

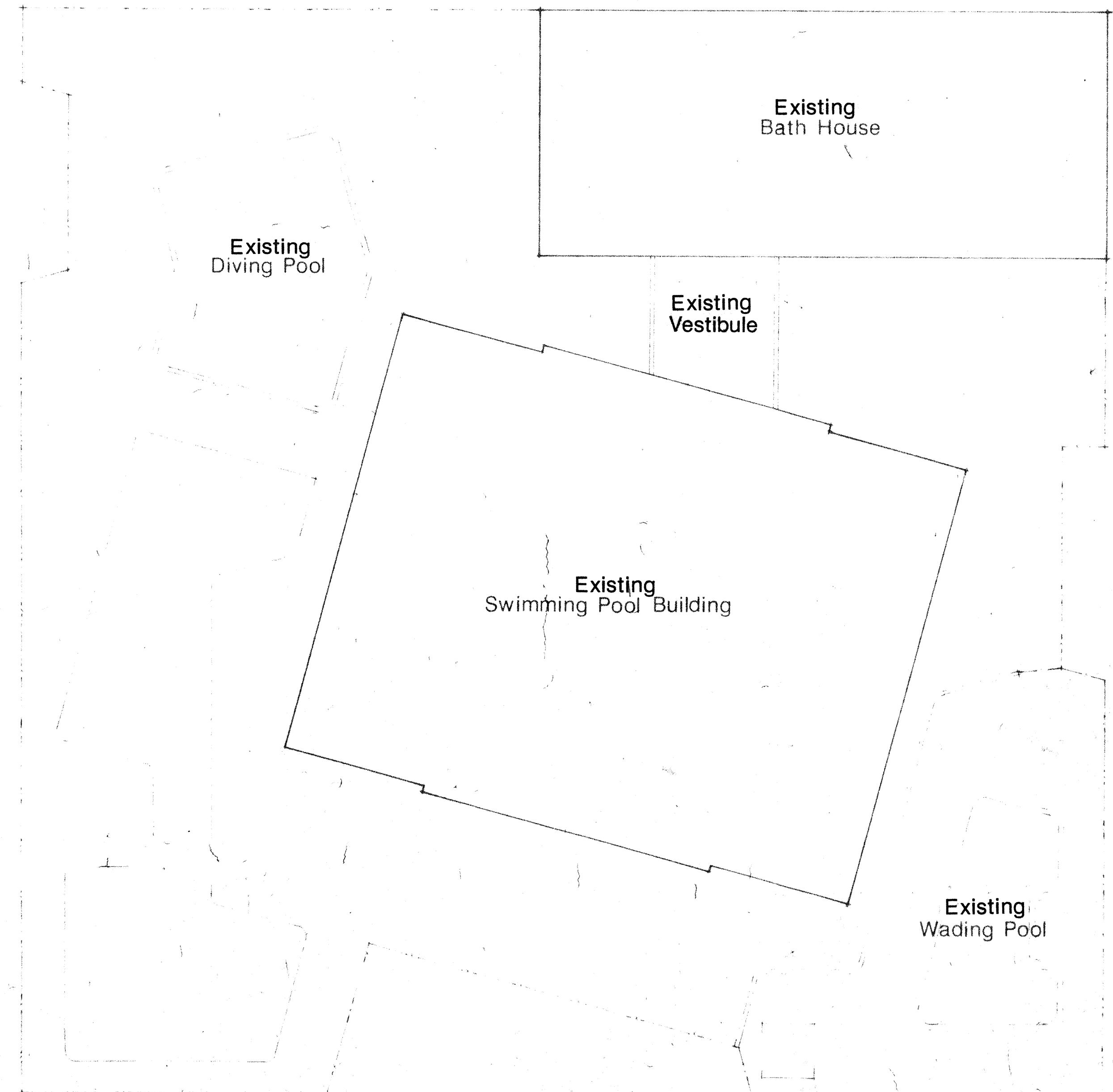
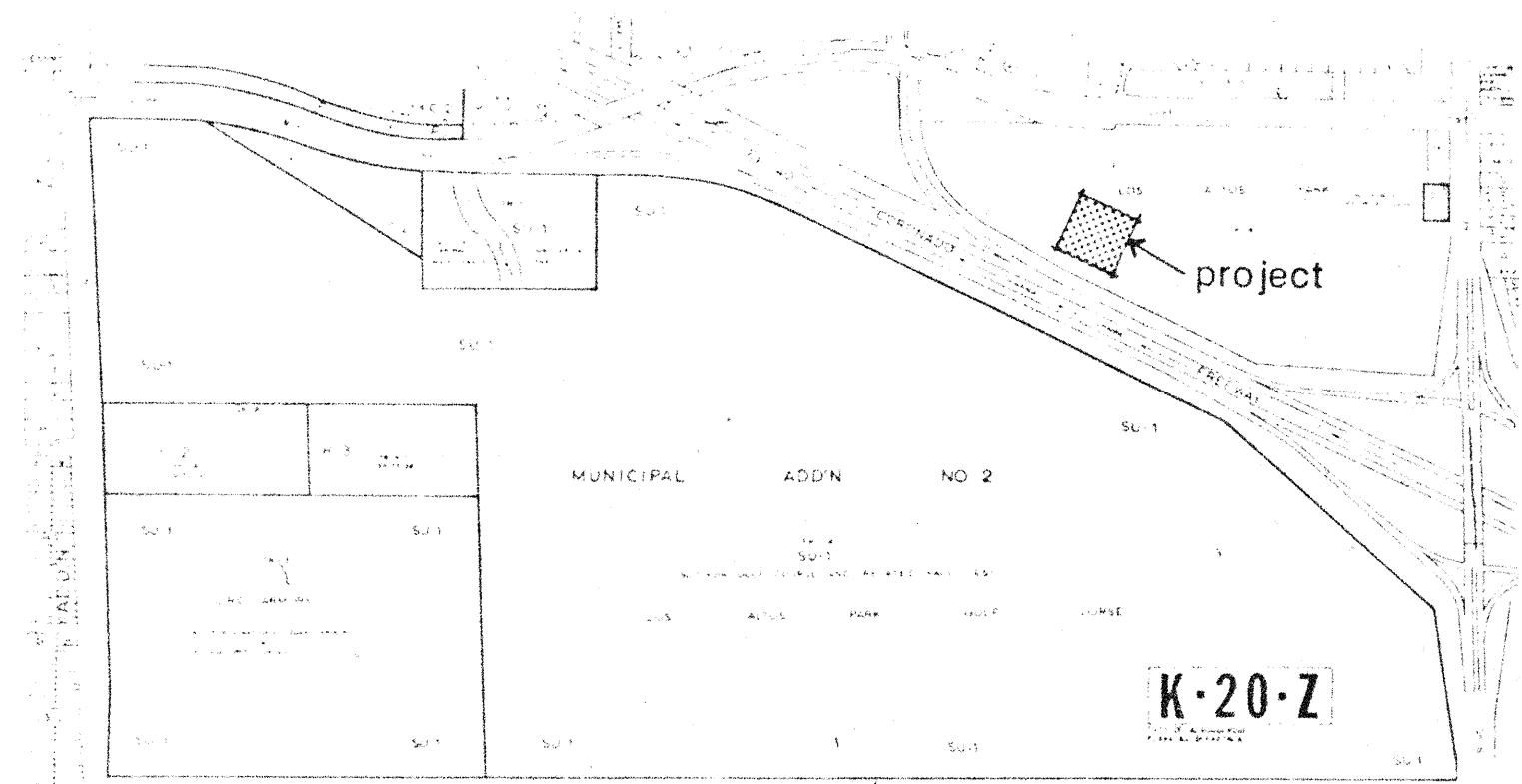
LOS ALTOS POOL RENOVATION  
CONSTRUCTION COST ESTIMATE  
MAY 1, 1989

