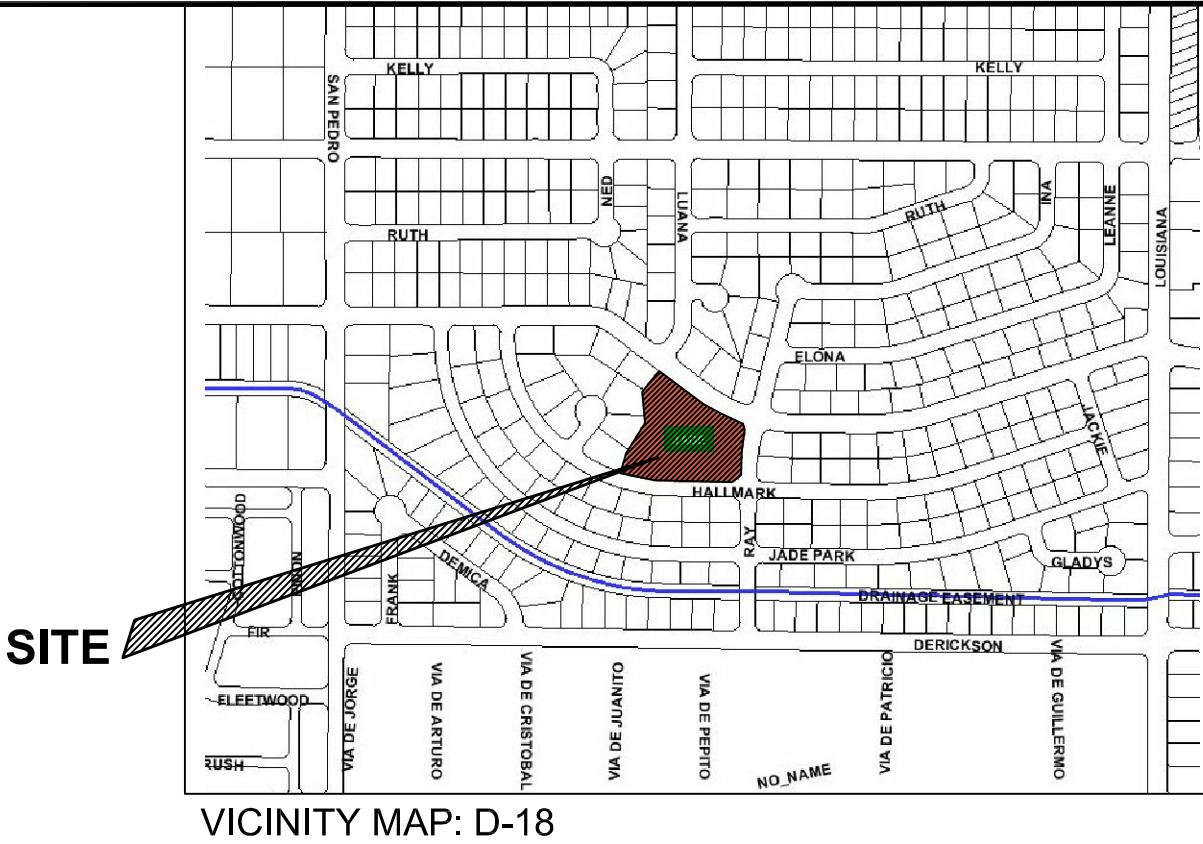




JADE PARK

PLAY AREA RENOVATION

Final For Construction- 4/13/09



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT - Managing Department
Park Design & Construction Division

Date of Record Drawings: 5/4/09
Parks & Recreation - Owner

RECORD DRAWINGS SEPTEMBER, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.

Property Information

Property Address: 6700 San Francisco Rd. NE
Albuquerque, NM 87109

Zone : SU-1
Park Acres: 2.18

Legal Description

Park
Block 11
Subdivision, Jade Park Mobile Home Unit 5

Index of Drawings

- 1. Cover Sheet
- 2. General Notes
- 3. Existing Conditions
- 4. Demolition Plan
- 5. Construction Plan
- 6. Grading/Dimension Plan
- 7. Details
- 8. Project Information Form

UTILITY COMPANY CONTACTS

CITY OF ALBUQUERQUE
UTILITY DEVELOPMENT
P.O. Box 1293
Albuquerque, New Mexico 87103
(505) 768-2719

PNM-ELECTRIC
4201 Edith Boulevard NE
Albuquerque, New Mexico 87107
(505) 241-0525

PNM-GAS
4625 Edith Boulevard NE
Albuquerque, New Mexico 87107
(505) 241-7745

CALL BEFORE YOU DIG!

STATEWIDE
1-800-321-ALERT
ALBUQUERQUE
260-1990

QWEST
201 Third Street NW Suite 700
Albuquerque, New Mexico 87103
(505) 245-8706

QWEST
201 Third Street NW Suite 700
Albuquerque, New Mexico 87103
(505) 245-8706



REV.	SHEETS	CITY ENGINEER	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVED	ENGINEER	DATE		
		PROJECT # 786492			SHEET 1 OF 8	

