

CONSTRUCTION PLANS FOR

BEAUTY COLLEGE & RTE. 66 MALT SHOP & GRILL

PRIVATE 4 INCH WATER LINE WITHIN
 PUBLIC RIGHT-OF-WAY

LEGEND

+24.0	EXIST. SPOT ELEVATION
NG	NATURAL GROUND
RBR	REBAR
---	CENTERLINE
- - -	EXIST. EDGE OF ROAD
O P P	EXISTING POWER POLE
-5770-	EXISTING CONTOUR
EA	EXISTING EDGE OF ASPHALT
NEW CONCRETE	
F-F	FACE TO FACE OF CURB
-12-	NEW CONTOUR
24.0	NEW SPOT ELEVATION
NEW CURB & GUTTER	
TRANSITION TO NO CROWN (50' MIN. TRANSITION LENGTH)	
NEW SWALE	
DRAINAGE DIRECTION	
6" W	EXISTING WATER LINE
EXISTING WATER VALVE	
W	NEW WATER LINE
NEW GATE VALVE	
FH	NEW FIRE HYDRANT
SD	EXISTING STORM DRAIN
SAS	EXIST. SANITARY SEWER

(W/ MISCELLANEOUS PAVING - DRAINAGE IMPROVEMENTS)

INDEX

SHEET NO.

1
 2
 3

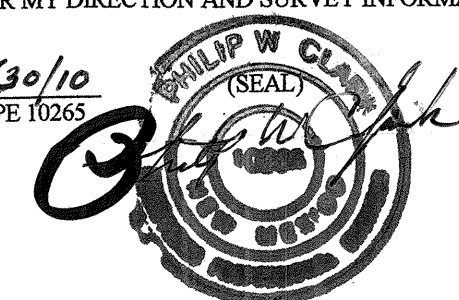
TITLE

COVER SHEET
 SUBDIVISION REPLAT
 4-INCH FIRE LINE - CENTRAL AVENUE, SE
 (INCLUDING PAVING & DRAINAGE)

AS-BUILT
 CERTIFICATE OF SUBSTANTIAL COMPLIANCE

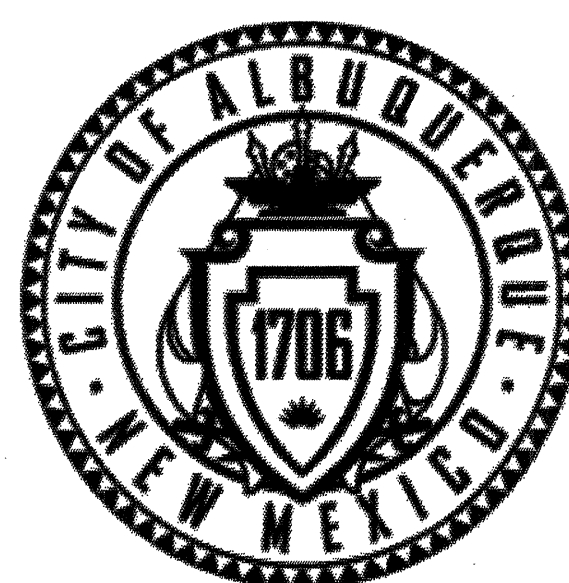
I, PHILIP W. CLARK, OF THE FIRM OF CLARK CONSULTING ENGINEERS, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS HAS BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY *Harris Surveying* NMFS 11462.

