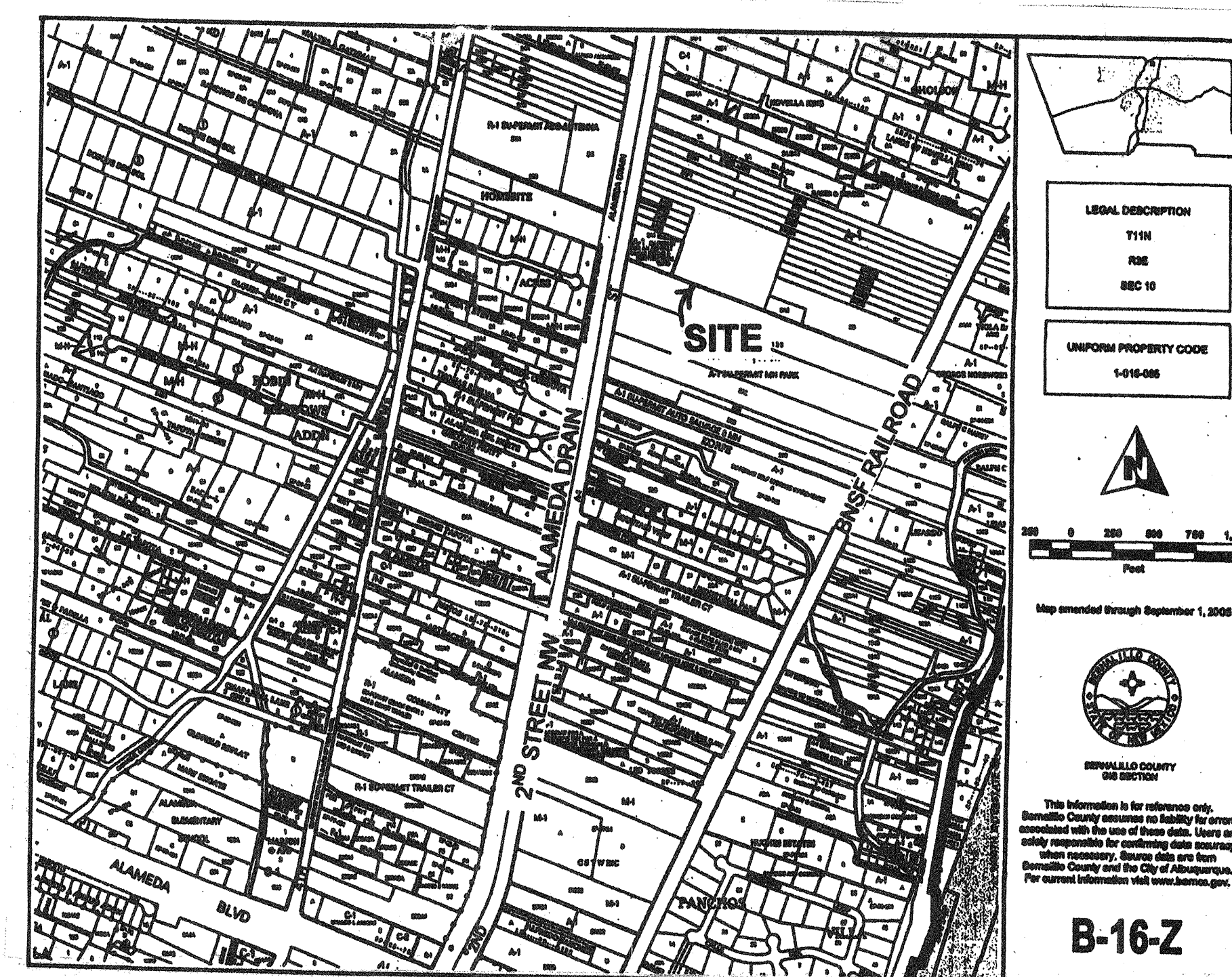
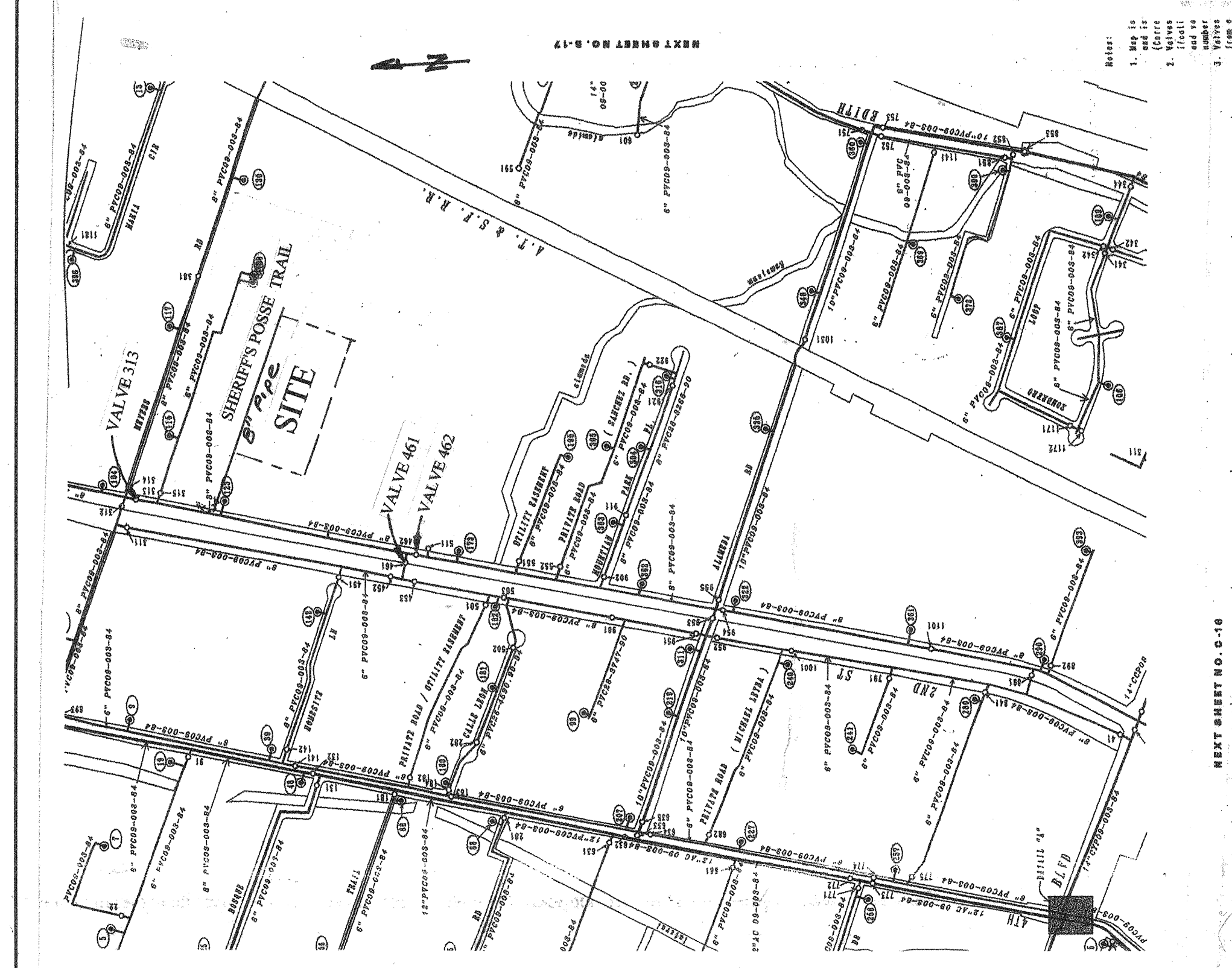


APRIL, 2006

BERNALILLO COUNTY



WATER SHUT OFF PLAN

SHUTTING OFF WATER WILL REQUIRE CLOSING VALVES 313.461 & 462

LOCATION MAP

ENGINEER'S CERTIFICATION
I, THE UNDERSIGNED BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO DO HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ACTUAL FIELD MEASUREMENTS MADE BY BURTON ENGINEERS, LLC. AND THAT ON THIS DATE THE AS-BUILT CONDITION OF THE SITE IS IN SUBSTANTIAL COMPLIANCE WITH THE PLANS PREPARED BY BURTON ENGINEERS, LLC. FOR CITY OF ALBUQUERQUE PROJECT #786081.

Richard Burton
RICHARD BURTON MPEP 4947

DATE 07/05/07

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION THROUGH UPDATE NO. 7 WITH AMENDMENT NO. 1 AND WILL BE REFERRED TO HEREIN AS "STANDARD SPECIFICATIONS".
2. ALL CONSTRUCTION WITHIN COUNTY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE COUNTY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. CONTRACTOR AGREES THAT HE SHALL ASSUME THE SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
5. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE ACCOMPLISHED IN ACCORDANCE WITH OSHA 29CFR 1926.650 SUBPART P.
6. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN COUNTY RIGHT-OF-WAY.
7. CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION (IF REQUIRED BY BERNALILLO COUNTY PUBLIC WORKS).
8. PERMIT REQUESTS MAY BE DENIED OR DELAYED DUE TO CONFLICTS WITH OTHER PROJECTS IN THE AREA.
9. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE COUNTY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. ONLY THE COUNTY SURVEYOR SHALL REPLACE SURVEY MONUMENTS. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO STANDARD SPECIFICATIONS SECTION 4.4.
10. CONTRACTOR SHALL COORDINATE WITH WATER SYSTEMS DIVISION (857-8200) SEVEN (7) WORKING DAYS PRIOR TO ANY WORK THAT MAY AFFECT EXISTING CITY PUBLIC WATER OR SEWER UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF. EXISTING CITY VALVES TO BE OPERATED BY CITY PERSONNEL ONLY.
11. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR SHALL SUBMIT TO BERNALILLO COUNTY PUBLIC WORKS A DETAILED CONSTRUCTION SCHEDULE.
12. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM BERNALILLO COUNTY PUBLIC WORKS. CONTRACTOR SHALL NOTIFY TRAFFIC ENGINEER (848-1504) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF STANDARD SPECIFICATIONS.
13. CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF CONTRACTOR.

13. PNM WILL PROVIDE AT NO COST TO THE COUNTY OR THE CONTRACTOR THE REQUIRED PERSONNEL FOR INSPECTION OR OBSERVATION DEEMED NECESSARY BY PNM WHILE THE CONTRACTOR IS EXPOSING PNM'S CABLES. HOWEVER, THE CONTRACTOR SHALL BE CHARGED THE TOTAL COST ASSOCIATED WITH REPAIRS TO ANY DAMAGED CABLES OR FOR ANY COST ASSOCIATED WITH SUPPORTING OR RELOCATING THE POLES AND CABLES DURING CONSTRUCTION.
14. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
15. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
16. EXISTING UTILITY LINE LOCATION ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
17. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES.
18. CONTRACTOR SHALL SUPPORT ALL EXISTING, UNDERGROUND UTILITY LINES WHICH, BECOME EXPOSED DURING CONSTRUCTION. PAYMENT FOR SUPPORTING WORK SHALL BE INCIDENTAL TO WATERLINE AND/OR SEWER LINE COSTS.
19. CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST TO THE OWNER. CABLE IS TO BE SUPPORTED AT A MAXIMUM OF EVERY FIFTEEN (15) FEET. CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
20. CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
21. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAYING.
22. ALL FINAL BACKFILL FOR TRENCHES SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DENSITY PER ASTM D-1557 AND AS DIRECTED BY STANDARD SPECIFICATIONS SECTION 701.14.2 AND STANDARD DRAWING NUMBER 2315.
23. CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR PRIVATE ROADWAY EASEMENTS SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET OR INTO ANY PUBLIC DRAINAGE FACILITY.
24. REMOVALS SHALL BE DISPOSED OF OFF-SITE AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
25. CONTRACTOR SHALL DISPOSE OF ALL UNSUITABLE MATERIAL IN AN ENVIRONMENTALLY ACCEPTABLE MANNER AT A LOCATION ACCEPTABLE TO THE PROJECT MANAGER. THERE WILL BE NO DIRECT COMPENSATION FOR THIS WORK.
26. CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER WHICH WILL MINIMIZE INTERFERENCE WITH LOCAL TRAFFIC.

