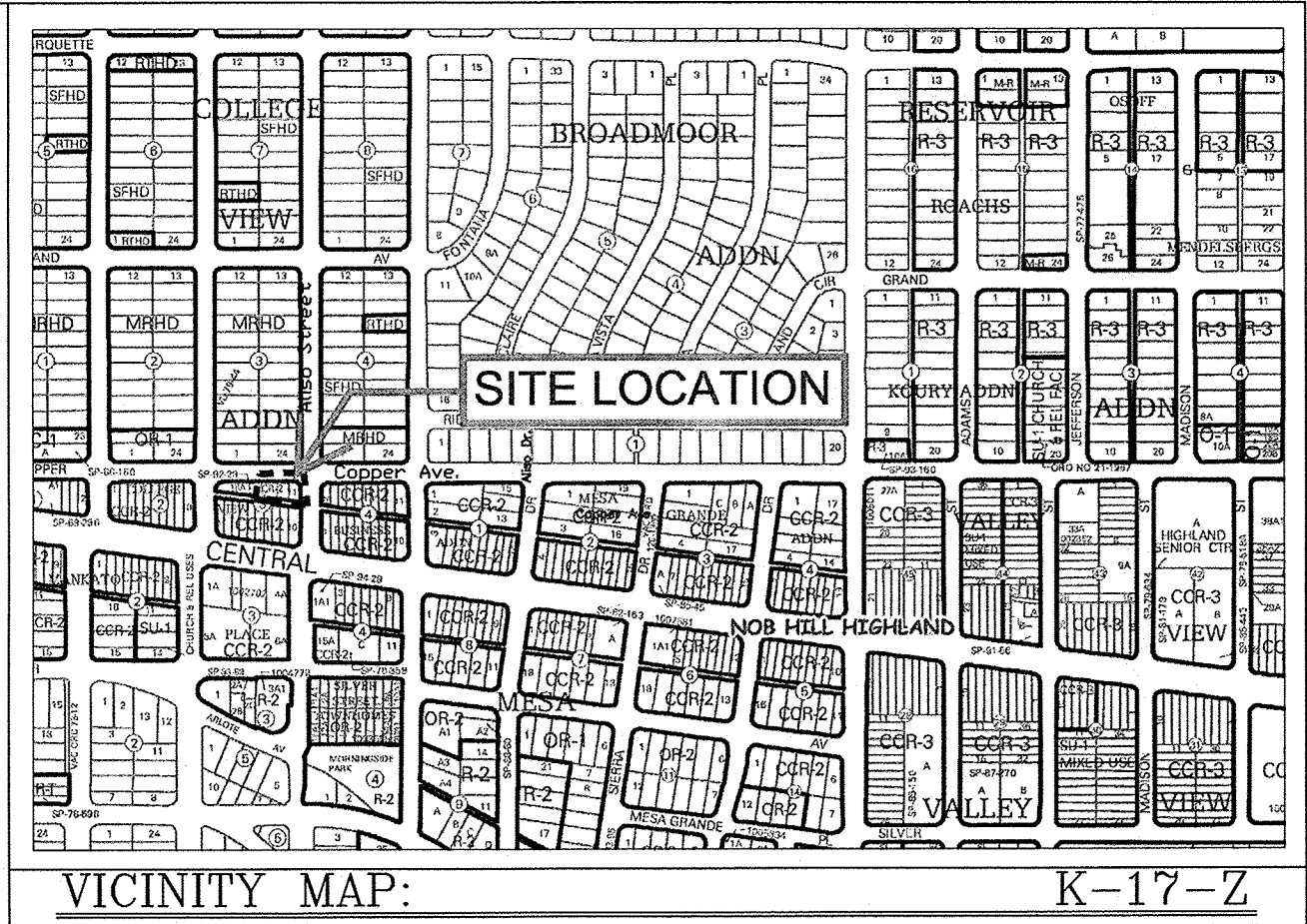




APPROVED AS RECORD DRAWINGS
DESIGN REVIEW SECTIONS
CITY CONSTRUCTION ENGINEER
DATE: 1/18/19

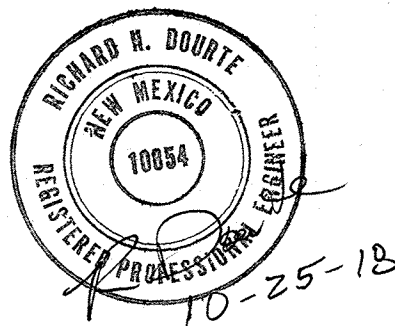


NOTICE TO CONTRACTORS

1. ALL UTILITY WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9).
2. ALL ROAD IMPROVEMENTS AND RELATED WORK DETAILED ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION (UPDATE #9).
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. ANY WORK AFFECTING AN ARTERIAL ROADWAY MAY REQUIRE 24-HOUR CONSTRUCTION.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO DMD CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO(2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADE PERMIT FROM THE COA DMD CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO STANDARD SPECIFICATIONS.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS. ANY PERMANENT SURVEY MONUMENT LOCATED WITHIN 50' OF THIS PROJECT THAT IS NOT SHOWN ON THE PLAN AND IS DESTROYED DURING CONSTRUCTION WILL BE REPLACED AT THE CONTRACTORS EXPENSE.
8. DEVELOPER SHALL PROVIDE STREET NAMES SIGNS, STOP SIGNS, AND ANY NECESSARY STRIPING FOR PRIVATE STREETS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS, INCLUDING, NOT LIMITED TO HAZARDOUS WASTE AT DISPOSAL SITES APPROVED BY GOVERNMENTAL AGENCIES REGULATING THE DISPOSAL OF SUCH MATERIAL.
10. CONTRACTOR SHALL REPLACE ALL PERMANENT PAVING STRIPING AND MARKINGS (INCLUDING EX. MARKINGS IMPACTED) THE ROAD SHALL NOT BE OPENED TO THE TRAFFIC UNTIL IT IS STRIPED. ALL STRIPING, PAVEMENT MARKINGS, INCLUDING CROSSEWALKS, ARROWS AND LINE MARKINGS ARE TO BE CONSTRUCTED OF HOT PLASTIC OR COLD PLASTIC IN ACCORDANCE WITH THE MUTCD.
11. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY AND ALL GRAFFITI FROM EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL CONSTRUCTION SIGNING UNTIL PROJECT HAS BEEN ACCEPTED BY THE COA.

