

**DESIGN STANDARDS**

**I. PURPOSE & INTENT**

The purpose of these Design Standards is to provide a framework for designers to understand the vision and development goals for the COORS PAVILION 21 acre mixed use property (Community Activity Center), and assist them in decision making to achieve the vision and goals. The intent of these standards is to create an aesthetically pleasing, pedestrian friendly, mixed use development that adds office space and supporting retail / restaurant amenities to the Coors Blvd. corridor. Intended uses include a medical office building, office uses, retail uses within "shops buildings", restaurants (with drive thru windows), coffee shop with drive thru window, pharmacy (with drive thru window) and "junior box" retail shopping buildings.

- a. Goals:
  - i. Aesthetic treatments and material selection that provides consistency in design across the entire property.
  - ii. A pedestrian friendly environment that provides pleasant outdoor spaces for users and achieves a "park once and walk" outcome that allows for easy access within the 23 acre mixed use center.
- b. Permissive and conditional uses shall be as allowed under the C-2 Zone and O-1 of the City of Albuquerque's Code of Ordinances (provided however the Site Development Plan for Subdivision is not requesting residential uses).
- c. All Design Standards are intended to meet the intent and requirements of the City of Albuquerque's Code of Ordinances.

**II. SETBACKS & BUILDING HEIGHT LIMITATIONS**

The underlying site zoning is "SU-3 for Mixed Use: Church and Related Uses for approximately 10 acres; a minimum of approximately 7 acres shall be developed for office (O-1), the balance of the property is to be developed as (C-2) commercial or (O-1) office" (Note: The Site Development Plan for Subdivision application is not requesting residential land uses on the Subject Property). The Applicant is allocating the northwest corner of the Subject Property for the office zoning. The site is surrounded by development that consists primarily of retail and residential uses. Therefore, the setbacks and building heights should be similar to those in C-2 zone.

- a. Building setbacks shall conform to the requirements of the C-2 Zone of the City of Albuquerque's Code of Ordinances except as noted below.
  - i. Buildings on lots adjacent to the residential zoned property to the north shall be setback not less than 20 feet from the property line in order to provide adequate buffer for the homes located to the north of the property.
- b. Landscape setbacks shall conform to the requirements of Section 14-16-3-10 of the City of Albuquerque's Code of Ordinances.
- c. Building heights shall be as allowed as described under the R-3 Zone of the City of Albuquerque Code of Ordinances, provided that the retail buildings along Coors Blvd. shall not exceed 36 feet in height (and be one story), and the office buildings at the west edge of this Subject Property shall not exceed two stories in height.
- d. The University of Albuquerque Urban Center Sector Development Plan requires that all building height conform to the R-3 height limitations of the Zoning Code provided that the retail buildings along Coors Blvd. shall not exceed 36 feet in height (and be one story), and the office buildings at the west edge of this Subject Property shall not exceed two stories in height.
- e. Pursuant to Policy 2.A.1. of the Coors Corridor Plan (Pg. 89) there shall be a minimum front yard setback from the right-of-way of 15 feet along Coors Blvd. and St. Joseph's Road for all buildings.
- f. Pursuant to Policy 2.A.2. of the Coors Corridor Plan (Pg. 89) which states "The side yard and rear yard setback requirements shall be the same as required in the underlying zone."

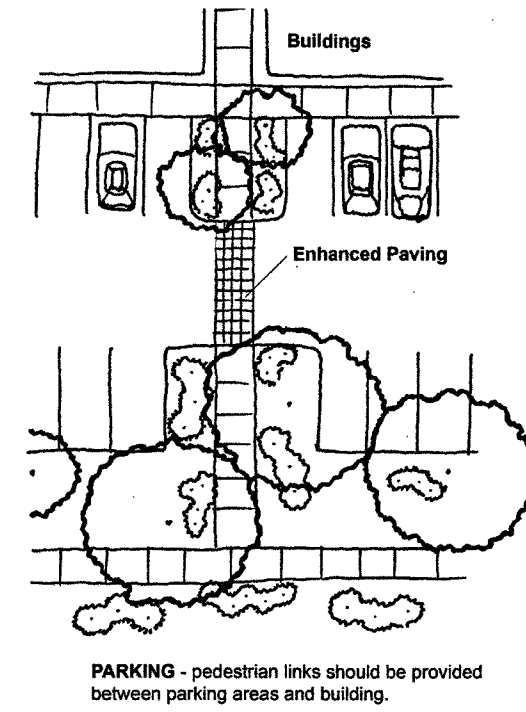
**III. PARKING**

In order to support the goal of creating a pedestrian friendly environment, careful attention should be given to parking area design. To lessen its visual impact, parking should be broken into a series of smaller areas, and views of parking from off-site should be interrupted with screening materials (3' tall landscape walls) or landscape buffer (shrubs, plantings, etc.).