27. ANY WORK AFFECTING AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOURS OF CONSTRUCTION.
28. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
29. WHEN ABUTTING EXISTING PAVEMENT TO NEW, SAW CUT EXISTING PAVEMENT TO A STRAIGHT EDGE AND AT A RIGHT ANGLE, PER BC STD DWG 2465 OR AS APPROVED BY THE FIELD ENGINEER. REMOVAL OF BROKEN OR CRACKED PAVEMENT WILL ALSO BE REQUIRED. CONTRACTOR SHALL CONTACT BERNALILLO COUNTY PUBLIC WORKS (348-1500) TO REQUEST AN INSPECTION TO VERIFY PAVEMENT THICKNESS.
30. REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK SHALL BE TO THE NEAREST JOINT OR SAW CUT.
31. AT HIS OWN EXPENSE, CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENT, PAVEMENT MARKINGS, CURB AND GUTTER, HANDICAP RAMPS, AND SIDEWALK DURING CONSTRUCTION APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE, PER STANDARD SPECIFICATIONS.
32. ALL STREET STRIPING, ALTERED OR DESTROYED, SHALL BE REPLACED WITH PLASTIC REFLECTORIZED PAVEMENT MARKINGS BY CONTRACTOR TO SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
33. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
34. EMD'S SHALL BE INSTALLED ON ALL NEW WATER AND SANITARY SEWER FACILITIES IN ACCORDANCE WITH STANDARD SPECIFICATION SECTION 170.

APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTION
CITY CONSTRUCTION ENGINEER
Anthony Lopez
DATE: *01/10/98*

DRAWING INDEX

- 1 TITLE SHEET, LOCATION MAP & GENERAL NOTES
- 2 SUBDIVISION PLAT SHEET 1 OF 3
- 3 SUBDIVISION PLAT SHEETS 2 & 3 OF 3
- 4 SITE PLAN, EXISTING UTILITIES & PERMANENT SIGNS
- 5 ~~WR - AS-BUILT~~ WATER LINE PLAN & PROFILE
- 6 ~~5-R - AS-BUILT~~ DETAILS
- 7 SIGNING AND TRAFFIC CONTROL STANDARDS
- 8 TYPICAL TRAFFIC CONTROL AND SIGNING EXAMPLES

PWC0 60022				<div style="float: right; font-size: 2em; font-weight: bold;">9/19/06</div> <div style="clear: both;"></div>			
				BURTON ENGINEERS, INC. 2900 VISTA GRANDE NW ALBUQUERQUE, NM 87120 (505) 839-9365			
BERNALILLO COUNTY PUBLIC WORKS DIVISION				DATE			

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

shelpk

APPROVALS	ENGINEER	DATE
DRC Chariman	<i>[Signature]</i>	10-20-06
Transportation		
Water/Wastewater	<i>William G. Batch</i>	9/20/06
Hydrology		
Parks		
Constr. Mngmt.		

City Project No. 786081

APPROVED FOR CONSTRUCTION

[Signature] 11-15-06
City Engineer Date

SHEET 1 OF 8



VICINITY MAP
ZONE ATLAS PAGE B-16-Z

SUBDIVISION DATA/ NOTES:

1. THIS PLAT WAS COMPILED USING EXISTING DATA AND ACTUAL FIELD DATA.
2. TOTAL GROSS ACRES 6.8406 ACRES
3. NUMBER OF EXISTING TRACTS: SIX (6)
4. NUMBER OF TRACTS CREATED: FOUR (4)
5. DRAINAGE NOTE: THERE ARE NO ARROYOS, WATER COURSES OR STORM DRAINAGE FACILITIES, AS DEFINED BY THE BERNALILLO COUNTY STORM DRAINAGE ORDINANCE, No. 96-5, TRAVERSING, CROSSING OR ABUTTING THE PROPERTY SHOWN HEREON.
6. BEARINGS AND DISTANCES ARE GRID BEARINGS (NAD 1927)
7. ALL DISTANCES ARE GROUND DISTANCES - U.S. SURVEY FOOT.
8. THIS PROPERTY LIES WITHIN THE PLANNING & PLATTING JURISDICTION OF THE COUNTY OF BERNALILLO NEW MEXICO.
9. THIS PLAT SHOWS ALL EASEMENTS OF RECORD, INCLUDING VISIBLE SITE EVIDENCE AND FROM ALBUQUERQUE TITLE COMPANY BINDER FILE No. 237569KG, EFFECTIVE ON 01/13/04.
10. T.A.L.O.S. LOG NUMBER: 2005242405
11. ZONE ATLAS PAGE: B-16-Z
12. MILES OF FULL WIDTH STREETS CREATED: 0
13. THE LOTS, AS SHOWN HEREON, LIE WITHIN ZONE AH, SPECIAL FLOOD HAZARD AREAS UNINDATED BY 100-YEAR FLOOD, BASE FLOOD ELEVATION DETERMINED, ACCORDING TO THE FLOOD INSURANCE RATE MAP (F.I.R.M.), BERNALILLO COUNTY, NM, PER COMMUNITY PANEL No. 35001C0128 F, EFFECTIVE DATE, NOVEMBER 19th, 2003.
14. THE FOLLOWING UPC NUMBERS ARE FOR THE EXISTING PROPERTIES: #101606539242810218
15. THE PROPERTY, SHOWN HEREON, LIES WITHIN SECTION 10, T.11N., R.3E., N.M.P.M., IN BERNALILLO COUNTY, STATE OF NEW MEXICO.
16. THE CURRENT PROPERTY ZONING IS A-1.
17. THE PRIVATE ROAD-"OLD POSSEE TRAIL" (NOT MAINTAINED BY BERNALILLO COUNTY) SHALL NOT BE UTILIZED FOR A MAIL DELIVERY ROUTE OR FOR A SCHOOL BUS ROUTE. MAIL WILL BE DELIVERED TO AN EXISTING MAILBOX CLUSTER AT THE INTERSECTION OF "SECOND STREET" AND "OLD POSSEE TRAIL" OR TO A NEW CLUSTER EASEMENT AT THE SAME LOCATION IF NO ROOM EXISTS. (VERIFY WITH U.S. POSTAL).
18. THE FOUR PROPERTY OWNERS SHALL EQUALLY SHARE IN THE MAINTENANCE COSTS AND YEARLY UPKEEP OF THE PRIVATE ROAD - "OLD POSSEE TRAIL".
19. THE REQUIRED WIDTH OF AN APPARATUS ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING PARKING OF VEHICLES DURING CONSTRUCTION AND/OR OCCUPANCY.
20. PORTIONS OF THIS PROPERTY ARE WITHIN A 100-YEAR FLOODPLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE RATE MAP. ANY DEVELOPMENT OF THIS PROPERTY MUST CONFORM TO THE BERNALILLO COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. THE PROPERTY MAY BE SUBJECT TO THE FLOOD INSURANCE REQUIREMENTS OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). FLOOD INSURANCE IS LIKELY TO BE REQUIRED FOR DEVELOPMENT OF THESE PROPERTIES.
21. ELEVATION CERTIFICATES PREPARED BY A SURVEYOR, ENGINEER, OR ARCHITECT REGISTERED IN THE STATE OF NEW MEXICO ARE REQUIRED OF ANY FUTURE STRUCTURE(S) OR STRUCTURE ADDITION(S) WITH SUBSTANTIAL IMPROVEMENTS (50%) WITHIN A FLOODPLAIN. THE LOWEST FLOOR ELEVATION (INCLUDING A BASEMENT) MUST BE ABOVE THE BASE FLOOD ELEVATION (BFE) SHOWN ON FLOOD INSURANCE RATE MAPS (FIRM'S) PREPARED FOR THIS AREA. ELEVATION CERTIFICATES ARE TO BE PREPARED BEFORE AND AFTER CONSTRUCTION AND SHOW THE PLANNED AND CONSTRUCTED ELEVATIONS OF THE LOWEST FLOOR.
22. THE MAINTENANCE OF THE DRAINAGE RETENTION PONDS SHALL BE THE RESPONSIBILITY OF THE LOT OWNER(S).

REFERENCE DOCUMENTS:

1. TRUSTEE'S DEED OF REAL ESTATE: FILED IN BOOK 95-2, PAGE(S) 44-45, ON JANUARY 17th, 1995, AS DOCUMENT No. 95004717.
2. QUITCLAIM DEED: FILED IN BOOK 9809, PAGE 4955, ON MAY 6th, 1998 AS INSTRUMENT No. 1998056517.
3. WARRANTY DEED: FILED ON SEPTEMBER 16th, 1987, AS INSTRUMENT No. 08796877, TO BERNALILLO COUNTY SHERIFF'S POSSEE.
4. PLAT OF SURVEY: PLAT ENTITLED: "A PORTION OF TRACT 24-Q-2-b, TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6, AND PARCEL 3, PREPARED BY FRANKLIN E. WILSON, NMPS No. 6446, DATED 7/14/94, PROJECT No. 94-0139.
5. PLAT OF SURVEY ENTITLED: "ALTA/ACSM LAND TITLE SURVEY, AMERICAN FENCE COMPANY PROPERTY," PREPARED BY BERNARD W. SEITZ, JR., N.M.P.S. No. 8478, DATED FEBRUARY 19th, 1994.
6. PLAT OF SURVEY PREPARED FOR TRENT MONTANO, PREPARED BY J. ROBERT MARTINEZ, N.M.P.S. No. 4076, DATED JANUARY 26th, 1995.
7. REAL ESTATE CONTRACT: FILED IN Bk. A77, Pg. 9828 ON 5/24/2004 AS INSTRUMENT No. 2004070020.

LEGAL DESCRIPTION:

A PARCEL OF LAND, KNOWN AS A PORTION OF THE FOLLOWING TRACTS: TRACT 24-Q-2-b, TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6 AND A PORTION OF PARCEL No. 3, OF THE M.R.G.C.D. MAP No. 23 WITHIN SECTION 10, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., IN BERNALILLO COUNTY, NEW MEXICO, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT OR PARCEL OF LAND, BEING A No.4 REBAR, #8127, FROM WHICH POINT A NMSHC/ACS BRASS CAP STAMPED "NM47-1A", BEARS S18°06'17"W A DISTANCE OF 2133.27 FEET; THENCE FROM SAID POINT OF BEGINNING N18°33'31"E A DISTANCE OF 427.59 FEET TO A POINT, BEING A No. 4 REBAR, #11597; THENCE N70°32'05"W A DISTANCE OF 358.59 FEET TO A POINT, BEING A No.4 REBAR, #11597, AND BEING A POINT ON THE EASTERLY RIGHT OF WAY OF SECOND STREET; THENCE N11°09'44"E, ALONG SAID RIGHT OF WAY, A DISTANCE OF 40.23 FEET TO THE NORTHWEST PROPERTY CORNER, BEING A No.5 REBAR; THENCE S70°41'14"E A DISTANCE OF 363.75 FEET TO A POINT, BEING A No.4 REBAR, #8127; THENCE S70°40'46"E A DISTANCE OF 607.67 FEET TO THE NORTHEAST CORNER, BEING A No.4 REBAR; THENCE S19°17'04"W A DISTANCE OF 469.10 FEET TO THE SOUTHEAST CORNER, BEING A No.4 REBAR, #6446; THENCE N70°36'21"W A DISTANCE OF 601.74 FEET TO THE SAID POINT AND PLACE OF BEGINNING.

FREE CONSENT AND DEDICATION

THE REPLAT SHOWN HEREON IS CREATED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S), EXISTING UTILITY EASEMENTS SHOWN HEREON ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR WHERE INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETORS DO HEREBY CERTIFY THAT THIS REPLAT IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT EASEMENT(S) FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED HEREON FOR EXISTING UTILITIES. SAID OWNER(S) AND/OR PROPRIETOR(S) DO WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LANDS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO ALSO HEREBY GRANT THE 50' WIDE PUBLIC WATER AND SANITARY SEWER EASEMENT, SHOWN HEREON, TO THE ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY.

Hap Crawford 10/11/07
CRAWFORD & HADDOW DEVELOPMENT, LLC
HAP CRAWFORD, AUTHORIZED AGENT

ACKNOWLEDGEMENT

STATE OF NEW MEXICO }
COUNTY OF BERNALILLO } SS
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11th DAY OF October, 2007, BY HAP CRAWFORD, AUTHORIZED AGENT OF CRAWFORD & HADDOW DEVELOPMENT, LLC

Linda Seebach MY COMMISSION EXPIRES 12/2/09
NOTARY SIGNATURE



EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED HEREON:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE: GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

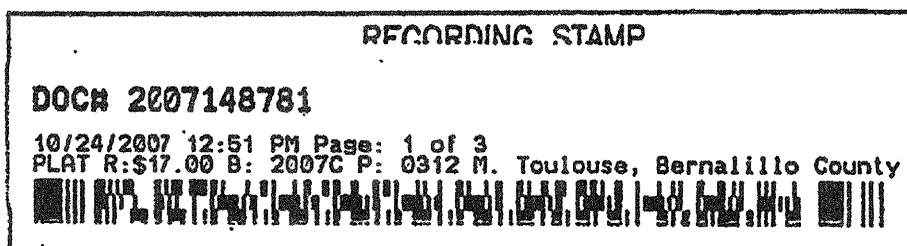
INCLUDES IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND PNM GAS SERVICES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON, CONSEQUENTLY, PNM DOES NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHT TO WHICH IT MAY BE ENTITLED.