GENERAL NOTES

1. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR WILL SUBMIT A DETAILED CONSTRUCTION SCHEDULE TO THE CITY CONSTRUCTION COORDINATION DIVISION. TWO (2) DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF SPECIFICATIONS.
2. THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK, IN ORDER THAT THE CITY SURVEY SECTION MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR WILL NOTIFY THE ENGINEER IF A MONUMENT IS DISTURBED. REPLACEMENT WILL BE DONE ONLY BY THE CITY OF ALBUQUERQUE SURVEY SECTION AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE FINISHED ELEV. OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR WILL, AT HIS OWN EXPENSE, HAVE THE CITY SURVEY SECTION ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4 OF SPECIFICATIONS.
3. THE SPECIFICATIONS USED FOR THIS PROJECT ARE THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 7.
4. ALL NEW MANHOLES SHALL BE TYPE "E" (COA DWG. 2102) UNLESS OTHERWISE NOTED ON THE PLANS.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, BUT NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIALS.
6. ALL WATER VALVE BOXES AND MANHOLES IN THE STREET CONSTRUCTION ARE TO BE ADJUSTED TO FINISH GRADE AND WILL BE MEASURED AND PAID PER EACH.
7. SUBGRADE PREPARATION UNDER SIDEWALKS AND DRIVE PADS, AND SUBGRADE AND SUBBASE PREPARATION UNDER CURB AND GUTTER IS CONSIDERED INCIDENTAL TO THE CONSTRUCTION OF SUCH, AND NO DIRECT PAYMENT SHALL BE MADE FOR THOSE ITEMS OF WORK.
8. THE CONTRACTOR WILL REPLACE ANY STRIPING THAT HAS BEEN RUINED OR REMOVED IN THE COURSE OF CONSTRUCTION.
9. ALL EXCAVATION WILL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
10. ALL SIGNS AND CODING WILL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
11. THE CONTRACTOR IS TO EXERCISE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT WILL BE HIS RESPONSIBILITY TO COORDINATE WITH THE UTILITY COMPANIES IN ORDER TO PREVENT ANY SERVICE DISRUPTION. SEE SECTION 18 "UTILITIES", CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS FOR CONTRACTOR REQUIREMENTS.
12. WHEN ABUTTING NEW PAVEMENT TO EXISTING INTERSECTING STREETS, SAW CUT EXISTING PAVEMENT TO A STRAIGHT LINE AND AT RIGHT ANGLES AND REMOVE ANY BROKEN OR CRACKED PAVEMENT. NO DIRECT PAYMENT WILL BE MADE FOR SAW CUTTING.
13. ALL GAS VALVES, GAS MANHOLES, ELECTRICAL MANHOLES, TELEPHONE MANHOLES, AND UTILITY POLES WILL BE ADJUSTED TO GRADE BY EACH UTILITY COMPANY.CONTRACTOR WILL COORDINATE THROUGH CITY UTILITY COORDINATOR.
14. WHEN REMOVAL OF EXISTING CURB AND GUTTER OR SIDEWALK IS REQUIRED, REMOVE BACK TO NEAREST SUITABLE JOINT UNLESS OTHERWISE DIRECTED BY THE CITY FIELD ENGINEER.
15. THE CONTRACTOR WILL NOTIFY THE NEW MEXICO ONE CALL SYSTEM 260-1990 TWO (2) WORKING DAYS PRIOR TO COMMENCING WORK IN NEW AREAS.
16. CONTRACTOR WILL MAKE ALL WATER VALVES AND MANHOLES ACCESSIBLE TO THE CITY AT ALL TIMES.
17. CONTRACTOR WILL PLACE BITUMINOUS MATERIAL WITH THE USE OF A LAYDOWN MACHINE WHERE PAVEMENT IS 8 FEET IN WIDTH OR WIDER.
18. ALL SUBGRADE AND SUBBASE MATERIAL ENCOUNTERED IN PAVEMENT REMOVAL AND REPLACEMENT THAT IS DETERMINED BY THE FIELD ENGINEER TO MEET THE SPECIFICATIONS, CAN BE REUSED. HOWEVER, THE MATERIAL WILL BE PROCESSED AND COMPACTED TO MEET MOISTURE CONTENT AND PERCENT COMPACTION REQUIRED BY THE SPECIFICATIONS.
19. CONTRACTOR WILL NOT PAVE OVER ANY SURFACE FEATURE, I.E., GAS VALVE, MANHOLE COVER, ETC. WITHOUT PRIOR APPROVAL FROM THE CITY FIELD ENGINEER.
20. CONTRACTOR WILL CONFINE HIS WORK WITHIN THE CONSTRUCTION EASEMENT LIMITS AND/OR RIGHT-OF-WAY, OR PROVIDE COPIES OF AGREEMENTS WITH ADJACENT LANDOWNERS TO THE CITY OF ALBUQUERQUE.
21. ALL WATER VALVES AND FIRE HYDRANTS REMOVED TO BE SALVAGED AND RETURNED TO THE C.O.A.
22. MINIMUM BOTTOM WIDTH OF TRENCHES FOR RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 16 INCHES. BEDDING MATERIAL SHALL BE CLASS II, III, OR IV UNLESS OTHERWISE SPECIFICALLY NOTED ON THE PLANS.
23. MINIMUM BOTTOM WIDTH OF TRENCHES FOR NON-RIGID PIPE SHALL BE EQUAL TO THE OUTSIDE DIAMETER PLUS 12 INCHES. BEDDING MATERIAL SHALL BE CLASS I, II, OR III.
24. THE CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES.
25. ALL STRUCTURAL CONCRETE WILL BE 3000 PSI UNLESS OTHERWISE NOTED ON PLANS.
26. ALL REINFORCING STEEL WILL BE GRADE 60.
27. ALL EXPOSED EDGES ON CAST-IN-PLACE CONCRETE STRUCTURES WILL HAVE A 1" CHAMFER UNLESS OTHERWISE NOTED.
28. ALL SPLICES IN REINFORCING STEEL TO BE 2-FOOT 6-INCH MINIMUM UNLESS OTHERWISE NOTED.
29. PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL CONFLICTING UTILITIES. SHOULD A CONFLICT EXIST BETWEEN THE FIELD INFORMATION AND THE PLANS, THE CONTRACTOR WILL NOTIFY THE FIELD ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
30. THE REPLACEMENT OF THE EXISTING UTILITIES AND THE INSTALLATION OF NEW UTILITY LINES WILL BE COMPLETED IN ADVANCE OF STARTING THE PAVEMENT WORK. TEMPORARY PAVEMENT WILL BE PLACED IN ALL TRENCHES REQUIRED FOR THE UTILITY REPLACEMENTS IN THOSE AREAS THAT MUST MAINTAIN TRAFFIC UNTIL THE FINAL PAVEMENT WORK STARTS IN EACH AREA. TEMPORARY STRIPING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MAINTENANCE OF THE TEMPORARY PAVING AND STRIPING WILL BE AT THE CONTRACTOR'S EXPENSE.
31. TACK COAT FOR SURFACE COURSE REQUIREMENTS WILL BE DETERMINED BY THE FIELD ENGINEER.
32. THE CONTRACTOR WILL CONTACT THE CITY OF ALBUQUERQUE TRAFFIC DIVISION 857-8025, ONE (1) WEEK IN ADVANCE OF ANY CHANGES REQUIRED IN THE TRAFFIC SIGNALIZATION OF THIS PROJECT. ALL WORK ASSOCIATED WITH NEW TRAFFIC SIGNALIZATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
33. ALL NEW STREET PAVING, DRIVEWAYS, SIDEWALKS, AND CURB AND GUTTERS, ABUTTING EXISTING AREAS SHALL MATCH THE ELEVATION OF THOSE AREAS.
34. PERMANENT PAVEMENT STRIPING AND MARKINGS WILL BE PLACED BY THE CONTRACTOR. ROAD SHALL NOT BE OPENED TO TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS INCLUDING CROSSWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
35. ALL EXCAVATED MATERIAL THAT IS NOT REQUIRED TO BE REUSED MUST BE REMOVED FROM THE PROJECT AREA WITHIN FOUR DAYS OF EXCAVATION. SPOIL PILES WILL BE ALLOWED ONLY AS DIRECTED BY THE CITY FIELD ENGINEER.
36. THE CONTRACTOR WILL COORDINATE THE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND UTILITY COMPANIES WORKING IN THE SAME AREA. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE THEIR CONSTRUCTION ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCE CAUSED BY UTILITY COMPANY WORK CREWS. A CONTRACT EXTENSION MAY BE ALLOWED AS DELINEATED IN CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
37. ALL CONSTRUCTION EASEMENTS ON PRIVATE PROPERTY WILL BE OBTAINED BY THE CITY OF ALBUQUERQUE PRIOR TO THE BEGINNING OF CONSTRUCTION.
38. EXISTING MEDIAN CURB AND GUTTER AND STANDARD CURB AND GUTTER, NOT DISTURBED BY CONTRACTOR, BUT OUT OF ALIGNMENT, DISPLACED VERTICALLY, BADLY BROKEN AND/OR DETERIORATED, WILL BE REPLACED AS DIRECTED BY THE FIELD ENGINEER AND PAID FOR AT CONTRACT UNIT PRICES.
39. ALL TRAFFIC CONTROL DEVICES REQUIRED FOR DRIVEWAY CLOSURES, UTILITY CONSTRUCTION OR FOR OTHER REASONS AND NOT SHOWN ON THE SIGNING PLANS WILL BE FURNISHED BY THE CONTRACTOR AND WILL BE PAID AS SPECIFIED IN THE TECHNICAL SPECIFICATIONS AND BID PROPOSAL. PRIOR TO PLACING THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR WILL NOTIFY THE AFFECTED OWNERS IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR MUST MAKE PROVISIONS TO PROVIDE ACCESS TO PROPERTIES. REFER TO SECTION 19 OF THE SPECIFICATIONS.
40. ALL UTILITY LINES WHICH ARE NOT SPECIFICALLY DESIGNATED TO BE REMOVED AND REPLACED ON THE PLANS, WILL BE MAINTAINED IN SERVICE. SHORING, SHEETING AND OTHER MEANS OF SUPPORT SHALL BE EMPLOYED BY THE CONTRACTOR TO PREVENT DAMAGE OR LOSS OF THESE EXISTING UTILITIES AND THESE SHORING, SHEETING, AND SUPPORTS ARE CONSIDERED INCIDENTAL TO THIS PROJECT. BEAM AND CABLE OR OTHER ADEQUATE SUPPORTS WILL BE USED FOR TEMPORARY SUPPORT OF ALL UTILITY LINES WHICH CROSS THE TRENCH. ANY DAMAGE TO EXISTING UTILITIES WILL PROMPTLY BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SIGNIFICANT DEVIATION OF EXPOSED UTILITIES FROM THE LOCATIONS SHOWN ON THE PLANS SO THAT CONFLICTS CAN BE RESOLVED IN A TIMELY MANNER.

41. THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING COA INFRASTRUCTURE (C & G, PAVING, ETC.) DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS, AND WILL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE. HE WILL SUITABLY PROTECT THE CURB AND GUTTER FROM INCIDENTAL SPLASHING DURING THE TACK COAT APPLICATION AND WILL BE RESPONSIBLE FOR CLEANING SAME AT HIS OWN COST SHOULD SPLASHING OCCUR.
42. ALL INTERFERING PORTIONS OF ABANDONED UTILITY LINES WHICH ARE EXPOSED AS A RESULT OF CONSTRUCTION WILL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
43. STATIONS OF STORM DRAIN INLETS ARE TO THE CENTER OF GRATE. ALL STORM DRAIN INLETS WILL BE TYPE "A" UNLESS OTHERWISE NOTED ON THE PLANS.
44. SHORING COSTS WILL BE CONSIDERED INCIDENTAL TO THE TRENCH AND BACKFILL COSTS.
45. THE CONTRACTOR WILL BE RESPONSIBLE FOR SECURING NPDES PERMITS REQUIRED BY APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
46. ALL STORM DRAIN AND CONNECTOR PIPE WILL BE CLASS IV REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED ON THE PLANS.
47. THE TERM REMOVE USED IN THIS PLAN SET INCLUDES THE DISPOSAL OF SAID MATERIAL IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS, LATEST EDITION.
48. CONTRACTOR WILL SURVEY AND LOG EXISTING ELEVATIONS OF CURB-AND-GUTTER, SIDEWALK, AND PAVEMENT WHICH WILL BE REMOVED FOR CONSTRUCTION OF IMPROVEMENTS. CONTRACTOR WILL REPLACE REMOVED CURB-AND-GUTTER, SIDEWALK, DRIVE PADS, AND PAVEMENT TO ELEVATIONS PRIOR TO REMOVAL UNLESS OTHERWISE INDICATED ON THE PLANS.
49. CONTRACTOR WILL CONSTRUCT TEMPORARY ASPHALT PAVEMENT AS DIRECTED BY THE FIELD ENGINEER TO PROVIDE ACCESS TO LOCAL BUSINESS, ETC. TEMPORARY PAVEMENT SHALL BE REMOVED AND DISPOSED OF PRIOR TO PLACEMENT OF FULL WIDTH PAVEMENT SECTION. TEMPORARY PAVING SHALL BE PER COA STD. DWG. 2415 AND PAID FOR PER COA STD. SPECIFICATIONS.
50. ALL CLASSES OF SEEDING SHALL BE DRY LAND MIX PLACED AT 1.5 LBS/1000 S.F. WITH FERTILIZER 21-12-12 PLACED AT 5 LBS/1000 S.F.
51. ALL ASPHALTIC CONCRETE SHALL BE MINIMUM 1800 LB. STABILITY AND COMPACTED TO 95% MODIFIED MARSHALL DENSITY UNLESS OTHERWISE NOTED ON THE PLANS.
52. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES TWENTY-FOUR (24) HOUR CONSTRUCTION.
53. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
54. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TIMING AND COORDINATION OF WATER SHUTOFF AT LEAST SEVEN (7) WORKING DAYS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION, 857-8200, TO INITIATE IMPLEMENTATION OF THE NON-PRESSURIZED CONNECTION PLAN.
55. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
56. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
57. CONTRACTOR SHALL ERECT TEMPORARY CHAIN LINK CONSTRUCTION FENCE. SUCH FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD AND REMOVED ONLY UPON FINAL ACCEPTANCE OF THE PROJECT BY THE CITY.
58. QUANTITIES PROVIDED ON THE PLANS ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. PLANS SHALL TAKE PRECEDENCE IN ALL CASES.