CLASS II CONSTRUCTION

ITEM	QTY	LOW	HIGH
NEW CONSTRUCTION @ POOL			
Painting of Vestibule	625 s.f.	\$500	\$750
Repair of Concrete Ramp		\$300	\$600
DEMOLITION BATH HOUSE			
Partitions	3	\$75	\$100
Water Closets (Relocate Only)	2	\$100	\$250
Lavatories (Relocate Only)	2	\$100	\$250
Walls	12 lf	\$275	\$350
Concrete Slab	25 s.f.	\$250	\$400
Doors	4	\$200	\$250
Bench	1	\$50	\$100
NEW CONSTRUCTION @ BATH HOUSE			
Solid Plastic Partitions	3	\$2,000	\$2,200
Shower Stalls	2	\$2,000	\$2,500
Grab Bars	2	\$150	\$200
Mirror (18" x 24")	4	\$600	\$800
Toilet Accessories	LS	\$750	\$1,000
CMU Walls	26 lf	\$500	\$700
Shower Floor Tile	160 s.f.	\$700	\$800
Clean Floor Tile	130 s.f.	\$75	\$85
Restroom Floor Tile	36 s.f.	\$150	\$200
Replace Tile	10 s.f.	\$40	\$50
Replace Doors	4	\$1,600	\$2,400
Repaint w/epoxy paint Walls	4800 s.f.	\$1,000	\$1,200
Caulking	LS	\$500	\$700
SUB-TOTAL		\$11,915	\$15,885
GEN. CONDITONS (7%)		834	\$1,112
TOTAL CLASS II BASE ESTIMATE		\$12,749	\$16,997
10% REMODEL CONTINGENCY		\$1,275	\$1,700
NMGRT (5.5%)		\$771	\$1,028
TOTAL (CLASS II)		\$14,795	\$19,725
PROBABLE COST:	\$17,260		
Alternate No. 1			
Pool Cover		+ \$9,000	+ \$12,000

# Los Altos Pool Renovation

Vicinity Map



1 Site Plan  
1/8" = 1'-0"

## General Notes

1. All work noted as "CLASS I CONSTRUCTION" shall be performed by the contractor.
2. All work noted as "CLASS II CONSTRUCTION" shall be performed by the owner.
3. Contractor shall coordinate his work with Class II work where noted.
4. Contractor shall field verify all dimensions.
5. Contractor shall field verify conditions prior to submitting his bid.

## Index to Drawings

No.	Sheet	Description
1.	SP-1	Cover Sheet/Project Data
2.	A-1	Floor Plan - Pool
3.	A-2	Floor Plans - Bath House

## CLASS II CONSTRUCTION

<b>dekker &amp; associates</b> architects/engineers/planners 600 First St. N.W., East Wing Albuquerque, N.M. 87102 505/247-2888	
Los Altos Pool Renovation Parks & Recreation City of Albuquerque	
Cover Sheet	
STATE OF NEW MEXICO DALE R. DEKKER 1054 REGISTERED ARCHITECT	job no. 88008-02 drn. by ckd. by issued 5/1/89 sheet SP-1 of 3

SET #8

DATE: 5/3/89

SET #8 LOS ALTOS POOL RENOV. DATE: 5/3/89 CONSTRUCTION DOCUMENT PHASE (90%)

POOL COVER SPECIFICATIONS

A pool cover system as described below shall be provided for the Los Altos swimming pool. Alternate makes of pool cover systems will not be considered unless equal to the specified system and must be submitted for approval not less than ten (10) calendar days prior to bid due date and include a list of at least five (5) public pool installations of not less than three years.

Product: MAC BALL HEAT SAVER V  
Double Laminated Insulated Swimming  
Pool Blanket System with Model 733-18 Storage Reel

Pool Cover Material:

Material shall be woven high density polyethylene, ultraviolet stabilized 10 by 10 count per inch, 950 denier substrate laminated with 1.5 mil ultraviolet stabilized polyethylene on both sides, laminated on both sides of 1/8" thick closed cell, medium density, polyethylene foam. The combination of film, foam and woven components shall be non-toxic, non-absorbent, non-permeable and buoyant. Color shall be blue coating with white foam.