7/30/10
 Philip W. Clark, NMPE 10265

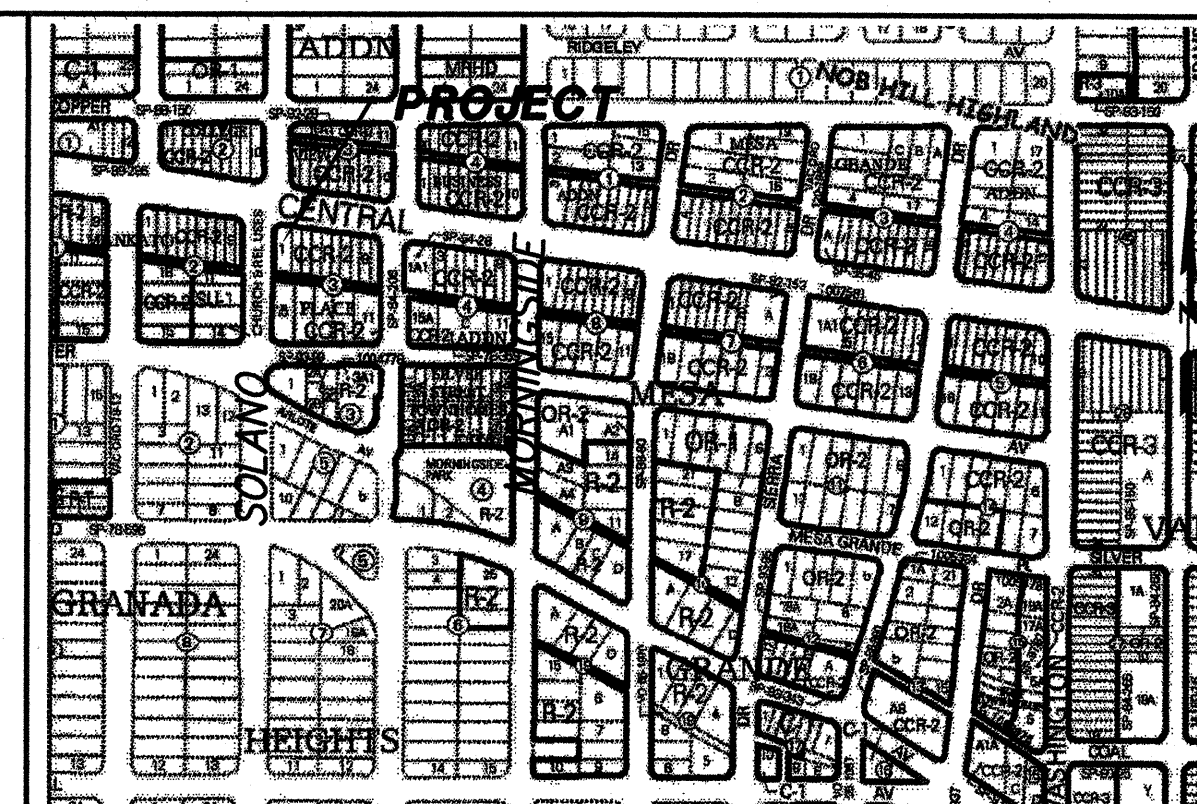


APPROVED AS RECORD DRAWINGS
 DESIGN REVIEW SECTION
 CITY CONSTRUCTION ENGINEER
Anthony J. Jeger
 DATE: 09/15/10

Clark Consulting Engineers
 19 Ryan Road
 Edgewood, New Mexico 87015
 Tele: (505) 281-2444 Fax: (505) 281-2444



