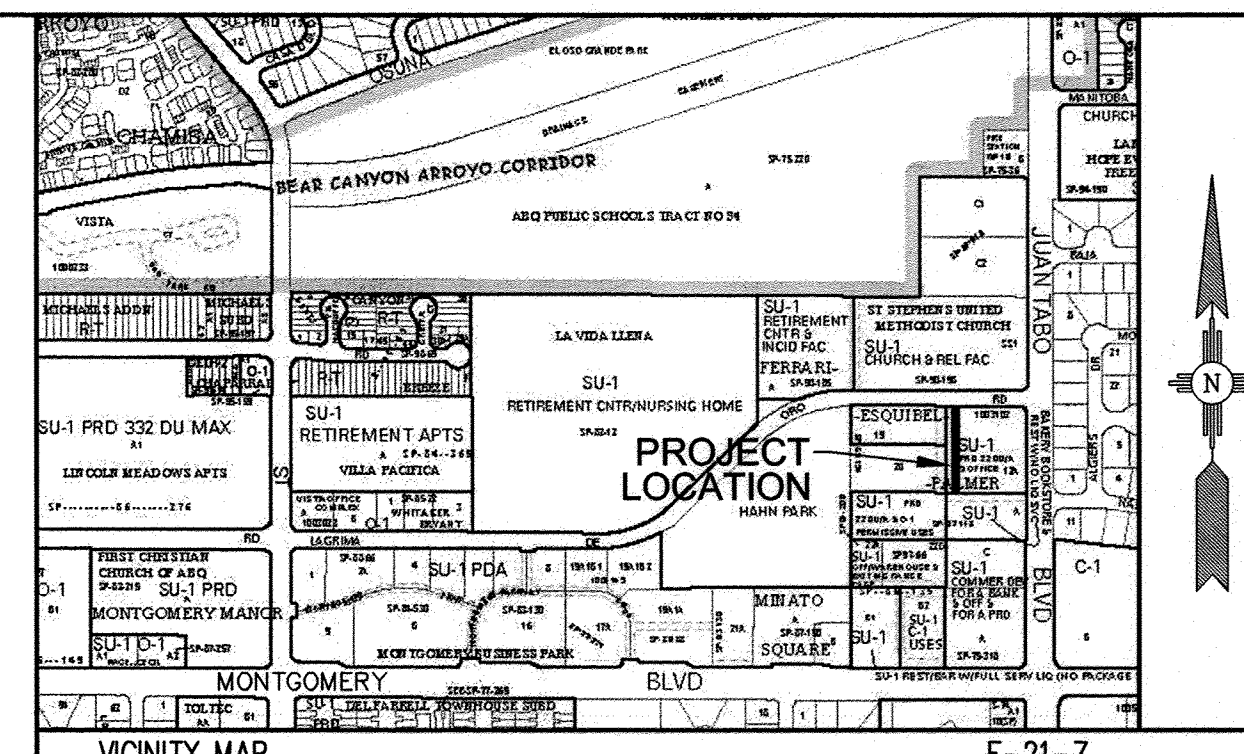
CONNECTION #2
FOR CONNECTION OF NEW 10" WATERLINE TO EXISTING 10" WATERLINE IN PRIVATE DRIVE, CLOSE VALVE #1148 AS SHOWN ON THE COA AUTOMATED WATER DISTRIBUTION SYSTEM SECTIONAL MAP NO. F-21.

WATER REQUIREMENTS

CONTRACTOR WILL BE RESPONSIBLE FOR THE TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A WATER SHUT-OFF SCHEDULE TO ABCWUA (505-768-2500). THE WATER SHUT-OFF SCHEDULE SHALL INCLUDE DURATION OF EACH SHUT-OFF, ALTERNATE FEED PLANS FOR HIGH PRIORITY CUSTOMERS, & DISPOSAL / DECHLORINATION PLAN WHERE REQUIRED. THIS WATER SHUT-OFF PLAN AND CONTRACTOR SCHEDULE SHALL BE REVIEWED & APPROVED BY WATER UTILITY DIVISION PRIOR TO IMPLEMENTATION.

CONTRACTOR SHALL NOT OPERATE CITY VALVES.



NOTICE TO CONTRACTORS

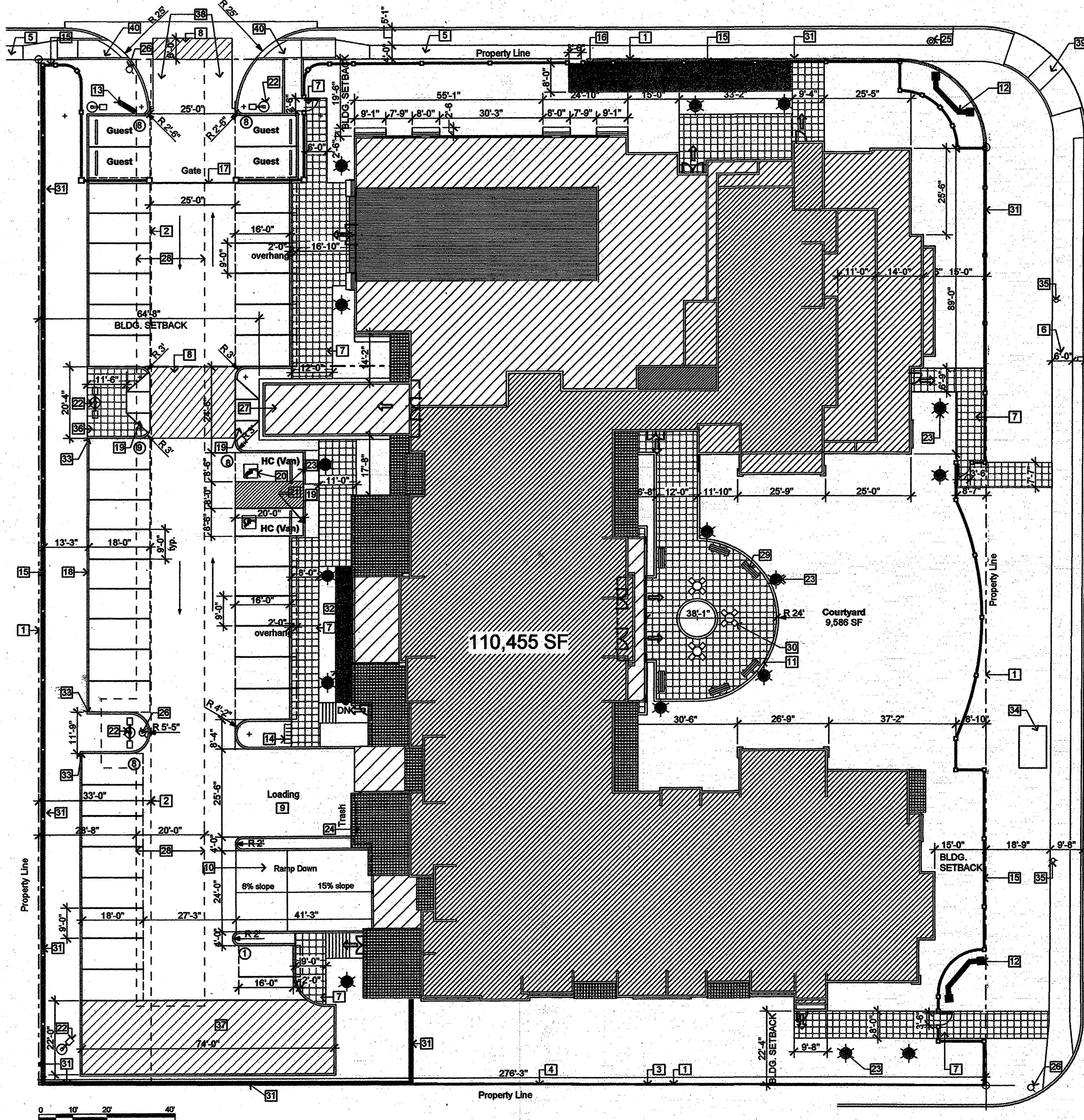
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE NO. 7, INCLUDING AMENDMENT NO. 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT, TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY ABCWUA PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE ABCWUA SEVEN (7) DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ☐ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	*****		
		DRG Chairman	4-23-10	APPROVED FOR CONSTRUCTION			
		Transportation	03/30/10				
		Water/Wastewater	3/30/10				
		Hydrology	3-30-10				
		Parks					
		Const. Mngmt.		CITY ENGINEER DATE			
		Const. Coord.					
DRB CASE NUMBER		CITY PROJECT NO.		SHEET			
1003102		785582		1 OF 5			

LAGRIMA DE ORO (60' R-O-W)



1 Site Plan
SCALE: 1" = 20'

JUAN TABO BLVD. (100' R-O-W)

ROOF AND BUILDING HEIGHT LEGEND

- Flat Roof Height (47'-6") - Max. Parapet Height (46")
- Flat Roof Height (44") - Max. Parapet Height (48")
- Flat Roof Height (33") - Max. Parapet Height (37'-6")
- Flat Roof Height (17'-8" to 22") - Max. Parapet Height (24'-6")
- Flat Roof Height (11") - Max. Parapet Height (14'-6")
- Metal Roof (25'-9")
- Concrete Tile Roof (Varies) - Max. Height (44'-4")

Note: Flat Roof is a Single Ply Roofing System. Roof membrane white reflective color over solid insulation.