Thickness: 1/8 inch minus or plus 10%  
Foam Density: 2 lbs. per cubic foot  
Weight of Laminate: 1.5 oz. per square foot  
Tensile Breaking Strength: Breaking Load and Elongation: 252 lbs.  
Tear Strength per Tearing Strength of Woven Fabrics: 52 lbs.  
Bursting Strength (Mullen Tester) per ASTM D751, Standard Methods of Testing Coated Fabrics: 332 PSI  
K Factor: .25 BTU/Sq. Ft. -Hr. - F./inch  
Reinforced Edge Tear Strength: 220 lbs.  
Open Seam Tear Strength: 70 lbs.  
Grommet Pull Out: 600 lbs.

Design Criteria:

The blankets shall be divided into widths suitable for convenient daily operation, totally covering the surface of the pool without gaps or overlaps. The side edges of the blanket sections shall be reinforced and weighted with non-metallic material to prevent wind lift. The end edges shall be designed in such a manner as to prevent them from diving into the water when they are being pulled across the water. Both ends of each blanket section shall be equipped with no less than three quick-release loops for easy connection to the winder or to the next blanket section. All seams and edges shall be sewn with lock-stitching using ultraviolet resistant polyester thread. Glued or heat-welded seams will not be considered equal. Warning labels consistent with the recommendations of the Federal Consumer Protection Agency shall be permanently affixed at each blanket section.

Provide separate blanket for irregular shaped area at pool entry steps.

Storage Reel:

Each storage reel shall be provided with 3 winding tubes. Storage reel frame, winding tubes, castors, brake shafts, cranks and fasteners shall be made of type 304 stainless steel. Wheels shall each be 6 inches in diameter, be rated 1150 pounds load capacity and have 2-inch polyurethane treads. The reel shall have two screw-type brakes with pads that lock directly to the pool deck. Castor brakes or other types of foot-operated brakes will not be considered equal. Each winding tube shall be 4 1/2 inches in diameter; have a wall thickness of .120 inches; and shall consist of a continuous length of tubing without joints or welds. Reels with tubes fabricated from two or more pieces of tubing joined together will not be acceptable. Wall thickness of frame shall be .120 inches. To facilitate field repair, stainless steel bolts, nuts and washers shall be used to connect major reel frame parts, wheels, brakes, bearings and winding tubes. Reel frames with all-welded construction will not be considered equal.

Warranty:

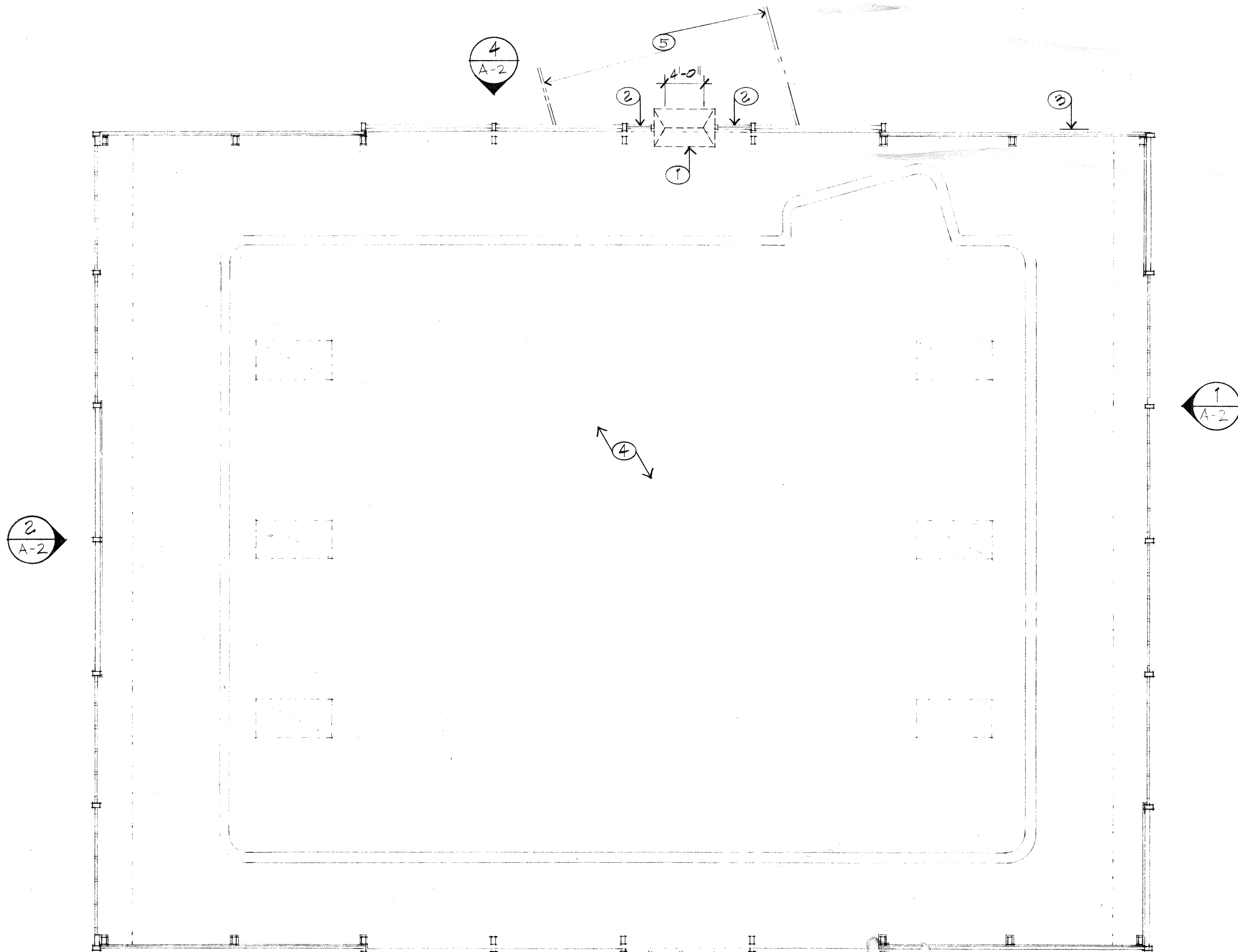
Cover panels shall be provided with manufacturer's standard three-year full replacement warranty covering defects in material and workmanship. Storage reel shall be provided with manufacturer's ten-year warranty covering defects in material and workmanship. Copies of manufacturer's warranties for both cover panels and storage reel shall be signed by the manufacturer and included with the bid proposal. Failure to include these will result in disqualification to bidder.

Installation and Training:

A representative of the manufacturer shall visit each pool site to confirm measurements prior to ordering, assemble storage reels, train operating personnel and supervise initial installation of covers.

○ Keyed Notes

1. Neatly sawcut existing concrete ramp & remove down 2" below finish floor level & area of entry only. Replace with new 3000 psi concrete ramp, 1:12 maximum slope. Trowel joints on ramp surface at 2" o.c. as shown. Repair decking as required.
2. Clean existing glazing and window frames. Repair or replace existing stops on window frames, and install sealant between 2" x 4" steel tubes and window frames. Repaint steel tubes (Paint Color No. 2).
3. Repair area of damaged steel siding with salvaged siding, rivet securely in place in full bed of sealant.
4. Pool Blanket - (Alternate 1) equal to MAC BALL HEAT SAVER V.
5. Existing Vestibule. Paint interior to match gypsum board inside pool building. Repaint signage at entrance to locker rooms an accent color.