NEW MEXICO - USA



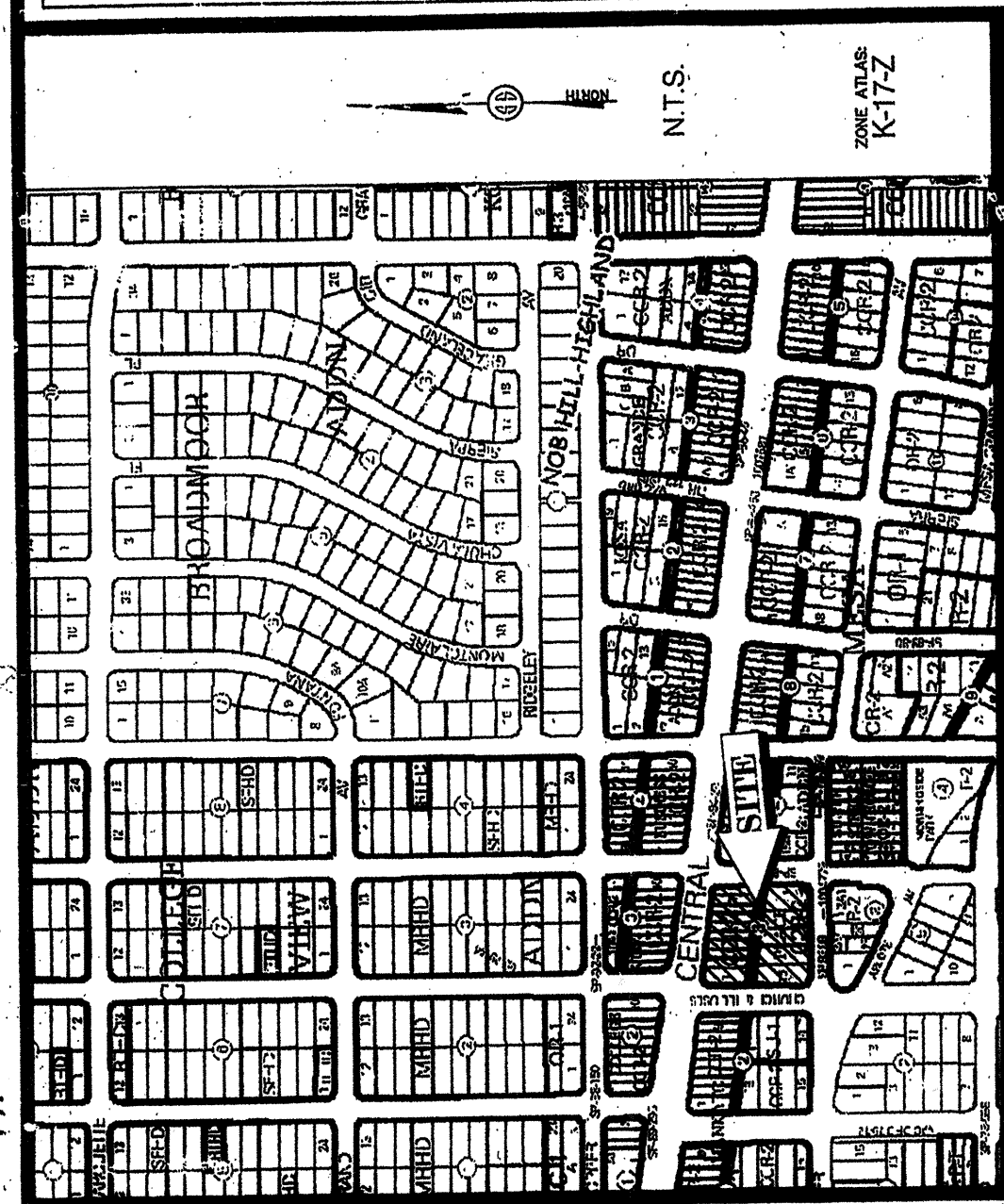
VICINITY MAP K-17 GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS, FOR PUBLIC WORKS CONSTRUCTION (1986 EDITION AND UPDATE #7 INCLUDING AMENDMENT #1), AND THE CITY STANDARD DRAWINGS.
- ALL WORK PERFORMED ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- CONTRACTOR SHALL NOTIFY AND COORDINATE ALL CONSTRUCTION TWO WEEKS PRIOR TO START WITH THE FOLLOWING UTILITIES: QWEST COMMUNICATIONS, PUBLIC SERVICE CO. OF NEW MEXICO, GAS AND ELECTRIC SERVICES, COMCAST CABLE TV.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE-CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE FIELD OR RECORD ENGINEER.
- SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE REGARDING TRAFFIC CONTROL. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM SAME DIVISION. CONTRACTOR SHALL NOTIFY THE BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION, AS PER SECT. 19 OF THE SPECIFICATIONS.
- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR TO EXISTING LOCATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ELECTRONIC MARKER SPHERES SHALL BE INSTALLED PER SECTION 170 OF THE STANDARD SPECIFICATIONS.