PURPOSE OF PLAT:

1. THE PURPOSE OF THIS REPLAT IS TO DIVIDE THE SIX (6) EXISTING TRACTS TOTALING 6.8408 ACRES, INTO FOUR (4) "NEW" RECONFIGURED TRACTS



**PLAT OF TRACTS A, B, C, D
CRAWFORD & HADDOW
DEVELOPMENT, LLC**

A PARCEL OF LAND KNOWN AS A PORTION OF TRACT 24-Q-2-b, TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6 AND A PORTION OF PARCEL No. 3, OF THE M.R.G.C.D. MAP No. 23 WITHIN SECTION 10, TOWNSHIP 11 NORTH, RANGE 3 EAST N.M.P.M., IN BERNALILLO COUNTY, NEW MEXICO.
JULY 2007

COUNTY OF BERNALILLO APPROVALS:

PROJECT No. SRP 70097 APPLICATION No. 10/19/07
BERNALILLO COUNTY DEVELOPMENT REVIEW AUTHORITY, CHAIR 10-11-07
BERNALILLO COUNTY ZONING 10-11-2007
BERNALILLO COUNTY FIRE MARSHALL'S OFFICE 10/11/07
BERNALILLO COUNTY PUBLIC WORKS 10/5/07
BERNALILLO COUNTY ENVIRONMENTAL HEALTH 10-11-07
AMAFCA N/A
CITY SURVEYOR 10-9-07
MIDDLE RIO GRANDE CONSERVANCY DISTRICT (M.R.G.C.D.) DATE

UTILITIES:

Lead K. Mart 10-12-07
PNM ELECTRIC SERVICES DATE
Le B. Mub 10-12-07
PNM GAS SERVICES DATE
David Balila 10/19/07
QWEST CORPORATION DATE
David Balila 10-9-07
COMCAST CABLE DATE
William J. Walsh 10-11-07
ALBUQUERQUE/BERNALILLO COUNTY WATER UTILITY AUTHORITY DATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#
UPC# 101606539242810218

H. Oy 10/19/07
BERNALILLO COUNTY TREASURER'S OFFICE DATE

SURVEYOR'S CERTIFICATION

I, BRIAN K. MCCLINTOCK, A NEW MEXICO REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM ACTUAL FIELD NOTES OF A SURVEY PERFORMED ON THE GROUND BY ME OR UNDER MY DIRECT SUPERVISION. THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THIS SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET ALL THE MINIMUM STANDARDS FOR SURVEYING IN THE STATE OF NEW MEXICO, AND THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE COUNTY OF BERNALILLO SUBDIVISION ORDINANCE. NO ENCROACHMENTS EXIST EXCEPT AS NOTED HEREON AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

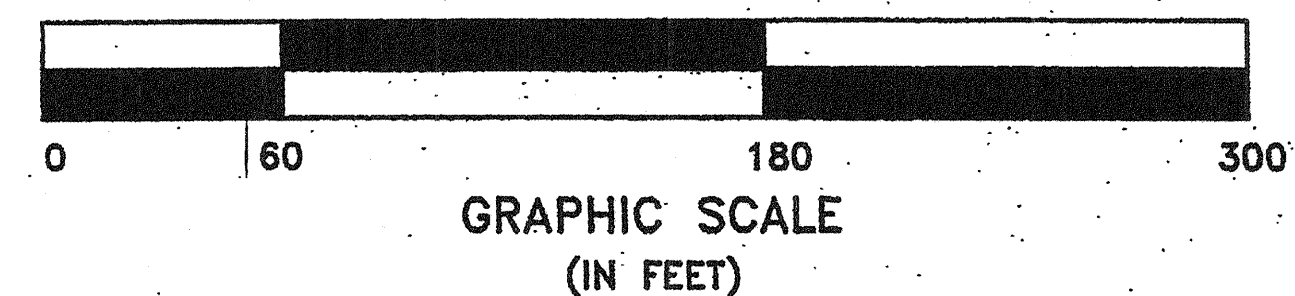
Brian K. McClintock 9/14/2007
BRIAN K. MCCLINTOCK N.M.P.S. No. 11597 DATE

**McCLINTOCK SURVEYING
AND DRAFTING, INC.**
6428 GRAYSON HILLS DR., N.E.
RIO RANCHO 771-8707 NEW MEXICO
771-8712 (FAX)



PLAT OF TRACTS A, B, C, D CRAWFORD & HADDOW DEVELOPMENT, LLC

A PARCEL OF LAND KNOWN AS A PORTION OF TRACT 24-Q-2-b,
TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6
AND A PORTION OF PARCEL No. 3, OF THE M.R.G.C.D. MAP No. 23
WITHIN SECTION 10, TOWNSHIP 11 NORTH, RANGE 3 EAST
N.M.P.M., IN BERNALILLO COUNTY, NEW MEXICO.
JUNE 2007



SCALE: 1" = 60'

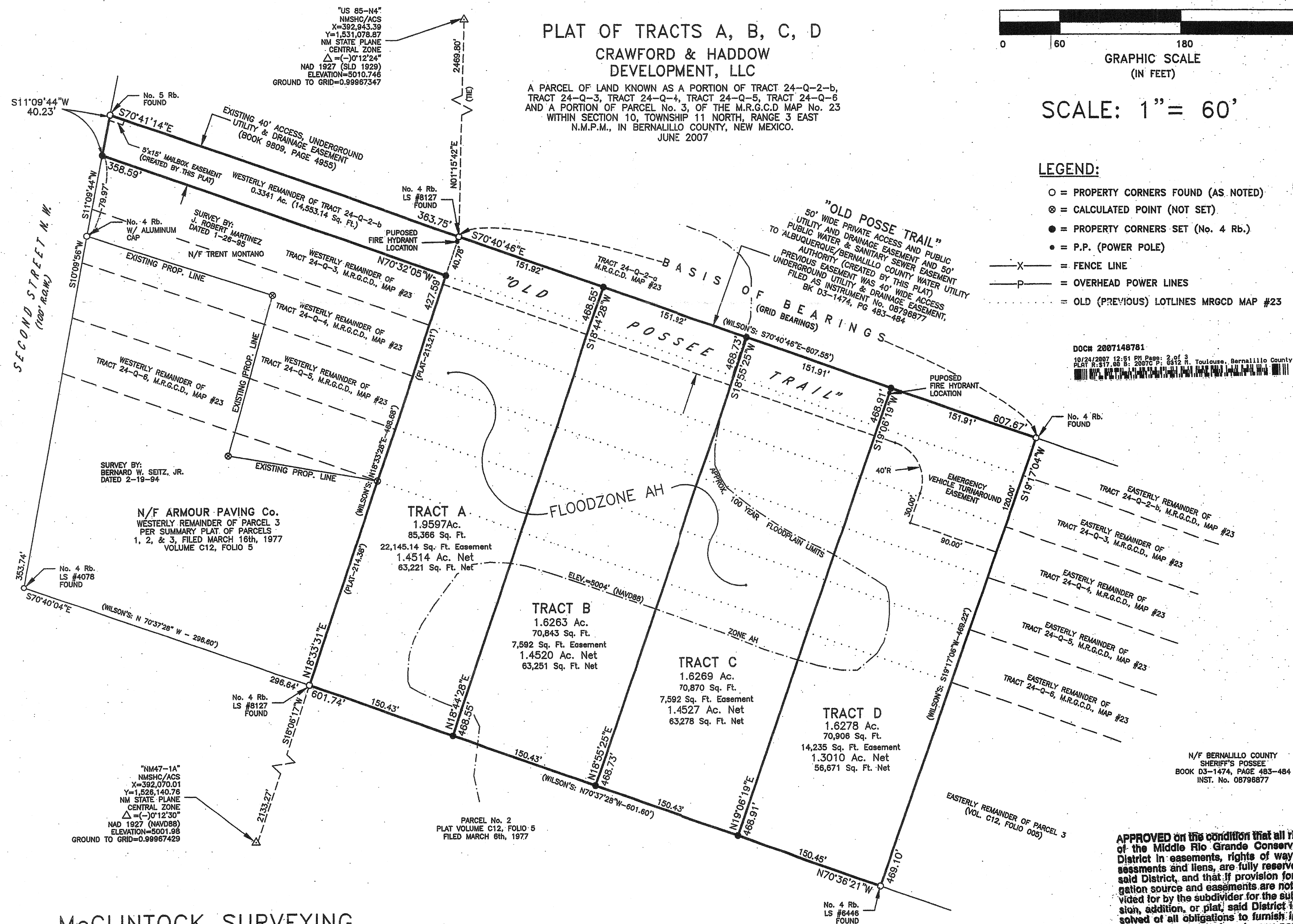
LEGEND:

- = PROPERTY CORNERS FOUND (AS NOTED)
- ⊙ = CALCULATED POINT (NOT SET)
- = PROPERTY CORNERS SET (No. 4 Rb.)
- = P.P. (POWER POLE)
- X— = FENCE LINE
- P— = OVERHEAD POWER LINES
- = OLD (PREVIOUS) LOTLINES MRGCD MAP #23



DOCH 2007148781

10/24/2007 12:51 PM Page: 2 of 3
PLAT R: 517.00 B: 2007C P: 6612 H. Toulouse, Bernalillo County

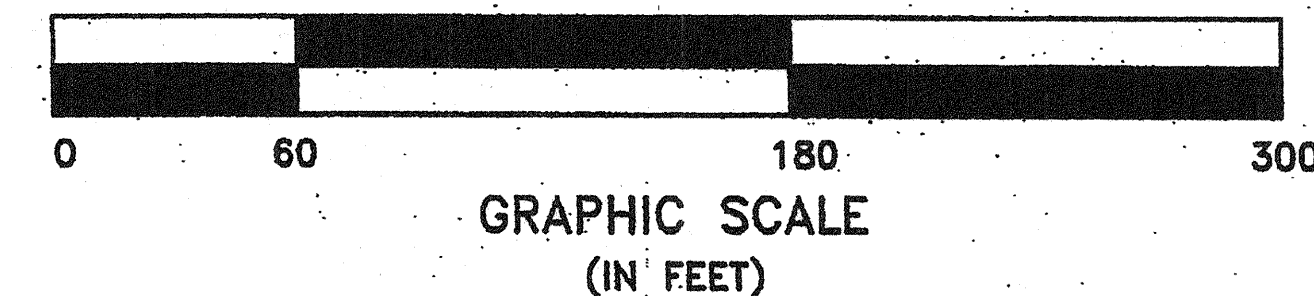


McCLINTOCK SURVEYING
AND DRAFTING, INC.