CONSTRUCTION PLANS FOR COPPER AVE. TOWNHOUSE CONDOS ALLEY & COPPER AVE. IMPROVEMENTS

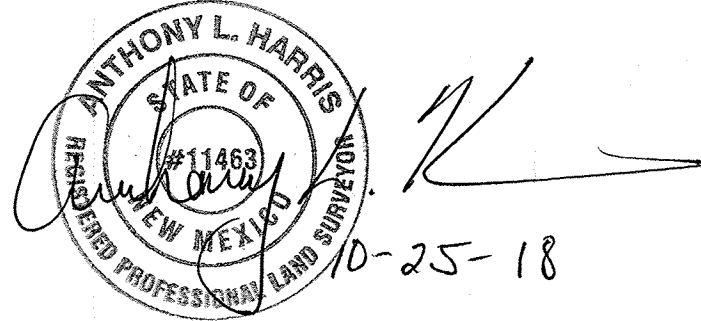
ABCWUA / CITY OF ALBUQUERQUE
NEW MEXICO
MAY 2016



CERTIFICATE OF SUBSTANTIAL COMPLIANCE
I, RICHARD DOURTE, NMPE 10854, OF THE FIRM RHD ENGINEERING, LLC, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY AND ABCWUA ENGINEER AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY ~~DRB#1010763~~ ANTHONY L. HARRIS P.S. 11463

INDEX TO DRAWINGS

1. TITLE SHEET
2. PLAT
3. GRADING AND DRAINAGE PLAN (FOR REFERENCE ONLY)
4. ALLEY IMPROVEMENTS
5. COPPER AVE IMPROVEMENTS
6. UTILITIES

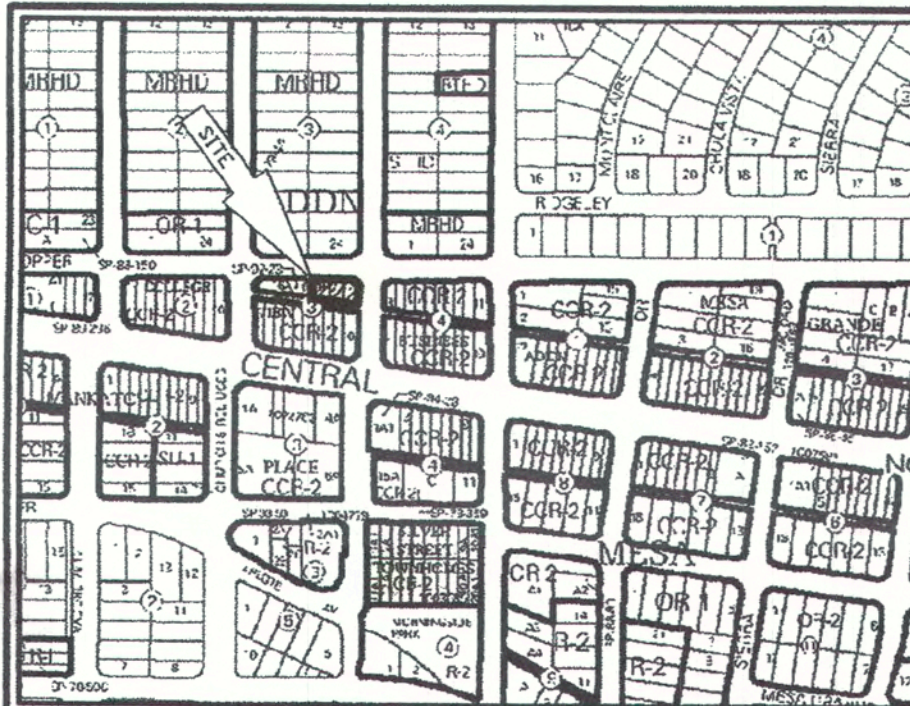


DRB#1010763

RHD Engineering, LLC
4305 Purple Sage Ave. NW
ALBUQUERQUE, NM 87120
(505) 288-1621

RECORD DRAWING

REV	SHEETS	CITY ENGINEER	DATE	USER	DEPT.	DATE	USER	DEPT.	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS	ENGINEER	DATE	***** APPROVED FOR CONSTRUCTION *****				
6-13-18 RD		DRC Chairman	Sam Altman	12/19/17					
		Transportation	Sam Altman	12/19/17					
		Hydrology	Sam Altman	12/19/17					
		Bernalillo County							
		Constr. Mngmt.							
		Constr. Coord.							
		Water/Wastewater	Tom Cyra	12/11/17					
CITY PROJECT NO.		787485		SHEET		1 OF 6			



VICINITY MAP No. K-17

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO RE-ALIGN THE PROPERTY LINES BETWEEN LOTS 11, 12 AND 13 BLOCK 3 COLLEGE VIEW BUSINESS ADDITION AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 0.1628 ACRES.
- 4: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1983.
- 5: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 6: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 7: DATE OF FIELD WORK: FEBRUARY, 2016
- 8: NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT
- 9: PLATS USED TO ESTABLISH BOUNDARY.
 - A: PLAT OF COLLEGE VIEW BUSINESS ADDITION
FILED: MARCH 28, 1928 IN VOLUME C2, FOLIO 114
 - B: PLAT OF LOT 16-A, BLOCK 3 COLLEGE VIEW BUSINESS ADDITION
FILED: MARCH 26, 1992 IN BOOK 92C, PAGE 44

LEGAL DESCRIPTION

LOTS NUMBERED ELEVEN (11), TWELVE (12) AND THIRTEEN (13) IN BLOCK NUMBERED THREE (3) OF THE COLLEGE VIEW BUSINESS ADDITION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MARCH 28, 1928 IN VOLUME C2, FOLIO 114

N.T.S.

PLAT OF
LOTS 11-A, 12-A AND 13-A, BLOCK 3
COLLEGE VIEW BUSINESS ADDITION

WITHIN
SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2016

PROJECT NUMBER: 1010763

APPLICATION NUMBER: 76-70309

UTILITY APPROVALS:

Fernando Vigil 10-26-16
PUBLIC SERVICE COMPANY OF NEW MEXICO DATE
J. St 10/24/16
NEW MEXICO GAS COMPANY DATE
QWEST 10/24/2016
QWEST CORPORATION D/B/A CENTURYLINK QC DATE
COMCAST 10/24/16
COMCAST DATE

CITY APPROVALS:

Soren N. Rios 7.5. 2/22/16
CITY SURVEYOR DATE
N/A
REAL PROPERTY DIVISION (CONDITIONAL) DATE
N/A
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) DATE
Raguel M. M. M. 10/5/16
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
Thill-Cad 10-05-16
ABCWUA DATE
Carol S. Dumont 10-5-16
PARKS AND RECREATION DEPARTMENT DATE
ALC 10-5-16
AMAFCA DATE
ALC 10-5-16
CITY ENGINEER DATE
J. St 10-26-16
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. QWEST D/B/A CENTURYLINK for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), QWEST D/B/A CENTURYLINK and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, QWEST D/B/A CENTURYLINK and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

THIS 22nd DAY OF February 2016

BY: *Rahim Kassam*
OWNERS NAME

MY COMMISSION EXPIRES: 11-10-18

BY: *Kimberly G. Magle*
NOTARY PUBLIC



SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

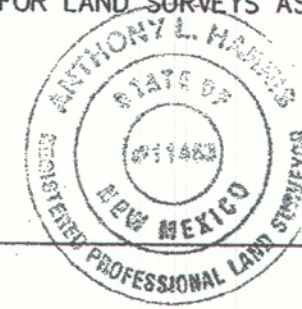
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LICENSED LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 21st DAY OF February, 2016

