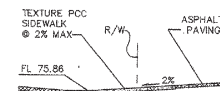
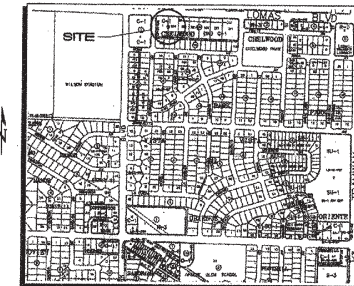


NOTE: FOR RUNDOWN ON OUTLET END OF SIDEWALK CULVERT, EXTEND HIGH SIDE CURB AS NECESSARY FOR RETAINAGE AND ELIMINATE GUARD RAIL.



LEGEND

- 5685- EXISTING CONTOUR
- 85- PROPOSED CONTOUR
- 1-1- EXISTING TOP OF CURB
- 2-2- PROPOSED TOP OF CURB
- 3-3- PROPOSED FLOWLINE
- 4-4- SPOT ELEVATION EXISTING
- 5-5- SPOT ELEVATION PROPOSED
- 6-6- PROPOSED FLOW DIRECTION
- 7-7- CONCRETE CURB
- 8-8- WALL OR HEAD WALL
- 9-9- CLEANOUT
- 10-10- FIRE HYDRANT
- 11-11- WATER METER
- 12-12- UTILITY VAULT
- 13-13- ELECTRIC TRANSFORMER
- 14-14- ELECTRIC PANELS
- 15-15- OVERHEAD ELECTRIC & TELEPHONE LINE
- 16-16- POWER POLE
- 17-17- GAS METER
- 18-18- BUILDING ADDITION
- 19-19- GUARD RAIL
- 20-20- ROOF DRAIN



LEGAL DESCRIPTION: LOTS 1 AND 2-A-1, BLOCK 2-A, CHELWOOD PARK

AREA = 1,531.2 AC

66,700 SF

BENCHMARK: ACS MONUMENT "3-J22"

ELEVATION = 5684.88

FLOOD ZONE DESIGNATION: NO PORTION OF THIS SITE LIES WITHIN A FLOOD ZONE AS DESIGNATED ON PANEL 359 OF THE FEMA FLOOD INSURANCE RATE MAP DATED SEPTEMBER 20, 1996.

EXISTING CONDITIONS: LOT 1 IS COMPLETELY DEVELOPED WITH AN OFFICE BUILDING AND ASPHALTED PARKING AREA. THIS SITE ACCEPTS ALL OFFSITE FLOWS FROM LOT 2-A-1, AND HAS FREE DISCHARGE TO THE PUBLIC ALLEY TO THE SOUTH AND GEORGENE DRIVE TO THE WEST. FLOWS CONTINUE ALONG GEORGENE DRIVE TO THE SOUTH, AND EVENTUALLY COMBINE WITH FLOWS ON CHELWOOD PARK BLVD. CHELWOOD PARK BLVD. CONVEYS THE STORM WATERS TO THE 14-40 CHANNEL, BY STORM DRAIN AND OVERLAND FLOW. LOT 2-A-1 IS UNDEVELOPED HARD PACKED SOIL WITH SOME VEGETATIVE COVER. THE SITE HAS AN AVERAGE SLOPE TO THE WEST OF 5%. THERE ARE NO FLOWS FROM THE EAST WHICH CROSS THIS LOT.

EXISTING HYDROLOGY:

ZONE 4

LAND TREATMENTS:

C: 53%, D: 47%

W E = 1.46(812)+2.64(7192)/1.5312 = 2.01 IN

Q_{net} = 3.73(812)+5.25(7192) = 6.8 CFS

V_{net} = 2.01(1.5312)/12 = .257 AC-CFS

PROPOSED CONDITIONS: THE EXISTING OFFICE BUILDING IS PLANNED TO BE DEMOLISHED AND REPLACED. THE ORIGINAL PAVED PARKING AREA WILL ALSO BE REGRADED. LOT 2-A-1 WILL BE DEVELOPED INTO AN ADDITIONAL PARKING AREA. THESE MODIFICATIONS WILL INCREASE THE SITE FLOWS BY 1.01 CFS. BOTH GEORGENE DRIVE AND THE PUBLIC ALLEY HAVE THE CAPACITY TO HANDLE THE INCREASED FLOWS (STREET FLOW DEPTHS EQUAL 0.34 FT AND 0.25 FT RESPECTIVELY). THE ALBUQUERQUE MASTER DRAINAGE REPORT FOR THIS AREA SHOWS THAT AN ADDITIONAL PARALLEL STORM DRAIN LINE WILL BE NECESSARY IN CHELWOOD PARK BLVD., FROM MARQUETTE AVE. (LOCATED 800 FT SOUTH OF THE SITE) TO COPPER AVE., TO REMOVE THE EXISTING FLOOD HAZARD IN THIS AREA. THE PRE-DEVELOPED PEAK DISCHARGE ALONG THIS SECTION OF CHELWOOD PARK BLVD. EQUALS 403 CFS, AND DEVELOPMENT OF THIS SITE WOULD INCREASE TOTAL FLOW RATE BY 0.25%. THE INCREASE IN TOTAL FLOW IS MINIMAL, AND WOULD NOT HAVE AN IMPACT ON THE DOWNSTREAM CONDITIONS. THEREFORE, FREE DISCHARGE DEVELOPED STORM WATERS IS APPROPRIATE.

PROPOSED HYDROLOGY:

ZONE 4

LAND TREATMENTS:

C: 10%, D: 90%

W E = 1.46(1531)+2.64(1.3781)/1.5312 = 2.52 IN

Q_{net} = 3.73(1531)+5.25(1.3781) = 7.81 CFS

V_{net} = 2.52(1.5312)/12 = .32 AC-CFS

FOR REFERENCE ONLY
REFER TO SHEET A001 FOR NEW STRIPING LAYOUT

Dekker / Perich
architecture interiors planning

5801 Jefferson NE, Suite 100 (505) 761-9770
Albuquerque, New Mexico 87109 Fax 761-4232
D/P/S: 870622024
02/10/99

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:

Grading & Drainage Plan

DESIGN REVIEW: CITY ENGINEER APPROVAL
MC/DAY/YR.
MC/DAY/YR.
MC/DAY/YR.

PROJECT NO.

MAP NO.