6428 GRAYSON HILLS DR., N.E.
RIO RANCHO 771-8707 NEW MEXICO
771-8712 (FAX)

PLAT OF TRACTS A, B, C, D CRAWFORD & HADDOW DEVELOPMENT, LLC

A PARCEL OF LAND KNOWN AS A PORTION OF TRACT 24-Q-2-b,
TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6
AND A PORTION OF PARCEL No. 3, OF THE M.R.G.C.D. MAP No. 23
WITHIN SECTION 10, TOWNSHIP 11 NORTH, RANGE 3 EAST
N.M.P.M., IN BERNALILLO COUNTY, NEW MEXICO.
JUNE 2007



SCALE: 1" = 60'

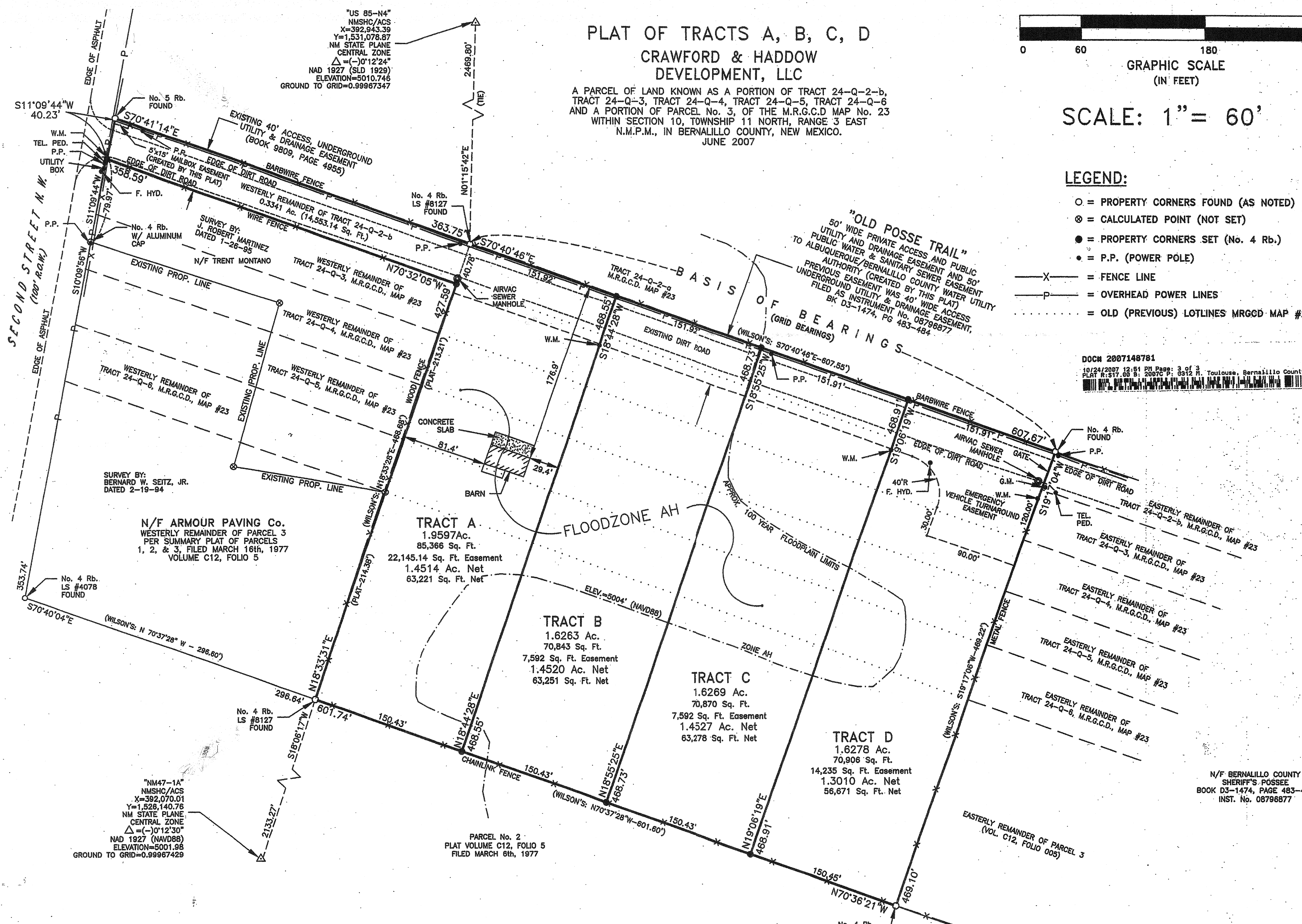
LEGEND:

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- X— = FENCE LINE
- P— = OVERHEAD POWER LINES
- ... = OLD (PREVIOUS) LOTLINES MRGCD MAP #23



DOCN 2007148781

10/24/2007 12:51 PM Page 3 of 3
PLAT 2317, 88 S. 2807C, P. 3372 R. Toulouse, Bernalillo County



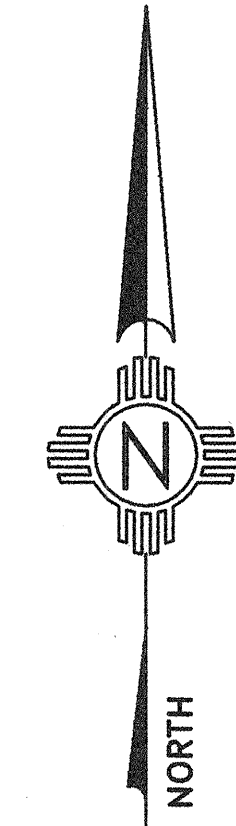
**McCLINTOCK SURVEYING
AND DRAFTING, INC.**
6428 GRAYSON HILLS DR., N.E.
RIO RANCHO 771-8707 NEW MEXICO
771-8712 (FAX)

CONNECT NEW LINE TO EXISTING LINE
ON THE EAST SIDE OF SECOND STREET
AS-BUILTS SHOW 8" PVC LINES ON
BOTH SIDES OF SECOND STREET.
INSTALL 8x8x8 TEE AND 2-8" GATE VALVES
WITH VALVE BOXES. ONE VALVE ON EXISTING
NORTH LEG AND ONE ON EAST LEG OF TEE

"US 85-N4"
NMSHC/ACS
X=392,943.39
Y=1,531,078.87
NM STATE PLANE
CENTRAL ZONE
 $\Delta = (-)0^{\circ}12'24"$
NAD 1927 (SLD 1929)
ELEVATION=5010.746
GROUND TO GRID=0.99967347

A PARCEL OF LAND KNOWN AS A PORTION OF TRACT 24-Q-2-b,
TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6
AND A PORTION OF PARCEL NO. 3, OF THE M.R.G.C.D MAP NO. 23
WITHIN SECTION 10, TOWNSHIP 11 NORTH, RANGE 3 EAST
N.M.P.M., IN BERNALILLO COUNTY, NEW MEXICO.
AUGUST 2005

○ = PROPERTY CORNERS FOUND (AS NOTED)
 ⊗ = CALCULATED POINT (NOT SET)
 ● = PROPERTY CORNERS SET (No. 4 Rb.)
 • = P.P. (POWER POLE)
 — = FENCE LINE
 — = OVERHEAD POWER LINES
 ... = OLD (PREVIOUS) LOTLINES MRGCD MAP #23
 NEW WATER VALVE
 NEW FIRE HYDRANT



SCALE: 1" = 50'

No. 4 Rb.
W/ ALUMINUM

EXISTING DE

Circumstance	U.S. adults (%)	U.S. military personnel (%)
To protect oneself or others from harm	85	80
To protect property	75	70
To protect the environment	80	75
To protect the community	65	60
To protect the country	75	70

TRACT WESTERLY REU
24-0

SURVEY BY:
BERNARD W. SEITZ, JR.
DATED 2-19-94

N/F ARM

PER SUMM.
1, 2, & 3,
VOLUME

3

(WILSON'S: N 70°37'25"

"NM47-1A"

Y=1,526,140.76
NM STATE PLANE
CENTRAL ZONE

NAD 1927 (SLD 1929)
ELEVATION=4999.281
ND TO GRID=0.99967429

DESCRIPTION

ET TO THE END OF
IT INSTALLED AND T
ED TO THE END OF

COMPARISON OF TWO DOUBT

R PAVING Co.
 ORDER OF PARCEL 3
 PLAT OF PARCELS
 MARCH 16th, 1977
 C12, FOLIO 5

TRACT A
1.9597Ac.
85,366 Sq. Ft.
45.14 Sq. Ft. Easement
1.4514 Ac. Net
63,221 Sq. Ft. Net

TRACT B
1.6263 Ac.
70,843 Sq. Ft.
592 Sq. Ft. Easement
1.4520 Ac. Net
63,251 Sq. Ft. Net

TRACT C
1.6269 Ac.
70,870 Sq. Ft.
592 Sq. Ft. Easement
1.4527 Ac. Net
63,278 Sq. Ft. Net

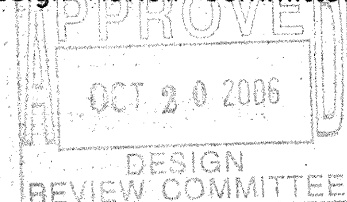
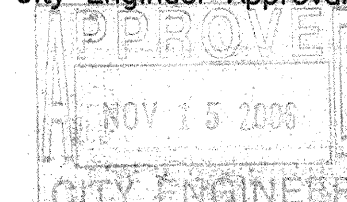

TRACT D
1.6278 Ac.
70,906 Sq. Ft.
196 Sq. Ft. Easement
1.3708 Ac. Net
59,710 Sq. Ft. Net

N/F BERNALILLO COUNTY
SHERIFF'S POSSEE
BOOK D3-1474, PAGE 483-484
INST. No. 08796877

BURTON ENGINEERS, INC.
2900 VISTA GRANDE NW
ALBUQUERQUE, NM 87120
(505) 839-9365

PROJECT DESCRIPTION
THE PROJECT CONSISTS OF INSTALLING A NEW 8" PVC C-900 WATER LINE FROM SECOND STREET TO THE END OF OLD POSSE TRAIL. THERE IS TO BE ONE (1) FIRE HYDRANT INSTALLED AND THE WATER METER FOR THE SHERIFF'S POSSE WILL BE RELOCATED TO THE END OF THE NEW 8" WATER LINE. THE PROJECT ALSO INCLUDES A NEW AIRVAC MANHOLE WITH CONNECTION TO THE EXISTING SEWER LINE AND INSTALLATION OF TWO DOUBLE METERS FOR WATER SERVICE.

See Revised
DWG - Sh. 42
for As Builts
MRD

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP				
TITLE SITE PLAN AND EXISTING UTILITIES				
Design Review Committee 	City Engineer Approval 	Last Design Update 	MO./DAY/YR. 	MO./DAY/YR.
City Project No. 786081		Zone Map No. B-16	Sheet 4 OF 8	

CONNECT NEW LINE TO EXISTING LINE
ON THE EAST SIDE OF SECOND STREET
AS-BUILTS SHOW 8" PVC LINES ON
BOTH SIDES OF SECOND STREET.
INSTALL 8x8x8 TEE AND 2-8" GATE VALVES
WITH VALVE BOXES. ONE VALVE ON EXISTING
NORTH LEG AND ONE ON EAST LEG OF TEE

STOP SIGN &
STREET SIGN

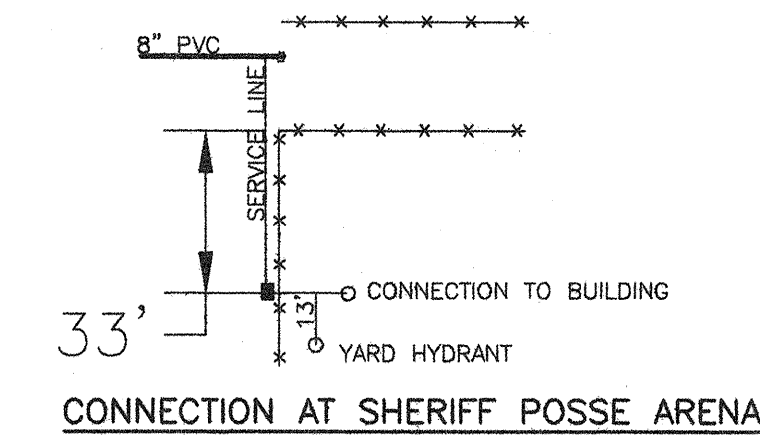
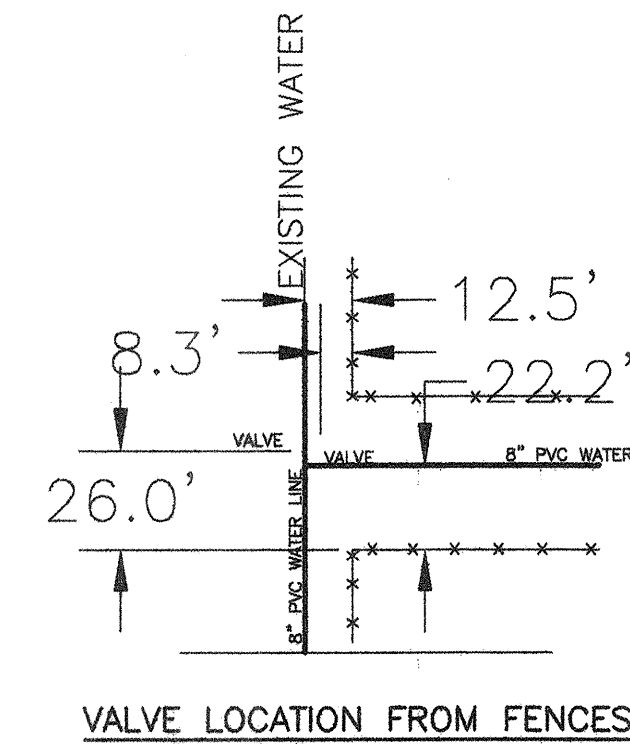
EXISTING WATER
METER TO BE M

A PARCEL OF LAND KNOWN AS A PORTION OF TRACT 24-Q-2-b,
TRACT 24-Q-3, TRACT 24-Q-4, TRACT 24-Q-5, TRACT 24-Q-6
AND A PORTION OF PARCEL No. 3, OF THE M.R.G.C.D MAP No. 233
WITHIN SECTION 10, TOWNSHIP 11 NORTH, RANGE 3 EAST
N.M.P.M., IN BERNALILLO COUNTY, NEW MEXICO.
AUGUST 2005

1. PAVING SHALL BE COA MIX DESIGN TYPE "C". THICKNESS SHALL BE DETERMINED AS SHOWN IN GENERAL NOTE 29.
2. PERMANENT SIGNS SHALL MEET STANDARDS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND SHALL BE AS FOLLOWS:
STOP SIGN - R1-1 30"x30" MOUNT 6' ABOVE ROAD WAY. A STREET SIGN SHALL BE MOUNTED ON THE SAME SIGN POST MUTCD - D3 TO READ "OLD POSSE TRAIL"
3. SIGN POSTS TO BE BREAK AWAY DESIGN PER COUNTY STANDARDS.

