

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

**LOT 3
COORS PAVILION**
NW Corner of Coors Blvd & St. Joseph Dr.
Albuquerque, New Mexico 87120

REVISIONS
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▲
▲
▲

DRAWN BY MB, AJ
REVIEWED BY CG, MB
DATE 4/8/17
PROJECT NO. 15-0158.006
DRAWING NAME

**SITE DEVELOPMENT
PLAN FOR
BUILDING PERMIT**

SHEET NO.
SPBP-1
OF

GENERAL SHEET NOTES

- A. THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SUBJECT SITE.
- B. SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- C. PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- D. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- E. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- F. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- G. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- H. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- I. AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- J. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- K. ALL EFFECTIVE RADII ALONG FIRE LANES SHALL BE 28'.
- L. PREMISE IDENTIFICATION SHALL BE PROVIDED WHERE ADJACENT PUBLIC ROADWAYS OCCUR.
- M. ALL BUILDINGS SHALL PROVIDE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- N. FIRE DEPARTMENT CONNECTIONS SHALL BE WITHIN 100' OF A FIRE HYDRANT.
- O. ALL ACCESS ROADS & AISLES SHALL BE PAVED & SHALL NOT EXCEED 10% GRADE.
- P. ALL BUILDINGS SHALL BE FIRE SPRINKLERED.
- Q. ALL BUILDINGS SHALL HAVE EXTERIOR SECURITY CAMERAS.
- R. A MINIMUM 15' LANDSCAPE SETBACK IS REQUIRED ALONG COORS BLVD.

KEYED NOTES

1. EXISTING PROPERTY LINE.
2. RIGHT TURN IN, RIGHT TURN OUT MEDIAN.
3. BUILDING SETBACK ALONG COORS BLVD. 45'-4" FROM PROPERTY LINE.
4. CONCRETE CURB/ISLAND WITH LANDSCAPE. SEE LANDSCAPE PLAN.
5. CONCRETE SIDEWALK.
6. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
7. CONCRETE SIDEWALK 6" WIDE.
8. CONCRETE TREE WELL 7'-7" WITH LANDSCAPE. SEE LANDSCAPE PLAN.
9. LANDSCAPED AREA; SEE LANDSCAPE PLAN.
10. CONCRETE CURB AND GUTTER.
11. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES; SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
12. PAINTED PEDESTRIAN CROSSWALK; COLOR WHITE OVER ASPHALT PAVING.
13. STEEL BICYCLE RACK; SEE SHEET SPBP-6 DETAIL A5.
14. CONCRETE SLAB FOR TRASH ENCLOSURE.
15. 15' x 17' TRASH ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE SHEET SPBP-6 DETAILS B4 & B5.
16. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET SPBP-6 DETAIL A2.
17. MOTORCYCLE PARKING, 4'W x 8'L MINIMUM.
18. PAINTED ACCESSIBLE PAVEMENT SYMBOL.
19. ADA ACCESS AISLE PAINTED PARKING SIGNAGE; (NO PARKING); COLOR: WHITE 12" H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF PARKING SPACE).
20. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET SPBP-6 DETAIL A3.
21. PAINTED PARKING STRIPING (4" WIDE); COLOR: WHITE.
22. PAINTED DIAGONAL STRIPING (2" O.C. AT 45 DEGREES); COLOR: WHITE.
23. PAINTED TRAFFIC FLOW DIRECTIONAL ARROW; COLOR: WHITE.
24. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 7' AND 8' TALL (AS MEASURED FROM THE GUTTER PAH) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
25. POLE MOUNTED PARKING LOT LIGHT; SEE SHEET SPBP-6 DETAIL A1.
26. POLE MOUNTED STOP SIGN; SEE SHEET SPBP-6 DETAIL A4.
27. POLE MOUNTED DRIVE-THROUGH ENTRANCE SIGN, BY TENANT.
28. POLE MOUNTED HEIGHT LIMIT INDICATOR, BY TENANT.
29. MENU AND ORDER TAKING BOARDS.
30. FIRE HYDRANT LOCATION.
31. 30' HIGH SCREEN WALL AS PER DETAIL C1/SPBP-6.