RECORD DRAWINGS SEPTEMBER, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION DIVISION

TITLE: JADE PARK PLAY AREA RENOVATION

GENERAL NOTES

Design Review Committee

City Engineer Approval

Updates

Mo/Day/Yr.

Mo/Day/Yr.

CITY PROJECT NO.

786492

ZONE MAP NO.

D-18

SHEET

2

OF

8

RECORD DRAWINGS

DATE: 5/4/09

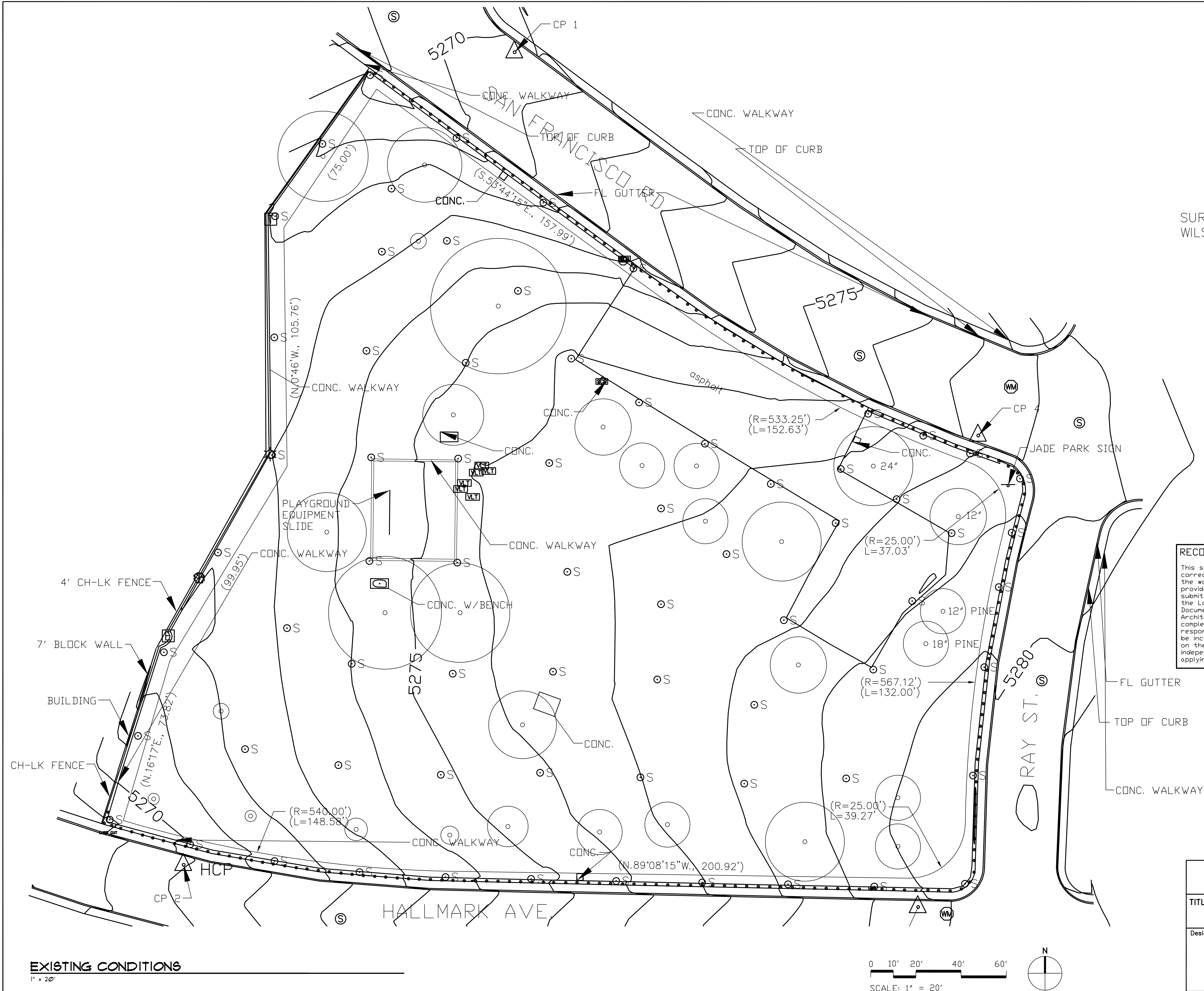
PROJECT# 786492

Jade Park Play Area Renovation

FINAL FOR CONSTRUCTION

DATE: APRIL 13, 2009

P:\Year--2008\7208\7208-acad\7208-AS BUILTS\7208-GEN NOTES-ASB\7208-GEN NOTES-ASB.dwg, Layout1, 9/24/2009 10:56:54 AM, vickie, ARCHD, 1:1



SURVEY COMPLETED BY
WILSON & COMPANY.

RECORD DRAWINGS SEPTEMBER, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.