Legend:

- Existing Construction to Remain
- Existing Construction to be Removed
- New Construction

CLASS II CONSTRUCTION

no.	date	revision

**dekker & associates**  
architects/engineers/planners  
600 First St. N.W., East Wing Albuquerque, N.M. 87102 505/247-2888

Los Altos Pool Renovation  
Parks & Recreation  
City of Albuquerque

Floor Plan - Pool

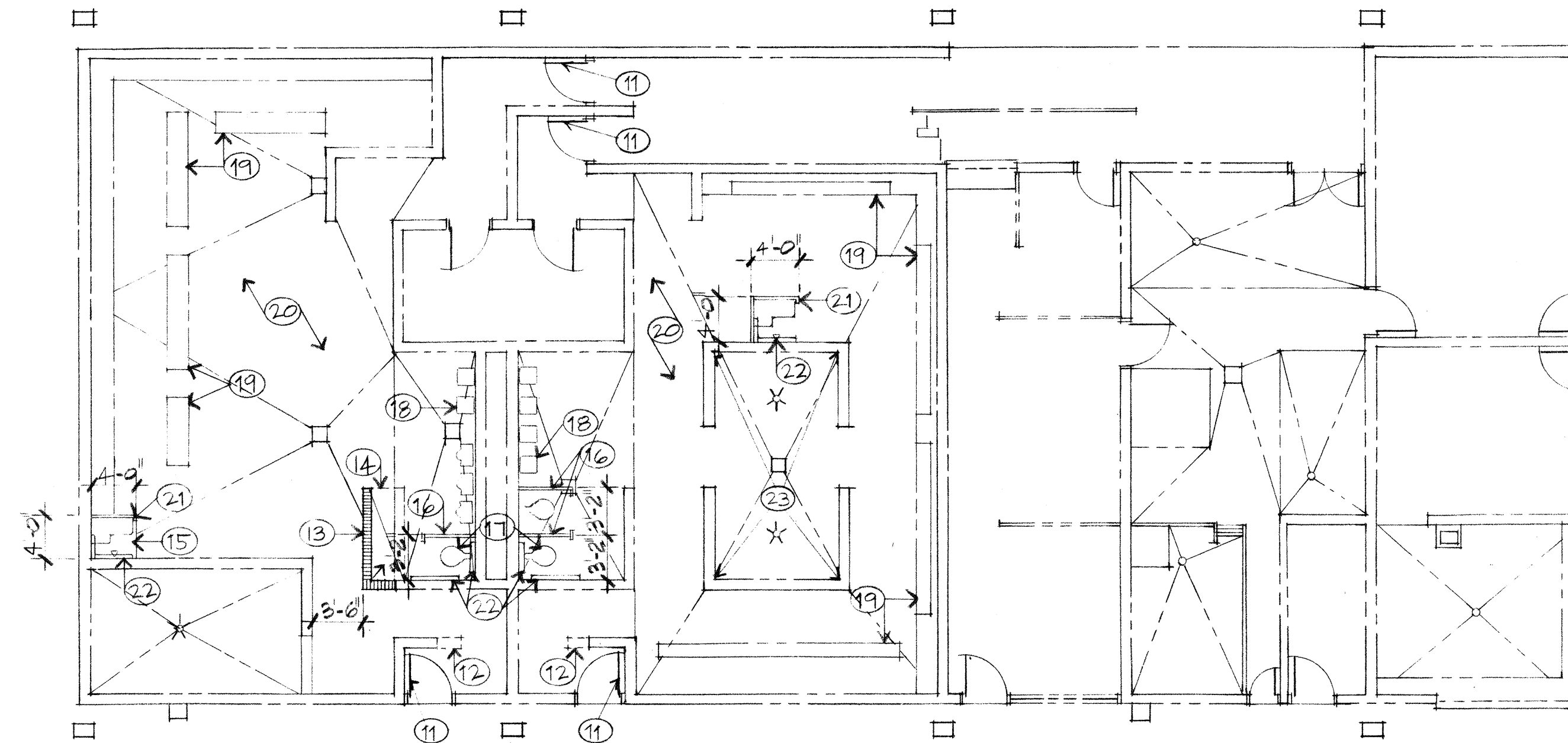
	job no. <u>88008.02</u>
	dm. by
	ckd. by
	issued <u>5/1/89</u>
sheet <b>A-1</b>	2 of 3