LIGHTING LEGEND

- LIGHTING - 16' (Parking Circulation)
See Detail 5/Sheet 3
- LIGHTING - 3' (Pedestrian)
See Detail 4/Sheet 3

NOTES:
All light fixtures shall be shielded in conformance with the City Zoning Code Section 14-16-3-9. Height shall be measured from the finished grade to the top of pole. Wall mounted sconces shall be a maximum of 10' in height. There shall be a minimum 1 foot-candle of lighting on all parking and pedestrian pathways per ADA. All lighting shall comply with NM Night Sky Protection Act.

COMMON AREA CALCULATIONS

Area Type	Area (SF)
ADMINISTRATION	139.71
AQUATIC CENTER	6,499.28
CIRCULATION	14,760.39
HEALTH & FITNESS	3,652.91
KITCHEN/DINING	4,409.88
MECHANICAL	2,603.06
PARKING @ basement	15,878.42
RESIDENT ACTIVITY	3,157.61
RESTROOMS	501.80
	51,603.08 sq ft

UNIT MIX BY FLOOR

Unit Type	Qty
First Floor	
INDEPENDENT LIVING - 1 BED	5
INDEPENDENT LIVING - 2 BED	3
	8
Second Floor	
INDEPENDENT LIVING - 1 BED	7
INDEPENDENT LIVING - 2 BED	6
INDEPENDENT LIVING - 2 BED+DEN	2
INDEPENDENT LIVING - 3 BED	2
	17
Third Floor	
INDEPENDENT LIVING - 1 BED	8
INDEPENDENT LIVING - 2 BED	6
INDEPENDENT LIVING - 2 BED+DEN	2
INDEPENDENT LIVING - 3 BED	2
	18
Fourth Floor	
INDEPENDENT LIVING - 1 BED	6
INDEPENDENT LIVING - 2 BED	7
INDEPENDENT LIVING - 3 BED	2
	15
	58
GUEST ROOM @ FIRST FLOOR	
	3

Parking Calculations

Parking Required: 1.5 per unit (87 spaces)
Guest Rooms: 1 per room (3 spaces)

Total Required Parking: 90 spaces (including 3 guest and 4 H.C. spaces)

Transit Reductions: 10% for building within 300 feet of transit route
5% for transit shelter
Total transit reduction: 15% of 90 spaces = 77 spaces

Bicycle spaces required: 1 per 20 vehicle spaces (5 spaces)

Motorcycle spaces required: 3 per 51-100 vehicle spaces (3 spaces)

Total Parking Provided:

Surface	42 spaces (including 4 guest, 2 H.C. Van spaces) and 5 Bicycle spaces
Basement	40 spaces (including 2 H.C. spaces) and 5 Motorcycle spaces
Total:	82 spaces (including 4 guest and 4 H.C. spaces) 5 Bicycle spaces 5 Motorcycle spaces

SHEET INDEX

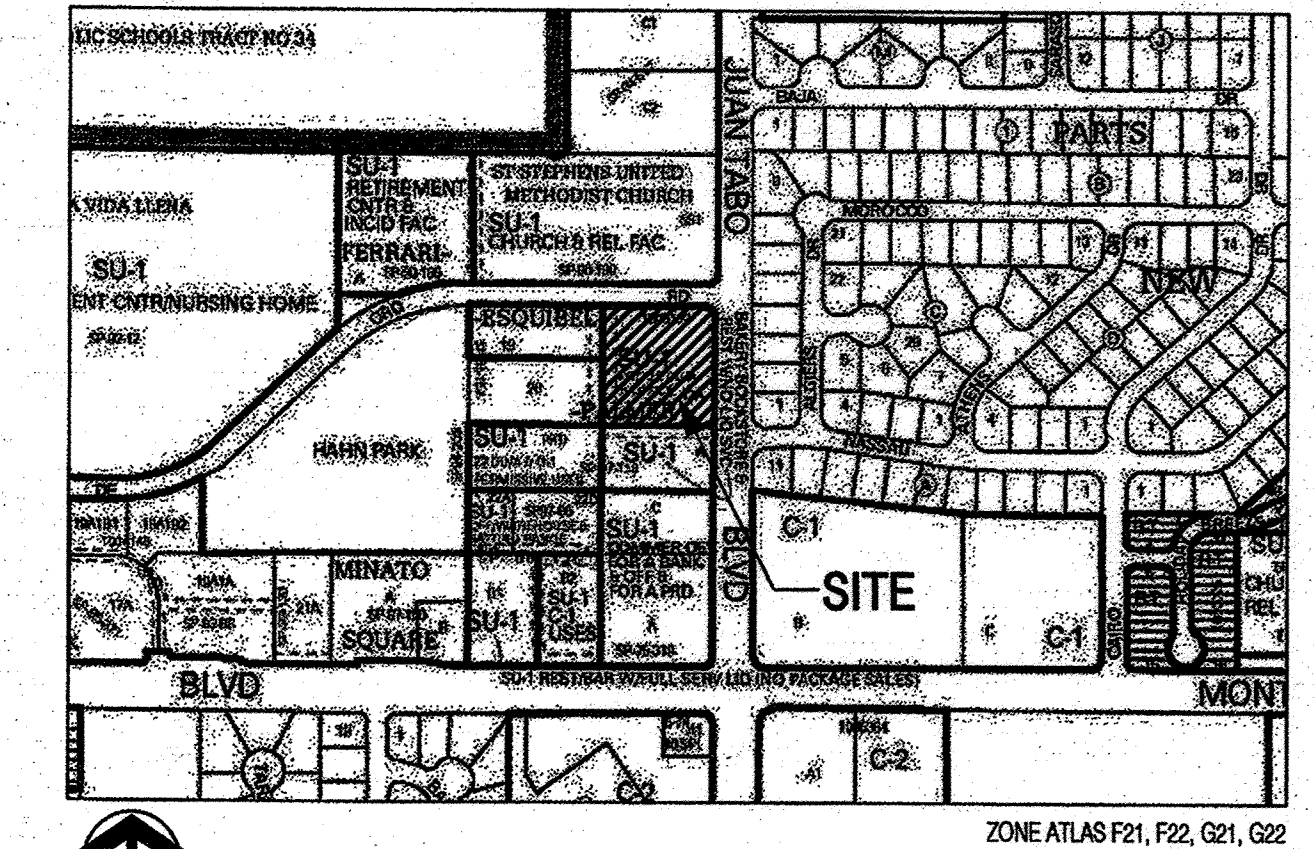
- Sheet 1 Site Plan
- Sheet 2 Basement Plan and Section
- Sheet 3 Details
- Sheet 4 Landscape Plan
- Sheet 5 Grading Plan
- Sheet 6 Utility Plan
- Sheet 7 Building Elevations
- Sheet 8 Building Elevations
- Sheet 9 Building Elevations

SITE KEYNOTES

- Property Line
- Existing 33' Private Access & P.U.E.
- Existing Coyote Fence
- New 6' C.M.U. Wall - Stucco Finish (Color: Light Brown)
- Existing 4' Sidewalk
- Existing 6' Sidewalk
- Pedestrian Walkway (stamped & colored concrete) refer to plan for width
- Pedestrian Crosswalk (colored & textured concrete) refer to plan for width
- Loading Dock
- Ramp to underground basement parking
- Patio (stamped & colored concrete) 2,467 SF
- Monumental Signage - refer to Detail 2/Sheet 3
- Directional Signage - refer to Detail 3/Sheet 3
- Bicycle Rack
- Metal Fence - refer to Detail 6/Sheet 3
- Pedestrian Gate
- Retractable Gate (Entry gate will remain open during regular business hours. Residents will have an automatic gate opener for after hours.)
- Concrete Curb
- Handicapped Access Ramp - refer to Detail 7/Sheet 3
- Handicapped Parking Symbol
- Handicapped Parking Sign (12'x18')
- 16' Lighting fixture, pole & base - refer to Detail 5/Sheet 3
- 3' Lighting fixture - refer to Detail 4/Sheet 3
- Trash Compactor & Recycling Area (located inside bldg.)
- Existing Stop Sign
- New Fire Hydrant
- Covered Walkway at Entry
- Proposed 20' P.U. Easement (Water and Storm Drain)
- Site bench
- Patio table
- C.M.U. Retaining Wall (refer to grading for height) Stucco Finish (Color: Light Brown)
- Pedestrian Ramp - refer to grading for slope
- Curb Opening - refer to grading plan
- Future Bus Shelter - COA Standard Detail Dwg. 2533
- Existing streetlight
- Pedestrian waiting area
- Fire Lane
- Private driveway entrance per COA std. dwg 2426
- Curb ramp per COA std. dwg 2441, case 11
- Curb ramp per COA std. dwg 2440