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING
☒ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE

REV	SHEET	CITY ENGINEER	DATE	USER DEPT.	DATE	USER DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	APPROVED FOR CONSTRUCTION	
		DRC Chairman		<i>Wendell</i>	6-3-10		
		Transportation		<i>Wendell</i>	6-2-10		
		Water/Wastewater		<i>Wendell</i>	6-2-10		
		Hydrology		<i>Bradley D. Bump</i>	6/2/10		
Parks						City Engineer Date 7-14-10	
BERN. CO.						Richard Dourte, P.E.	
AMAFCA							
City Project No.				787484		Sheet 1 OF 3	

RTE. 66 MALT SHOP FIRE LINE CP# 787484



Vicinity Map

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED USING EXISTING RECORD DATA & ACTUAL FIELD SURVEY.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ACS CONTROL MONUMENTS 6, K17A AND 6, K17, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. BEARINGS AND DISTANCES IN PARENTHESES () ARE PER THE PLAT OF MANKATO PLACE, FILED IN BERNALILLO COUNTY, NEW MEXICO ON JANUARY 26, 1926 IN VOLUME C2, FOLIO 68.
6. GROSS AREA: 1.7060 ACRES
7. NUMBER OF EXISTING LOTS: 15
8. NUMBER OF LOTS CREATED: 6
9. NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTIONS OR THE INSTALLATION OF SOLAR COLLECTIONS ON ANY OF THE PARCELS WITHIN THE AREA OF PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.
10. FIREWALL LOCATED BETWEEN LOTS 1-A AND 2-A.
11. PROPERTY IS SUBJECT TO A RETROCHOL CROSS-LOT ACCESS AND DRAINAGE EASEMENT GRANTED BY THIS PLAT. SAID EASEMENT IS FOR THE BENEFIT AND USE BY AND FOR THE OWNERS OF LOTS 1-A THROUGH 6-A AND IS TO BE MAINTAINED BY SAID LOT OWNERS.

LEGAL DESCRIPTION

LOTS 1-NUMBERED ONE (1) THROUGH FIFTEEN (15) INCLUDE IN BLOCK NUMBERED THREE (3) OF MANKATO PLACE, SECTION 23, T. 10 N., R. 3 E., N.M.P.M. BEING THE SAME AS SHOWN IN THE PLAT OF MANKATO PLACE, SECTION 23, T. 10 N., R. 3 E., N.M.P.M., FILED IN BERNALILLO COUNTY, NEW MEXICO ON JANUARY 26, 1926 IN VOLUME C2, FOLIO 68, TOGETHER WITH THE FIFTEEN (15) FOOT ALLEY, VACATED BY PROJECT NO. 1027262069B-70553, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF THE PROPERTY AND A POINT ON BOTH THE ALSO AVENUE N.E. RIGHT-OF-WAY AND THE SILVER AVENUE N.E. RIGHT-OF-WAY, BEARING S 70° 51' 59" E, 581.04 FEET;

THENCE N 89° 47' 58" W 270.03 FEET ALONG THE SILVER AVENUE N.E. RIGHT-OF-WAY LINE TO THE SOUTHWEST CORNER OF THIS PROPERTY, A POINT ON BOTH THE SOLANO AVENUE N.E. RIGHT-OF-WAY AND THE SILVER AVENUE N.E. RIGHT-OF-WAY;

THENCE DUE NORTH 292.13 FEET ALONG THE SOLANO AVENUE N.E. RIGHT-OF-WAY LINE TO THE NORTHWEST CORNER OF THIS PROPERTY, A POINT ON BOTH THE SOLANO AVENUE N.E. RIGHT-OF-WAY AND THE CENTRAL AVENUE N.E. RIGHT-OF-WAY;

THENCE S 82° 39' 05" E 272.18 FEET ALONG THE CENTRAL AVENUE N.E. RIGHT-OF-WAY LINE TO THE NORTHEAST CORNER OF THIS PROPERTY, A POINT ON BOTH THE CENTRAL AVENUE N.E. RIGHT-OF-WAY AND THE ALSO AVENUE N.E. RIGHT-OF-WAY;

THENCE DUE SOUTH 258.91 FEET ALONG THE ALSO AVENUE N.E. RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, CONTAINING 1.7060 ACRES, MORE OR LESS.

FREE CONSENT

THE UNDERSIGNED OWNERS (AND PROPRIETORS) OF THE PROPERTY DESCRIBED HEREON DO HEREBY CONSENT TO THE PLATING OF SAID PROPERTY AS SHOWN HEREON AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THEIR DESIRES AND SAID OWNERS WARRANT THAT THEY HOLD COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED AND DOES HEREBY GRANT ANY AND ALL EASEMENTS AND DEDICATE ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE AS SHOWN HEREON.