Anthony L. Harris
ANTHONY L. HARRIS, P.S. # 11463

THE SURVEY OFFICE, LLC
333 LOMAS BOULEVARD, N.E.
ALBUQUERQUE, NEW MEXICO 87102

PHONE: (505) 998-0303
FAX: (505) 998-0306



DOCN 2016101673

10/27/2016 03:39 PM Page: 1 of 2
PLAT R: 325.00 B: 20160 P: 0131 R: Toulouse Oliver, Bernalillo Cou

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1017 057 091 251 3440 2

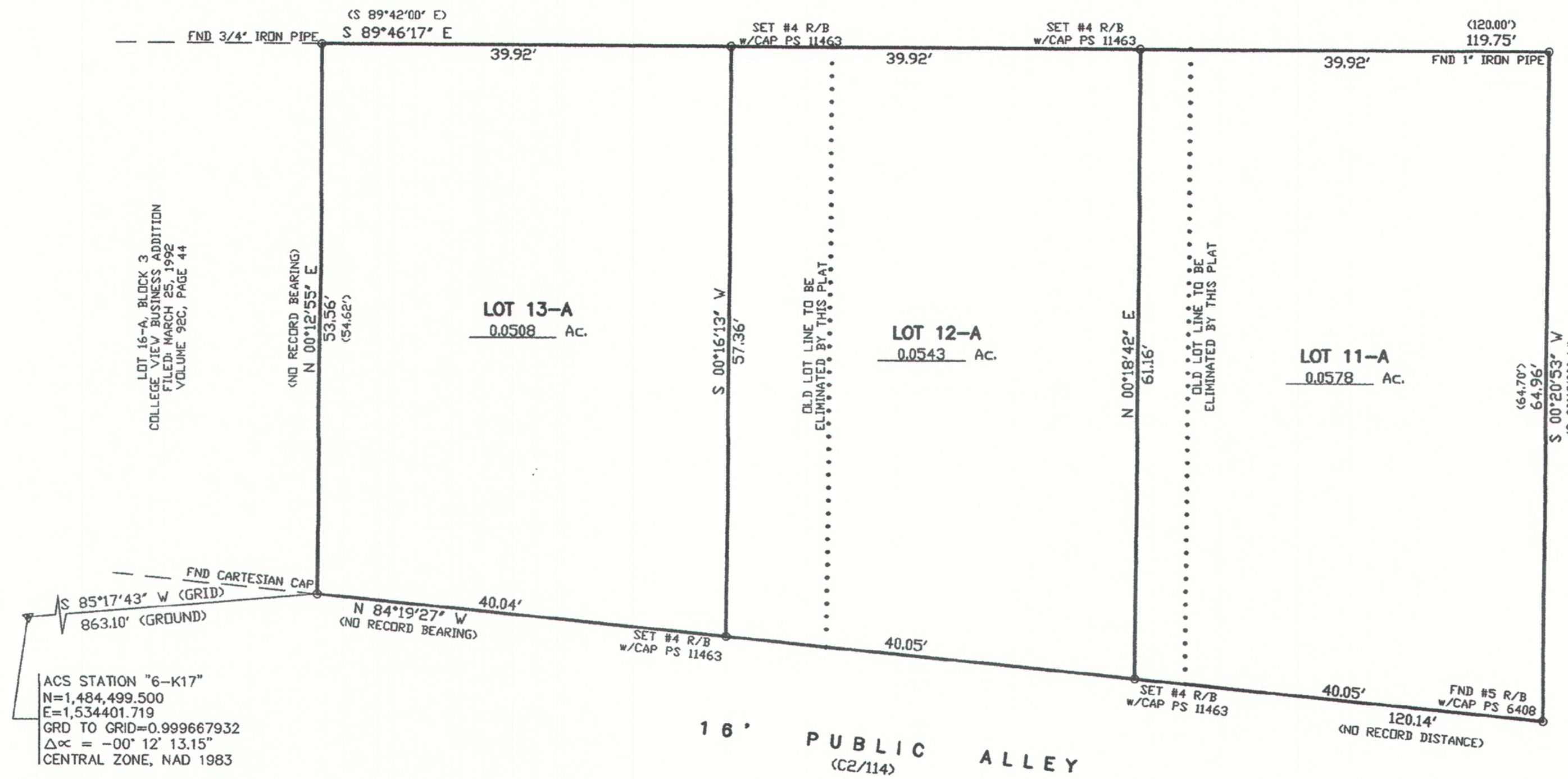
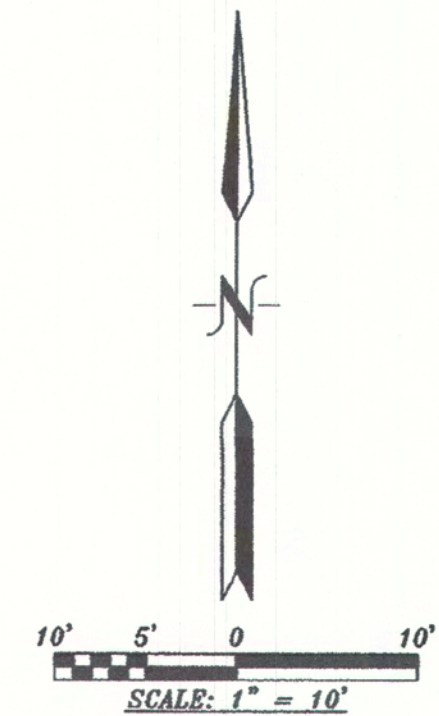
PROPERTY OWNER OF RECORD: *Kassam Rahim*

BERNALILLO CO. TREASURER'S OFFICE: *[Signature]*

PLAT OF
LOTS 11-A, 12-A AND 13-A, BLOCK 3
COLLEGE VIEW BUSINESS ADDITION
 WITHIN
 SECTION 23, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2016

COPPER STREET N.E.
 60' R/W
 (C2/114)

ALISO STREET N.E.
 60' R/W
 (C2/114)



ACS STATION "6-K17"
 N=1,484,499.500
 E=1,534,401.719
 GRD TO GRID=0.999667932
 $\Delta\alpha = -00^{\circ} 12' 13.15''$
 CENTRAL ZONE, NAD 1983

DOCH 2016101673
 10/27/2016 03:38 PM Page: 2 of 2
 PLAT R: \$25.00 B: 2016C P: 0131 M. Toulouse Oliver, Bernalillo Cou