**MORROW REARDON
WILKINSON MILLER, LTD.,
LANDSCAPE ARCHITECTS**

210 La Veta NE, Albuquerque, NM 87108
505.268.2266 FAX 505.265.9637
mrw@mrwmm.com

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION					
TITLE: JADE PARK PLAY AREA RENOVATION EXISTING CONDITIONS					
Design Review Committee	City Engineer Approval	Last Design Updates	Mo/Day/Yr.	Mo/Day/Yr.	
CITY PROJECT NO. 786492		ZONE MAP NO. D-18	SHEET 3	OF 8	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION					
		FIELD NOTES									
		NO.	DATE								

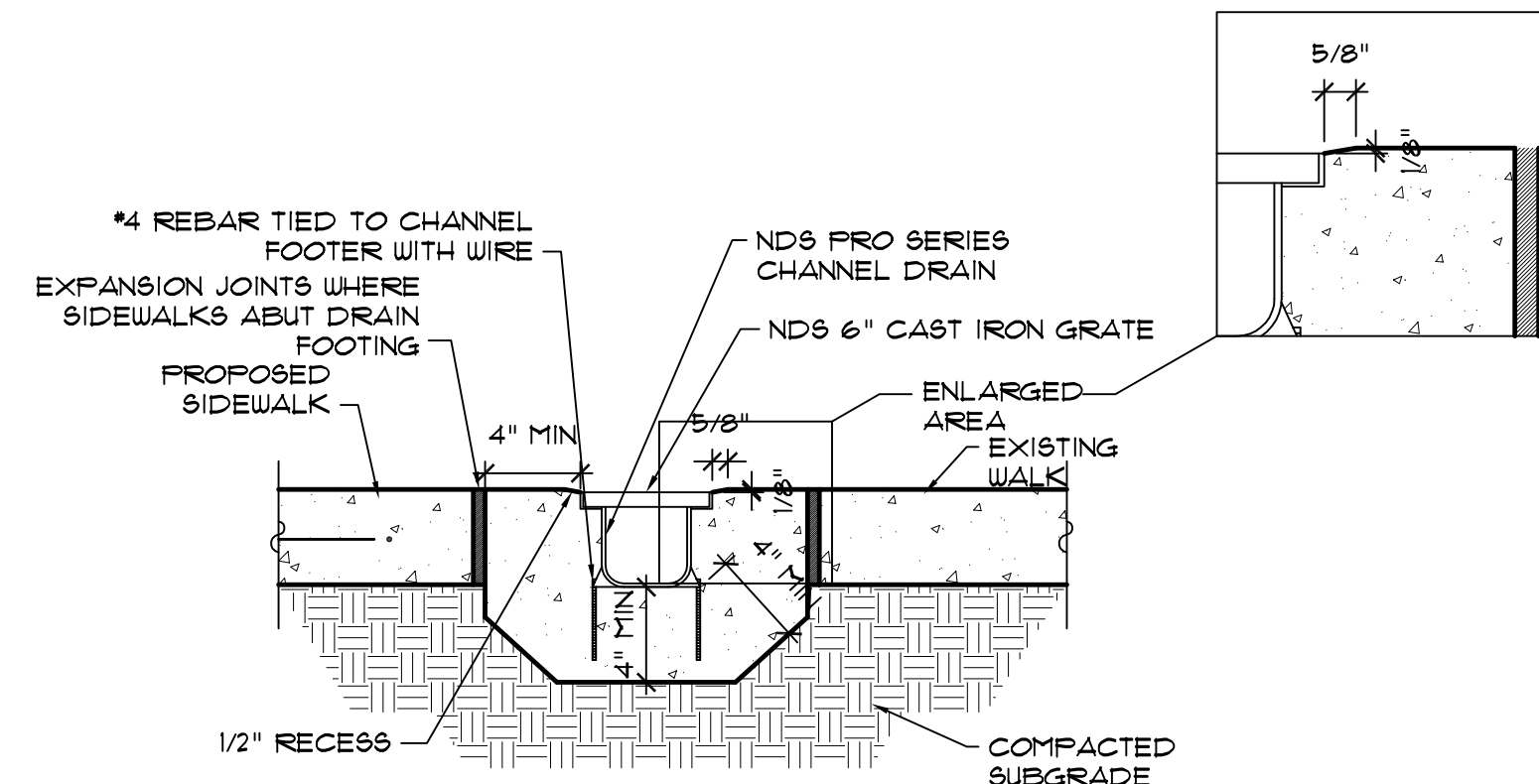
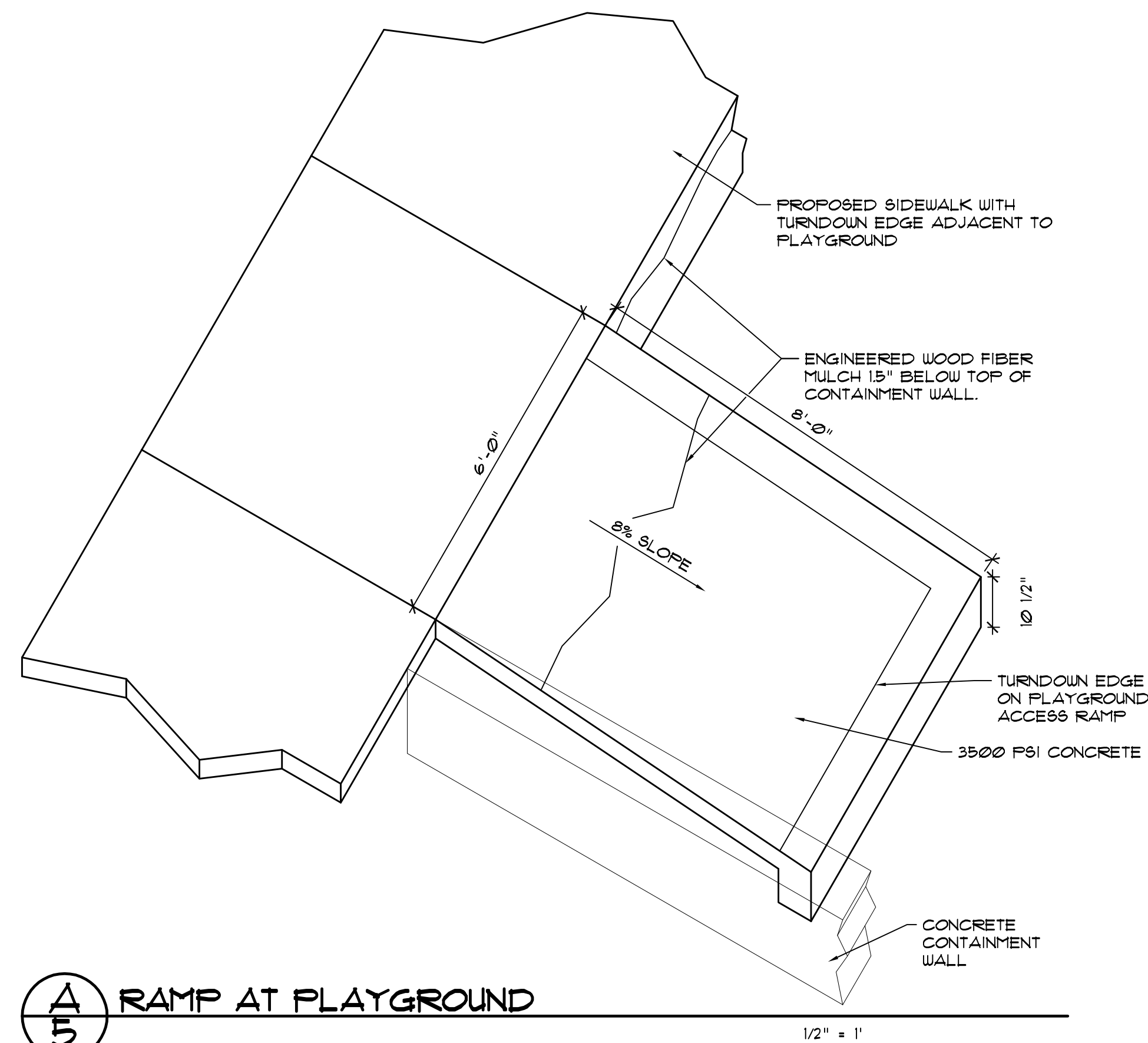