- a. Off-street parking areas, including space size, aisle widths, pedestrian pathways, and screening, shall comply with Section 14-16-3-1 of the City of Albuquerque's Code of Ordinances.
  - i. Parking areas shall be designed to include a 6 foot wide minimum pedestrian walkway link to buildings.
  - ii. Pedestrian links across parking drive aisles shall be distinguished with striping or materials distinguishable from the roadway material.
  - iii. iParking shall be screened from residential neighborhood to the north by means of a minimum height of 2.5 to 3 foot high walls and / or landscaping

buffer. Walls shall be architecturally compatible with surrounding buildings (earth toned stucco or earth toned CMU block wall).

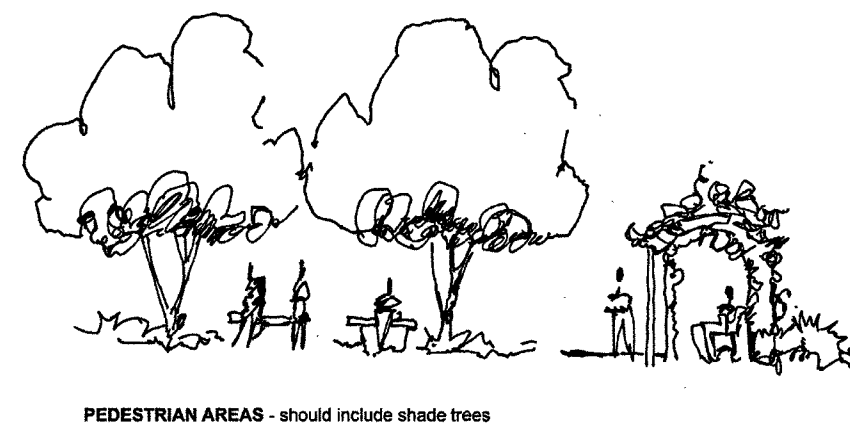
- b. Bicycle parking shall comply with Section 14-16-3-1(B) of the City of Albuquerque's Code of Ordinances.
  - i. To encourage non-vehicular travel, provisions for convenient on-site secure bicycle parking shall be provided near building entrances.
- c. Motorcycle parking shall comply with Section 14-16-3-1(C) of the City of Albuquerque's Code of Ordinances.
- d. Building orientation shall allow for visibility of the main entrance from parking areas and pedestrian connections.
- e. Grading & drainage design of parking areas shall comply with Chapter 22 of the City of Albuquerque's Code of Ordinances, and shall incorporate low impact development principles.
  - i. Parking islands shall allow flow of water as a water harvesting device and as required to maintain proper drainage of the site.
- f. All Off Street Parking areas shall comply with the off-street parking requirements of the Coors Corridor Plan (Page 94).



**IV. PEDESTRIAN CONNECTIONS & AMENITIES**

Pedestrian connectivity plays a major role in providing a pleasing environment. The following requirements are intended to help meet the property's goal of creating a pedestrian friendly atmosphere.

- a. Pedestrian connections within parking lots shall comply with Section 14-16-3-1(H) of the City of Albuquerque's Code of Ordinances.
  - i. Pedestrian movement from off-site and between buildings shall be encouraged by providing continuous pedestrian connections through parking areas and at the site's perimeter along Coors Blvd. and along St. Joseph's Road.
  - ii. Parking areas shall include pedestrian connections to all buildings within the property.
  - iii. Shade provided with trees or shade structures shall be provided consistent with the City of Albuquerque Code of Ordinances regarding landscaping on site.
- b. A minimum 120 square feet of public space shall be provided at each restaurant establishment for outdoor seating or gathering. Public spaces for multiple restaurants may be combined into one with a total area equal to 120 square feet per establishment.
  - i. Public space or outdoor seating shall have areas of shade and be adjacent to landscape areas including trees or shrubs per Section 14-16-3-18(C)(4) of City of Albuquerque's Code of Ordinances.
  - ii. Shade provided may include shade sails, canopies, canvas umbrellas at tables, trees, or planting materials significant enough to provide shade and refuge from the sun.
  - iii. Areas designated for public space or seating shall be defined with landscape elements, low seat walls, benches, planters, paving patterns, or materials distinguishable from the pedestrian sidewalk and parking areas.
- c. All pedestrian connections shall conform to the requirements of Section 14-16-13-1(H) (Off Street Parking Regulations, Pedestrian Connections) of the Comprehensive Zoning Code.