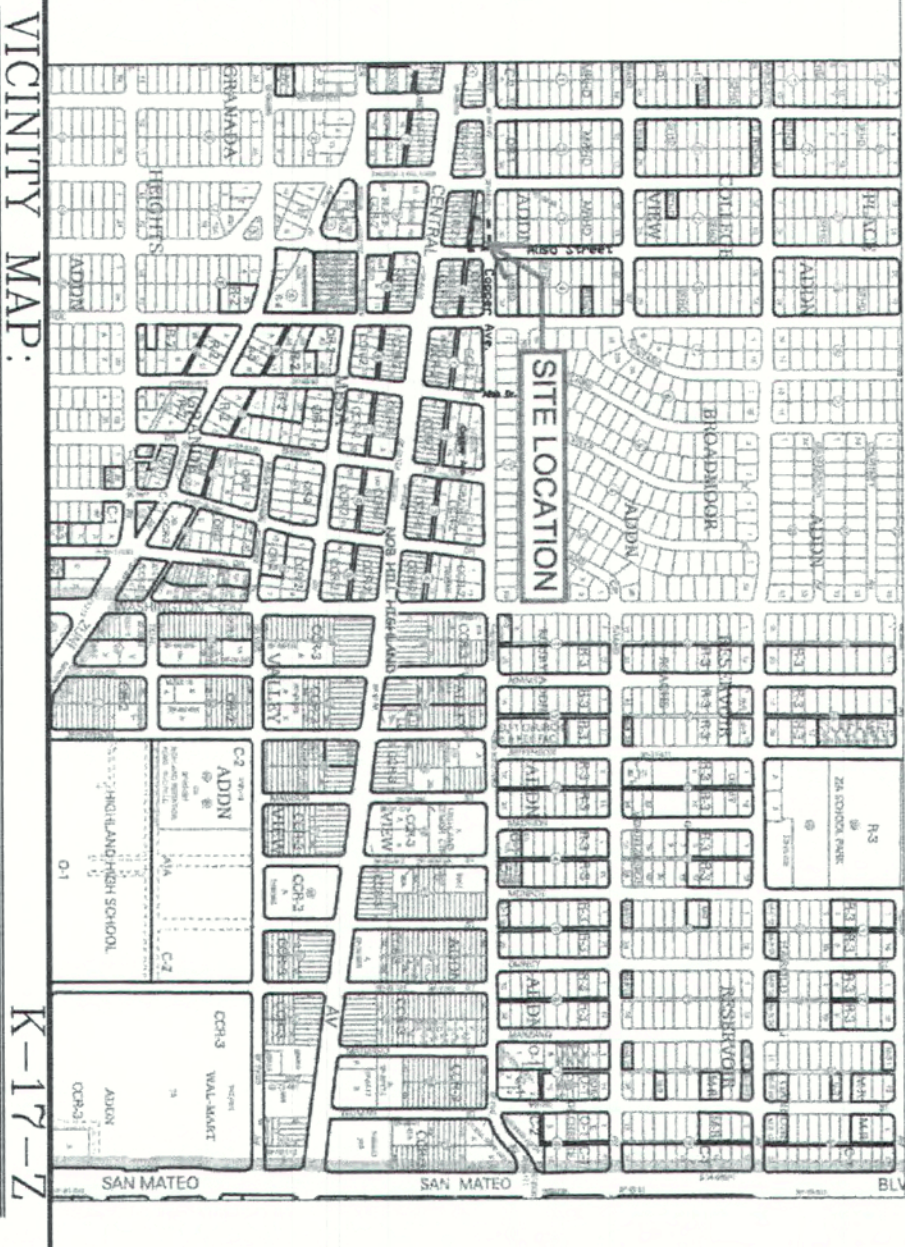
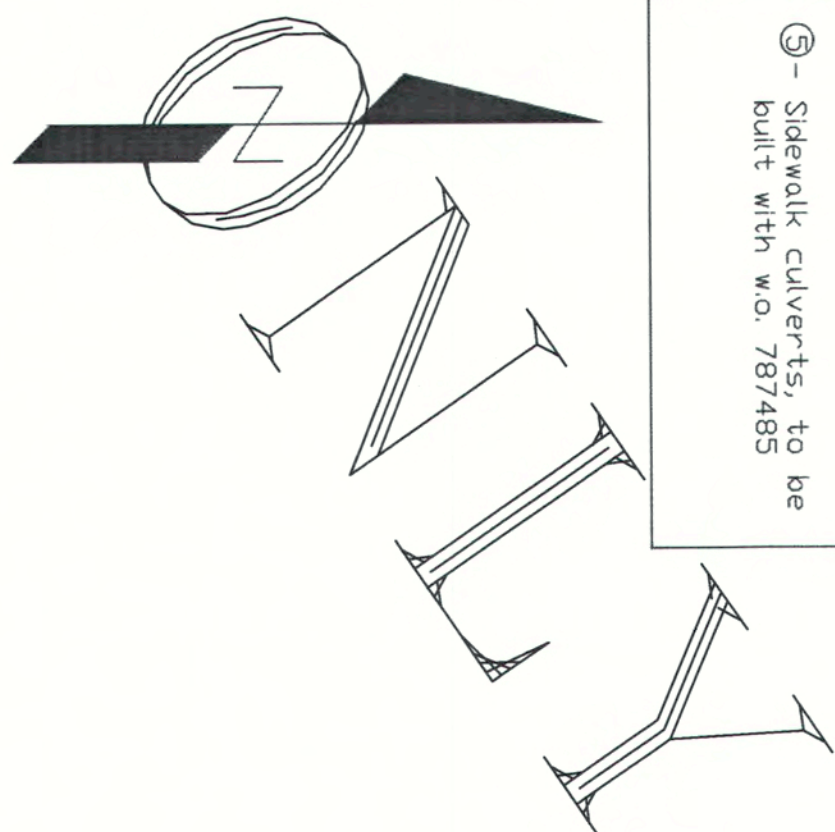

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF NECESSARY ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

- Keyed notes:
- ① - Building Landing TC=1310
 - ② - Building Landing TC=1377
 - ③ - Building Landing TC=1435
 - ④ - Roof Drains
 - ⑤ - Sidewalk culverts, to be built with w.o. 787485



FIRM MAP: 35001C033H

LEGAL DESCRIPTION:

Lot 12 and 13, College View Business Addition, City of Bernalillo, Bernalillo County, New Mexico

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- 46.00 PROPOSED SPOT ELEVATION
- 74.40 TOP OF WALL ELEVATION
- 50.00 BOTTOM OF WALL ELEVATION
- 50.00 EXISTING CONTOUR
- 50.00 EXISTING INDEX CONTOUR
- 50.00 PROPOSED INDEX CONTOUR
- LOT LINE
- CENTERLINE
- RIGHT-OF-WAY
- PROPOSED NEW BUILDING

- EXISTING CURB AND GUTTER
- PROPOSED EDGE OF CONCRETE
- PROPOSED FLOWLINE
- NEW PAVING, 2" ON 12" BRKP. SUBGRADE 95% COMPACTION PER ASTM D-1557
- NEW SIDEWALK
- NEW ALLEY PAVING
- NEW LANDSCAPING