QUANTITIES FOR SIGNING AND PAVING
PAVING 131 SQ. YDS

- 1) THE WATER LINE IN 2ND STREET IS ABOUT 5' DEEP. THE CONTRACTOR INSTALLED THE TAPPING TEE ROTATED UP AND A 45° BEND TO RAISE THE CONNECTION ON OLD POSSE TRAIL TO THE REQUIRED 3.5' COVER.
- 2) THE WATER LINE WAS MOVED TO THE NORTH SIDE OF THE AIR-VAC SEWER LINE.



- = PROPERTY CORNERS FOUND (AS NOTED)
- ⊗ = CALCULATED POINT (NOT SET)
- = PROPERTY CORNERS SET (No. 4 Rb.)
- = P.P. (POWER POLE)
- = FENCE LINE
- = OVERHEAD POWER LINES
- ... = OLD (PREVIOUS) LOTLINES MRGCD MAP #23
- NEW WATER VALVE
- NEW FIRE HYDRANT

N/F BERNALILLO COUNTY
SHERIFF'S POSSEE
BOOK D3-1474, PAGE 483-484
INST. No. 08796877

BURTON ENGINEERS, INC.
2900 VISTA GRANDE NW
ALBUQUERQUE, NM 87120
(505) 839-9365

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE	REVISED SITE PLAN AND EXISTING UTILITIES
-------	------------------------------------------

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.
ORIGINAL DRAWING DATED 10/20/06	ORIGINAL DRAWING DATED 10/20/06			
City Project No. 786081	Zone Map No. R-16	Sheet 4R OF 8		

ENGINEER'S CERTIFICATION
I, THE UNDERSIGNED BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO DO HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ACTUAL FIELD MEASUREMENTS MADE BY BURTON ENGINEERS, LLC, AND THAT ON THIS DATE THE AS-BUILT CONDITION OF THE SITE IS IN COMPLIANCE WITH THE PLANS PREPARED BY BURTON ENGINEERS, LLC. FOR CITY OF ALBUQUERQUE PROJECT #876801.

Richard Burton
RICHARD BURTON NUPEN 4947
DATE 07/05/07

PROJECT DESCRIPTION
THE PROJECT CONSISTS OF INSTALLING A NEW 8" PVC C-900 WATER LINE FROM SECOND STREET TO THE END OF OLD POSSE TRAIL. THERE IS TO BE ONE (1) FIRE HYDRANT INSTALLED AND THE WATER METER FOR THE SHERIFF'S POSSE WILL BE RELOCATED TO THE END OF THE NEW 8" WATER LINE. THE PROJECT ALSO INCLUDES A NEW AIRVAC MANHOLE WITH CONNECTION TO THE EXISTING SEWER LINE AND INSTALLATION OF TWO DOUBLE METERS FOR WATER SERVICE.

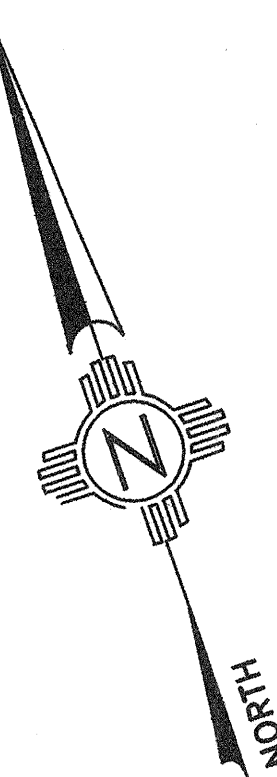
"US 85-1
 NMSHC/ACS
 X=392,943.39
 Y=1,531,078.87
 NM STATE PLANE
 CENTRAL ZONE
 $\Delta = (-) 0^{\circ} 12' 24''$
 NAD 1927 (SLD 1929)
 ELEVATION=5010.746
 TO GRID=0.99967347
 GROUND

THE CONTRACTOR IS TO VERIFY THE LOCATION OF THE EXISTING VACUUM SEWER IN OLD POSSE TRAIL AND CONSTRUCT THE NEW WATER LINE 5' SOUTH OF THIS EXISTING LINE. THE BEST INFORMATION WE HAVE SHOWS THE VACUUM SEWER IN THE CENTER OF THE EASEMENT. IF THIS IS NOT THE CASE PLEASE NOTIFY THE ENGINEER SO THAT AN ADJUSTMENT CAN BE MADE TO ALLOW 5' SEPARATION TO BE MAINTAINED BETWEEN THE WATER AND SEWER.

"OLD POSSE TRAIL"
50' WIDE PUBLIC ACCESS, UTILITY AND
DRAINAGE EASEMENT
(CREATED BY THIS PLAT)
- PREVIOUS EASEMENT WAS 40' WIDE ACCESS
UNDERGROUND UTILITY & DRAINAGE EASEMENT,
FILED AS INSTRUMENT No. 08796877
BK D3-1474, PG 483-484

NOTE THAT THE NEW PIPE LINE
ENDS AT THE PROPERTY LINE.
THERE IS NO EASEMENT TO
EXTEND FURTHER.

SCALE 1" = 50' HORIZONTAL
1" = 5' VERTICAL



SURVEY BY:
BERNARD W. SEITZ, JR.
DATED 2-19-94

TRACT
1.9597 Ac.
85,366 Sq. Ft.
2,145.14 Sq. Ft. Easement
1.4514 Ac. Net
63,221 Sq. Ft. Net

TRACT B
1.6263 Ac.
70,843 Sq. Ft.
7,592 Sq. Ft. Easement
1.4520 Ac. Net
63,251 Sq. Ft. Net

TRACT 3
1.6269 Ac.
70,870 Sq. Ft.
7,592 Sq. Ft. Easement
1.4527 Ac. Net
63,278 Sq. Ft. Net

TRACT D
1.6278 Ac.
70.906 Sq. Ft.
11.196 Sq. Ft. Easement
1.3708 Ac. Net
710 Sq. Ft. Net

QUANTITIES

1- 8x8x8 TEE
2- 8" VALVE AND VALVE BOX MJ TO MJ
1035 LF 8" PVC C-900 DR 25 WATER LINE
1/2 HYDRANT W/ 8x8x6 TEE
2-DOUBLE METER BOXES
1-SINGLE METER BOX
5-BRONZE DOUBLE STRAP SERVICE CLAMP
5-CORP STOPS
130' 3/4" SERVICE LINE
5-METER YOKES
1- AIRVAC MANHOLE INSTALLATION
MISCELLANEOUS CONCRETE

ALL WATER METER BOXES AND COVERS SHALL BE HEAVY DUTY. PROVIDE DUAL CHECK VALVES IN ALL METER YOKES. SEE COA STANDARD DRAWINGS.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK	DATE
STARTED BY	DATE
STOPPED BY	DATE
RECEIVED BY	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARK
 "NM47-1A" NWSHC/ACS X=392,070.01 Y=1,526,140.76
 NM STATE PLANE CENTRAL ZONE $\Delta = (-0^{\circ}12'30"$
 NAD 1927 (SLD 1929) ELEVATION=4999.281
 GROUND TO GRID=0.99987429

[illegible]

Professional Engineer Seal for Richard J. Pappalardo, No. 9447, State of Michigan, dated 1/9/06.

[illegible]

BURTON ENGINEERS, INC.
2900 VISTA GRANDE NW
ALBUQUERQUE, NM 87120
(505) 839-9365

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE	PLAN & PROFILE
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Design Review Committee

APPROVED

OCT 20 2006

DESIGN
REVIEW COMMITTEE

City Engineer Approval

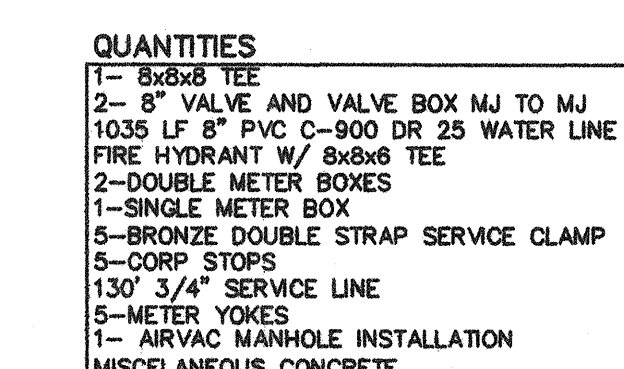
Fast Design Update

City Project No.
786081

Zone Map No.
B-16

Sheet 5 OF 8

58



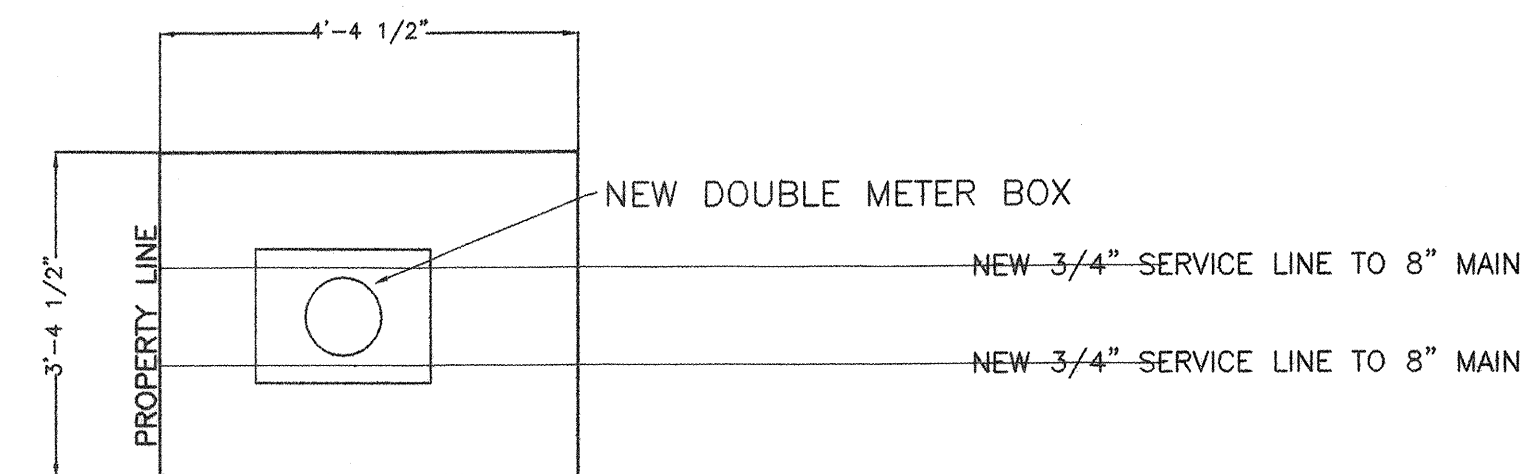
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[Signature]

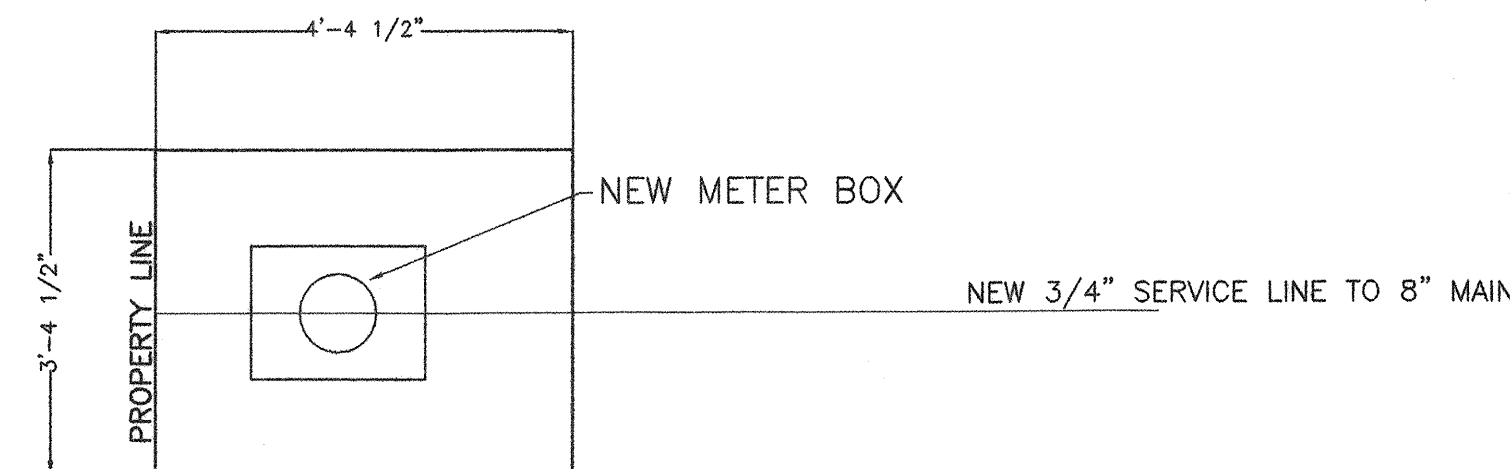
DATE: 04/05/2017
ENGINEER: BURTON ENGINEERS, LLC