OWNERS' SIGNATURE: Sarah Gibson DATE: 12/11/09

OWNERS' ADDRESS: 440 Central Avenue S.E., Suite 300, Albuquerque, NM 87102

ADDRESS: 440 Central Avenue S.E., Suite 300, Albuquerque, NM 87102

STATE OF NEW MEXICO

COUNTY OF BERNALILLO

NOTARY PUBLIC

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 31 DAY OF December, 2009.

BY: Gerald Landgraf Sarah Gibson

MY COMMISSION EXPIRES 10-11-13 NOTARY PUBLIC

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF UTILITIES, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

A. PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

B. NEW MEXICO GAS COMPANY, INC. (NMGC) A DELAWARE CORPORATION, FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. (OWNERS) FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

4. ECOMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, REPAIR, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES OF PROVIDING TELEPHONE, CABLE, AND OTHER SERVICES, INCLUDING THE RIGHT TO INSTALL, MAINTAIN, AND SERVICE SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL NOT BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10) IN FRONT OF TRANSFORMERS WITH GEAR DOORS AND FIVE FEET (5) ON EACH SIDE.

IN APPROVING THIS PLAT, NMGC DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, NMGC DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPON: See records above 10705706721033601

PROPERTY OWNER OF RECORD: Fleming Mabel LLC

BERNALILLO COUNTY TREASURERS OFFICE: 22-16-10

PLAT OF
LOTS 1-A THROUGH 6-A, BLOCK 3

MANKATO PLACE

SECTION 23, T. 10 N., R. 3 E., N.M.P.M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JANUARY 2010

SHEET 1 OF 2

SCANNED BY
PLANNING

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO ELIMINATE LOT LINES BETWEEN FIFTEEN (15) EXISTING LOTS CREATING SIX (6) NEW LOTS. THE PLAT SHOWS THE LOCATION OF THE LOT LINES AND THE LOCATION OF THE LOT LINES. THE PLAT SHOWS THE LOCATION OF THE LOT LINES AND THE LOCATION OF THE LOT LINES. THE PLAT SHOWS THE LOCATION OF THE LOT LINES AND THE LOCATION OF THE LOT LINES.

CITY APPROVALS: PROJECT NO.: 1002182 APPLICATION NO: 10265-70014

CITY SURVEYOR: [Signature] DATE: 1-5-10

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION: [Signature] DATE: 02-08-10

PARKS & RECREATION DEPARTMENT: [Signature] DATE: 1/6/10

ABCWUA: [Signature] DATE: 01/20/10

Bradley d. Bingham: [Signature] DATE: 1/20/10

Bradley d. Bingham: [Signature] DATE: 1/20/10

CITY ENGINEER: [Signature] DATE: 2-16-10

DEPT. CHAIRPERSON, PLANNING DEPARTMENT: [Signature] DATE: 2-11-10

REAL PROPERTY DIVISION: [Signature] DATE: 1/15/2010

NEW MEXICO GAS COMPANY: [Signature] DATE: 2-5-10

WEST TELECOMMUNICATIONS: [Signature] DATE: 1-7-10

COMCAST CABLE: [Signature] DATE: 1-6-10

NEW MEXICO GAS COMPANY OF NEW MEXICO: [Signature] DATE: 1-6-10

DOCH 2010013323

2010/01/19 08:51 PM Page: 1 of 2
Tolson: 01/19/10 Bernalillo Co

2010/01/19 08:51 PM Page: 1 of 2
Tolson: 01/19/10 Bernalillo Co

SURVEYORS CERTIFICATION

I, ANTHONY L. HARRIS, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION. I HAVE REVIEWED THE RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PARTIES EXPRESSING AN INTEREST IN THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND I HAVE MET THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Anthony L. Harris: [Signature] DATE: 12-30-09

ANTHONY L. HARRIS: [Signature] DATE: 12-30-09

NEW MEXICO PROFESSIONAL SURVEYOR, 11463

THE SURVEY OFFICE, LLC

333 LOMAS BLVD., N.E.

ALBUQUERQUE, NEW MEXICO

PHONE: (505) 998-0303

FAX: (505) 998-0305

87102

T10N R3E SEC. 23

0909AT02

PLAT OF
LOTS 1-A THROUGH 6-A, BLOCK 3

MANKATO PLACE

SECTION 23, T. 10 N., R. 3 E., N.M.P.M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

JANUARY 2010

SHEET 2 OF 2

CENTRAL AVENUE S.E.