NEW LANDSCAPING

ENGINEER'S SEAL

Title: Copper Ave Townhouse Condos

GRADING AND DRAINAGE PLAN

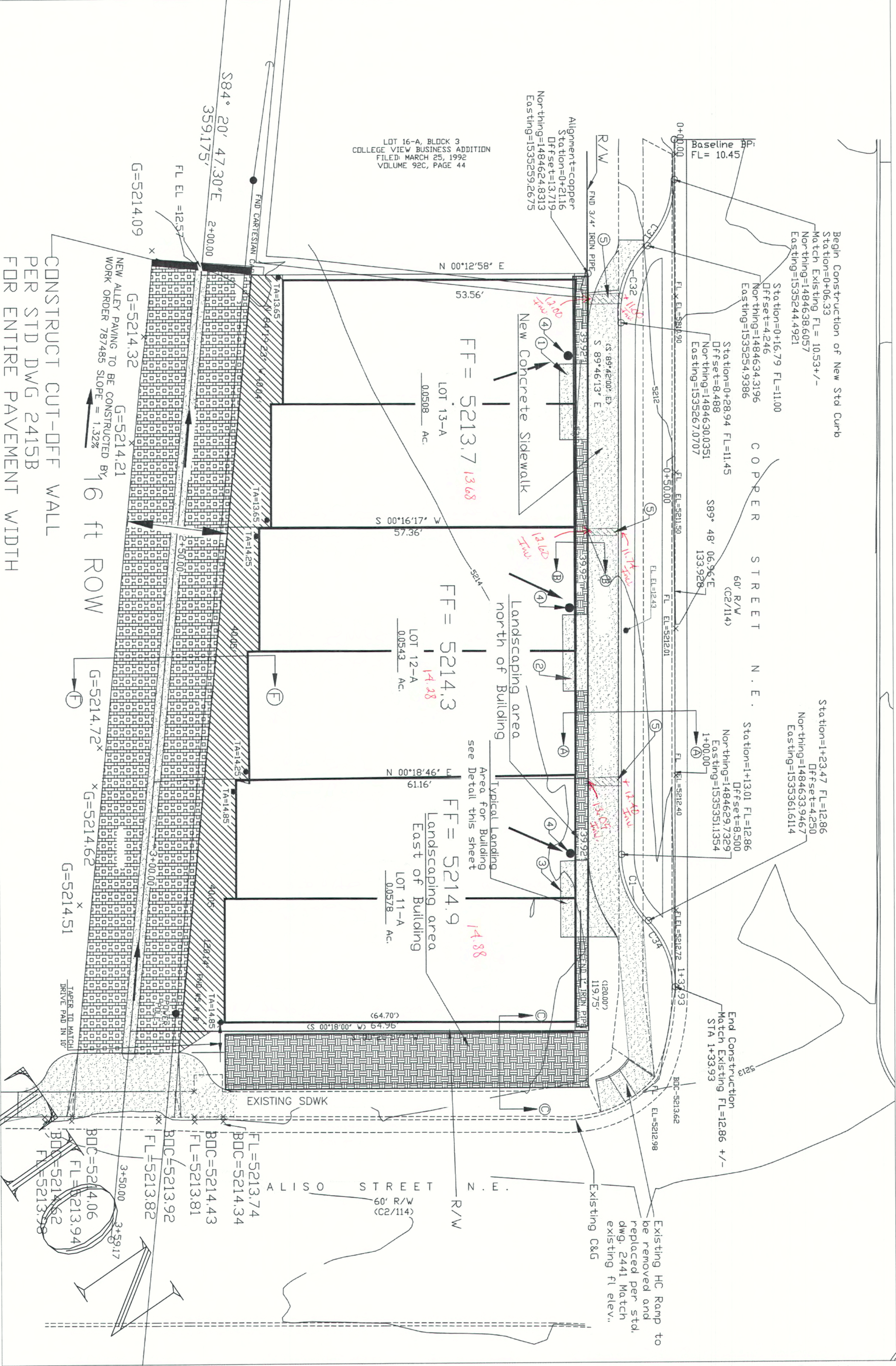
SHEET #

3 of 6

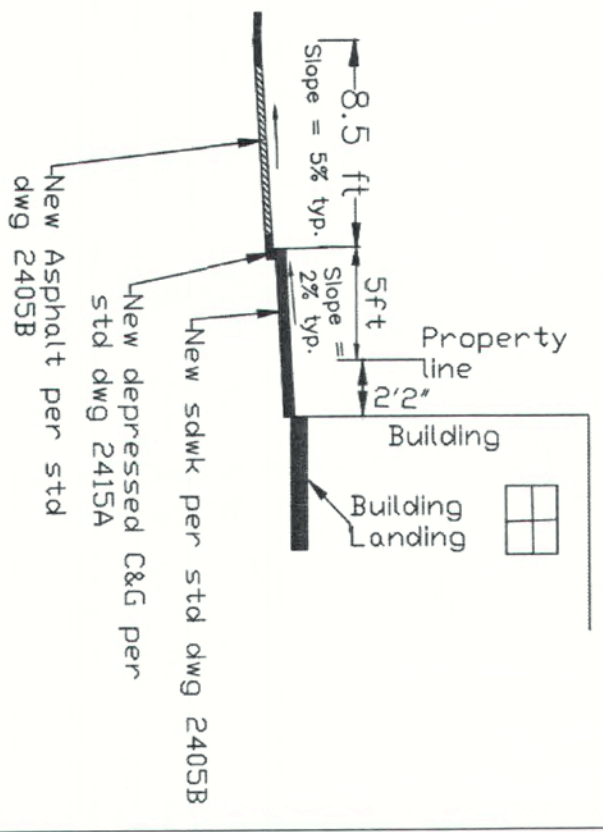
Richard Doure P.E. #10854