GENERAL NOTE:
ALL RAMPS WITHIN THE PUBLIC RIGHT OF WAY SHALL HAVE TRUNCATED DOMES

SITE VICINITY



PROJECT DATA

PROPERTY: Lot 12-A, Lands of Ferrari-Esquivel-Palmer
LOT SIZE: 1.91 Acres
ZONING: SU-1 for Retirement Center and Related Facilities
ACTUAL BUILDING SETBACKS PROVIDED: 19'-6" at North, 22'-4" at South, 6'-4" at West and 15'-0" at East
LAND USE: "Housing for Older Persons" as defined in the federal Housing for Older Persons Act (42 U.S.C., §3607 (b)(2)) and uses will include related facilities.
PROPOSED BUILDING TYPE: V-A
BUILDING SQUARE FOOTAGE: Total 110,455 S.F.; 1st Floor = 31,369 S.F.; 2nd Floor = 21,913 S.F.; 3rd Floor = 21,728 S.F.; 4th Floor = 18,967 S.F.; Basement = 16,478 S.F.
MAXIMUM BUILDING HEIGHT PROVIDED: 48'-0"
DENSITY AND FLOOR AREA RATIO: 30.37 DU/AC; 1.13 F.A.R.
TRANSIT: Bus Route 1 along Juan Tabo Blvd. and Bus Route 5 along Montgomery Blvd.

THIS SITE PLAN FOR BUILDING PERMIT REPLACES THE PREVIOUS SITE PLAN FOR BUILDING PERMIT, 08EPC-00147
PROJECT NUMBER: 1003102
Application Number: 08EPC-40029
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 18, 2009, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division
ABCWUA
Christina Sandoval
Parks and Recreation Department
City Engineer
8-19-09
10-20-09
8-19-09
8-19-09

Environmental Health Department (conditional)
Solid Waste Management
DHS Chairperson, Planning Department
8-18-09
8-19-09

SITE PLAN FOR BUILDING PERMIT

LA VIDA LLENA

Prepared for:
La Vida Llena
10501 Lagrima de Oro NE
Albuquerque, NM 87111

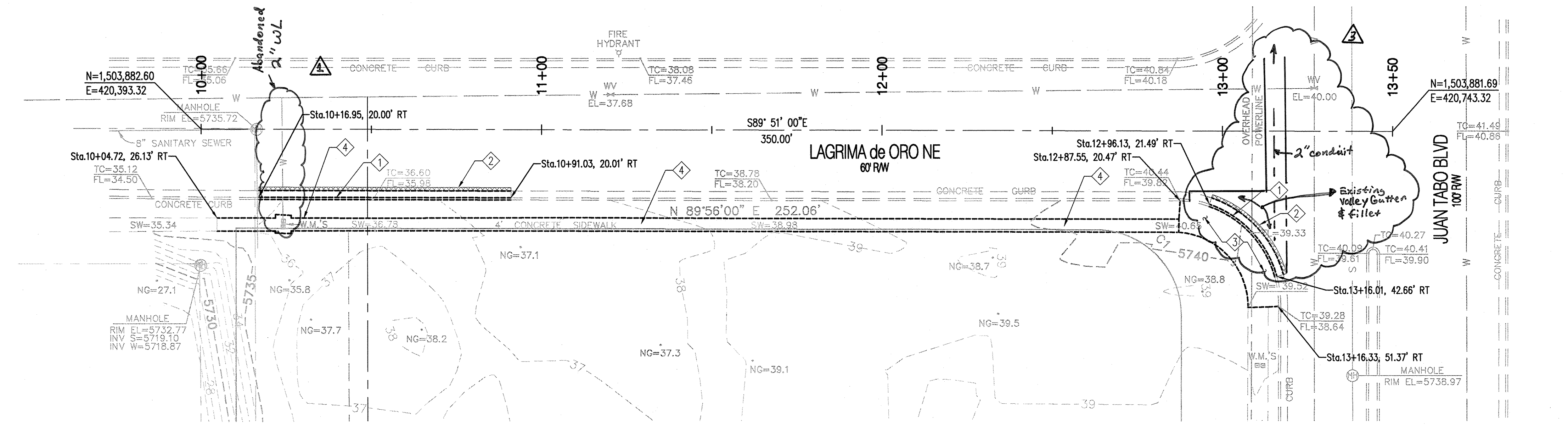
Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Irwin Pancake
245 Fisher Ave., Suite B-2
Costa Mesa, CA 92626

Bohannon Huston, Inc.
Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM 87109-4835

IRWIN
PANCAKE
ARCHITECTS
8/17/2009

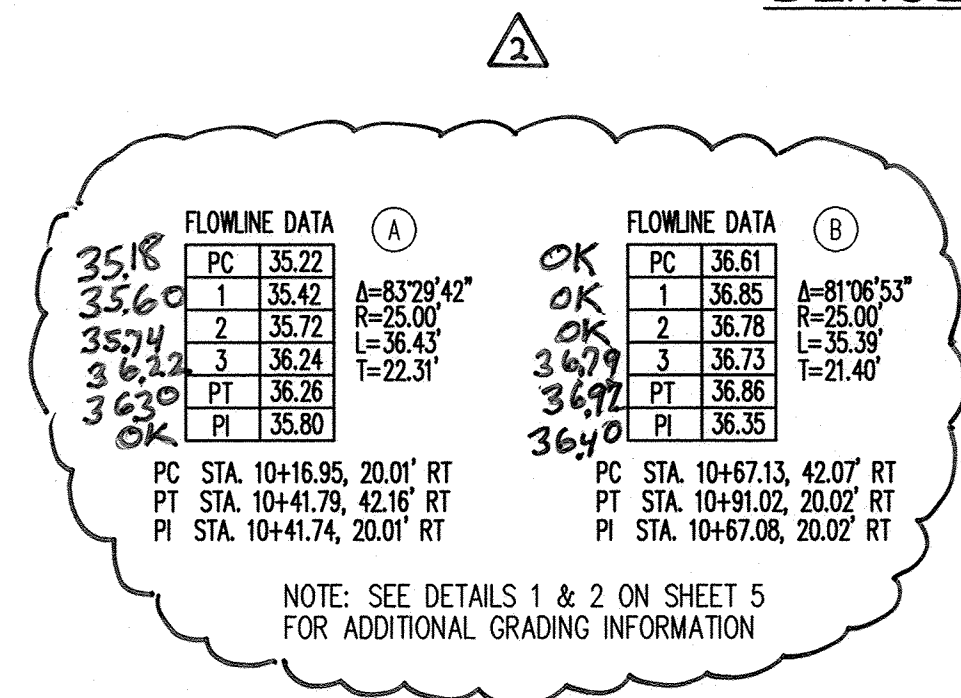
NOTE: CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH THE PAVING PLANS TO DETERMINE EXACT LIMITS OF REMOVAL.