**V. LANDSCAPING**

The site development landscape shall serve to enhance the visual aesthetic of the site and aid in reinforcing the street presence and pedestrian experience. The intent is to provide year round color and interest and reflect the natural environment of New Mexico landscape. A clear theme and image for the development shall be enforced throughout by consistent paving materials, plantings, signage, etc.

- a. ALL LANDSCAPING shall conform to the site landscaping requirements of the Coors Corridor Plan (Page 92).
- b. Street trees shall be provided as per the Street Tree Ordinance (6-6-2-1 et seq., Street Tree Ordinance)
- c. A minimum of 15% of the net site area shall be devoted to landscape materials.
- d. Gravel, mulch, cobble, bark, and other similar materials are acceptable as a top dressing for the landscape areas.
- e. Gravel shall be a 1-1/2" maximum, the color to be consistent with across the entire property.
- f. All plant material shall be maintained by the Owner in a living, attractive condition. All areas shall be free of weeds.
- g. Minimum plant material sizes at the time of installation shall be:
  - i. Canopy Trees - 2" Caliper
  - ii. Evergreen Trees - 10' Minimum height
  - iii. Accent Trees - 2" Caliper
  - iv. Shrubs and Groundcovers - 1 gallon minimum
- h. Landscape plans must comply with the City's Water Conservation Ordinance and Pollen Ordinance.
- i. Drought tolerant species shall be used at landscape areas. Live plant materials shall cover a minimum of 75% of landscape areas at maturity.
- j. An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to avoid over-spraying onto wall, buildings, fences, sidewalks, etc. Irrigation components shall be checked periodically to ensure maximum efficiency.
- k. The irrigation system serving landscaped areas shall be a fully automated system with centralized computer controls.
- l. Landscape Plans shall be designed using plants selected from the following palette:

**LARGE TREES**

Accolade Elm	Ulmus hybrid "Accolade"
Afghan Pine	Pinus eldarica
Austrian Pine	Pinus nigra
Chinese Pistache	Pistacia chinensis
Escarpment Oak	Quercus fusiformis
Japanese Pagoda Tree	Sophora japonica
Modesto Ash	Fraxinus velutina "Modesto"
Purple Robe Locust	Robinia pseudoacacia "Purple Robe"
Raywood Ash	Fraxinus velutina "Raywood"
Rio Grande Cottonwood	Populus wislizenii
Texas Red Oak	Quercus buckleyi

**SMALL TREES**

Chaste Tree	Vitex agnus-castus
Desert Willow	Chilopsis linearis
Golden Rain Tree	Koeleruteria paniculata
New Mexico Olive	Foestiera neomexicana
Oklahoma Redbud	Cercis reniformis
Sensation Maple	Acer negundo "Sensation"

**SHRUBS**

Apache Plume	Fallugia paradoxa
Bird of Paradise	Caesalpinia gilliesii

**Blue Rubber Rabbitbrush**

Ericameria nauseosus "Blue"

Buffalo Juniper  
Creeping Mahonia  
Damianita  
Dark Knight Blue Mist Spirea

Juniperus  
Mahonia repens  
Chrysanctinia mexicana  
Caryopteris clandonensis "Dark Knight"

Black Knight Butterflybush  
Dwarf Fragrant Sumac  
Fernbush  
Littleleaf Mountain Mahogany

Buddleia davidii "Black Knight"  
Rhus aromatica "Gro-low"  
Chamaebatiaria millefolium  
Cercocarpus intricatus

Moonlight Scotch Broom  
Pawnee Buttes Western Sand Cherry  
Thompson Broom

Cytisus scoparius "Moonlight"  
Prunus bessyii "Pawnee Buttes"  
Baccharis hybrid "Starn Thompson"

Threeleaf Sumac  
Turpentine Bush  
Winter Gem Boxwood

Rhus trilobata  
Ericameria laricifolia  
Buxus japonica "Winter Gem"

**GRASSES**

Blonde Ambition Blue Grama Grass	Bouteloua "Blond Ambition"
Blue Avena Grass	Helictotrichon sempervirens
Deergass	Muhlenbergia rigens
Giant Sacaton	Sporobolus wrightii
Indian Grass	Sorghastrum nutans
Karl Foerster Feather Reed Grass	Calamagrostis acutiflora "Karl Foerster"
Native Wonder Grass Blend	50% Buchloe dactyloides/ 50% Bouteloua gracilis

Mexican Feathergrass  
Prairie Dropseed  
The Blues Bluestem

Nasella tenuissima  
Sporobolus heterolepis  
Schizachyrium scoparium "The Blues"  
Calamagrostis acutiflora "Overdam"