BURTON ENGINEERS, INC
2900 VISTA GRANDE NW
ALBUQUERQUE, NM 87120
(505) 839-9365

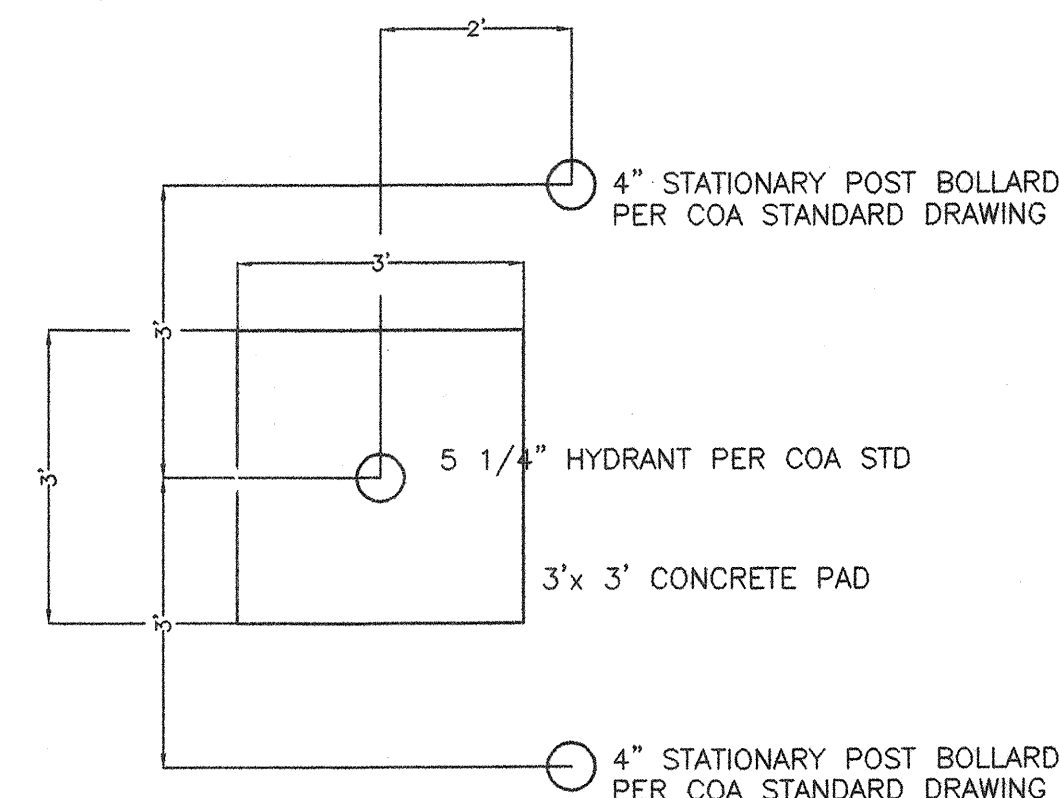
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP				
TITLE REVISED PLAN & PROFILE				
Design Review Committee ORIGINAL DATED 10/20/06	City Engineer Approval ORIGINAL DATED 10/20/06	Last Design Update	MO./DAY/YR. 	MO./DAY/YR.
City Project No. 786081		Zone Map No. B-16	Sheet 5R OF 8	



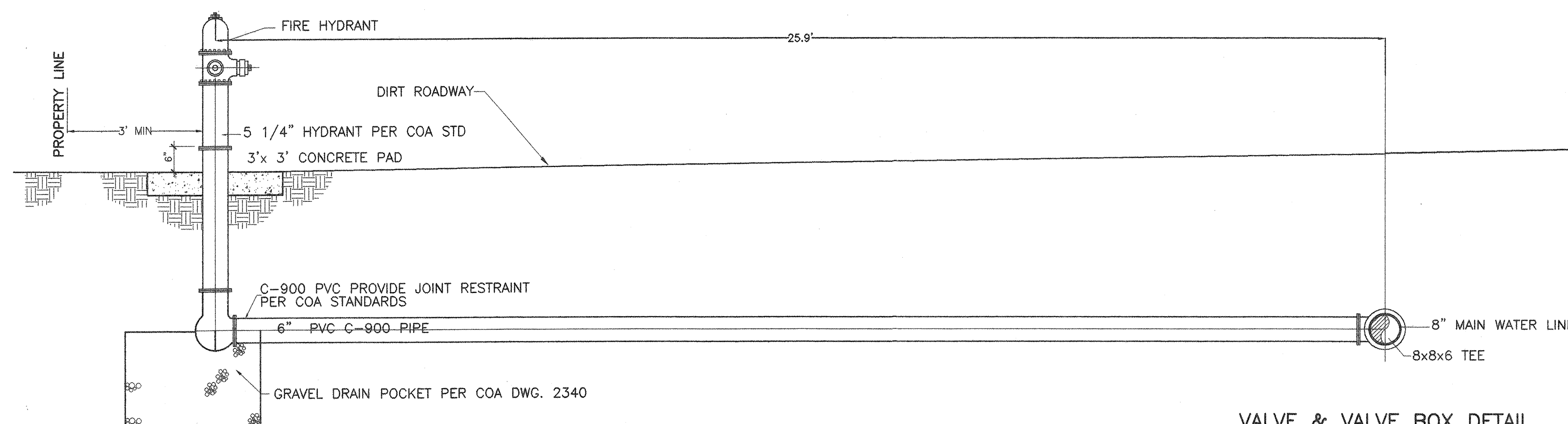
WATER METER BOX PLAN
REFER TO COA STD. DWG. 2362 & 2366



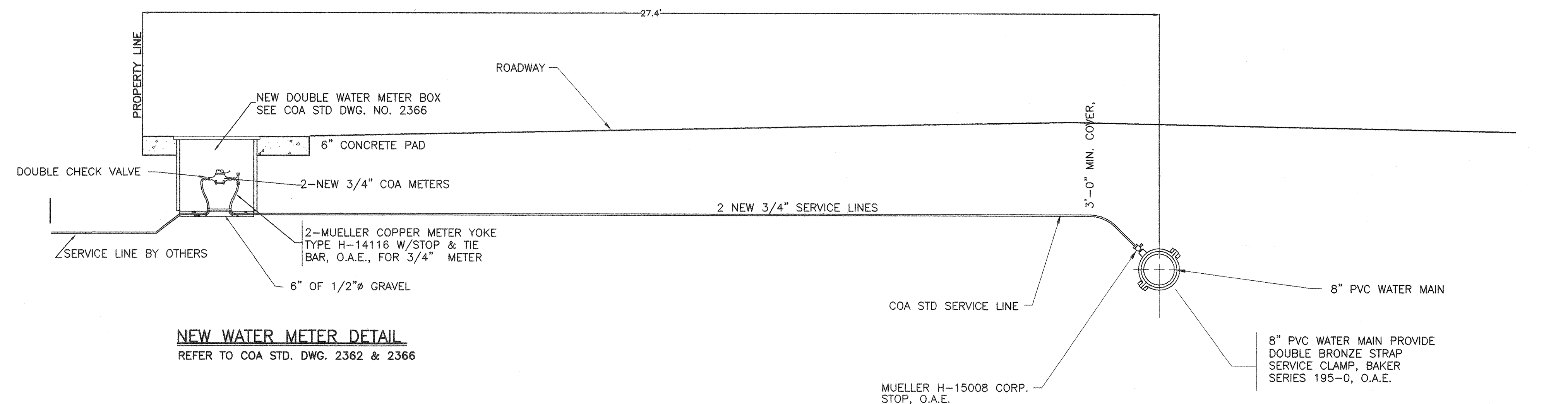
WATER METER BOX PLAN
REFER TO COA STD. DWG. 2362 & 2366