Richard Doure P.E. #10854

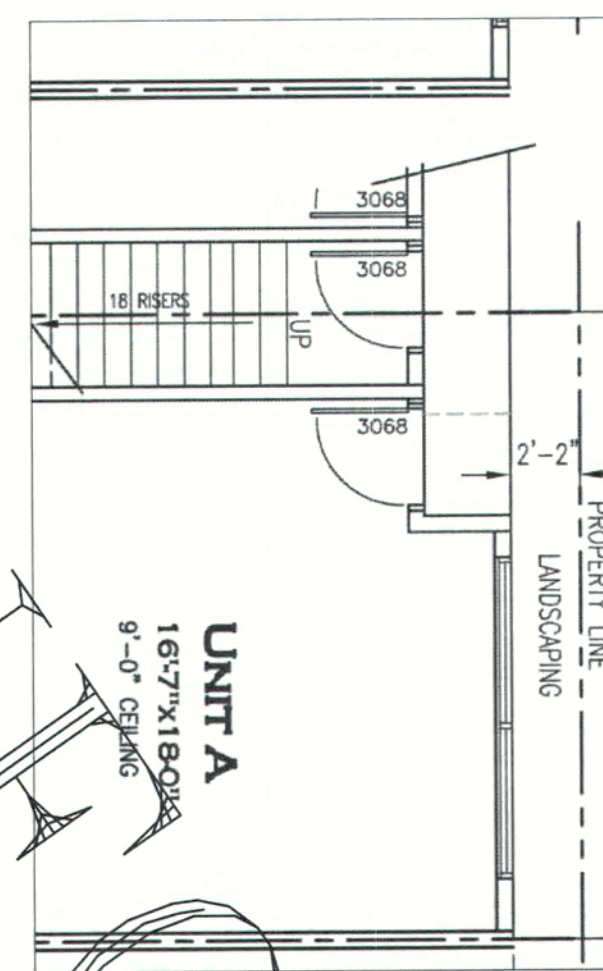
JOB # 787485



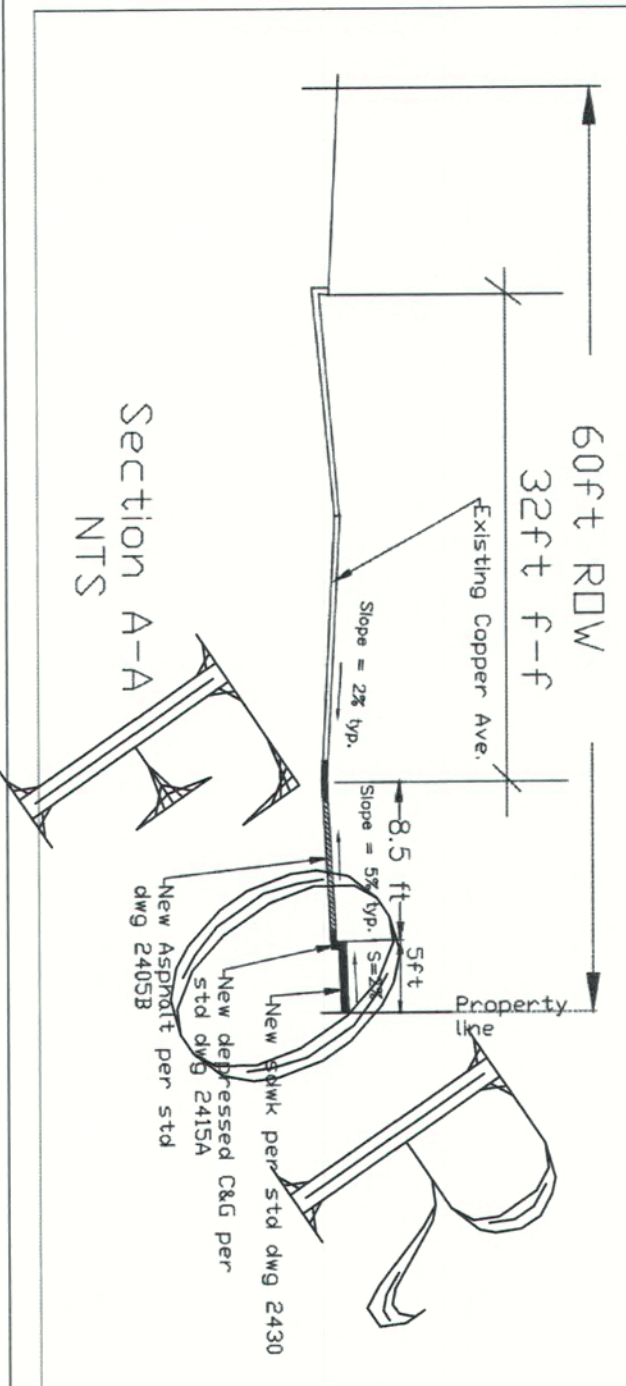
Bld. Landing Area Profile Detail NTS



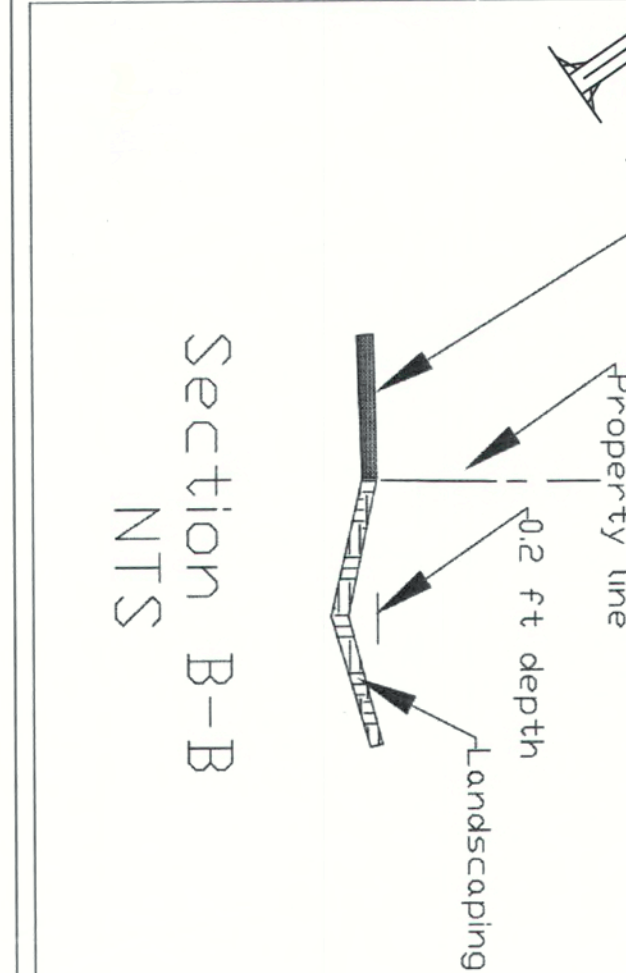