Variegated Reed Grass

**ACCENTS**

Beargrass  
Broadleaf Yucca  
Desert Spoon  
Parry's Agave  
Prickly Pear Cactus  
Red Yucca

Nolina microcarpa  
Yucca baccata  
Dasylirion wheeleri  
Agave parryi  
Opuntia engelmannii  
Hesperaloe parviflora

**PERENNIALS**

Autumn Sage varieties  
Blanketflower species  
Butterfly Weed  
Catmint species  
Germander species  
Desert Zinnia  
Whirling Butterfly species

Salvia greggii varieties  
Gaillardia species  
Asclepias species  
Nepeta species  
Teucrium species  
Zinnia grandiflora  
Gaura lindheimeri varieties

Hyssop species  
Lavender species  
May Night Sage  
Penstemon species  
Poppy Mallow  
Rocky Mountain Columbine

Agastache species  
Lavandula species  
Salvia nemerosa  
Penstemon species  
Callirhoe involucrata  
Aquilegia caerulea

Tickseed species  
Turkish Speedwell  
Yarrow species

Coreopsis species  
Veronica Iwanensis  
Achillea species

**VINE**

Chinese Wisteria  
Trumpet Vine

Wisteria chinensis  
Campsis radican

**VI. WALLS & FENCES**

Screening of less attractive areas such as parking and utility items, as well as management of grade changes that exceed simple slopes, should be accomplished through the use of walls and fences that are designed to be an integral part of the project's overall aesthetic.

- a. ALL WALLS, FENCES and SCREENING shall conform to the requirements of Section 14-16-3-18 (General Building and Site Design Regulations for Non Residential Use) and 14-16-3-19 (General Height and Design Regulations for Walls, Fences and Retaining Walls) of the Zoning Code.
- b. Parking shall be screened from public rights-of-way by means of 2.5 to 3 foot high walls and / or landscaping buffer (shrubs or landscape material). These walls shall be architecturally compatible with surrounding buildings (Earth toned color).
- c. Trash receptacles, mechanical equipment, and loading docks shall be screened from public streets through the use of solid walls, solid fences, berms, or dense evergreen foliage.
  - i. Trash enclosures shall be consistent with the architectural theme and materials of adjacent buildings.
  - ii. All outdoor refuse containers shall be screened within a minimum 6 foot tall enclosure which is large enough to contain all trash generated between collections.
  - iii. Trash enclosures shall have solid, opaque gates as tall as the enclosure.
- d. Walls and fences shall be at least as tall as the objects they are intended to screen.
- e. All screening devices shall be in compliance with the City of Albuquerque DPS Clear Sight Triangle regulations.
- f. All mechanical equipment shall meet the screening requirements of Section 14-16-3-18 (C) (6) of the City of Albuquerque's Code of Ordinances.
  - i. All mechanical equipment shall be screened from public view by materials of the same nature as the adjacent buildings.
- g. Walls and fences shall comply with Section 14-16-3-19 of the City of Albuquerque's Comprehensive Zoning Code.
- h. Perimeter walls shall include openings at all pedestrian connections to ensure convenient access to adjacent tracts.
- i. The use of razor ribbon, razor wire, barbed wire, chain link fencing with or without slats, cyclone fencing or unfinished solid CMU is prohibited.
- j. Acceptable wall & fence materials include but are not limited to:
  - i. stucco over concrete masonry units (CMU)
  - ii. split face block
  - iii. brick
  - iv. stone
  - v. curved interlock blocks
  - vi. wood pickets
  - vii. tubular steel, wrought iron bars, or other grill work
- k. The finish of walls & fences shall be attractive and compatible with the building materials of adjacent buildings on the site.
- l. The site is fairly level, but will likely require some retaining at the west perimeter adjacent to the Calvary parking lot.
  - i. Retaining walls are permitted, but they must be shown and approved on the Site Development Plan for Building Permit.

**DEKKER  
PERICH  
SABATINI**

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ARCHITECT

ENGINEER

ISSUED FOR  
**DRB**  
Site Plan for Subdivision

PROJECT

**Coors Pavilion**

Coors Blvd. NW & St. Joseph NW  
Albuquerque, New Mexico 87122

**REVISIONS**

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DRAWN BY	AMA
REVIEWED BY	AMA
DATE	03.29.2016
PROJECT NO.	15-0158.001
DRAWING NAME	

**SITE DEVELOPMENT  
PLAN FOR  
SUBDIVISION  
DESIGN STANDARDS**

SHEET NO.

**DS01**

OF