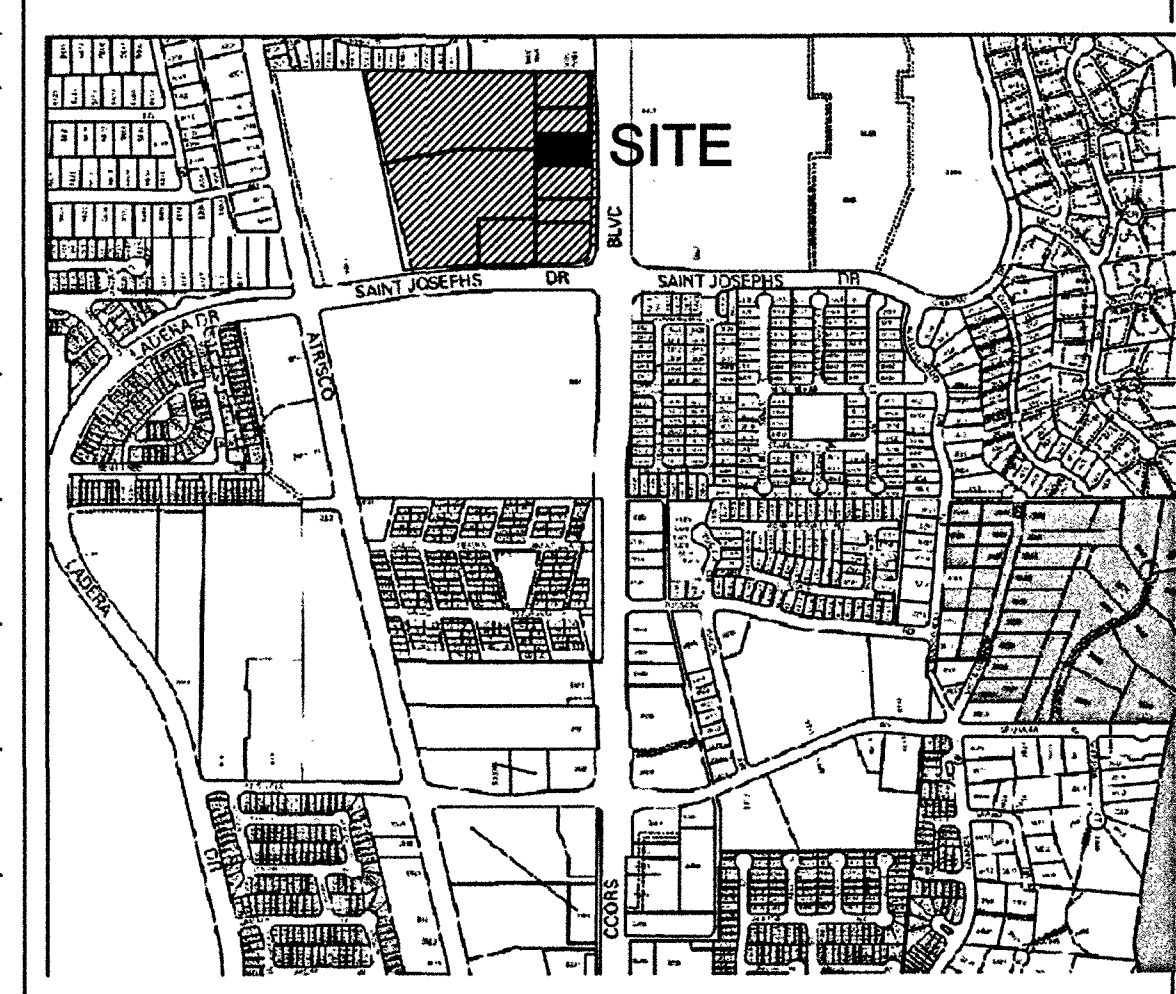
SITE INFORMATION

LEGAL DESCRIPTION: Lot 3 of the plat entitled "Plat of Lots 1 Thru 9, Coors Pavilion" (Being a replat of Tract X-1-A2, University of Albuquerque Urban Center)
TOTAL SITE AREA: Lot 3 - 0.9002 AC
EXISTING ZONING: SU-3, FOR C-2 & O-1 USES
PROPOSED USE: RETAIL, B & A2 OCCUPANCIES
MINIMUM BUILDING SETBACK: FRONT-15' AS PER COORS CORRIDOR PLAN, CORNER SIDE YARD-5' AS PER O-1C-2.
MAXIMUM BUILDING HEIGHT: 26' CONSTRUCTION TYPE VB
GROSS BUILDING AREA (GBA): RETAIL (1 STORY) = 6,208 SF
SITE AREA: 39,215 SF
GROSS F.A.R. (GBA / SITE AREA) = 6,208 / 39,215 = .158
OUTDOOR PATIO AREA = 800SF

PARKING INFORMATION

ALBUQUERQUE CITY ZONING CODE, SECTION 14-17-3-1
TOTAL BUILDING AREA: 6,208 GSF
6,208sf @ 1/200sf = 31 spaces
TOTAL REQUIRED SPACES = 31 spaces
TOTAL PARKING PROVIDED: 31
TOTAL PARKING PROVIDED: 31 STATIONARY + 10 DRIVE-UP QUEUING SPACES + CROSS-LOT PARKING
TYPICAL PARKING STALL DIMENSIONS = 9'W x 18'L NO COMPACT STALLS SHALL BE UTILIZED
HANDICAP PARKING STALLS REQUIRED: 2 HC STALLS (1 VAN ACCESSIBLE)
PROVIDED: 2 HC STALLS (1 VAN ACCESSIBLE)
MOTORCYCLE PARKING REQUIRED: 2 SPACES
PROVIDED: 2 SPACES
BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 31/20 = 2 SPACE S
PROVIDED: 2 SPACES
AVAILABLE BUS ROUTES: RAPID RIDE #790 & REGULAR ROUTE #158

VICINITY MAP



Zone Atlas Map G-11-Z nts

FIRE LANES 20' FT TO 26' FEET. A FIRE LANE SHALL BE MARKED FIRE LANE ON BOTH SIDES. ROAD 26' FT TO 32' FT WIDE SHALL BE MARKED FIRE LANE ON ONE SIDE 4/11/17 MS.

THE LINE AT THE BACK-OF-SIDEWALK DELINEATES THE SEPARATION BETWEEN PRIVATE IMPROVEMENTS AND THE IMPROVEMENTS TO BE CONSTRUCTED WITHIN THE PUBLIC WORK ORDER.

COORS BLVD.

10' PNM & Mountain States Telephone & Telegraph Co. Easement per Plat filed September 3, 1953 in Book D254, Page 217

Additional 12' Public Street right of way dedicated to the City of Albuquerque in fee simple with warranty covenants by the SPSP plat. (0.1213 Ac - Cross hatched area)

6572-16
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT COPY CONSTRUCTION TYPE 3
GPM UCS NUMBER OF HYDRANTS
APPROVED / DISAPPROVED
SIGNATURE / MAIN NUMBER / DATE
4/7/17

FORMER PROJECT NUMBER: _____
PROJECT NUMBER: _____
APPLICATION NUMBER: _____
Is an Infrastructure List Required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
SITE DEVELOPMENT PLAN APPROVAL:

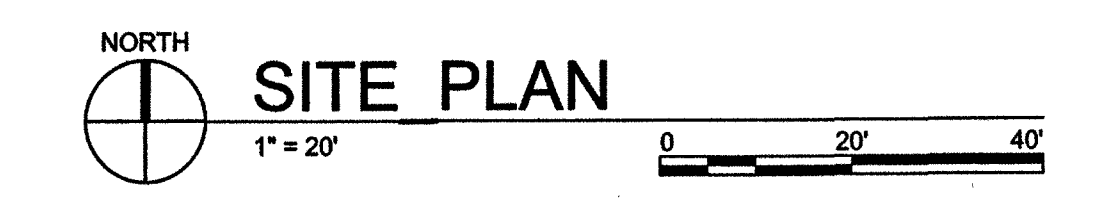
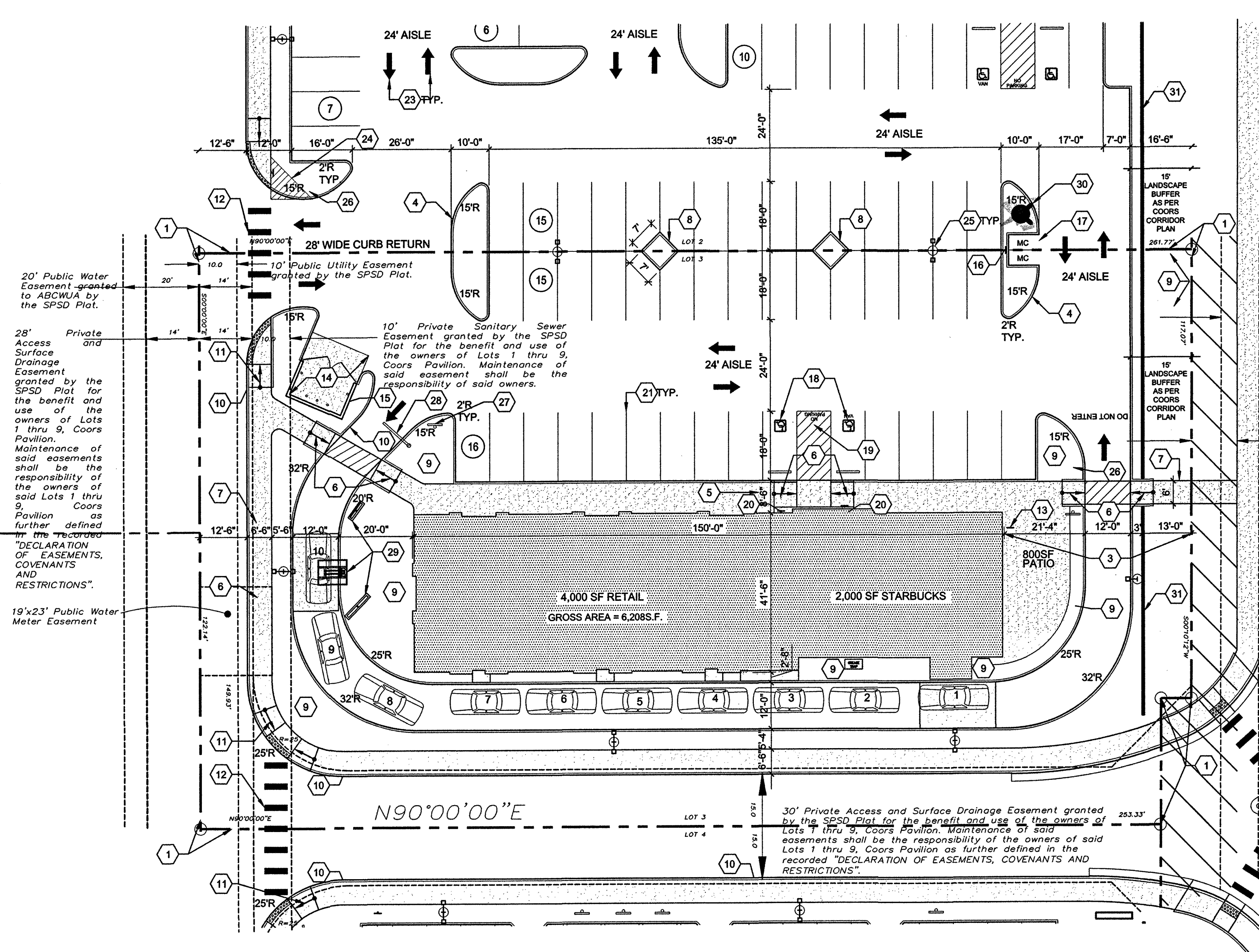
TRAFFIC ENGINEER, TRANSPORTATION DIVISION DATE _____

ABCWUA DATE _____

PARKS AND RECREATION DEPARTMENT DATE _____

CITY ENGINEER DATE _____
Carla Williams 4-7-17
SOLID WASTE MANAGEMENT DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT DATE _____



SITE PLAN