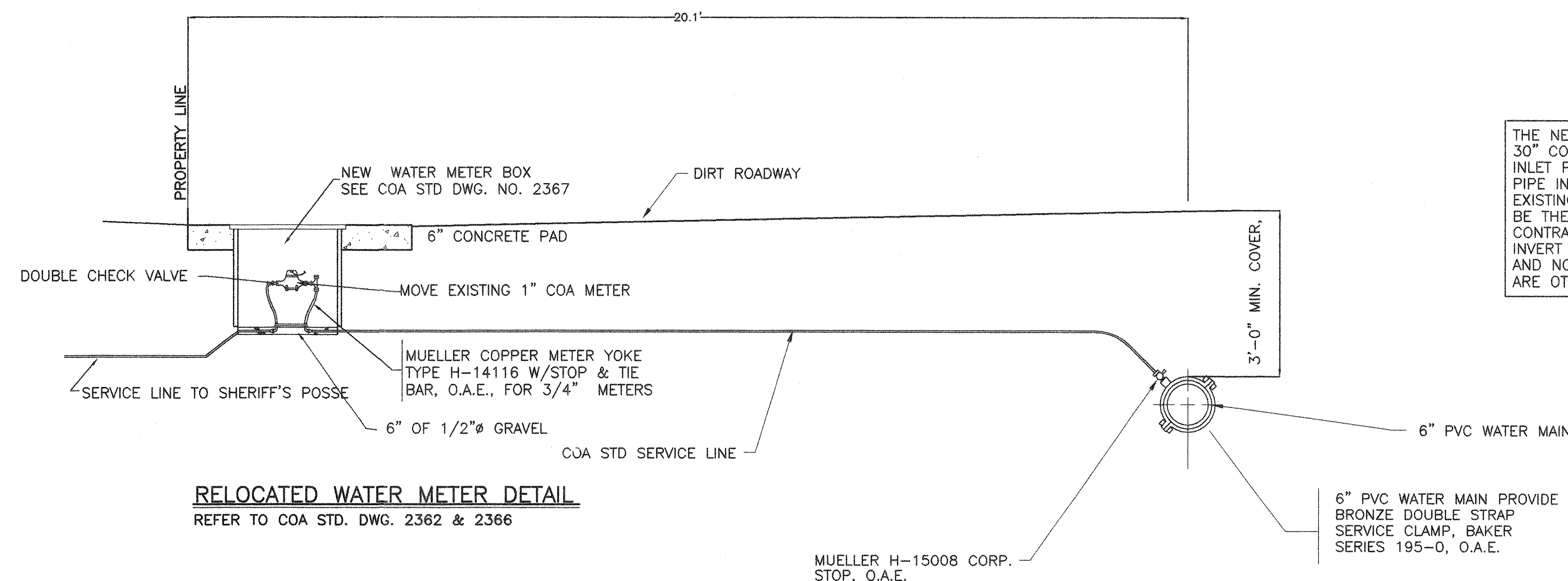
FIRE HYDRANT AND BOLLARD PLAN



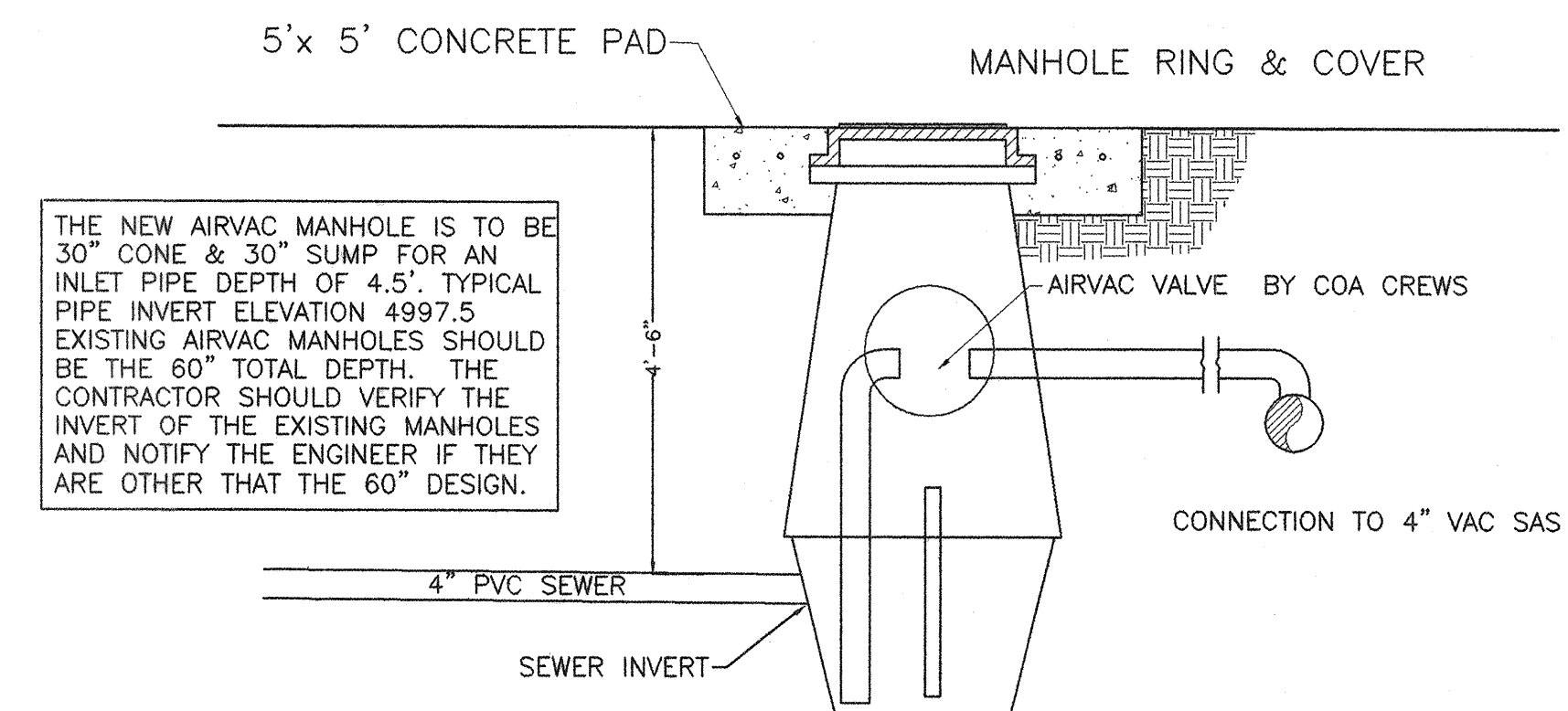
FIRE HYDRANT DETAIL
REFER TO COA STD. DWG. 2340



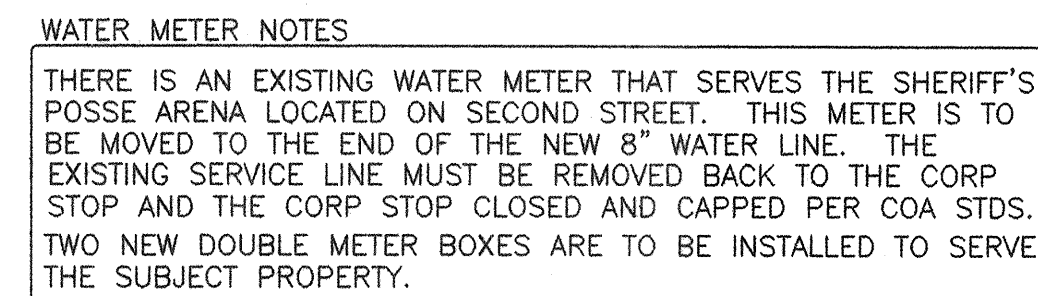
NEW WATER METER DETAIL
REFER TO COA STD. DWG. 2362 & 2366



RELOCATED WATER METER DETAIL
REFER TO COA STD. DWG. 2362 & 2366



NEW & EXISTING AIRVAC MANHOLE
REFER TO COA STD. DWG. 2165



SERVICE CONNECTION DETAIL
REFER TO COA STD. DWG. 2362

ENGINEER'S CERTIFICATION
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Richard Burton
RICHARD BURTON NMPE# 4947

DATE 09/05/07

SCALE 1/2" = 1'-0"

[illegible]

BURTON ENGINEERS, INC.
2900 VISTA GRANDE NW
ALBUQUERQUE, NM 87120
(505) 839-9365

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE	DETAILS
1	1
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Design Review Committee

APPROVED

OCT 20 2006

DESIGN
REVIEW COMMITTEE

City Engineer Approval

APPROVED

NOV 15 2006

CITY ENGINEER

Last Design Update	MO./DAY/YR.	MO./DAY/YR.



City Project No. 786081

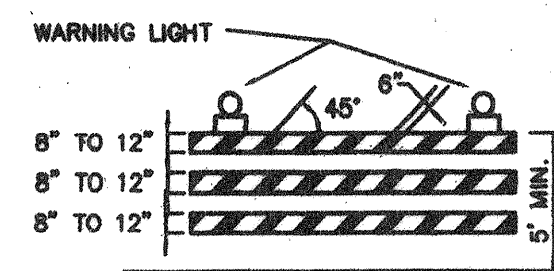
Zone Map No.	B-16
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Sheet 6 OF 8

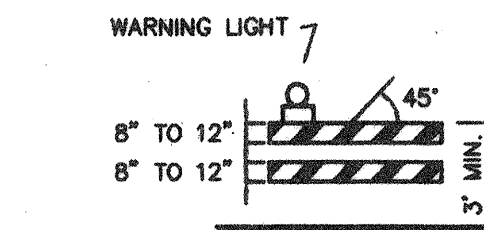
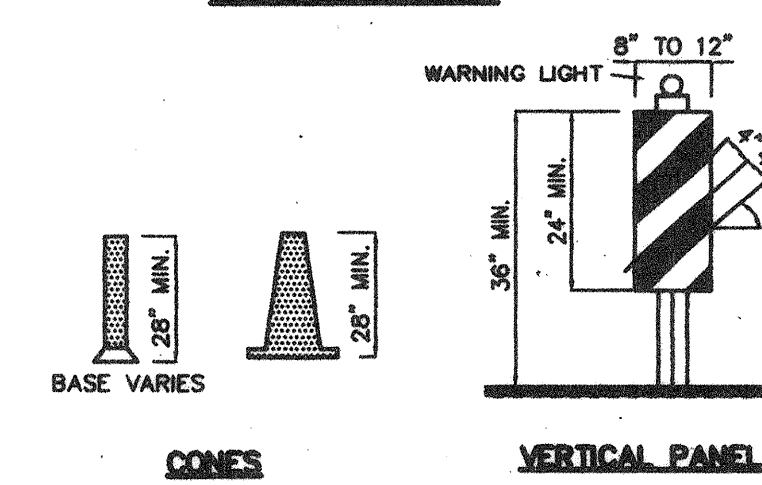
CONSTRUCTION TRAFFIC CONTROL GENERAL NOTES

- CONTRACTOR MUST OBTAIN FROM CONSTRUCTION COORDINATION AN EXCAVATION/BARRICADING PERMIT BEFORE ENGAGING IN ANY CONSTRUCTION, MAINTENANCE OR REPAIR WORK IN ANY OF THE CITY OF ALBUQUERQUE'S RIGHTS-OF-WAY. EMERGENCY WORK THAT WOULD PRESERVE LIFE OR PROPERTY IS EXCLUDED WITH THE UNDERSTANDING, THAT A PERMIT SHALL BE OBTAINED WITHIN 24 TO 48 HOURS.
- CONTRACTOR SHALL AT THE TIME OF PERMIT REQUEST, SUBMIT FOR APPROVAL BY CONSTRUCTION COORDINATION, A TRAFFIC CONTROL PLAN DETAILING ALL EXISTING TOPOGRAPHY SUCH AS LANE WIDTHS, DRIVEWAYS, AND BUSINESS/RESIDENTIAL ACCESSES. THE TRAFFIC CONTROL PLAN SHALL INCLUDE ALL PHASES OF WORK AND SCHEDULES INVOLVED IN THE CONSTRUCTION PROJECT. ANY SEPARATE PHASES OF A CONSTRUCTION PROJECT SHALL BE GIVEN AN INDIVIDUAL PERMIT EACH. BLANKET PERMITS WILL NOT BE ISSUED.
- THESE TYPICAL TRAFFIC CONTROL PLANS DO NOT REFLECT THE EXISTING TOPOGRAPHY SUCH AS DRIVEWAYS, LANE WIDTHS, AND BUSINESS/RESIDENTIAL ACCESSES. EVERY LOCATION THAT REQUIRES CONSTRUCTION TRAFFIC CONTROL SHALL HAVE A DETAILED TRAFFIC CONTROL PLAN SHOWING ALL EXISTING TOPOGRAPHY.
- CONSTRUCTION SHALL NOT BEGIN UNLESS A TRAFFIC CONTROL PLAN HAS BEEN APPROVED AND VERIFIED BY CONSTRUCTION COORDINATION.
- CONSTRUCTION COORDINATION SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY TRAFFIC CONTROL CHANGES NEEDED BY CONTRACTOR, THAT WERE NOT PREVIOUSLY APPROVED. THESE TRAFFIC CONTROL CHANGES SHALL BE REQUESTED IN WRITING ACCOMPANIED WITH A TRAFFIC CONTROL PLAN REFLECTING SUCH CHANGES.
- ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL, SERVICE AND MAINTAIN ALL TRAFFIC CONTROL DEVICES. TRAFFIC CONTROL DEVICES SHALL NOT BE REMOVED OR ALTERED IN ANY WAY WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION, PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- THE CONSTRUCTION TRAFFIC CONTROL INITIAL SET-UP SHALL BE BY AN AMERICAN TRAFFIC SAFETY SERVICES ASSOCIATION (ATSSA) CERTIFIED WORKSITE TRAFFIC SUPERVISOR. THE MAINTENANCE AND SERVICING SHALL ALSO BE DONE BY AN ATSSA CERTIFIED WORKSITE TRAFFIC SUPERVISOR OR EQUIVALENT.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND SERVICE ALL TRAFFIC CONTROL DEVICES 24 HOURS A DAY, 7 DAYS A WEEK THROUGHOUT LENGTH OF PROJECT. CONTRACTOR IS RESPONSIBLE THAT ALL TRAFFIC CONTROL DEVICES COMPLY WITH THE MUTCD, LATEST EDITION.
- ALL ADVANCE WARNING SIGNS SHALL BE DOUBLE INDICATED WHENEVER THERE ARE MULTI-LANE TRAFFIC IN ANY ONE GIVEN DIRECTION AND THERE IS SUFFICIENT MEDIAN SPACE.
- ALL BARRICADES IN ALL TAPERS AND TANGENTS SHALL BE PLACED APART, A DISTANCE MEASURED IN FEET, EQUAL TO THAT OF THE POSTED SPEED LIMIT. NO EXCEPTIONS UNLESS APPROVED BY CONSTRUCTION COORDINATION PER MUTCD SECTION 6A-4.
- ALL WORK IN ARTERIAL ROADWAYS SHALL BE ON A CONTINUOUS 24 HOUR PER DAY BASIS UNTIL COMPLETED.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE CONSTRUCTION COORDINATION, A WEEKLY LOG OF DAILY INSPECTIONS OF BARRICADE AND MAINTENANCE SCHEDULES ON PROJECTS THAT ARE OVER ONE WEEK DURATION.
- EQUIPMENT OR MATERIALS SHALL NOT BE STORED WITHIN 15 FEET OF A TRAVELLED TRAFFIC LANE DURING NON-WORKING HOURS WITHOUT THE APPROVAL OF CONSTRUCTION COORDINATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING PEDESTRIAN TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA.
- CONTRACTOR IS RESPONSIBLE FOR OBLITERATION OF ANY CONFLICTING STRIPING AND RESPONSIBLE FOR ALL TEMPORARY STRIPING.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL FACILITIES, BUSINESSES AND/OR RESIDENTS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE ACCESS SIGNS FOR BUSINESSES LOCATED WITHIN THE CONSTRUCTION AREA UNDER THE SUPERVISION OF CONSTRUCTION COORDINATION. EACH ACCESS SIGN SHALL HAVE 5 INCH, WHITE OPAQUE LETTERING ON BLUE REFLECTORIZED BACKGROUND. ACCESS SIGNS SHALL BE CONSIDERED INCIDENTAL TO THE BID AND NOT PART OF THE CONTRACT UNLESS OTHERWISE STATED. NO MORE THAN 3 BUSINESSES SHALL BE LISTED ON A ACCESS SIGN. SHOPPING CENTERS AND MALLS SHALL BE LISTED AS SUCH.
- ALL ADVANCE WARNING SIGNS SHALL MEET THE MINIMUM REFLECTIVE INTENSITY REQUIREMENTS SET FORTH BY THE CITY OF ALBUQUERQUE. CONSTRUCTION COORDINATION SHALL DETERMINE ALL REQUIREMENTS AND APPROVE OR DISAPPROVE ANY ADVANCE WARNING SIGN PER SECTION 6A-4 OF THE MUTCD, LATEST EDITION.
- 48 HOURS PRIOR TO OCCUPYING OR CLOSING OF A RIGHT-OF-WAY, CONTRACTOR SHALL NOTIFY: POLICE, FIRE DEPARTMENT, SCHOOLS, HOSPITALS, TRANSIT AUTHORITY, BUSINESSES AND/OR RESIDENTS THAT WILL BE AFFECTED BY THE CONSTRUCTION.
- ANY FIELD ADJUSTMENTS SHALL BE APPROVED BY CONSTRUCTION COORDINATION.