100' Right-Of-Way

SOLANO AVENUE S.E.

75' Right-Of-Way

ALISO AVENUE S.E.

75' Right-Of-Way

SILVER AVENUE S.E.

60' Right-Of-Way

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

LOT 6

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

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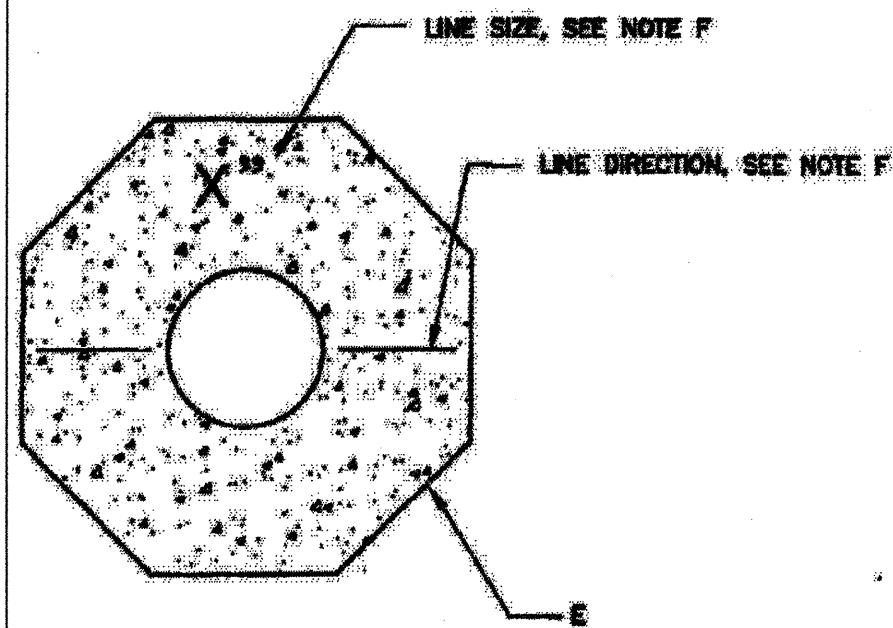
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GENERAL NOTES:

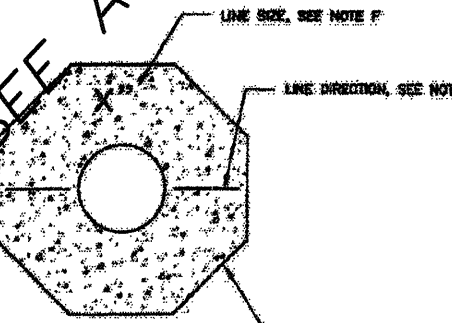
- VALVE BOX RING AND COVER PER C.O.A. STD. DWG. 2328.
- 12" DIAMETER CORRUGATED METAL PIPE (CMP), TAR COATED.
- NEW OR EXISTING VALVE.
- COMPACTED BACKFILL, SOIL OR BASE COURSE MATERIAL (95% COMPACTION). SEE SECTION 701.
- CONCRETE COLLAR PER C.O.A. STD. DWG. 2401.
- TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND DIRECTION. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT. ADD "TL" FOR VALVES ON FIRE LINES.
- MIN. 6" ON MATCH EXISTING.
- ELECTRONIC MARKER DEVICE (EMD); SEE COA STANDARD SPECIFICATION SECTION 170.