Bld. Landing Area Plan Detail NTS



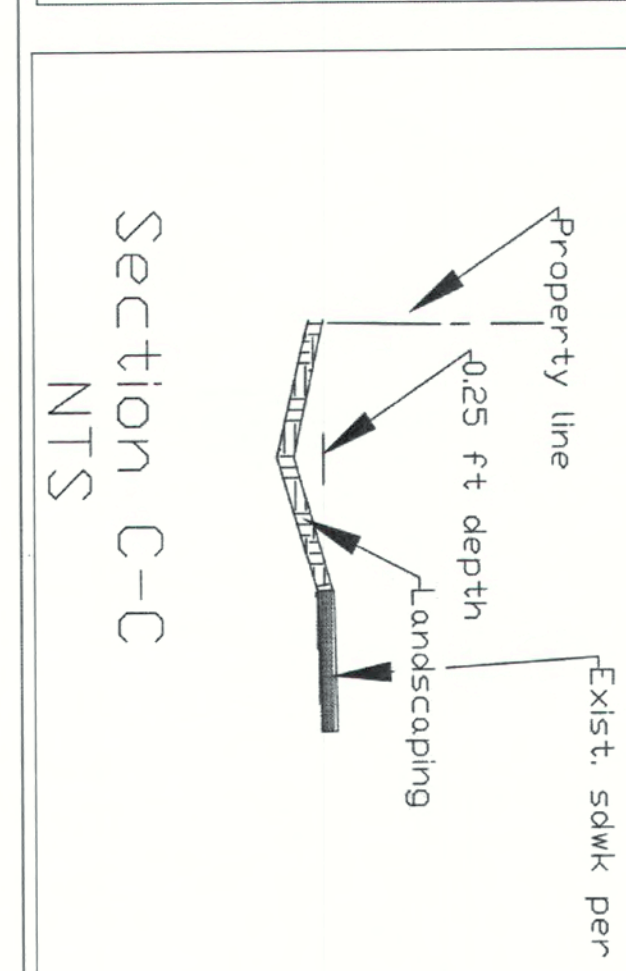
Section A-A NTS

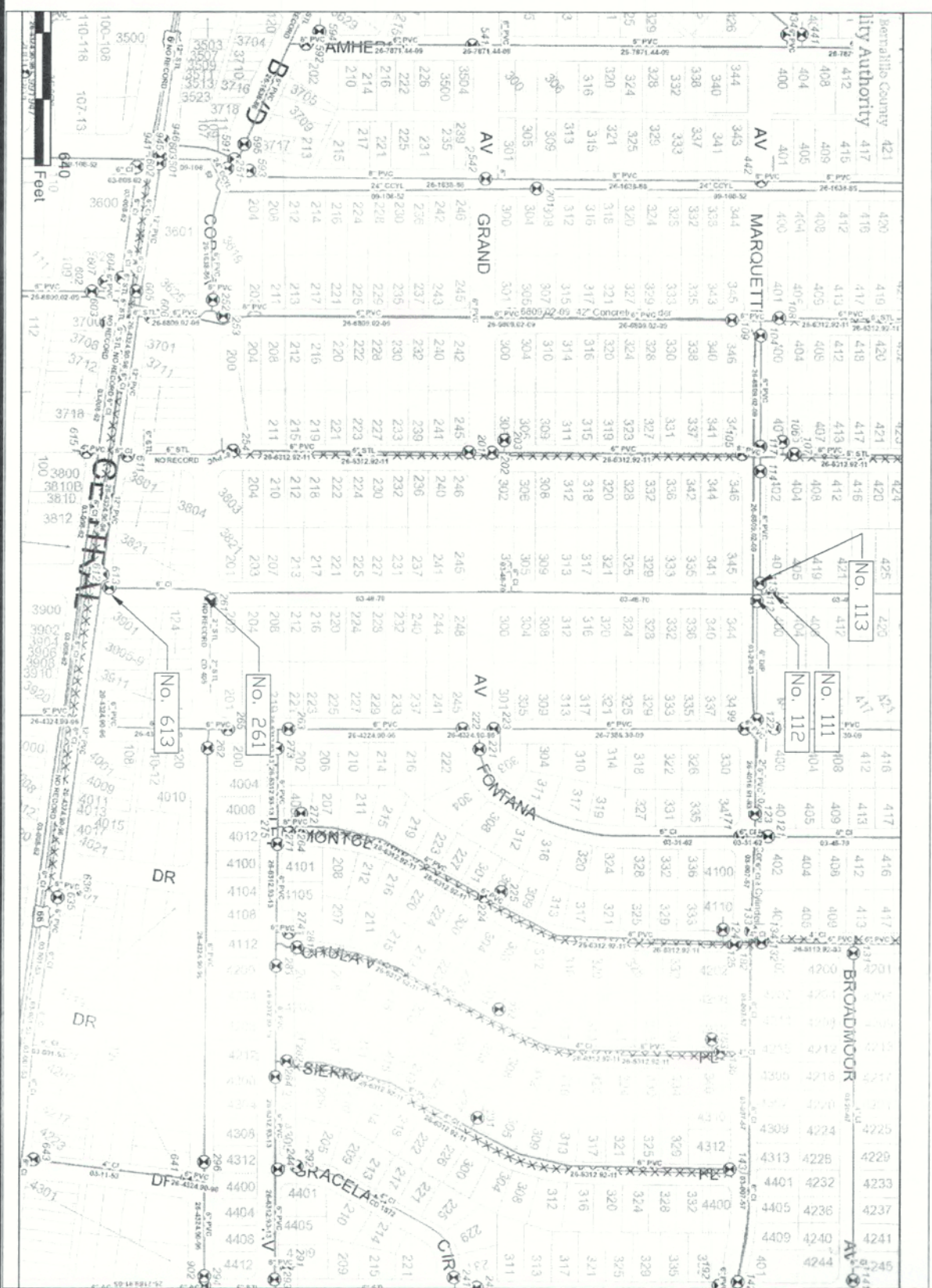
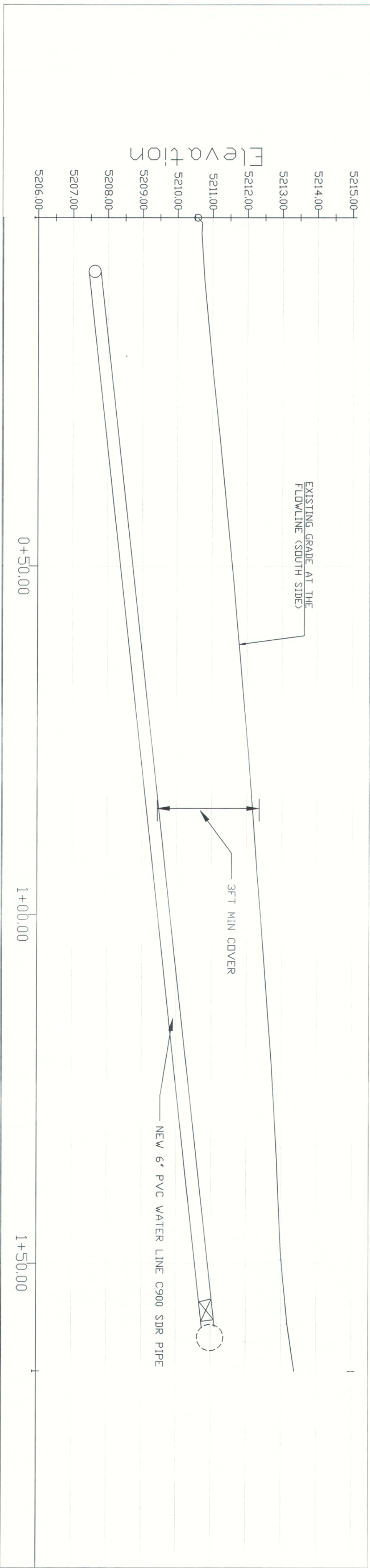
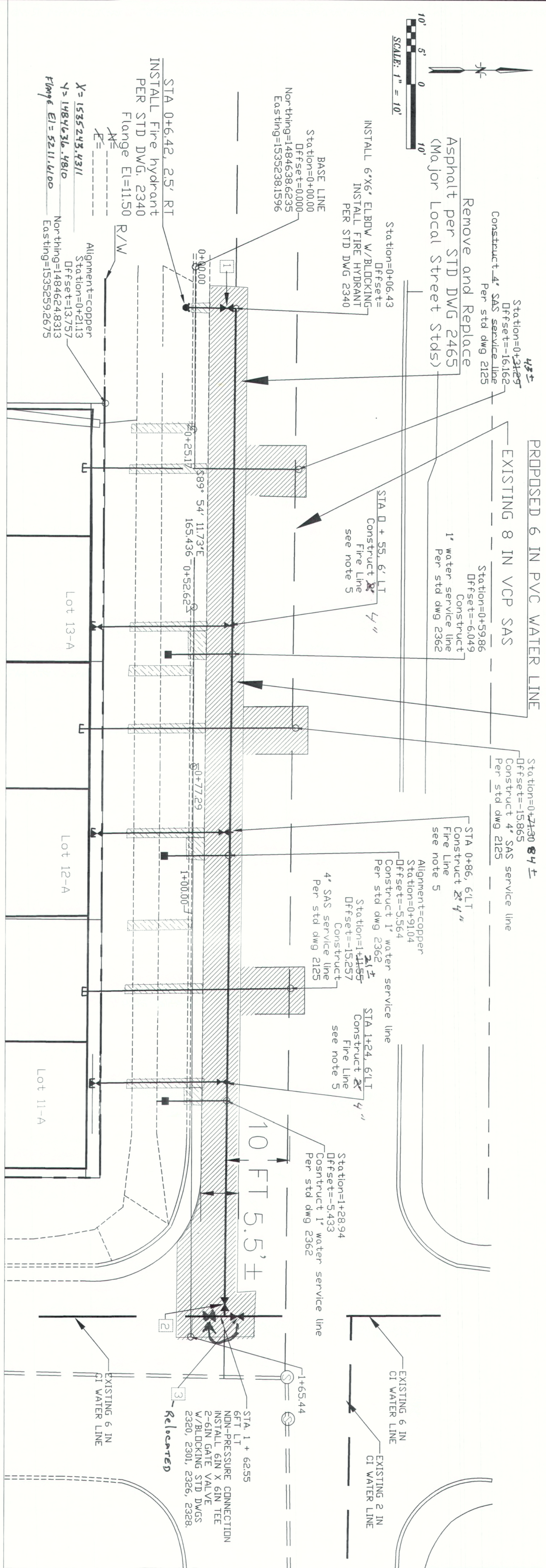