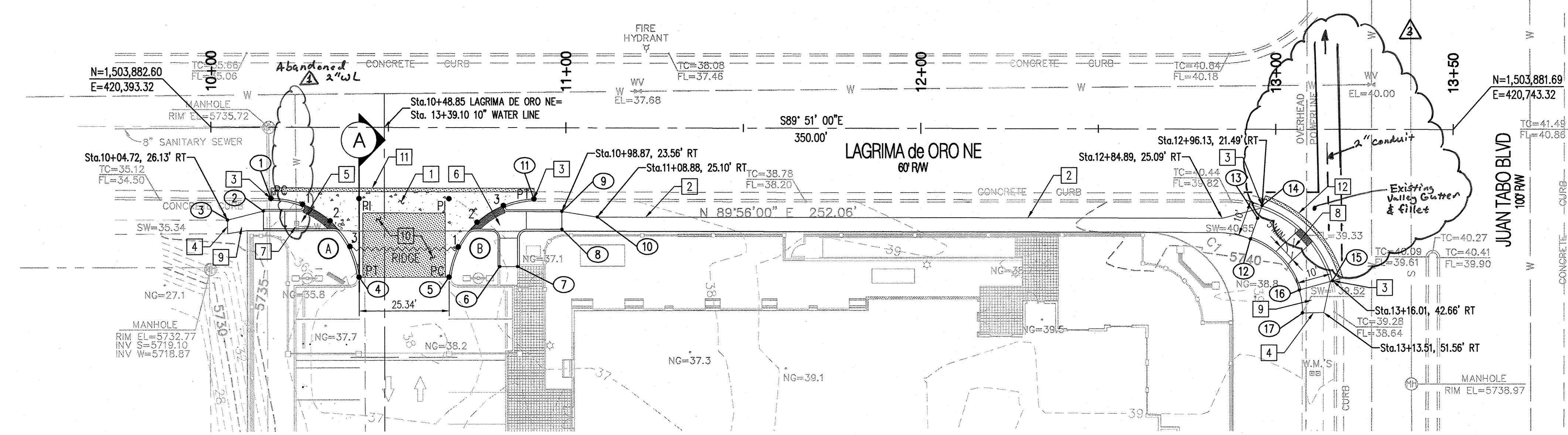
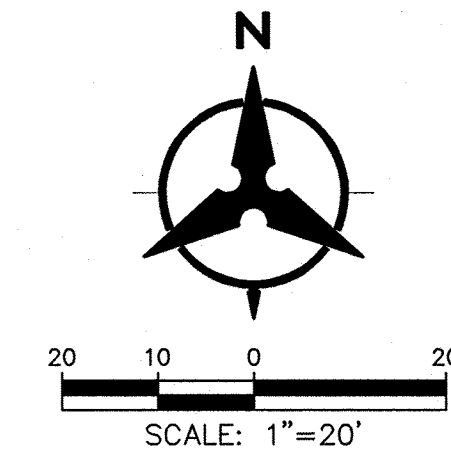
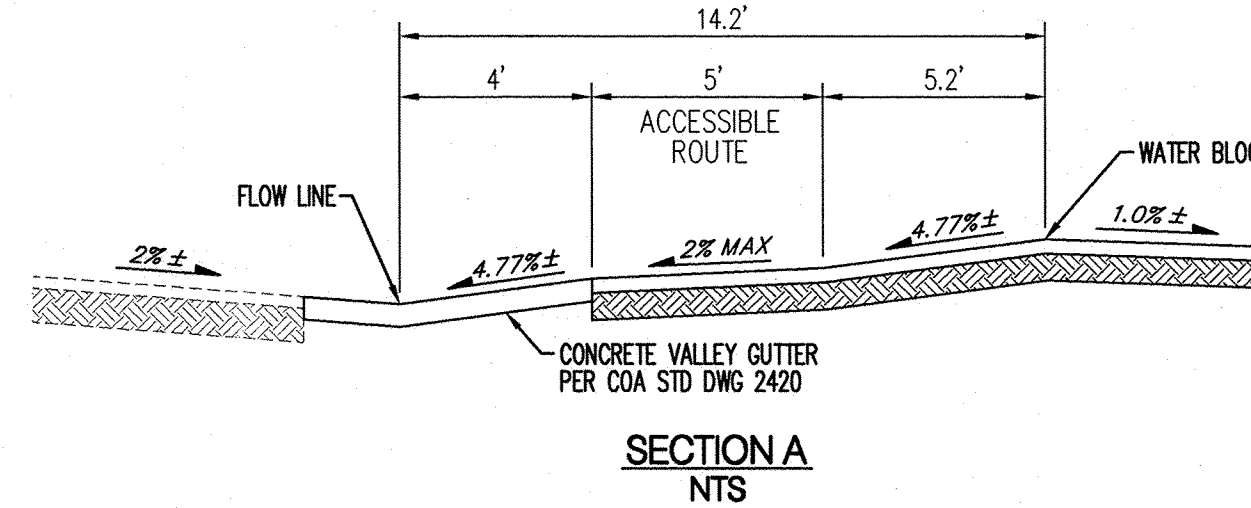
NOTE: COORDINATE POINTS ARE TO FACE OF CURB OR EDGE OF SIDEWALK

Point Table		
	NORTHING	EASTING
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3	1503856.46	420397.97
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5	1503840.35	420460.35
6	1503843.29	420474.62
7	1503843.29	420479.63
8	1503853.78	420492.13
9	1503858.78	420492.13

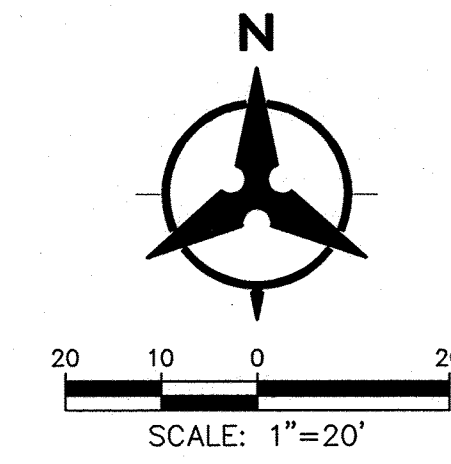
Point Table		
	NORTHING	EASTING
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11	1503862.34	420484.29
12	1503850.90	420686.11
13	1503856.74	420688.14
14	1503860.34	420689.40
15	1503839.12	420709.22
16	1503836.54	420699.82
17	1503830.12	420700.74



DEMOLITION PLAN



PAVING PLAN



DEMOLITION KEYED NOTES

1. REMOVE & DISPOSE OF EXISTING CURB & GUTTER.
2. SAWCUT, REMOVE, & DISPOSE OF EXISTING ASPHALT PAVEMENT. SAWCUT LINE SHALL BE ONE FOOT (1') FROM EXISTING LIP OF GUTTER.
3. REMOVE & DISPOSE OF EXISTING CURB RAMP & SIDEWALK.
4. REMOVE & DISPOSE OF EXISTING SIDEWALK.

PAVING KEYED NOTES

1. CONSTRUCT 6" CONCRETE VALLEY GUTTER PER COA STD DWG 2420.
2. CONSTRUCT 4' WIDE CONCRETE SIDEWALK PER COA STD DWG 2430.
3. MATCH EXISTING CURB & GUTTER HORIZONTALLY & VERTICALLY.
4. MATCH EXISTING SIDEWALK HORIZONTALLY & VERTICALLY.
5. CONSTRUCT CURB RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL 1/5.
6. CONSTRUCT CURB RAMP WITH DETECTABLE WARNING SURFACE PER DETAIL 2/5.
7. EXISTING WATER METER, BOX, AND COVERS TO BE ADJUSTED VERTICALLY AND HORIZONTALLY AS NECESSARY FOR CONSTRUCTION OF NEW CURB RAMP.
8. CONSTRUCT CURB RAMP WITH DETECTABLE WARNING SURFACE PER COA STD DWG 2441 CASE II.
9. CONSTRUCT SIDEWALK CONNECTION PER COA STD DWG 2430.
10. INSTALL ASPHALT PAVEMENT SECTION PER DETAIL 5 ON SHEET 5.
11. INSTALL ASPHALT PAVEMENT PER COA STD DWG 2465 (RESIDENTIAL).
12. INSTALL ASPHALT PAVEMENT PER COA STD DWG 2465 (ARTERIAL).

HATCHING LEGEND

- PROPOSED ASPHALT PAVEMENT
- ASPHALT PAVEMENT REMOVAL
- CONCRETE VALLEY GUTTER

Bohannon & Huston
Courtney I 7800 Jefferson St NE Albuquerque, NM 87109-4336
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

LA VIDA LLENA PUBLIC INFRASTRUCTURE
LAGRIMA DE ORO NE
DEMOLITION & PAVING PLAN

DESIGN REVIEW COMMITTEE
APPROVED
APR 28 2010
DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL
APPROVED
OCT 03 2011
CITY ENGINEER

LAST DESIGN UPDATE

CITY PROJECT NO.

785582

ZONE MAP NO.

F-21-Z

SHEET

3 OF 5

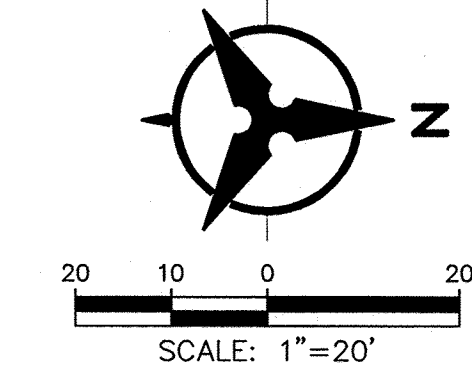
AS-BUILT INFORMATION			BENCH MARKS			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR	DATE	DATE	NO.	BY	DATE	NO.	BY	DATE	NO.	BY	DATE
AS-Built Record	5/12	5/12	AS-Built Record	5/12	5/12	AS-Built Record	5/12	5/12	AS-Built Record	5/12	5/12
REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE	REVISIONS	NO.	DATE
DESIGNED BY	CSB	DATE 3/2010	DESIGNED BY	CSB	DATE 3/2010	DESIGNED BY	CSB	DATE 3/2010	DESIGNED BY	CSB	DATE 3/2010
DRAWN BY	BO	DATE 3/2010	DRAWN BY	BO	DATE 3/2010	DRAWN BY	BO	DATE 3/2010	DRAWN BY	BO	DATE 3/2010
CHECKED BY	CSB	DATE 3/2010	CHECKED BY	CSB	DATE 3/2010	CHECKED BY	CSB	DATE 3/2010	CHECKED BY	CSB	DATE 3/2010