K-22-Z

SHEET

3 of 55

C100

KEYED CONSTRUCTION NOTE

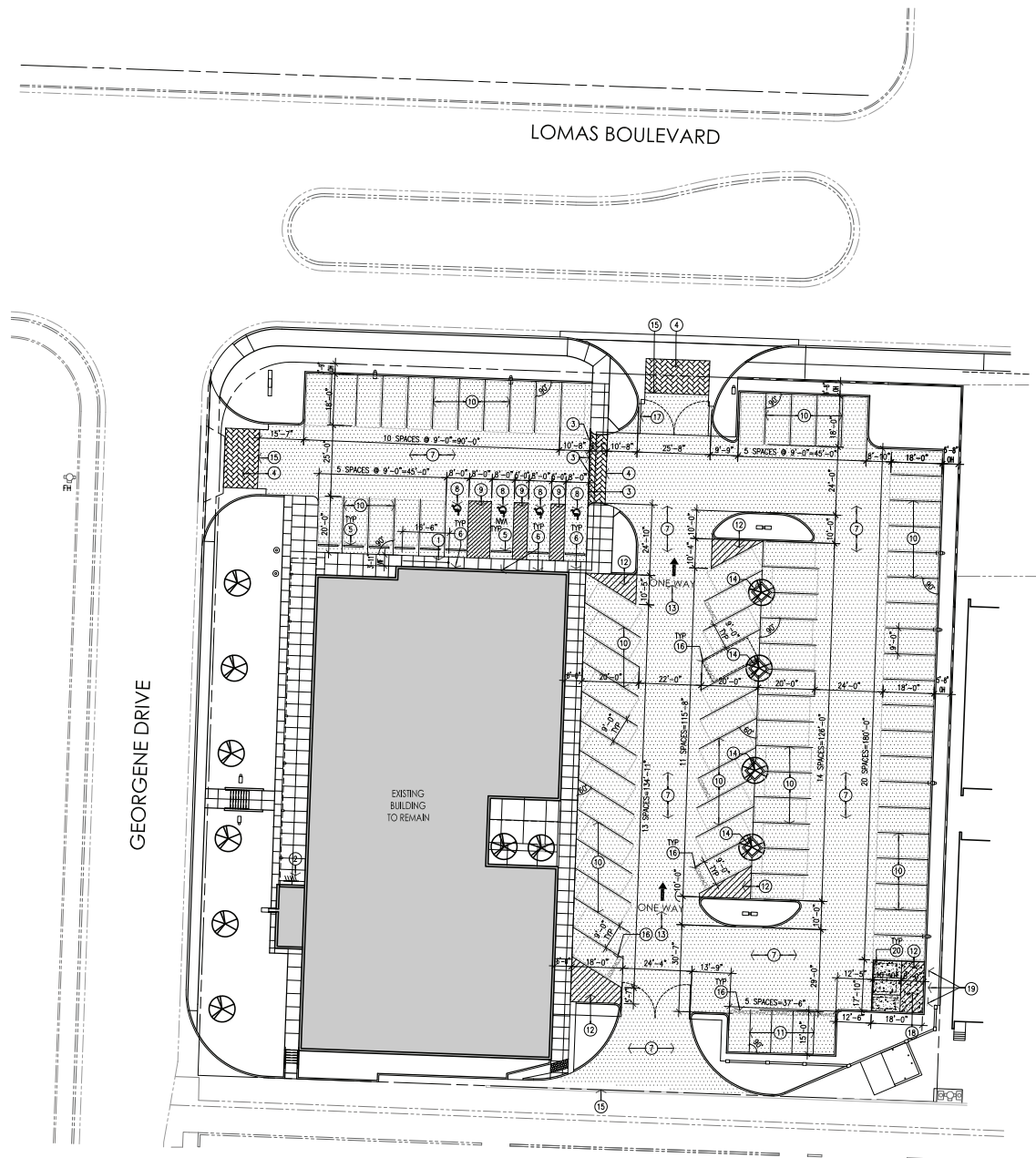
1. CONSTRUCT HANDICAP RAMP PER C.O.A. STANDARD DRAWING #2426 (10' FC TO R/W).
2. PROVIDE SMOOTH TRANSITION TO FULL CURB HEIGHT. HEIGHT.
3. WHEELCHAIR RAMP PER C.O.A. DWG. #2426 (7' FC TO R/W).
4. CONSTRUCT CONCRETE VALLEY GUTTER (NORTH HALF ONLY) PER C.O.A. DRAWING #2420.
5. MODIFIED CONCRETE VALLEY GUTTER PER C.O.A. DRAWING #2420. PROVIDE 6" WIDE TEXTURED CONCRETE CROSSWALK FROM FLOWLINE TO RIGHT-OF-WAY (A).
6. REMOVE AS NECESSARY TO PROVIDE SMOOTH RIDING TRANSITION BETWEEN EXISTING DRIVEPAD ASPHALT AND CONCRETE FILLET.

AS BUILT INFORMATION		BENCH MARKS	
CONTRACTOR	DATE	AS MONUMENT "3-J22"	ELEVATION = 5684.88
DESIGNED BY	DATE		
DRAWN BY	DATE		
CHECKED BY	DATE		
RECORDED BY	DATE		
NO.			