FINAL FOR CONSTRUCTION
DATE: APRIL 13, 2009

AT THE DATE OF PREPARATION OF THESE RECORD DRAWINGS,
PHASE II HAS NOT BEEN BUILT.

- (1) PHASE 1: CONSTRUCT CONCRETE WALK PER COA STD. DWG 2120. WALK TO BE 6' WIDE WITH EXPANSION JOINTS AT 18' O.C. AND CONTROL JOINTS AT 6' O.C.
- (2) PHASE 1: CONSTRUCT CONCRETE PLAY AREA CONTAINMENT WALL. REFERENCE COA STD. DWG. 2123. HEIGHT OF WALL VARIES. REFERENCE SPOT ELEVATIONS SHOWN ON GRADING/DIMENSION PLAN, SHEET 6. WALL SHALL BE EXTENDED TO ACCOMMODATE VARIED HEIGHTS.
- (3) PHASE 1: CONSTRUCT CONCRETE PLAY AREA ACCESS RAMP PER DETAIL A/5.
- (4) PHASE 1: CONSTRUCT CONCRETE SIDEWALK WITH TURNDOWN EDGE AT PLAY AREA PER COA STANDARD DETAIL #123.
- (5) PHASE 1: FURNISH AND INSTALL PLAY EQUIPMENT. PLAY EQUIPMENT SHALL BE JADE PARK DESIGN #220086 AS MANUFACTURED BY PLAYWORLD (OR APPROVED EQUAL). AVAILABLE FROM PLAYWELL, PH# 1-800-126-1016. REFERENCE PLAY EQUIPMENT NOTES THIS SHEET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- (6) PHASE 1: FURNISH AND INSTALL ENGINEERED WOOD FIBER PLAY AREA SURFACING. DEPTH SHALL BE 12" AFTER COMPACTION.
- (7) EXISTING CONCRETE SIDEWALK TO REMAIN.
- (8) NOT USED.
- (9) EXISTING TREE TO REMAIN.
- (10) EXISTING WOOD BOLLARD TO REMAIN.
- (11) EXISTING TURF TO REMAIN.
- (12) EXISTING PROPERTY FENCE TO REMAIN.
- (13) EXISTING ASPHALT PAVING TO REMAIN
- (14) PHASE 1: RELOCATE EXISTING IRRIGATION HEAD TO CORNER OF TURF
- (15) EXISTING CONCRETE BENCH PAD TO REMAIN IN PHASE 1.
- (16) PHASE 2: CONSTRUCT CONCRETE PLAY AREA CONTAINMENT WALL. REFERENCE COA STD. DWG. 2123. HEIGHT OF WALL VARIES. REFERENCE SPOT ELEVATIONS SHOWN ON GRADING/DIMENSION PLAN, SHEET 6. WALL SHALL BE EXTENDED TO ACCOMMODATE VARIED HEIGHTS.
- (17) PHASE 2: FURNISH AND INSTALL ENGINEERED WOOD FIBER PLAY AREA SURFACING. DEPTH SHALL BE 12" AFTER COMPACTION.
- (18) PHASE 2: FURNISH AND INSTALL PLAY EQUIPMENT. PLAY EQUIPMENT SHALL BE JADE PARK DESIGN #220086 AS MANUFACTURED BY PLAYWORLD (OR APPROVED EQUAL). AVAILABLE FROM PLAYWELL, PH# 1-800-126-1016. REFERENCE PLAY EQUIPMENT NOTES THIS SHEET. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- (19) PHASE 1: INSTALL SIDEWALK GRATES PER DETAIL B/5
- (20) PHASE 1: CONSTRUCT CONCRETE BENCH PAD.
- (21) PHASE 2: CONSTRUCT CONCRETE BENCH PAD.
- (22) PHASE 2: RELOCATE EXISTING HEAD TO CORNER OF TURF.

1. CONCRETE WALK SHALL HAVE A 2% CROSS SLOPE FOLLOWING DIRECTION OF EXISTING GRADE.
2. IF PHASE 2 IS ACCEPTED, CONTRACTOR SHALL DEMO ~~CONCRETE CONTAINMENT WALL ALONG NORTH SIDE OF PLAY AREA~~



21309

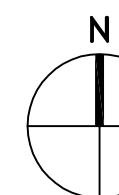
This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents for advisory or other independent verification of their accuracy before applying it for any purpose.