RECORD DRAWING

MATERIALS:
WATER LINE: C900-PVC DR18

MECHANICAL JOINTS (C900-PVC)	LENGTH OF RESTRAINED JOINTS
8"x8"x8" TEE	45' (BRANCH)
10"x10"x4" TEE	1' (BRANCH)
10"x10"x6" TEE	10' (BRANCH)
10"x10"x10" TEE	57' (BRANCH)
6" GATE VALVE/CAP	55'
8" GATE VALVE/CAP	72'
10" GATE VALVE/CAP	86'
10"x8" REDUCER	29'
10" 45° VERTICAL BEND	36" UPPER/13" LOWER

- NOTE:
- RESTRAINED JOINTS ANALYZED WITH TYPE SM SOIL, 1.5 SAFETY FACTOR, 3 FT MIN VUL, TRENCH TYPE 4, AND WITH 150 PSI MAX PRESSURE.
 - ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 - ALL SERVICE/FIRE LINES SHALL BE RESTRAINED THE ENTIRE DISTANCE FROM THE FITTING TO THE CAP.
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS, UNLESS SPECIFIED DIFFERENTLY IN THE PLANS. ALL PIPE JOINTS WITHIN 20 LF OF A MJ SHALL BE RESTRAINED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS TO THE SPECIFIED DISTANCE LISTED IN THE RESTRAINED JOINT TABLE (THIS SHEET).
 - THE CONTRACTOR SHALL TREAT CONNECTIONS TO EXISTING LINES AS A CAP WHEN CALCULATING RESTRAINED LENGTH.
 - WATER LINE SHALL BE FULLY RESTRAINED WITHIN CASING.



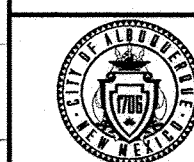
KEYED NOTES

- INSTALL 10" C900 DR18 PVC WATER LINE. SEE TYPICAL TRENCH SECTION ON SHEET 5.
- CONNECT TO EXISTING 8" PVC WATER LINE. INSTALL 8"x8"x8" TEE W/ RESTRAINED JOINTS, 1-8" GATE VALVE W/ BOX & LID PER REVISED COA STD DWG 2326 SHOWN ON SHEET 5, & 10"x8" REDUCER.
- CONNECT TO EXISTING 10" PVC WATER LINE. INSTALL 10"x10"x10" TEE W/ RESTRAINED JOINTS & 2-10" GATE VALVES W/ BOX & LID PER REVISED COA STD DWG 2326 SHOWN ON SHEET 5.
- INSTALL 10"x10"x6" TEE, 6" GATE VALVE W/ BOX & LID PER REVISED COA STD DWG 2326 SHOWN ON SHEET 5, & 1-FIRE HYDRANT COMPLETE PER COA STD DWG 2340.
- INSTALL 10"x45° VERTICAL BEND W/ RESTRAINED JOINTS.
- INSTALL 10"x10"x4" TEE W/ RESTRAINED JOINTS.
- INSTALL 4" C900 DR18 PVC WATER SERVICE LINE (FULLY RESTRAINED) TO METER VAULT.
- INSTALL 3" WATER METER & VAULT PER REVISED COA STD DWG 2370 SHOWN ON SHEET 5. INSTALL 2-4"x3" REDUCERS INSIDE METER VAULT. ONE BEFORE METER AND ONE AFTER METER.
- INSTALL 1" TAPPING SADDLE AND 1" IRRIGATION SERVICE LINE PER COA STD DWG 2363 WITH METER BOX & COVER.
- INSTALL 10"x10"x6" TEE, 6" GATE VALVE W/ BOX & LID PER REVISED COA STD DWG 2326 SHOWN ON SHEET 5 AND 23LF 6" FIRE LINE. CAP END OF LINE.
- INSTALL REMOVABLE BOLLARD PER COA STD DWG 2250.
- INSTALL 16LF OF 18" STEEL CASING STANDARD CLASS (0.375" NOMINAL WALL THICKNESS) WITH CASING END SEAL PER COA STD SPEC SECTION 710.
- SAW-CUT, REMOVE, & REPLACE EXISTING ASPHALT PAVEMENT PER COA STD DWG 2465.
- REMOVE & REPLACE EXISTING CURB & GUTTER AS REQUIRED FOR UTILITY TRENCH. MATCH EXISTING.
- INSTALL 4"x22.5" BEND W/ RESTRAINED JOINTS.

LEGEND

- REMOVE & REPLACE EXISTING ASPHALT PAVEMENT
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED CONTOUR
- EXISTING EASEMENT
- EXISTING WATER LINE
- EXISTING WATER METER
- EXISTING CAP
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED EASEMENT
- PROPOSED WATER LINE
- PROPOSED VALVE
- PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER

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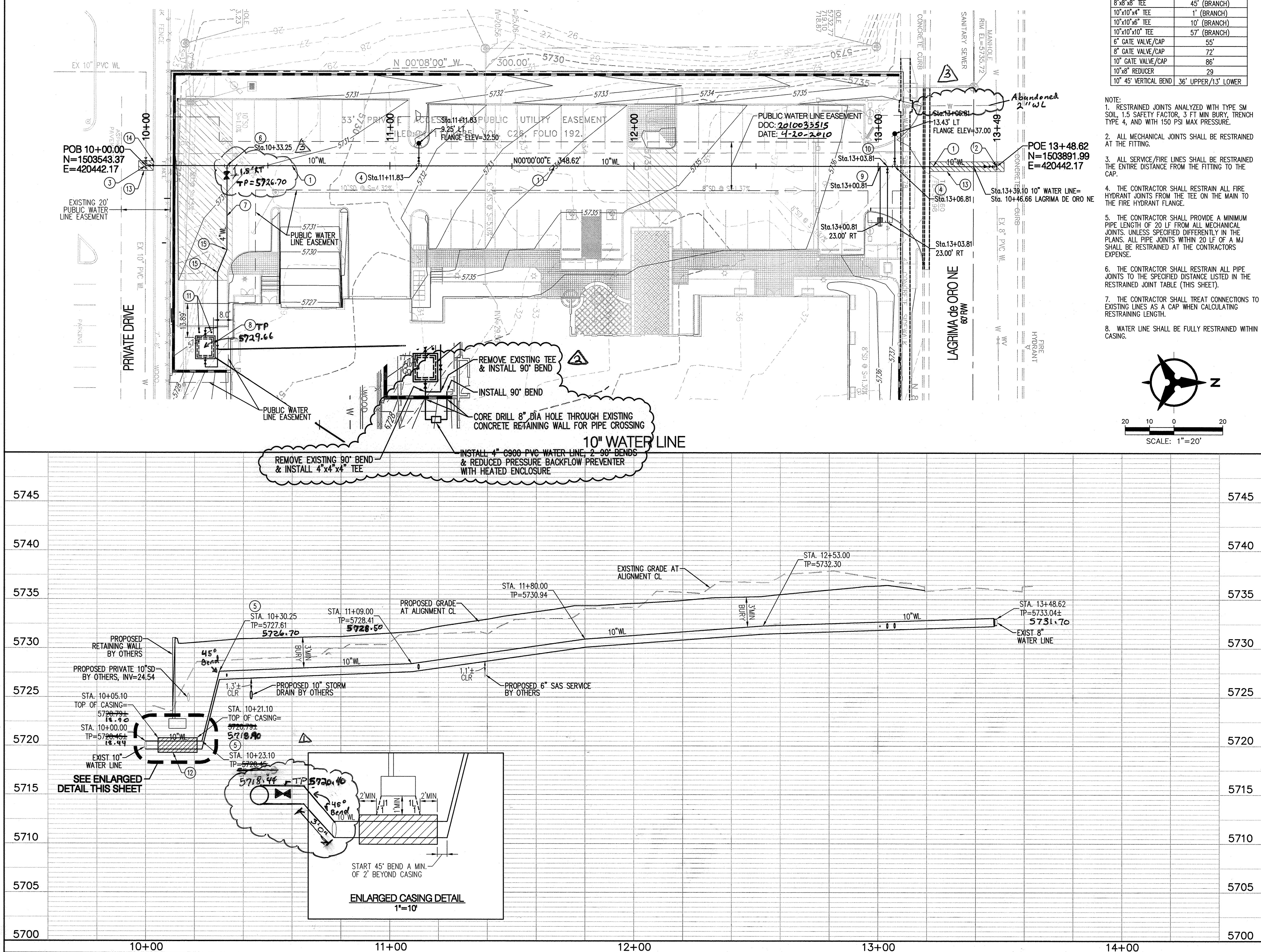
CITY OF ALBUQUERQUE
 DEPARTMENT OF
 MUNICIPAL DEVELOPMENT