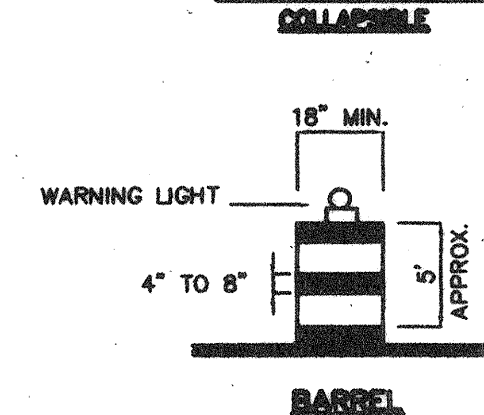
- EXCAVATIONS SHALL BE PLATED, TEMPORARILY PATCHED OR RESURFACED PRIOR TO OPENING OF TRAFFIC. A MINIMUM OF 11 FEET SHALL BE PROVIDED FOR TRAFFIC IN ANY GIVEN DIRECTION. CONTRACTOR IS RESPONSIBLE FOR ANY WORK INVOLVED IN SATISFYING THESE REQUIREMENTS.
- CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE FOLLOWING:
 - STANDARDS AND REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CITY OF ALBUQUERQUE TRAFFIC CODE, LATEST EDITION.
 - SECTION 19 OF THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORK, CONSTRUCTION, AS WELL AS OTHER SECTIONS.
- FAILURE TO COMPLY WITH ANY OF THE ABOVE MENTIONED, WILL BE ADEQUATE CAUSE TO CEASE ALL WORK ON ANY CONSTRUCTION PROJECT. WORK WILL NOT RESUME UNTIL ALL REQUIREMENTS ARE ADDRESSED AND APPROVED BY CONSTRUCTION COORDINATION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN NEW-CLEAN CONDITION. WASHING OF EQUIPMENT IS INCIDENTAL TO IT'S PLACEMENT AND MAINTENANCE.
- TRAFFIC CONTROL STANDARDS APPLY ONLY WHERE THE CONSTRUCTION TRAFFIC CONTROL PLANS ARE NOT SPECIFIC.
- ADVANCE WARNING SIGNS SHALL BE 36"x36" MIN. WITH SUPER ENGINEERING GRADE SHEETING OR BETTER. MOUNTING HEIGHT AT TOP OF SIGN SHALL BE THE SAME AS FOR A 48" SIGN AS INDICATED IN THE M.U.T.C.D. 
- CONTRACTOR SHALL MAINTAIN A-GRAFFITI-FREE WORKSITE. ALL GRAFFITI SHALL BE PROMPTLY REMOVED FROM ALL EQUIPMENT, BOTH PERMANENT AND TEMPORARY. 



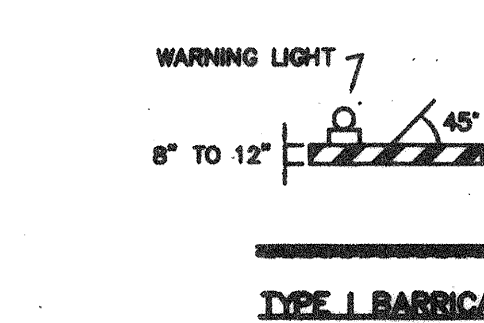
TYPE III BARRICADE



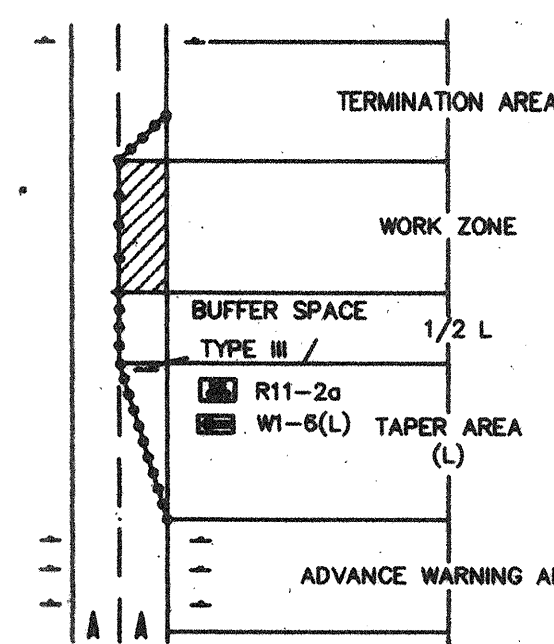
TYPE II BARRICADE



TYPE I BARRICADE



TYPE I BARRICADE



TRAFFIC CONTROL ELEMENTS

LEGEND

- WORK AREA
- BARRICADE - TYPE I, TYPE II, OR BARREL
- BARRICADE - TYPE III
- VERTICAL PANEL
- WARNING SIGN
- DISTANCE BETWEEN SIGNS - A DISTANCE MEASURED IN FEET EQUAL TO A VALUE OF TEN TIMES THE SPEED LIMIT OF THE STREET
- FLAGMAN POSITION
- SPACING BETWEEN BARRICADES - A DISTANCE MEASURED IN FEET EQUAL TO THE SPEED LIMIT OF THE STREET
- TAPER LENGTH - SEE CHART BELOW
- THE TANGENT LENGTH IS EQUAL TO THE TAPER LENGTH FOR A GIVEN STREET.

TAPER REQUIREMENTS

SPEED LIMIT (MPH)	TAPER LENGTH (L) (FEET)			MINIMUM NUMBER OF DEVICES FOR TAPER	MAXIMUM DEVICE SPACING IN FEET	
	10' LANE	11' LANE	12' LANE		ALONG TAPER	AFTER TAPER
20	70	75	80	5	20	20
25	105	115	125	6	25	25
30	150	165	180	7	30	30
35	205	225	245	8	35	35
40	270	295	320	9	40	40
45	450	495	540	13	45	45
50	500	550	600	13	50	50
55	550	605	660	13	55	55

RECOMMENDED SIGN SPACING (D) FOR ADVANCE WARNING SIGN SERIES

SPEED MILES PER HOUR	MINIMUM DISTANCE BETWEEN SIGNS	MINIMUM DISTANCE FROM LAST SIGN TO TAPER
0-20	10 X SPEED LIMIT	10 X SPEED LIMIT
25-30	10 X SPEED LIMIT	10 X SPEED LIMIT
30-35	10 X SPEED LIMIT	10 X SPEED LIMIT
40-45	10 X SPEED LIMIT	10 X SPEED LIMIT
50-60	10 X SPEED LIMIT	10 X SPEED LIMIT

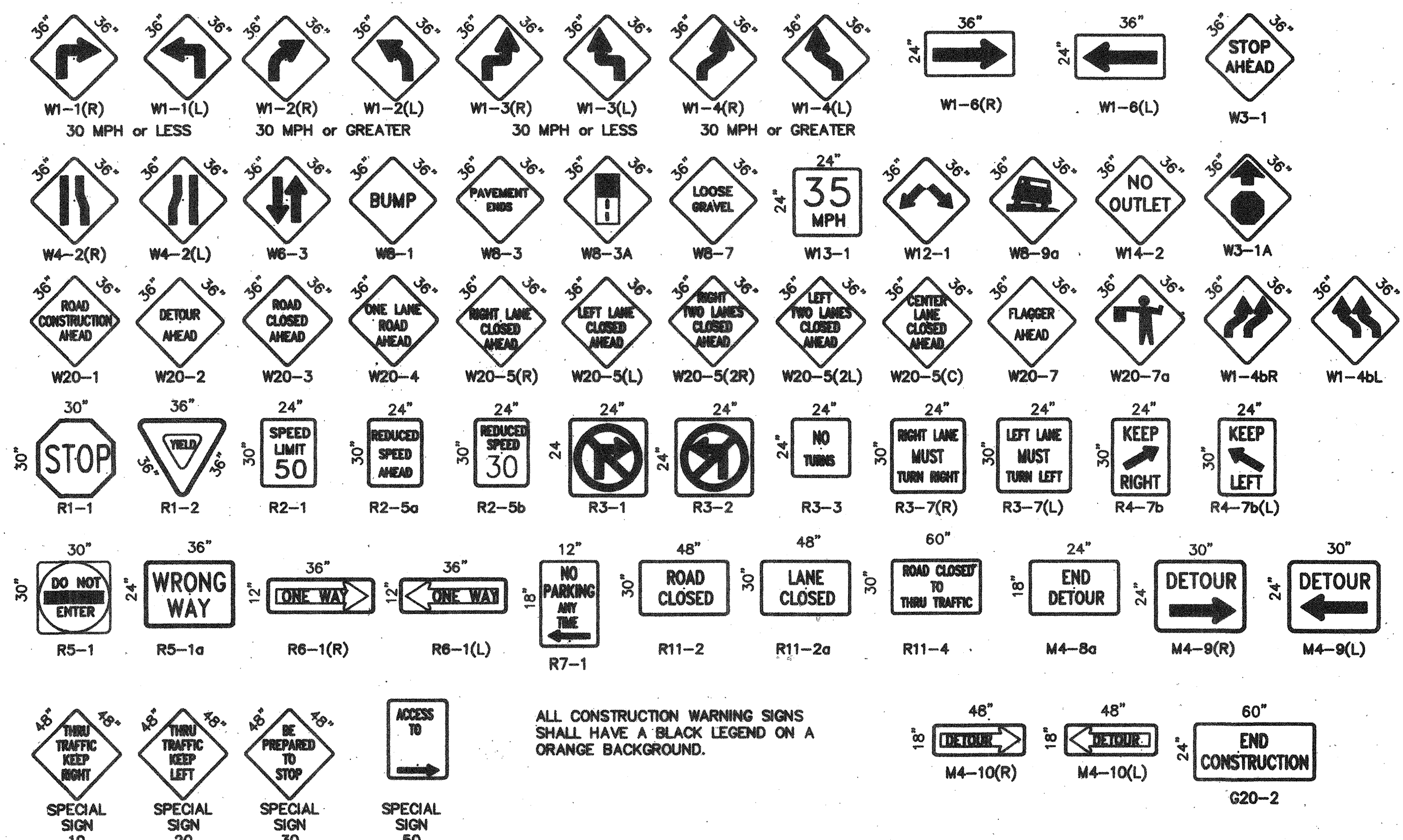
TAPER CRITERIA

TYPE OF TAPER	TAPER LENGTH
UPSTREAM TAPER:	
MERGING TAPER	L MINIMUM
SHIFTING TAPER	1/2 L MINIMUM
SHOULDER TAPER	1/2 L MINIMUM
TWO-WAY TRAFFIC TAPER	100 FEET MAXIMUM
DOWNSTREAM TAPERS	100 FEET PER LANE

TAPER LENGTH COMPUTATION

SPEED LIMIT
40 MPH OR LESS $L = \frac{WS^2}{60}$
45 MPH OR GREATER $L = W \times S$
L = TAPER LENGTH
W = WIDTH OF OFFSET IN FEET
S = POSTED SPEED OR OFF-PEAK 85-PERCENTILE SPEED IN MPH

SIGN FACE DETAILS



ALL CONSTRUCTION WARNING SIGNS SHALL HAVE A BLACK LEGEND ON A ORANGE BACKGROUND.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: **SIGNING AND CONSTRUCTION TRAFFIC CONTROL STANDARDS**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO. / DAY / YR.	NO. / DAY / YR.
LAST UPDATE			
PROJECT NO. 786081	MAP NO. B-16	SHEET 7 OF 8	



- ALL PITS TO HAVE TYPE-A FLASHING LIGHTS.
- ALL PITS TO HAVE FLAGLINE.

[illegible]