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	BY	

ENGINEER'S SEAL		REMARKS	
C. APPROVED	DATE	BY	

DESIGN		CHECKED BY	
DESIGNED BY	DATE	DESIGNED BY	DATE
12/99		12/99	



LEGEND:

- NEW 3" [(2) 1-1/2" LIFT LAYERS] ASPHALT PAVEMENT OVER EXISTING PULVERIZED & COMPACTED ASPHALT PAVING BASE COURSE. REFER TO BID ALTERNATES

PARKING CALCULATIONS:

1 SPACE / 200SF OF FIRST FLOOR LEASABLE SPACE SHALL BE PROVIDED

14,824 / 200 = 75 SPACES REQUIRED
[3 MOTORCYCLE SPACES MINIMUM + 4 DESIGNATED DISABLED PARKING SPACES MINIMUM INCLUDING 1 VAN SPACE]

PARKING PROVIDED = STANDARD VEHICLE = 74 SPACES
COMPACT VEHICLE = 10 SPACES
STANDARD DISABLED = 3 SPACES
VAN DISABLED = 1 SPACE
TOTAL VEHICLE = 88 SPACES

MOTORCYCLE PROVIDED= STANDARD MOTORCYCLE = 3 SPACES

BICYCLE REQUIRED= 1 PER 20 SPACES = 75/20 = 4 SPACES REQUIRED
5 SPACES PROVIDED

ADDITIVE BID ALTERNATES:

No. 2: PULVERIZE EXISTING ASPHALT PAVING IN THE VISITOR AND OFFICER PARKING LOTS, RE-GRADE AND COMPACT NEW PULVERIZED BASE COURSE PER THE ORIGINAL GRADING AND DRAINAGE PLAN LABELED SHEET C100 IN THIS SET, AND INSTALL (2) 1-1/2" LIFT LAYERS OF ASPHALT PAVING FOR AN OVERALL 3" PAVING THICKNESS. BOTH PARKING LOTS SHALL BE RE-STRIPED PER SHEET A001.

SCOPE OF WORK:

THE EXISTING PARKING LOT DESIGN ELEMENTS (CURBS, GRADING, TREE WELLS, DRIVE PADS, FENCES, GATES, ETC.) SHALL REMAIN UNCHANGED. THE WORK CONSISTS OF PULVERIZING AND COMPACTING THE EXISTING ASPHALT PAVING INTO NEW BASE COURSE, GRADING THE BASE COURSE TO MATCH THE GRADING & DRAINAGE PLAN, SHEET C100, DATED 8-21-98, AND INSTALLING NEW 3" [(2) 1-1/2" LIFT LAYERS] ASPHALT PAVING THROUGHOUT ALL PARKING LOT AREAS. THE PARKING LOTS SHALL BE RE-STRIPED TO MATCH THE LAYOUTS INDICATED ON THE SITE PLAN. THE FACILITY SHALL REMAIN FULLY OPERATIONAL DURING CONSTRUCTION.

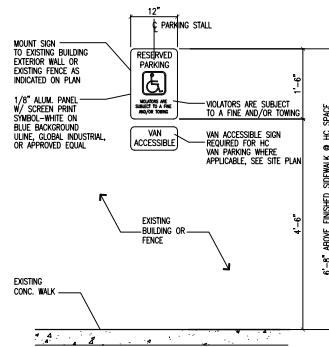
GENERAL NOTES:

- ALL SITE ELEMENTS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH INTERNATIONAL BUILDING CODE AND ALL OTHER APPLICABLE MODEL CODES, LOCAL CODES, LAWS AND ORDINANCES.
- THE CONTRACTOR SHALL PERFORM A PRE-INSPECTION OF THE SITE TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE REQUIRED SCOPE OF WORK. THE OWNER'S REPRESENTATIVE WILL BE AVAILABLE TO HAVE THE SITE INSPECTED. NO CONSIDERATION SHALL BE GRANTED FOR ANY ALLEGED MISUNDERSTANDING OF THE MATERIAL TO BE FURNISHED. WORK TO BE PERFORMED, AND FOR ANY DEFECTS IN THE FINAL PRODUCT THAT ARE THE RESULT OF THE ABSENCE OF A PRE-INSPECTION OF THE SITE.
- PROTECT AND MAINTAIN ALL EXISTING LANDSCAPING, TREES, AND IRRIGATION SYSTEMS DURING CONSTRUCTION.
- CONTRACTOR SHALL REPLACE ALL DAMAGED AREAS CAUSED BY THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN ALL EXISTING SITE UTILITIES. CONTRACTOR SHALL REPLACE ALL DAMAGED UTILITY COMPONENTS CAUSED BY THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS AT THE CONTRACTOR'S EXPENSE.
- THE FACILITY SHALL REMAIN FULLY OPERATIONAL DURING THE COURSE OF SITE WORK. SCHEDULING OF WORK SHALL BE COORDINATED WITH THE AREA COMMANDER OR A STAFF MEMBER ASSIGNED BY THE COMMANDER.
- ALL NEW SIGNS, PAVEMENT STRIPING, AND PAVEMENT MARKINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE UNIFORM TRAFFIC CONTROL DEVICE MANUAL, AND ANSI A117.1 ACCESSIBILITY STANDARDS.
- PER COA ZONING REQUIREMENT, BASE BID SHALL INCLUDE THE RE-STRIPING OF (3) DEDICATED MOTORCYCLE SPACES AND (3) MOTORCYCLE PARKING SIGNS.

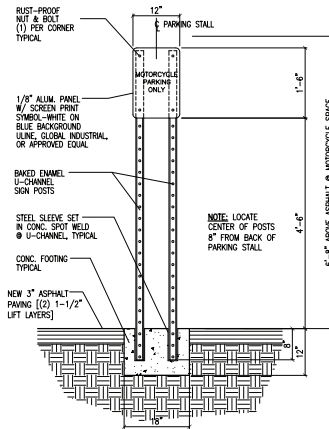
KEYED NOTES:

REFER TO ADDITIVE BID ALTERNATES

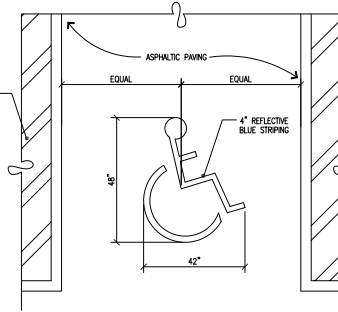
- EXISTING SLOPED SIDEWALK TO REMAIN. EXISTING SLOPE IS 1:20.
- EXISTING BIKE RACK TO REMAIN. (4) SPACES REQUIRED, 5 SPACES PROVIDED.
- EXISTING STEEL BOLLARDS TO REMAIN. REMOVE AND REINSTALL AS REQUIRED FOR NEW PAVING INSTALLATION.
- EXISTING TACTILE, STAMPED CONCRETE CROSSWALKS TO REMAIN. PROTECT SURFACE DURING NEW PAVING INSTALLATION.
- ADDITIVE ALTERNATE #2: EXISTING CONCRETE PARKING BUMPER TO BE REMOVED AND REINSTALLED FOR NEW ASPHALT PAVING. DRIVE REBAR OF REINSTALLED BUMPERS A MINIMUM OF 1" BELOW NEW ASPHALT PAVING. TYPICAL AT EACH LOCATION. CONTRACTOR SHALL REPLACE EXISTING DAMAGED BUMPERS. FIELD VERIFY.
- ADDITIVE ALTERNATE #2: REMOVE AND REPLACE EXISTING HANDICAP SIGNS. NEW SIGNS TO BE MOUNTED ON THE EXISTING BUILDING OR EXISTING FENCE AS INDICATED ON THE PLAN. REFER TO DETAIL 1/A002. SIGNS SHALL BE MOUNTED TO MEET ICC ANSI A117.1 STANDARDS.
- ADDITIVE ALTERNATE #2: NEW 3" [(2) 1-1/2" LIFT LAYERS] ASPHALT PAVING OVER PULVERIZED AND COMPACTED EXISTING ASPHALT BASE COURSE. REFER TO CIVIL SHEET C100 FOR GRADING AND DRAINAGE INFORMATION. REFER TO SPECIFICATIONS FOR SURFACE PREPARATION & INSTALLATION GUIDELINES. REFER TO DETAILS 4/A002 & 5/A002 FOR EXISTING CURB AND SIDEWALK TRANSITIONS.
- ADDITIVE ALTERNATE #2: RE-PAINT HANDICAP PAVEMENT GRAPHIC. 4" WIDE REFLECTIVE BLUE. REFER TO DETAIL 3/A002.
- ADDITIVE ALTERNATE #2: RE-STRIPED PAINTED HANDICAP ACCESS AISLE. 4" WIDE REFLECTIVE BLUE.
- ADDITIVE ALTERNATE #2: RE-STRIPED PAINTED PARKING STRIPING. 4" WIDE REFLECTIVE WHITE.
- ADDITIVE ALTERNATE #2: RE-STRIPED PAINTED COMPACT PARKING STRIPING. 4" WIDE REFLECTIVE WHITE.
- ADDITIVE ALTERNATE #2: RE-STRIPED PAINTED ACCESS AISLE. 4" WIDE REFLECTIVE WHITE.
- ADDITIVE ALTERNATE #2: NEW "ONE WAY" DIRECTIONAL PAVEMENT MARKING.
- EXISTING TREE WELL TO REMAIN. PROTECT AND MAINTAIN LANDSCAPING DURING CONSTRUCTION.
- ADDITIVE ALTERNATE #2: FINISHED ELEVATION OF NEW PAVING TO MATCH FINISHED ELEVATION OF EXISTING ASPHALT DRIVE AND TACTILE CROSSWALK FOR FLUSH TRANSITION.
- ADDITIVE ALTERNATE #2: NEW "COMPACT" PAVEMENT MARKING. REFLECTIVE WHITE.
- ADDITIVE ALTERNATE #2: NEW "TEXT ONLY - DO NOT ENTER" SIGN MOUNTED TO GATE. MOUNT SIGN ON THE LOMAS BOULEVARD SIDE OF THE GATE.
- ADDITIVE ALTERNATE #2: NEW 4" THICK 4000PSI CONCRETE DRIVE PAD AT NEW MOTORCYCLE PARKING AREA.
- NEW "MOTORCYCLE PARKING ONLY" POLE MOUNTED SIGN. REFER TO DETAIL 2/A002. BASE BID.
- NEW "MOTORCYCLE PARKING ONLY" PAVEMENT MARKING. REFLECTIVE WHITE. BASE BID.



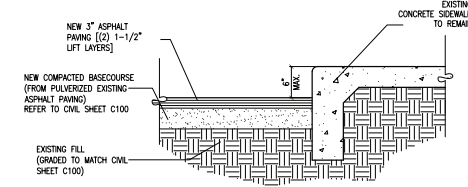
1 HC Parking Sign Detail
Scale: 3/4"=1'-0" MUST MEET ARS A117.1 STANDARDS



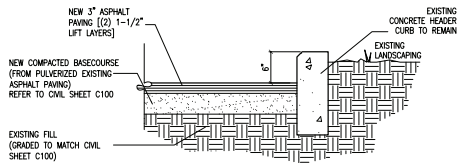
2 Motorcycle Parking Sign Detail
Scale: 3/4"=1'-0"



3 HC Pavement Sign Detail
Scale: 1/2"=1'-0" MUST MEET ARS A117.1 STANDARDS



4 Paving Transition at Existing Sidewalk
Scale: 1"=1'-0"



5 Paving Transition at Existing Curb
Scale: 1"=1'-0"

revision

by

date

rev



Mullen Heller
Architecture P.C.

1718 Central Avenue SW
Suite D
Albuquerque 87104
505 268 4144(p)
505 268 4244 (f)



job number 14-22 | COA Project #2973 83

drawn by SEJ

project manager Doug Heller, AIA

date PERMIT SET 12-14-2016

project title
FootHills Area Command Center Improvements
City of Albuquerque | Albuquerque Police Department
12800 Lomas Blvd NE | Albuquerque, NM 87112

sheet title

Site Details

sheet
A002