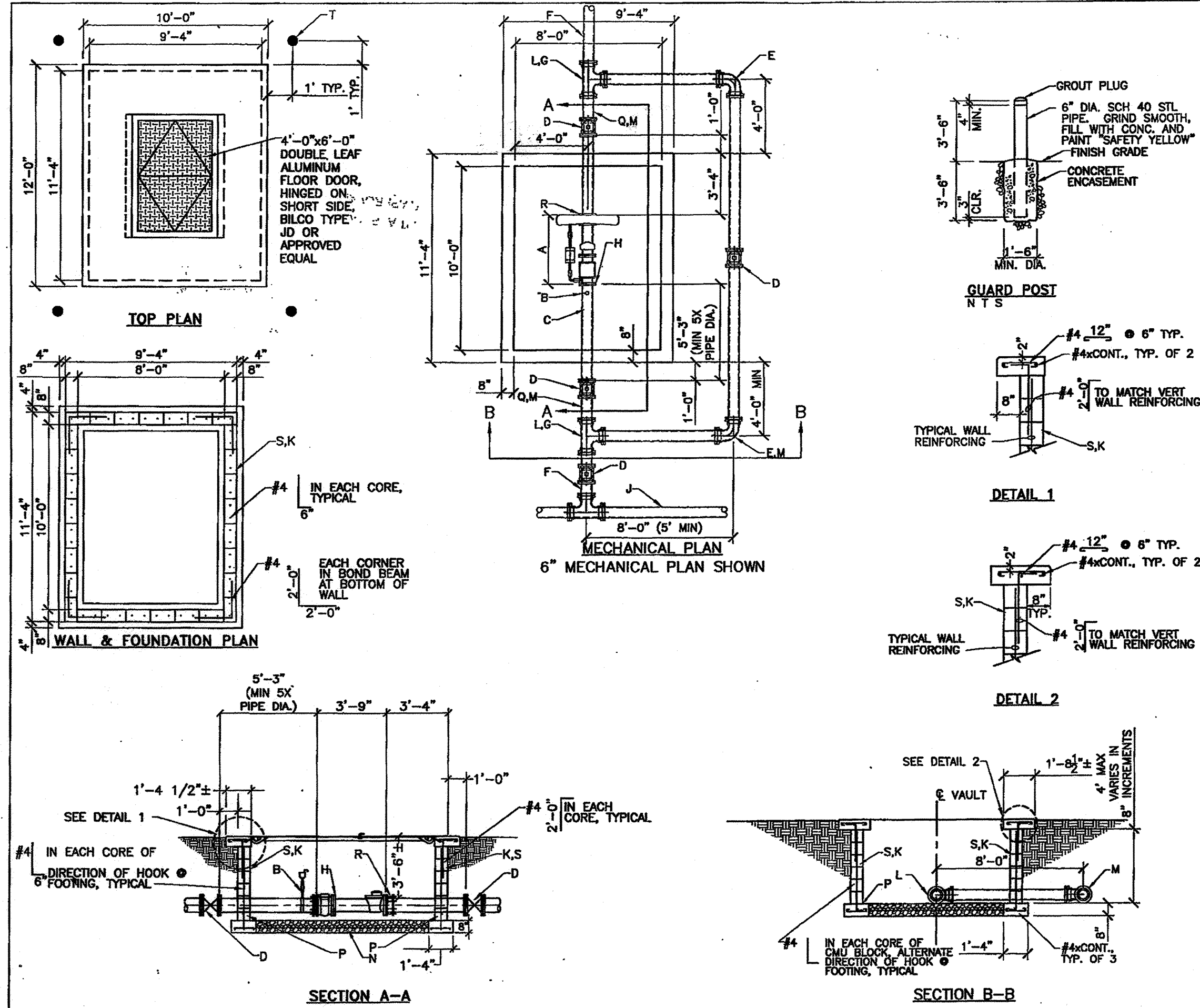
LA VIDA LLENA PUBLIC INFRASTRUCTURE
 10" WATER LINE
 PLAN & PROFILE



MO./DAY/YR.	MO./DAY/YR.

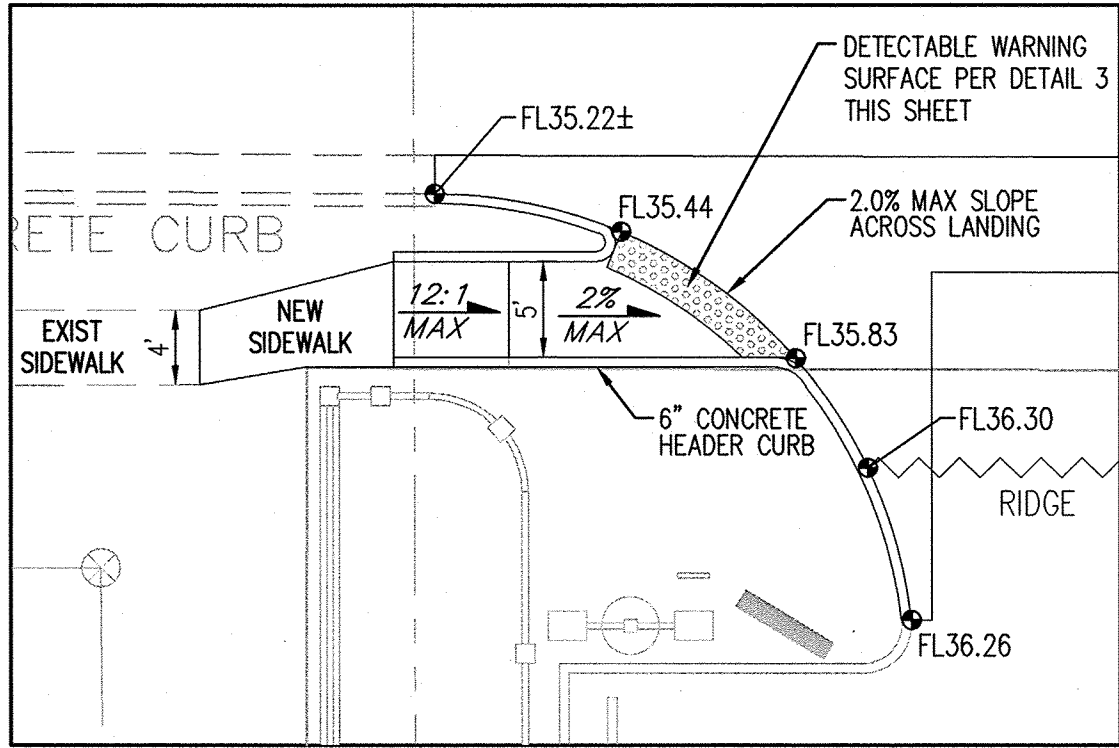
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
785582	F-21-Z	4	5





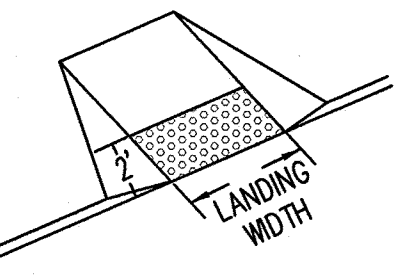
- GENERAL NOTES:**
1. COMPRESSIVE STRENGTH OF ALL CONCRETE SHALL BE 3500 PSI PER EXTERIOR CONC. SPEC. SEC. 101.
 2. COMPACT SUBGRADE UNDER AND 12" EITHER SIDE OF FOOTING TO 95% MAXIMUM DENSITY, PER ASTM D-1557 TO 6" MIN. DEPTH.
 3. PRECAST CONCRETE VAULT MAY BE USED IN LIEU OF CMU. CONSTRUCTION WITH WATER AUTHORITY APPROVAL. SUBMIT DETAILS FOR REVIEW.
 4. VAULT NOT TO BE PLACED IN TRAFFIC AREAS.
- CONSTRUCTION NOTES:**
- A. LENGTH VARIES DEPENDING ON METER SIZE. COORDINATE WITH LAYING LENGTH REQUIRED. METER AND STRAINER TO BE PROVIDED AND INSTALLED BY ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY.
 - B. 1" SADDLE TAP, 1" GATE VALVE AND 1" AIR RELEASE VALVE. AIR RELEASE VALVE SHALL BE APCO MODEL NO. 200A OR APPROVED EQUAL.
 - C. D.I. SPOOL (FLANGE) LENGTH AS REQ'D. MINIMUM LENGTH SHALL BE 5 TIMES THE PIPE DIAMETER.
 - D. GATE VALVE (M) WITH MEGALUGS WITH VALVE BOX PER STANDARD DRAWING 2326.
 - E. 90° ELBOW (M) WITH MEGALUGS.
 - F. MAIN SERVICE LINE.
 - G. MJ TEE WITH MEGALUGS.
 - H. MEGA FLANGE-FLANGE ADAPTER, SERIES 2100 AS MANUFACTURED BY EBAA IRON SALES, OR APPROVED EQUAL.
 - J. MAIN DISTRIBUTION LINE.
 - K. FILL ALL CMU CORES WITH 3000 PSI. CONCRETE, TYP.
 - L. ROLL TEE UP AS REQUIRED.
 - M. ROLL 90° ELBOW DOWN AS REQUIRED.
 - N. 3/4" GRAVEL FILL PER ASTM C33, NO. 57 GRAVEL, 8" DEPTH.
 - P. CONTINUOUS BOND BEAM AT BOTTOM OF WALL WITH #4CONT. SEE FOUNDATION PLAN FOR ADDITIONAL REINFORCING AT CORNERS.
 - Q. D.I. PIPE (FLANGE) LENGTH AS REQUIRED.
 - R. FLANGE COUPLING ADAPTER, (FCA).
 - S. 8"x16"x8" HOLLOW CORE CONCRETE BLOCK (CMU).
 - T. 6" CONCRETE FILLED GUARD POST, TYPICAL OF 4. SEC. 101 EXTERIOR CONCRETE, F=3500 psi @ 28 DAYS.