**MORROW REARDON
WILKINSON MILLER, LTD.
LANDSCAPE ARCHITECTS**

210 La Veta NE, Albuquerque, NM 87108
505.268.2266 FAX 505.265.9637
mrw@mrwpm.com

mrw@mrwnm.com



0 10' 20' 40' 60'

SCALE: 1" = 20'

<p align="center">CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION</p>				
<p>TITLE: JADE PARK PLAY AREA RENOVATION</p>				
<p align="center">CONSTRUCTION PLAN</p>				
<p>Design Review Committee</p>	<p>City Engineer Approval</p>	<p>Least Design Updates</p>	Mo/Day/yr.	Mo/Day/yr.
<p>CITY PROJECT NO. 786492</p>		<p>ZONE MAP NO. D-18</p>	<p>SHEET 5</p>	<p>OF 8</p>

[illegible]

Jade Park Play Area Renovation

DATE 12/19/08
PROJECT# 786492

RECORD DRAWINGS
DATE: 5/11/09

FINAL FOR CONSTRUCTION
DATE: APRIL 13, 2009



GRADING GENERAL NOTES

1. CONCRETE WALK SHALL HAVE A 2% CROSS SLOPE FOLLOWING DIRECTION OF EXISTING GRADE.

475

157.99

- NOTE: TOP OF
ENGINEERED
WOOD FIBER
PLAY AREA
SURFACING
ELEVATION TO BE
5274.85

RECORD DRAWINGS SEPTEMBER, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be apparent or latent. The Contractor, relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.



210 La Veta NE, Albuquerque, NM 87108
505.268.2266 FAX 505.265.9637
mrw@mrwnm.com

<p align="center">CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION</p>				
<p>TITLE: JADE PARK PLAY AREA RENOVATION</p> <p align="center">GRADING / DIMENSION PLAN</p>				
<p>Design Review Committee</p>	<p>City Engineer Approval</p>	<p>Last Design Updates</p>	Mo/Day/yr.	Mo/Day/yr.
<p>CITY PROJECT NO.</p> <p align="center">786492</p>	<p>ZONE MAP NO.</p> <p align="center">D-18</p>	<p>SHEET</p> <p align="center">6</p>	<p>OF</p> <p align="center">8</p>	

FINAL FOR CONSTRUCTION
DATE: APRIL 13, 2009

Jade Park Play Area Renovation

PROJECT# 786492

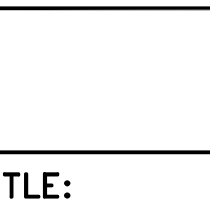
RECORD DRAWINGS
DATE: 5/4/09


$$1/4'' = 1'$$

$$1/4'' = 1$$

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO FURNISH, INSTALL, AND CONSTRUCT ALL PLAY EQUIPMENT, PAINTED GAMES AND SITE FURNISHINGS AS SPECIFIED AND DESCRIBED ON THIS PLAN.
3. THE GROUND SPACE (GS) AND USE ZONE (UZ) FOR EACH PIECE OF PLAY EQUIPMENT ARE SHOWN ON THE PLAN. THE GROUND SPACE IS THE ACTUAL SPACE THAT THE EQUIPMENT OCCUPIES. THE USE ZONE IS THE REQUIRED OBSTACLE FREE SURFACE AROUND THE EQUIPMENT. THE USE ZONE FOR STATIONARY PLAY EQUIPMENT SHALL EXTEND NO LESS THAN 6' FROM ALL SIDES OF THE PLAY STRUCTURE. IN INSTANCES WHERE THE USE ZONE EXTENDS BEYOND 6' FROM A SPECIFIC SIDE OF A STRUCTURE, THE REQUIRED LENGTH OF EXTENSION IS SHOWN ON THE PLAN.
4. THE USE ZONES FOR ANY TWO ADJACENT PLAY STRUCTURES SHALL NOT OVERLAP.
5. PRIOR TO FINAL ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL PROVIDE AN "AS-BUILT" DRAWING WHICH DOCUMENTS THAT EACH PIECE OF PLAY EQUIPMENT IS CONSTRUCTED WITH THE REQUIRED USE ZONE AND THAT NO USE ZONES OVERLAP.
6. PRIOR TO FINAL ACCEPTANCE BY THE OWNER THE CONTRACTOR MUST PROVIDE WRITTEN AUTHORIZATION THAT THE CONSTRUCTION AND INSTALLATION OF EACH PIECE OF PLAY EQUIPMENT HAS BEEN INSPECTED BY A REPRESENTATIVE OF THE EQUIPMENT MANUFACTURER, AND THAT THE CONSTRUCTION AND INSTALLATION OF EACH PIECE OF EQUIPMENT FULLY COMPLIES WITH THE ASTM F-1487-95 AND THE U.S. CONSUMER PRODUCT SAFETY COMMISSION HANDBOOK FOR PUBLIC PLAYGROUND SAFETY.

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is intended to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on the Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
PARK DESIGN AND CONSTRUCTION

RECORD DRA
DATE: 5/4/09PROJECT# 786492

FINAL FOR CONSTRUCTION
DATE: APRIL 13, 2009



City of Albuquerque
Martin J. Chavez, Mayor

Department of Municipal Development
Michael J. Riordan, Director

Project Information Form

Date: 06/04/09

Subject: Jade Park/Play Area Renovation

As of (date): 06/04/09

Project ID#: 786492

Name of Facility: Jade Park

Address: 6700 San Francisco NE

Albuquerque, NM

CD: 4

Park Zoning: SU-1

☐ Developed ☒ Renovation

Detailed Park Summary Information:

Total Park Acres: 2.18 acres

Acres Renovated:

Description of Project:

Acres of Irrigated Turf (acre)	cool / warm season
Turf Removal:	square feet
Landscape Area Trees & Shrubs:	square feet
Tree Count:	-Deciduous -Evergreen
Recycled Construction Materials:	truckload
Recycled Benches	
Recycled Tables	
Engineered Wood Fibers	70 cubic yards

Park property renovated; per FINAL FOR CONSTRUCTION DOCUMENTS DATED 04/13/09 and COA specifications.
1. Site furnishings
2. Hardscape; concrete sidewalks with turnaround adjacent to play area, concrete play area containment curbs, concrete play area access ramp, concrete bench pad.