LABEL REQUIREMENTS

GENERAL NOTES:

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LABEL REQUIREMENTS

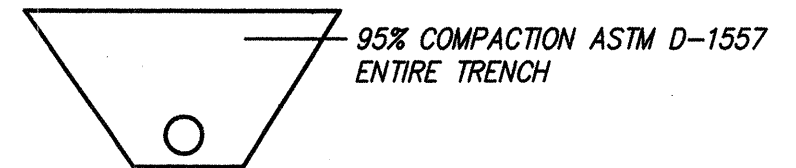
NOTE:

EXISTING UTILITIES SHOWN HEREON, INCLUDING UNCHARTED UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR FOR EXACT LOCATION AND DEPTH PRIOR TO EXCAVATION. SHOULD A CONFLICT EXIST, THE OWNER/ AND PROJECT ENGINEER SHALL BE IMMEDIATELY NOTIFIED.

SCALE: 1" = 10'

NOTES

- ALL STATIONING BASED ON CENTER LINE OF NEW ROADWAY AND R.O.W., UNLESS NOTED OTHERWISE.
- MAINTAIN MINIMUM OF 3 FEET COVER TO TOP OF NEW 4" WATERLINE.
- ALL UTILITIES AND SERVICES SHALL BE INSTALLED AND ACCEPTED PRIOR TO COMMENCING BACKFILL.
- WATER SHUT-OFF PLAN: NONE, CONTRACTOR SHALL NOTIFY WATER AUTHORITY AT THE PWD YARDS, 7 DAYS PRIOR TO REQUEST OF TAP FOR PRESSURIZED CONNECTIONS. TELE: 857-8200. SEE FACILITY MAP K-17.
NOTE: VALVES TO BE OPERATED ONLY BY WATER AUTH. PERSONNEL.
- ALL UTILITY BACKFILL SHALL BE IN ACCORDANCE WITH COA SPECIFICATION REQUIREMENTS. COMPACTION SHALL BE 95% ASTM D-1557 INCLUDING THE FOLLOWING SUPPLEMENTAL SPEC.



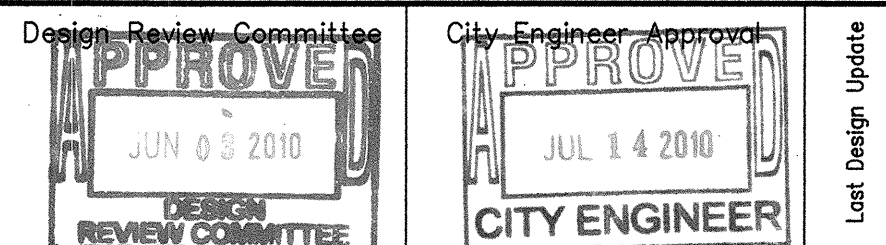
- REMOVE AND REPLACE MINIMAL STD CURB/GUTTER AND SIDEWALK PER COA DWGS. 2415A & 2430. REPLACE ANY PUBLIC LANDSCAPING IN-KIND INCLUDING ALL STREETSCAPE.

LEGEND

- AS-BUILT**
NEW SPOT ELEVATION
- EXIST. EDGE OF ROAD
- NEW SWALE
- DRAINAGE DIRECTION
- EDGE OF GRAVEL
- EDGE OF ASPHALT
- EXISTING POWER POLE
- NEW P.C.C. CONCRETE
- NEW WATER LINE
- BUILT NEW GATE VALVE
- RESTRAINED JOINT LENGTH
- DOUBLE WATER SERVICE
- WATER METER

Clark Consulting Engineers
19 Ryan Road
Edgewood, New Mexico 87015
Tele: (505) 281-2444 Fax: (505) 281-2444

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
4" FIRE LINE PLAN - CENTRAL AVE. SE
ROUTE 66 MALT SHOP & BEAUTY COLLEGE



City Project No. 787484 Zone Map No. K17 SHEET 3 OF 3

AS-BUILT INFORMATION

BENCH MARKS

SURVEY INFORMATION

ENGINEER'S SEAL

DATE

BY

REMARKS

DESIGN

DESIGNED BY: PWC

DRAWN BY: COE

CHECKED BY: PWC

Mo./Day/Yr.

Mo./Day/Yr.

Least Design Update

Mo./Day/Yr.

Mo./Day/Yr.