REVISIONS	WATER AUTHORITY
	WATER
	LARGE DIAMETER
	METER VAULT
	3'-6" SERVICE
	DWG. 2370
	JANUARY 2010

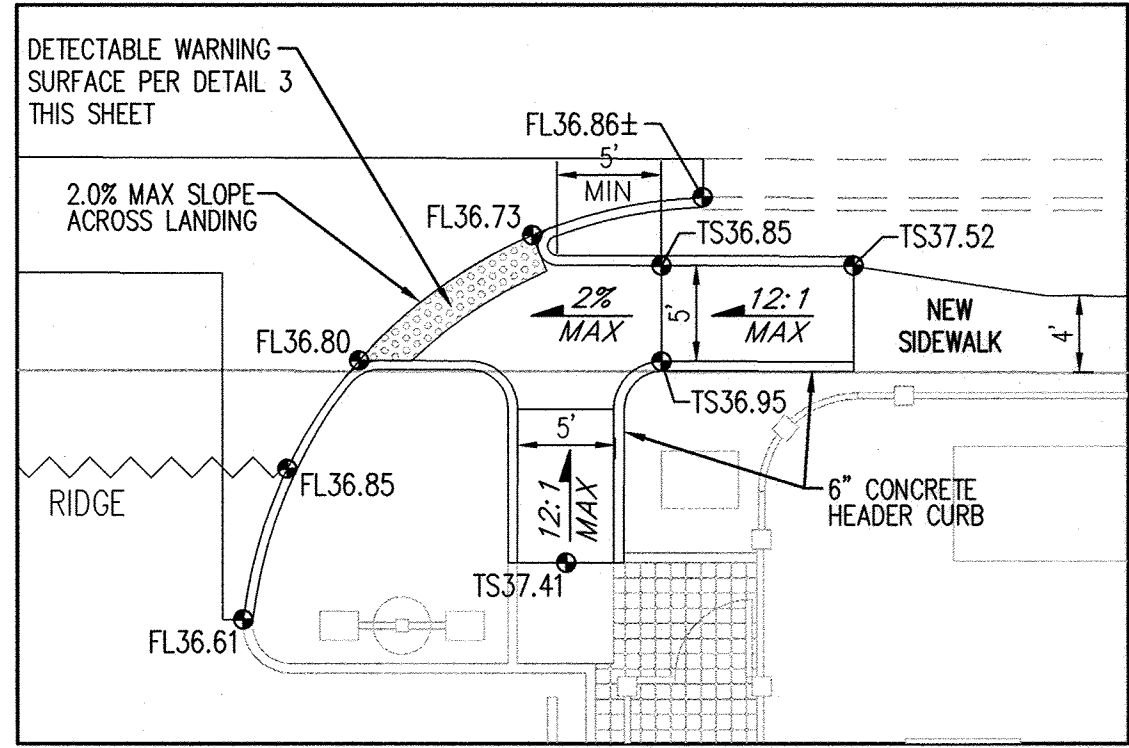


1 ENLARGED CURB RETURN AND RAMP DETAIL
1"=10'

CONTRACTOR SHALL INSTALL DETECTABLE WARNING SURFACE ON NEW CURB RAMP. THE WARNING SURFACE SHALL BE CAST-IN-PLACE WITH TRUNCATED DOME TACTILE CUES. THE COLOR MUST BE SAFETY YELLOW. CONTACT THE CITY OF ALBUQUERQUE ENGINEER FOR AN APPROVED LIST OF VENDORS AND PRODUCTS. DESIGN PER ADA GUIDELINES. SUBMIT SPECIFICATIONS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