Section B-B NTS



Section C-C NTS





CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, RICHARD DOURTE, NMEPE 10854, OF THE FIRM HED ENGINEERING, LLC, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFRASTRUCTURE INSTALLED AS A PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY AND ARCWIA ENGINEER, AND THAT THE ORIGINAL DESIGN INTENT HAS BEEN MET, EXCEPT AS NOTED BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY NMEPE.

WATER SHUTOFF NOTES:

1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER UTILITY AUTHORITY. ONLY WATER UTILITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUEST MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/WATER-SHUT-OFF-AND-TURN-ON-PROCEDURES](http://abcwua.org/water-shut-off-and-turn-on-procedures).
2. VALVES SHALL BE OPERATED BY ABCWUA EMPLOYEES ONLY.
3. SHUT OFF VALVES NO. 613, 261, 111, 112, 113.

RECORD DRAWING

UTILITY NOTES:

1. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES PRIOR TO WORK.
2. EXISTING 6" WL HAS 3' MIN. COVER WITH PROPOSED PAVEMENT.
3. ALL PROPOSED MANHOLE LIDS TO MATCH CITY STANDARDS TO BE USED ON ALL UTILITIES UPDATE 9.
4. FIRE LINES SHALL HAVE 2" GATE VALVES PER STD DWG 2394, 2329, NON-PRESSURE CONNECTIONS.
5. ALL MANHOLE RIMS, VALVE CANS, FIRE HYDRANTS ECT. AS APPLICABLE BE ADJUSTED TO NEW GRADE.
6. ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO BE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE MANHOLES AND TEES TO MONUMENT 6-K17.
8. RESTRANED JOINTS SHALL BE USED FOR ALL WATER LINE CONNECTIONS.
9. TRACER WIRE SHALL BE USED ON ALL PUBLIC LINES.

VALVE NO.	X	Y	Z
1	153924.5015	148464.9235	5210.6500
2	153939.5027	148464.1145	5213.5900
3	153940.3970	148464.1750	5213.5000

LOT NO.	X	Y	Z
11-A	153936.4522	148465.3882	5213.8800
12-A	153932.3777	148464.5563	5212.2600
13-A	153928.0744	148465.9298	5212.3400

LOT NO.	X	Y	Z
11-A	153936.4522	148464.4681	5212.8800
12-A	153932.3777	148464.5563	5212.2600
13-A	153928.0744	148465.1164	5211.5000

LOT NO.	X	Y	Z
11-A	153936.1763	148465.3988	5217.0700
12-A	153932.3888	148465.7217	5216.5700
13-A	153928.3701	148465.8816	5216.0100

LEGEND

- ⑤ EXISTING SAS MANHOLE
- ⊥ EXISTING WATER VALVE
- ⊥ EXISTING FIRE HYDRANT
- ⊥ EXISTING STORM DRAIN MANHOLE
- ⊥ EXISTING WATER LINE
- ⊥ PROPOSED SAS LINE
- ⊥ PROPOSED WATER LINE
- ⊥ PROPOSED SAS MANHOLE PER COA STD DWG 2102
- ⊥ PROPOSED SANITARY SEWER PER COA STD DWG 2102
- ⊥ PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- ⊥ PROPOSED GATE VALVE PER COA STD DWG 2340
- ⊥ REMOVE AND REPLACE ASPHALT SEE SHEET 5

AS BUILT INFORMATION	DATE
CONTRACTOR: RHD	DATE: 9/12/18
WORK: WATER	DATE: 9/12/18
INSPECTOR'S ACCEPTANCE BY: RHD	DATE: 9/12/18
FIELD VERIFICATION BY: RHD	DATE: 9/12/18
DRAWINGS: MICRO-FILM INFORMATION	DATE: 9/12/18
RECORDED BY: RHD	DATE: 9/12/18
NO.	

BENCH MARKS	DATE
MONUMENT 6-K17	DATE: 9/12/18
N=1484499.5	DATE: 9/12/18
E=5202.273	DATE: 9/12/18
NAD 83-NAVD 88	DATE: 9/12/18
NEW MEXICO STATE PLANE	DATE: 9/12/18
CENTRAL ZONE	DATE: 9/12/18
G-G 0.999667932	DATE: 9/12/18

SURVEY INFORMATION	DATE
FIELD NOTES	DATE: 9/12/18
NO.	DATE: 9/12/18
BY	DATE: 9/12/18
DATE	DATE: 9/12/18

ENGINEER'S SEAL	DATE
RICHARD H. DOURTE	DATE: 9/12/18
10854	DATE: 9/12/18
10-25-16	DATE: 9/12/18
11-30-17	DATE: 9/12/18

DESIGN	DATE
DESIGNED BY: RHD	DATE: 8-01-16
DRAWN BY: RHD	DATE: 8-01-16
DRAWN NAME: RHD	JOB NO.: 787485
CHECKED BY: RHD	DATE: 8-01-16

CITY OF ALBUQUERQUE	DATE
PUBLIC WORKS DIVISION	DATE: 9/12/18
ENGINEERING GROUP	DATE: 9/12/18
TITLE: Copper Ave Townhouse Condos UTILITIES	DATE: 9/12/18

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
787485	F-17-Z	6	6