1 Floor Plan - Pool Building  
1/8" = 1'-0"

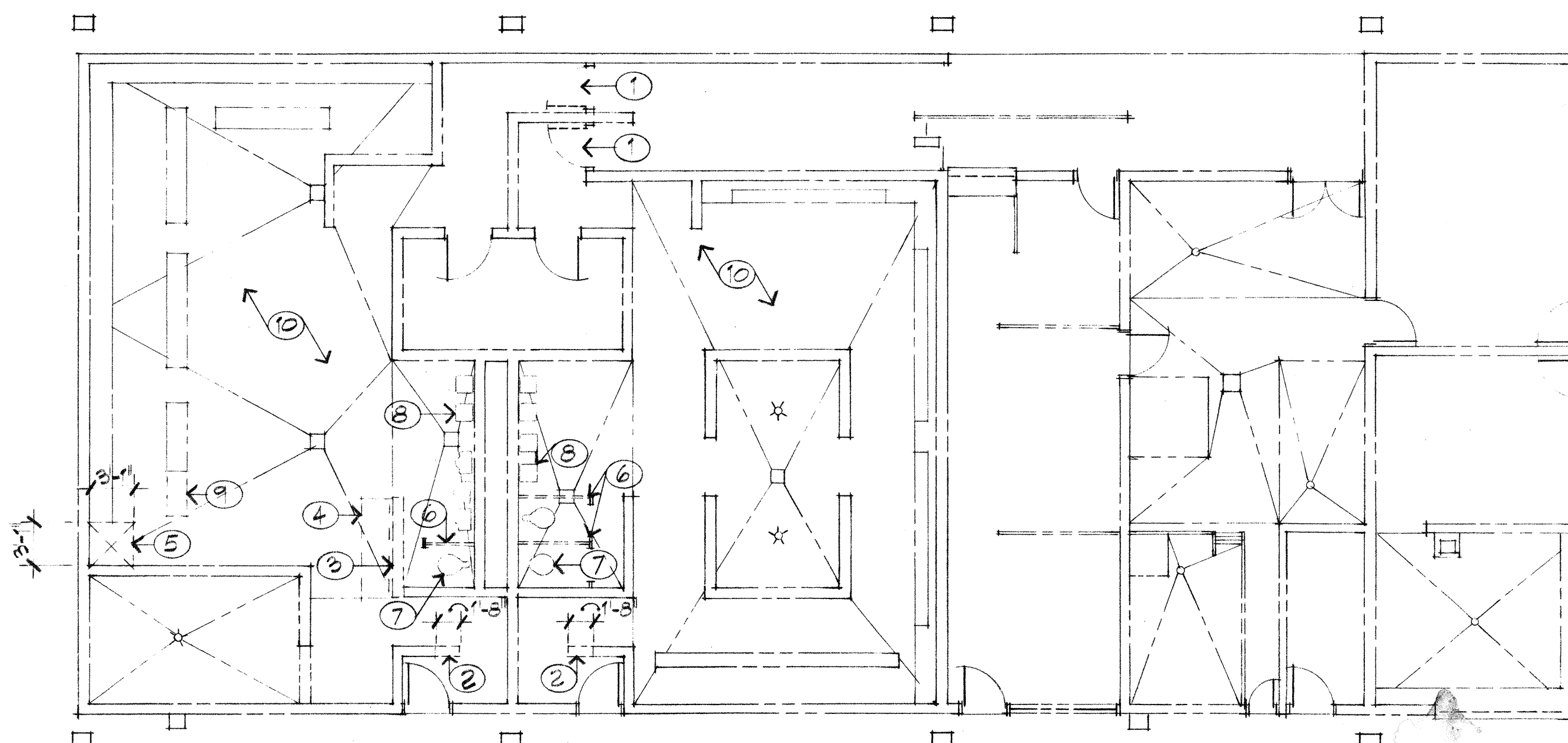


All interior walls of locker rooms (except unpainted brick) to be repainted. Color to Match Vestibule.