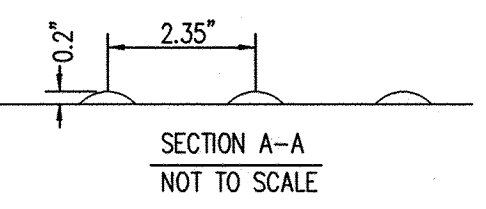


3 DETECTABLE WARNING SURFACE
NTS

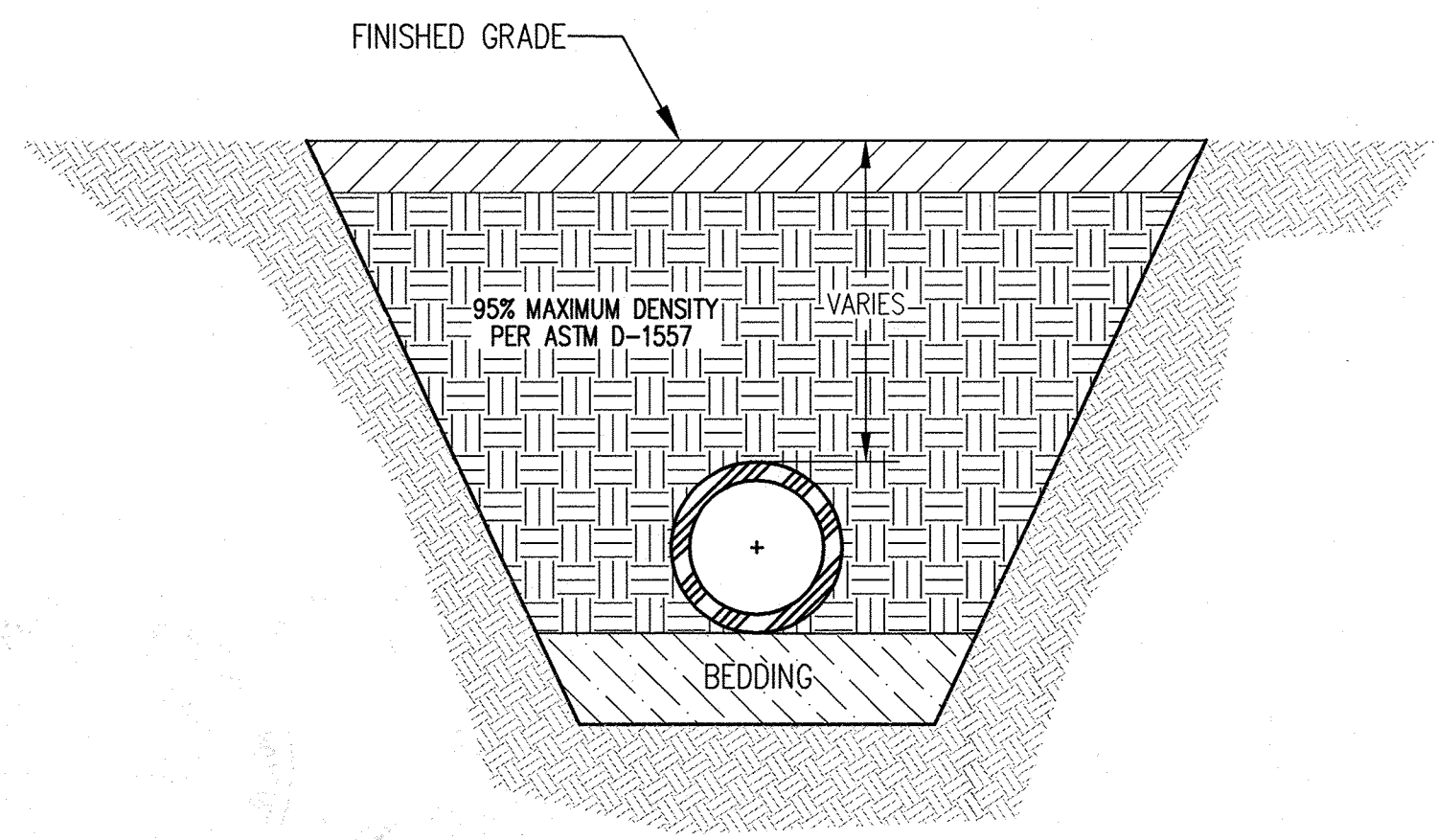


2 ENLARGED CURB RETURN AND RAMP DETAIL
1"=10'

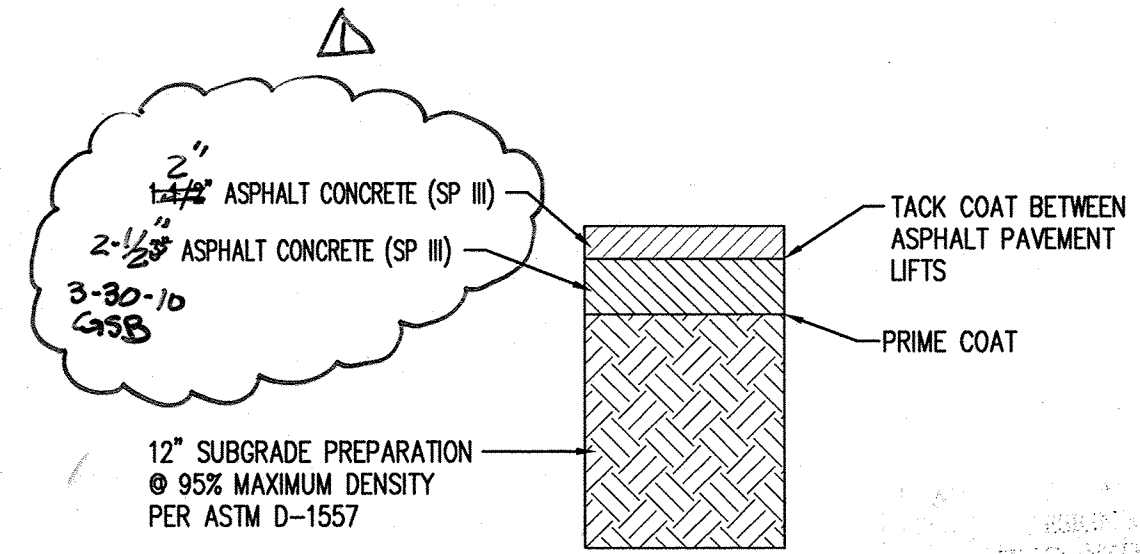
DETECTABLE WARNING SURFACE NOTE:
THE DETECTABLE WARNING SURFACE SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 23mm (0.9"), A NOMINAL HEIGHT OF 9mm (0.2"), AND A NOMINAL CENTER TO CENTER SPACING OF 60mm (2.35").



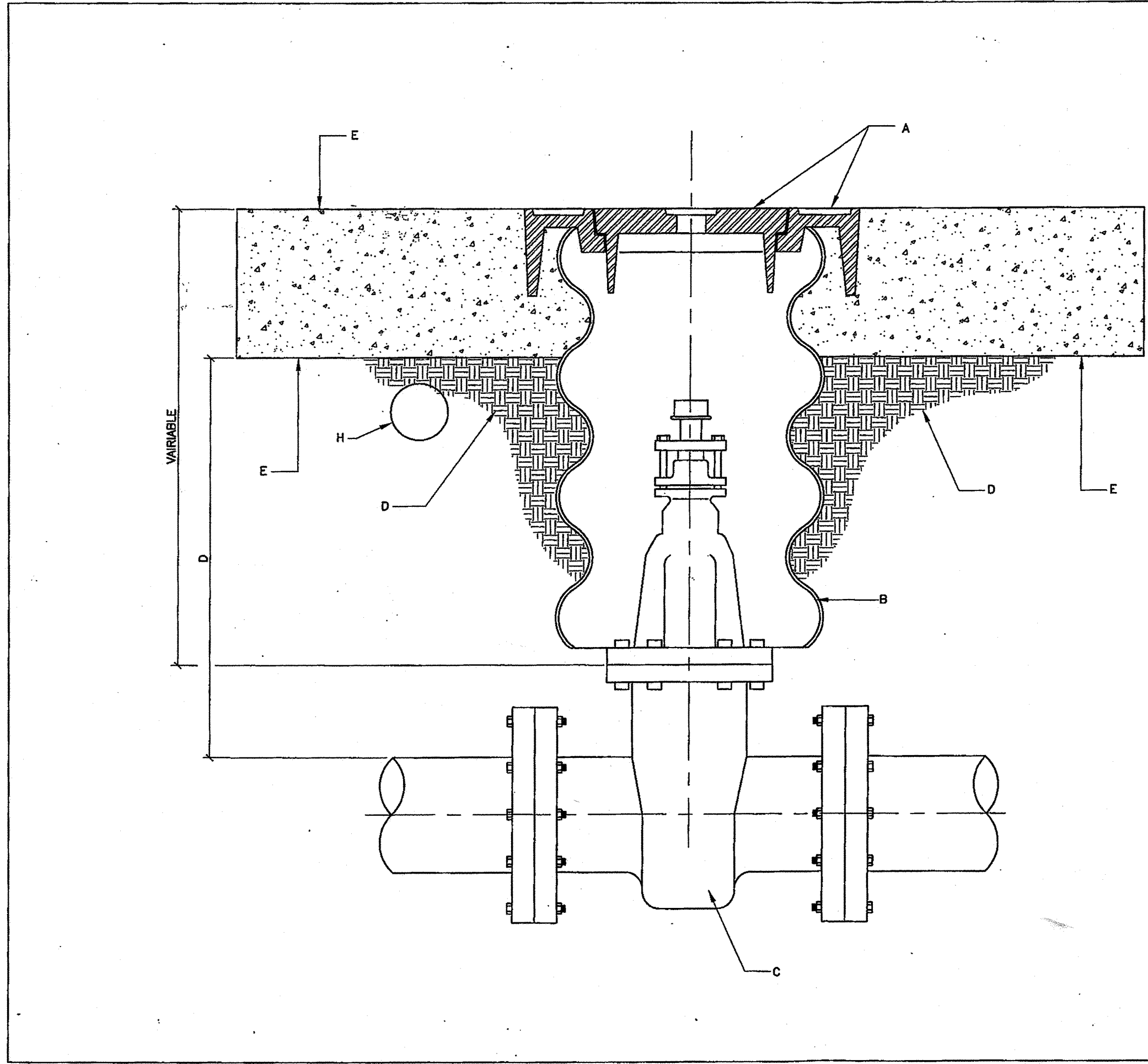
SECTION A-A
NOT TO SCALE



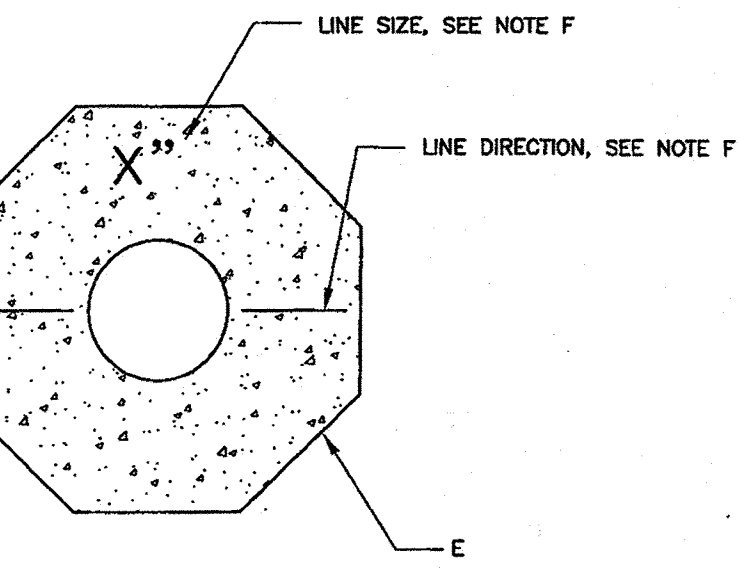
4 TYPICAL TRENCH COMPACTION DETAIL
NTS



5 PAVEMENT SECTION
NTS



- GENERAL NOTES:**
- A. VALVE BOX RING AND COVER PER C.O.A. STD. DWG. 2328.
 - B. 12" DIAMETER CORRUGATED METAL PIPE (CMP), TAR COATED.
 - C. NEW OR EXISTING VALVE.
 - D. COMPACTED BACKFILL SOIL OR BASE COURSE MATERIAL (95% COMPACTION). SEE SECTION 701.
 - E. CONCRETE COLLAR PER C.O.A. STD. DWG. 2461.
 - F. TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT. ADD "FL" FOR VALVES ON FIRE LINES.
 - G. MIN. 6" OR MATCH EXISTING.
 - H. ELECTRONIC MARKER DEVICE (EMD), SEE COA STANDARD SPECIFICATION SECTION 170.



LABEL REQUIREMENTS

REVISIONS	WATER AUTHORITY
	WATER
	VALVE BOX
	DWG. 2328
	JANUARY 2010

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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
LA VIDA LLENA PUBLIC INFRASTRUCTURE DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
APPROVED APR 23 2010 DESIGN REVIEW COMMITTEE	APPROVED OCT 03 2011 CITY ENGINEER		

DESIGNED BY	DRAWN BY	CHECKED BY	DATE
CSB	BO	CSB	3/2010

NO. DATE	REVISIONS	BY	DATE
	DESIGN		

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
785582	F-21-Z	5	5