Effective date: 06/04/09

NO MORE CHARGES for new water, electric and gas

...will be accepted by the contractor: Mountain West Golfscapes, Rio Grande Survey, Saiz Trucking

...are to occur against activity numbers: 7215660, 7339530, 7339540

Contacts:

Project Manager, City of Albuquerque, Park Design & Construction, DMD

Project Manager: David Flores, Acting Division Manager
Phone: (505) 768-3815
Email: dflores@cabq.gov
Fax: (505) 768-2310

Consultant: AE#

Design Consultant: Morrow, Reardon, Wilkinson, Miller, Ltd.
Address: 210 La Veta NE, ABQ, NM 87108
Contact Name: Greg Miller
Phone: (505) 268-2266
Application: Design Liability

Landscape Architect of Record: Greg Miller
Address: 210 La Veta NE, ABQ, NM 87108
Phone: (505) 268-2266
Email: gregmiller@mrwnm.com

Contractor Information:

Contractor: City of Albuquerque, DMD, Park Design and Construction
Contact Name: John A. Casados
Phone: (505) 857-8664
Scope of Work: Purchase of new play equipment.
Warranty: One (1) year labor and materials
Warranty Start Date: 06/04/09 - Expiration Date: 06/04/10

Contractor: Mountain West Golfscapes
Contact Name: John Mondragon
Phone: (505) 869-9019

Scope of Work: Installation of new play equipment and existing benches, concrete sidewalk and handicap access ramp into play area, relocation of existing irrigation sprinkler heads as per plan and installation of new engineered bark in play area.
Obtained any audits pertaining to play equipment.
Warranty: One (1) year labor and materials
Warranty Start Date: 06/04/09 - Expiration Date: 06/04/10

Contractor: Rio Grande Survey

Contact Name: Rex Volger

Phone: (505) 379-4579

Scope of Work: Surveying

Warranty: One (1) year labor and materials

Warranty Start Date: 06/04/09 - Expiration Date: 06/04/10

Contractor: Saiz Trucking

Contact Name: Larry Saiz

Phone: (505) 450-7232

Scope of Work: Demolition and grading work.

Warranty: One (1) year labor and materials

Warranty Start Date: 06/04/09 - Expiration Date: 06/04/10

Warranty and Vendor Information:

The following is a listing of all labor, vendors and product warranties for project Jade Park/Play Area Renovation
During the first year all calls regarding warranty information will go to the contractor. After one year

Vendor: PlayWell Group
Phone: (800) 726-1816
Application: Playground Equipment
Product: (1) Play Structure
Model#: Jade Park Design #228086
Manufacture structural warranty: Lifetime

Project Name: Jade Park/Play Area Renovation

Amenities	Total Existing	# Removed	#Added	Current Total
Benches			2	2
Bike Racks (capacity)				
Exercise Stations				
Mutt Mitt Dispensers	2	0	0	2
Picnic Tables-ADA (6')				
Picnic Tables-(6')			2	2
Play Areas			1	1
Play Areas-wood fiber (cy)				
Play Structures (2 to 5 yrs)				
Play Structures (5 to 12 yrs)				
Swings Set -- (1) Two Bay				
Shade Structure				
Trash Receptacles			6	6
Barrel Vaulted Gable Shelter				
Tubular Fence -- 4'				
Chain Link Fence -- 4'				
Parking Spaces-ADA				
Parking Spaces-standard				

Light Pole-Single Hd Fixture- Photo cell with timer				
Light Pole -- Double Hd Fixture- Photo cell with timer				
Basketball Courts (Full)				
Basketball Courts (Half)				
Off-Leash Dog Area wood fiber				
Recreation Fields				
Skate Facility, Modular				
Softball Fields (Lit)				
Softball Fields (Unlit)				
Tennis Courts (Lit)				
Tennis Courts (Unlit)				

Audit Information for Play Equipment, Irrigation System and Backflow Preventor

Auditor: PlaySafe, LLC.
Phone: (505) 899-9532
Inspector Name: S. DeFillippo & B. Boning
Inspection Date: 05/29/09
Products Inspected: Play Equipment & Wood Chips

Auditor:
Phone:
Inspector Name:
Inspection Date:
Products Inspected:

Water Meter:

Reading: _____
Address: _____
Serial Number: _____
Type: _____
Final billing date: _____
New Service JV: _____

Electric Meter:

Reading: _____
Number: _____
Serial Number: _____
Type: _____

- ▶ Maintenance Documents
 - Keys (trash receptacles)
 - Benches
 - Tables
 - Play Structures
 - Shade Structures (engineered drawings and footing details)
 - Lights
 - Booster Pump
 - Irrigation Controller
- Permits (date approved)
 - Electrical ()
 - SWPPP/NOI ()
 - Building ()
 - Dust Control ()
 - Water Meter Tap ()
 - Concrete Tests
 - Compaction Tests
- ▶ Punch list complete date: 06/17/09
- ▶ Record drawings per General Conditions section 6.10
 - Reproducible as built Record Drawings for entire park project completed by a certified draftsman.
 - same scale as plans.
 - Legible, reduced laminate layout drawings of irrigation system for each controller.
 - color coded by each valve front of copy.
 - irrigation legend and scheduled back of copy.
 - irrigation schedule back of copies.
 - 11"x17" format.

Email copies to:

jevans@cabq.gov, szuschlag@cabq.gov, amgarcia@cabq.gov, cefrenz@cabq.gov, jcasados@cabq.gov, rlofstrom@cabq.gov, jeffnhart@cabq.gov, Rgabalcon@cabq.gov, Jdunn@cabq.gov, DFlores@cabq.gov, emsandoval@cabq.gov, Nkuhu@cabq.gov

RECORD DRAWINGS SEPTEMBER, 2009

This set of Record Documents consists of corrected plans showing the reported location of the work, conforming to the construction records provided by the Contractor. While the information submitted by the Contractor and incorporated by the Landscape Architect into the Record Documents is assumed to be reliable, the Landscape Architect has not verified the accuracy and/or completeness of the information and shall not be responsible for any errors or omissions which may be incorporated herein as a result. Those relying on these Record Documents are advised to obtain independent verification of their accuracy before applying it for any purpose.



**MORROW REARDON
WILKINSON MILLER, LTD.,
LANDSCAPE ARCHITECTS**

210 La Veta NE, Albuquerque, NM 87108
505.268.2266 FAX 505.265.9637
mrw@mrwnm.com

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT PARK DESIGN AND CONSTRUCTION DIVISION				X
TITLE: JADE PARK PLAY AREA RENOVATION				
PROJECT INFORMATION FORM				
Design Review Committee	City Engineer Approval	Last Design Updates	Mo/Day/Yr.	Mo/Day/Yr.
CITY PROJECT NO. 786492		ZONE MAP NO. D-18	SHEET 8 OF 8	RECORD DRAWINGS DATE: 5/4/09

Jade Park Play Area Renovation

FINAL FOR CONSTRUCTION
DATE: APRIL 13, 2009

PROJECT# 786492