 Existing Construction to Remain  
 Existing Construction to be Removed  
 New Construction



② Floor Plan – Bath House 



## 1 Demolition Plan – Bath House

1. **Remove and dispose of existing door and frame.**
2. **Remove existing brick wall - salvage brick for reuse.**
3. **Remove existing brick wall - salvage brick for reuse. Remove mirrors and salvage for relocation.**
4. **Remove tile as required to install new wall and floor as per floor plan.**
5. **Neatly sawcut existing concrete slab - remove and dispose of concrete (salvage existing tile for reuse).**
6. **Remove and dispose of existing toilet partitions.**
7. **Remove existing w/c for relocation.**
8. **Remove existing lavatory for relocation.**
9. **Remove 3'-4" off existing bench, cut off existing pole support at floor level and grind smooth.**
10. **Remove areas of damaged concrete, cracked tile, and grout, typical throughout.**
11. **Install new 3'-0" x 7'-0" x 1 3/4", 20 min. rated (@ Vestibule Only) 16 ga. hollow metal door and frame. Paint new hollow metal door and frame (Paint Color No. 3).  
Hardware to include:**

Butts:	1-1/2 pr. Stanley F9B 16S 4-1/2" x 4-1/2" NRP, USP
Closer:	Sargent 1250 seeries
Pull:	Ives 8303-2, 6" x 16", US26D
Push:	Ives 8200 series, 6" x 16", US26D
Roller Latch:	Trimco 1259M w/ Metal Roller and "B" strike
Stop:	Ives 407-1/2
Gasketing Seals:	Pemco S88 Silicon Seal (Provide weatherstripping, threshold or to Pemko 171A, & Door Saddle eq. to Pemko 217 AV @ Exterior doors only,
12. **Repair area of floor with new concrete and tile to match existing.**
13. **New brick wall to match existing. Re-use salvaged brick.**
14. **Repair area of floor with new concrete and tile to match existing - slope to drain as indicated.**
15. **Repair area of floor with new concrete and tile to match existing - Remove one CMU block at floor level and slope new floor in handicap shower slightly so it drains into men's main shower area.**
16. **3'-8" long toilet partition, floor to ceiling supported (Santana Polymer H.D. "Navy Blue" or equiv.) No door required.**
17. **Remounted existing w/c - mount 1'-6" from finish floor to top of rim.**
18. **Remounted existing lavatory - mount 2'-6" from finish floor to underside of basin.**
19. **Secure existing wood slats on benches.**
20. **Repair areas of damaged concrete, tile, and grout with new construction to match existing, typical throughout.**
21. **Shower cubicle with door, floor to ceiling supported (Santana Polymer H.D. "Navy Blue") with bracing for folding shower seat as per manufacturer's recommendations. Folding shower seat (Bobrick B-5171 or equiv.) mounted to shower screen as per manufacturer at 18" A.F.F. (Note: Coordinate with cubicle manufacture the recessing of terrazzo shower base and opening in CMU wall with opening in shower cubicle.)**
22. **Stainless steel grab bars (Bobrick B-6206 or equiv.) - mount 2'-9" from finish floor to top of bar.**
23. **Provide new ceramic floor tile @ shower area to match existing.**

## CLASS II CONSTRUCTION

no.	date	revision

# dekker & associates

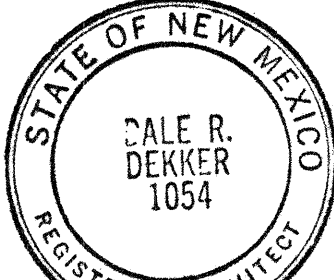
architects/engineers/planners

600 First St. N.W., East Wing    Albuquerque, N.M. 87102    505/247-2888

## Los Altos Pool Renovation

Parks & Recreation  
City of Albuquerque

### Demo./Floor Plans – Bath House



job no.	88008-02
drn. by	
ckd. by	
issued	5 / 1991
sheet	<div style="font-size: 2em; font-weight: bold;">A-2</div> <div style="font-size: 1.5em;">3 of 3</div>